

BUILDING ALTERATIONS

KILBOURN APARTMENTS

2804 W. KILBOURN AVE.

MILWAUKEE, WI

PROJECT INFORMATION

OWNER

SAM STAIR

S2 REAL ESTATE

925 W. LINCOLN AVE.

WEST ALLIS, WI

P: 414-476-6063

E: SSTAIR@S2SUPPORT.COM

ARCHITECT:

MATT TRENKLE, R.A.

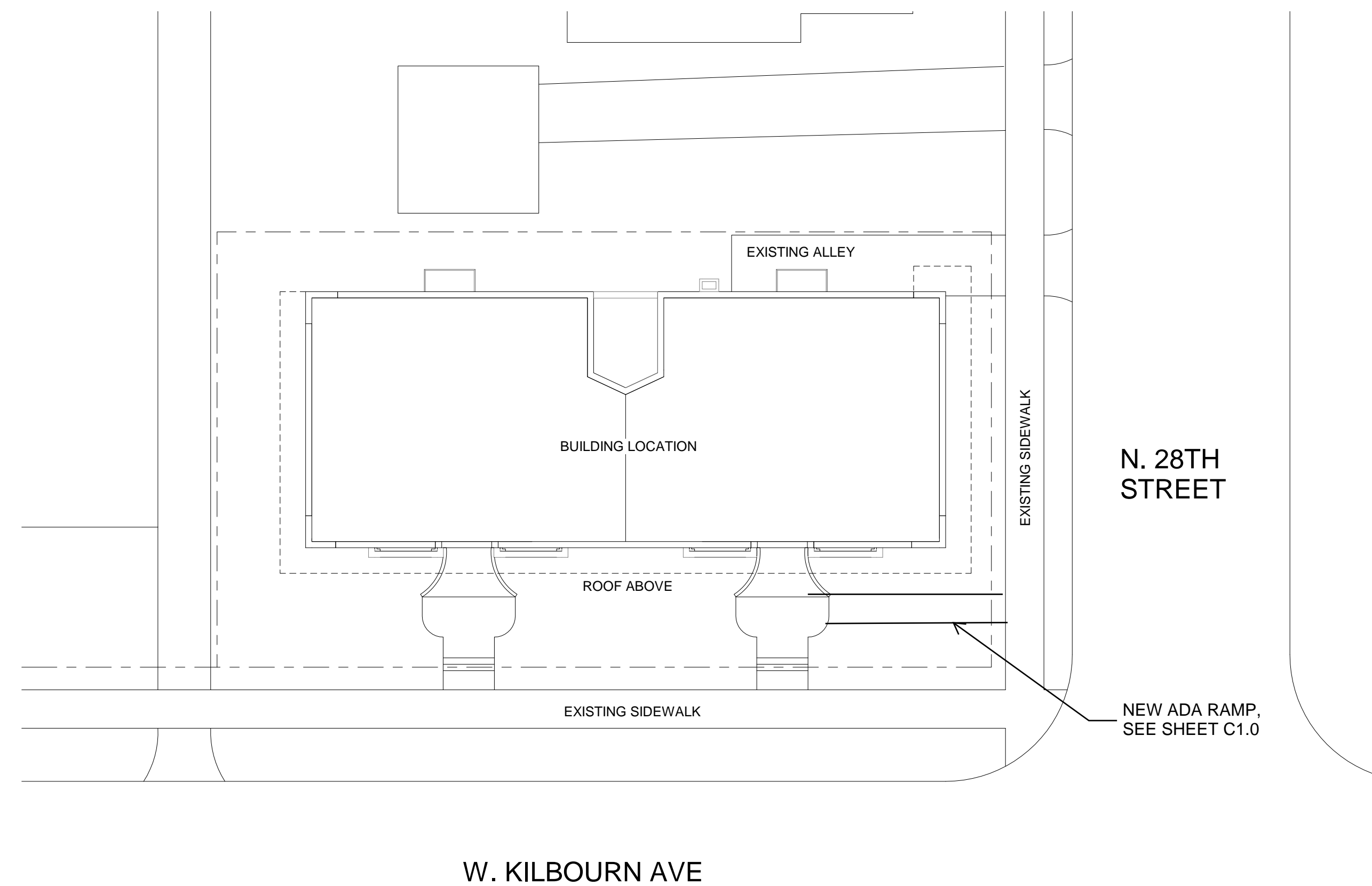
TRENKLE ARCHITECTURE & CONSTRUCTION, LLC

500 W. SILVER SPRING STE. K200

GLENDALE, WI 53217

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1 ARCHITECTURAL SITE PLAN
T-1 SCALE= 1" : 20'-0"

ISSUED FOR: HISTORIC PRESERVATION COMMISSION
REVIEW

DATE: 11/12/2019

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SITE NOTES:

1. THIS IS NOT A SURVEY, THIS DRAWING WAS COMPLETED FROM INFORMATION COMPILED FROM MILWAUKEE COUNTY GIS MAP AND ASSUMED TO BE RELIABLE.
2. ALL WORK TO BE DONE BY LICENSED AND INSURED CONTRACTORS.
3. CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING WORK.
4. CONTRACTOR TO VERIFY LAYOUT ON SITE AND ENSURE COMPLIANCE WITH ALL APPLICABLE REGULATIONS, SETBACKS AND CODES. DISTANCES SHOWN FROM BUILDING TO PROPERTY LINES ARE APPROXIMATE.
5. CONTRACTOR TO MAINTAIN CONSTRUCTION MATERIAL STORAGE WITHIN THE CONSTRUCTION SITE AT ALL TIMES.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SECURITY AT ALL TIMES.
7. ENSURE ROUGH AND FINISH GRADING AROUND THE ADDITION SLOPES POSITIVELY AWAY FROM HOUSE.

T

REVISION TABLE
REVISED BY DESCRIPTION
NUMBER DATE

BUILDING ALTERATIONS
KILBOURNE APARTMENTS
2804 W KILBOURNE AVE
MADISON, WI

TITLE SHEET

DRAWINGS PROVIDED BY:
TRENKLE
ARCHITECTURE

DATE:

11/12/2019

SCALE:

SHEET:

T-1.0

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

GENERAL NOTES

It is the responsibility of the contractor to become fully aware of any and all conditions related to the site and existing conditions that may affect the cost of scheduling construction activities, prior to submitting a bid.

Contractor shall verify all dimensions and conditions at the job site including soil conditions, and conditions related to the existing utilities and services before commencing work and be responsible for same. All discrepancies shall be reported to the owner immediately.

Do not scale drawings or details — Use given dimensions. Check details for location of all items not dimensioned on plans. Dimension on plans are to face of framing or center line of columns typically. Door and cased openings without dimensions are to be six (3) inches from face of adjacent wall or centered between walls.

The drawings indicate general and typical details of construction. The design intent of the drawings shall supersede actual construction assemblies used. Where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the architect and structural engineer.

Building systems and components not specifically detailed shall be installed, as per minimum manufacturers recommendations. Notify the architect of any resulting conflicts.

All work shall conform to applicable building codes and ordinances. In case of any conflict wherein the methods or standards of installation or the materials specified do not equal or exceed the requirements of the laws or ordinances, the laws or ordinances shall govern. Install dust barriers and other protection as required to protect installed finishes and facilities.

Plumbing, mechanical and electrical drawings, etc. are supplementary to the architectural drawings. It shall be in the responsibility of each contractor to check with the architectural drawings before installation of their work. Any discrepancy between the architectural drawings and the consulting engineer(s) or other supplementary drawings shall be brought to the owner's attention in writing.

All glazing in hazardous locations, defined by the UDC, shall by safety glazing, including but not limited to the safety glazing identified in the construction documents. Contractor shall minimize exposed pipe, conduits, ducts, vents, etc. All such lines shall be concealed or furred and finished as much as possible, unless noted as exposed construction on drawings. Offset studs where required, so that finished wall surface will be flush.

Contractor shall provide temporary bracing and shoring for the structure and structural components until all final connections have been completed in accordance with the plans.

All wood framing details not shown otherwise shall be constructed to the minimum standards of the UDC. All wood in direct contact with concrete or exposed to weather shall be pressure treated with an approved preservative unless decay resistant heartwood of cedar or redwood is used. Fasteners for pressure treated wood shall be hot dipped galvanized steel, stainless steel, silicon bronze, or copper.

Nail gypsum wallboard to all studs, top and bottom plates and blocking with cooler nails @ 7 inches o.c. maximum spacing unless shown otherwise. Use 5d for 1/2 wallboard, 6d for 5/8 inch wallboard.

Provide galvanic insulation between dissimilar metals. Electrical and mechanical notes are located within this set of drawings.

No materials from the work are to be stock piled on public right-of-ways. All rubbish and debris is to be removed from the site. Adjacent properties, streets and walks are to be protected from damage at all times.

All dimensions are face of stud wall, centerline of column, or face of concrete unless noted otherwise. The contractor shall secure permits required by the fire department prior to building occupation.

The contractor shall take all necessary precautions to ensure the safety of the occupants and workers at all times during the course of the project. Approved plans shall be kept protected in a plan box or other means and shall not be used by any workmen. All construction sets shall reflect the same information. The contractor shall also maintain in good condition, one complete set of plans with all revisions, addenda and changes orders on the premises at all times. Said plans are to be under the care of the job superintendent.

The contractor and/or the sub-contractors shall apply for, obtain and pay for all required permits and fees including the building permit. All construction shall comply with all applicable local and municipal codes, ordinances and standards.

Construction hours, per jurisdiction, are to be observed for all phases of the project. Wall covering products sensitive to adverse weather shall not be installed until adequate weather protection for the installation is provided. Exterior sheathing shall be dry before applying exterior cover.

Interior coverings or wall finishes shall be installed in accordance with IRC chapter 7 and tables R702.1(1), R702.1(2), R702.1(3) and R702.3.5. Interior finishes and materials shall conform to the flame spread and smoke density requirements of section R302.9.

Unless specified otherwise, all wall coverings shall be fastened in accordance with table R703.4 or with other approved aluminum, stainless steel, zinc-coated or other corrosion-resistive fasteners.

Where conflicts occur between the IRC or IECC and the conditions of listing or the manufacturer's installation instructions occur, the provisions of the code shall apply. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

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ABBREVIATIONS

ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
ADJ	ADJUSTABLE
AB	ANCHOR BOLT
AHJ	AUTHORITY HAVING JURISDICTION
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
APPROX	APPROXIMATE
BM	BENCH MARK
BLK	BLOCK
BLKG	BLOCKING
BLDG	BUILDING
BO	BOTTOM OF
CB	CATCH BASIN
CLG	CEILING
CT	CERAMIC TILE
CL	CENTER LINE
CLR	CLEAR
COL	COLUMN
COMP	COMPOSITE
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS OR CONTINUE
CONSTR	CONSTRUCTION
CJ	CONTROL JOINT
DBL	DOUBLE
DEMO	DEMOLISH / DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPENSER
DR	DOOR
DWG	DRAWING / DRAWINGS
DWR	DRAWER
DF	DRINKING FOUNTAIN
DS	DOWNSPOUT
EA	EACH
ELEC	ELECTRIC
EL	ELEVATION
EQ	EQUAL
EX	EXISTING
EXIST	EXISTING
EB	EXPANSION BOLT
EMB	EMBED
EJ	EXPANSION JOINT
EXT	EXTERIOR
EN	END NAIL
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EQPM	EQUIPMENT
EXP	EXPOSED
FO	FACE OF
FOC	FACE OF CONCRETE
FOF	FACE OF FRAMING
FIN	FINISH
FE	FIRE EXTINGUISHER
FF	FINISH FLOOR
FFE	FINISH FLOOR ELEVATION
FEC	FIRE EXTINGUISHER AND CABINET
FD	FLOOR DRAIN
FLR	FLOOR OR FRAMING
FTG	FOOTING
FN	FIELD NAIL
FNDN	FOUNDATION
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
F.V.	FIELD VERIFY
GA	GAGE
GALV	GALVANIZED
GB	GRAB BAR
GEN	GENERATOR
GL	GLASS
GLB	GLU-LAM BEAM
GR	GUARD RAIL
GWB	GYPSUM WALL BOARD
GYP	GYPSUM
HB	HOSE BIB
HC	HANDICAPPED
HD	HOLD DOWN
HDR	HEADER

HDW	HARDWARE
HR	HAND RAIL
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HT	HEIGHT
HW	HOT WATER
INSUL	INSULATION
INT	INTERIOR
JT	JOINT
LAV	LAVATORY
LT WT	LIGHT WEIGHT
LVT	LUXURY VINYL TILE
MAX	MAXIMUM
MECH	MECHANICAL
MH	MANHOLE
MFR	MANUFACTURER
MAT	MATERIAL
MTL	METAL
MIN	MINIMUM
MLD	MOLDING
NOM	NOMINAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
O/	ON
O.C.	ON CENTER
OPNG	OPENING
OPP	OPPOSITE
OH	OVERHEAD
PTD	PAPER TOWEL DISPENSER
PVMT	PAVEMENT
PERF	PERFORATED
PLAM	PLASTIC LAMINATED
PVC	POLYVINYL CHLORIDE
PT	PRESSURE TREATED
PL	PROPERTY LINE
PLY	PLYWOOD
REF	REFRIGERATOR
REINF	REINFORCED
REQ'D	REQUIRED
ROW	RIGHT OF WAY
RM	ROOM
RO	ROUGH OPENING
RB	RUBBER BASE
RS	ROUGH SAWN
SIM	SIMILAR
SHT	SHEET
SAT	SUSPENDED ACOUSTICAL TILE
STL	STEEL
SPEC	SPECIFICATION
SF	SQUARE FEET
STOR	STORAGE
SUSP	SUSPENDED
SYS	SYSTEM
TEL	TELEPHONE
T&G	TONGUE & GROOVE
THK	THICK
TB	TOWEL BAR
TOB	TOP OF BEAM
TOS	TOP OF STEEL
TOW	TOOP OF WALL
TPD	TOILET PAPER DISPENSOR
TPL	TOP PLATE
TO	TOP OF
TYP	TYPICAL
UNO	UNLESS OTHERWISE NOTED
UR	URINAL
VB	VAPOR BARRIER
VENT	VENTILATION
VERT	VERTICAL
VG	VERTICAL GRAIN
W/	WITH
W/O	WITHOUT
WP	WATERPROOFING
WWF	WELDED WIRE FABRIC
WR	WATER RESISTANT
WND	WINDOW
WD	WOOD

T

REVISION TABLE	REVISION	DESCRIPTION
NUMBER	DATE	

SWANSON RESIDENCE
DETACHED GARAGE BUILD
N51W16376 FAIR OAK PARKWAY
MEMOMONEE FALLS WI

GENERAL
INFORMATION

DRAWINGS PROVIDED BY:
TRENKLE
ARCHITECTURE

DATE:

11/12/2019

SCALE:

SHEET:

G-1.0

REVISION TABLE	REVISED	DESCRIPTION
NUMBER	DATE	BY

SITE PLAN

DRAWINGS PROVIDED BY:
TRENKLE ARCHITECTURE

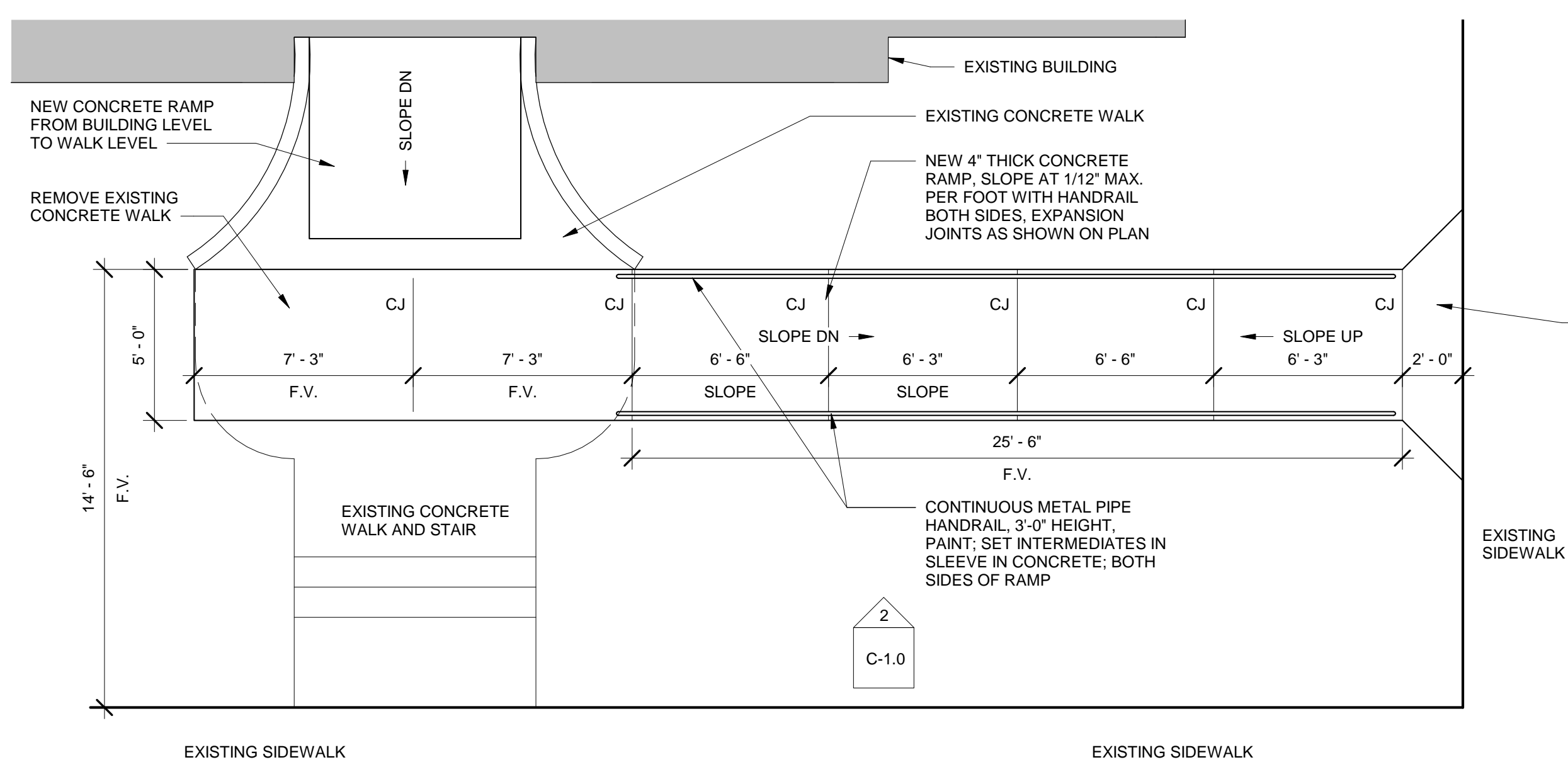
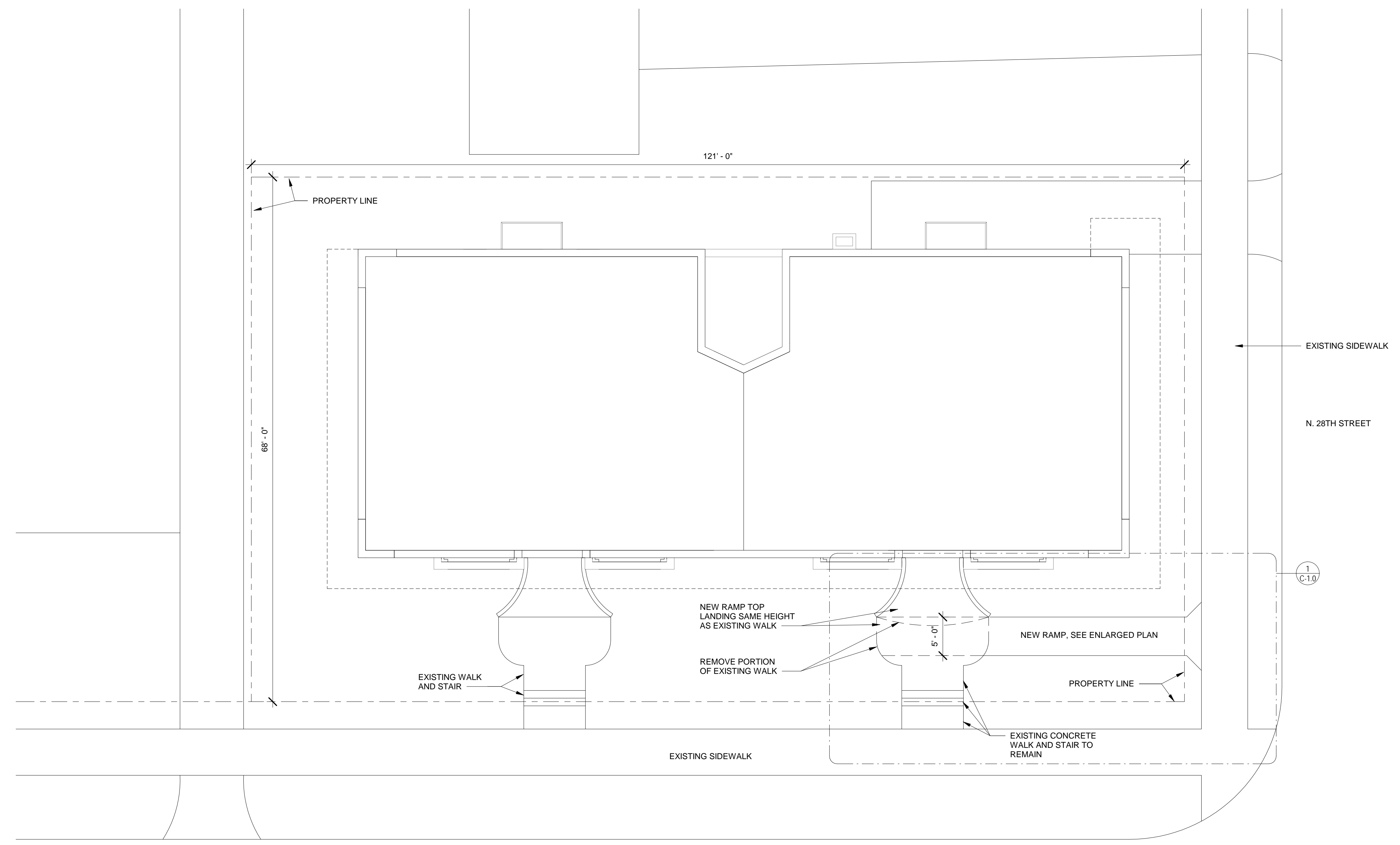
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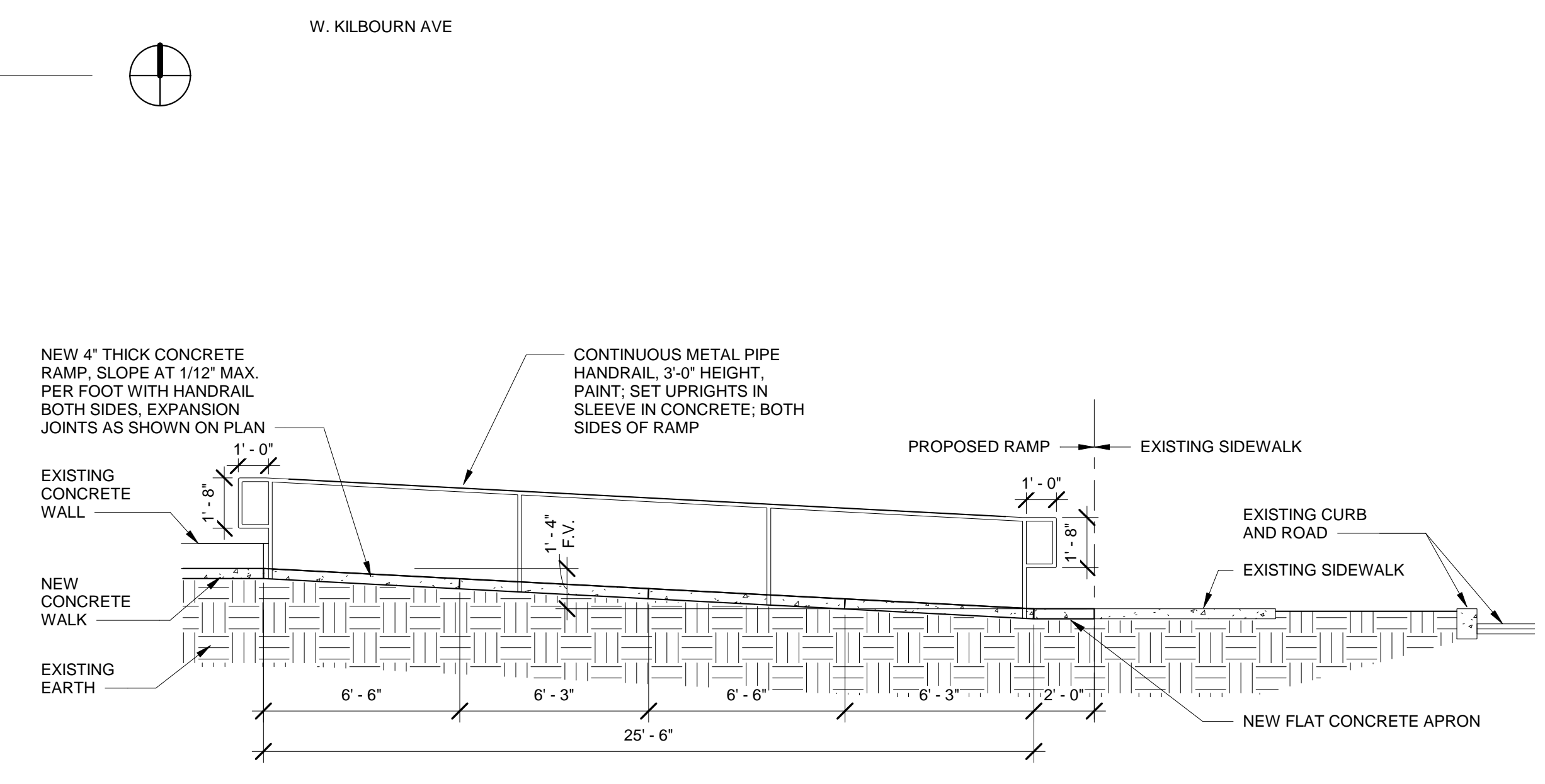
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C-1.0



1 ENLARGED RAMP PLAN
1/4" = 1'-0"

Site Plan
1/8" = 1'-0"



2 RAMP ELEVATION
1/4" = 1'-0"

PROJECT:
Kilbourn Apartments Renovation
2804 W. Kilbourn Ave.

DATE: November 8, 2019

GOVERNING AGENCY WITH REVIEW AUTHORITY:

City: Milwaukee
County: Milwaukee County

CHAPTER 3
Occupancy Classification(s): R
Primary: Apartment building

CHAPTER 5 (Refer to CHAPTER 6 'Types of Construction', to determine construction type before proceeding)

Type of Construction: 3B

Occupancy Separation(s) (If Required, Table 508.3.3):

Full Automatic Sprinkler System (refer to Chapter 9 for additional requirements / exceptions): YES NO

Total Stories and Floor Area Allowed (without increases, Table 503): Two stories

Total Floor Area: NEW 0 EXISTING 4,070

CHAPTER 6
Select Construction Type: 3B

Fire Resistive Requirements (Table 601, per construction type selected):

Fire Resistance Rating for exterior walls (Table 602, per construction type selected):

Fire separation distance: No buildings in direct vicinity

Fire resistance rating (HR): Not required but exterior walls are 1 hour rated

CHAPTER 7
Wall and Opening Protections:

Allowable Area of Exterior Wall Openings (%) (Refer to Table 704.8): Existing

Are exterior wall openings required to be protected? (If yes, see section 704.): No

Interior Glazing Requirements and / or Limitations (See Section 715.4, 715.4.3 and 715.4.4)

Exceptions and Special Conditions: None

See floor plan for fire-resistance-rated construction notation and locations.

CHAPTER 8
Interior wall & Ceiling Finish Requirements (Refer to Table 803.5, per sprinklered or non-sprinklered construction):

CHAPTER 9

This building is Sprinklered Non-Sprinklered

See Life Safety floor plan for proposed fire extinguisher locations (Refer to Section 906, International Fire Code)

CHAPTER 10

Additional Reference for Exit Requirements and Compliance as Follows:

1005 - Egress width (Refer to Table 1005.1): 144" existing

1007 - Accessible Means of Egress: Proposed ramp to new accessible Unit A on first floor

1007.1 - Existing Building Exception allowed YES

1007.2.1 - Elevator Required as Accessible means of Egress NO

1007.6 - Area of Refuge required NO

1008 - Doors: Proposed stairway doors are 1 hour rated

1009 - Stairways: Proposed for 1 hour rated

1010 - Ramps: See site plan for more information on proposed ramp

1015 - Exit and Exit Access Doorways

1015.3 - Two exits required in boiler / mechanical area (also see 1015.4 and 1015.5): NO

1025 - Group A Occupancies: Proposed 1 hour rated

CHAPTER 11
See chapter 11 and ICC A117.1 for all design considerations applicable to the ADA & Accessibility Guidelines

1107.2 - Design: Proposed ramp to access proposed Unit A on first floor

1107.5.1.1 - Accessible units: At least one dwelling and sleeping unit must be accessible

CHAPTER 13
Off street parking required: NO

Building Setback Requirements:

Front Yard:

Side Yard:

Rear Yard:

Special:

Landscaping Requirements: None

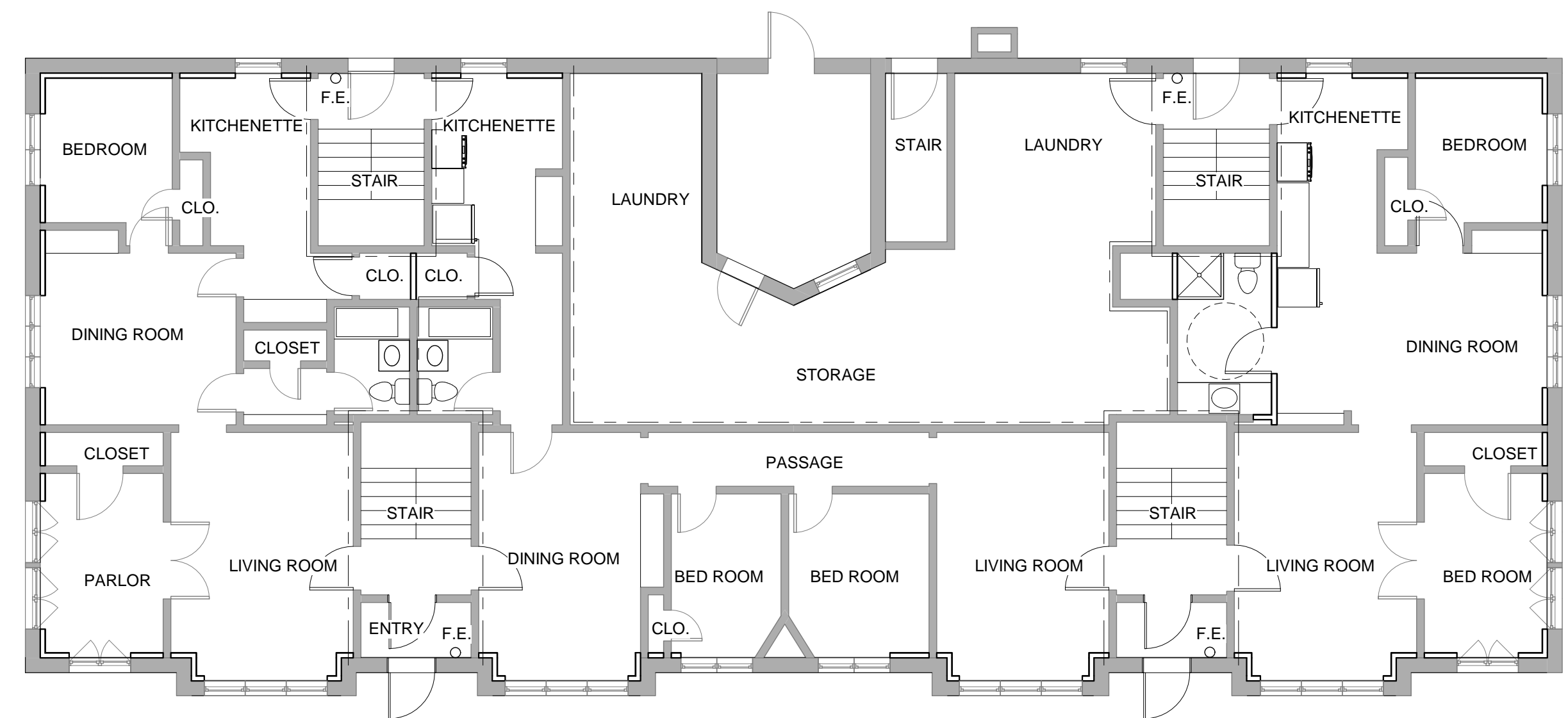
ADDITIONAL AGENCY REVIEWS

NOTES:

LIFE SAFETY LEGEND

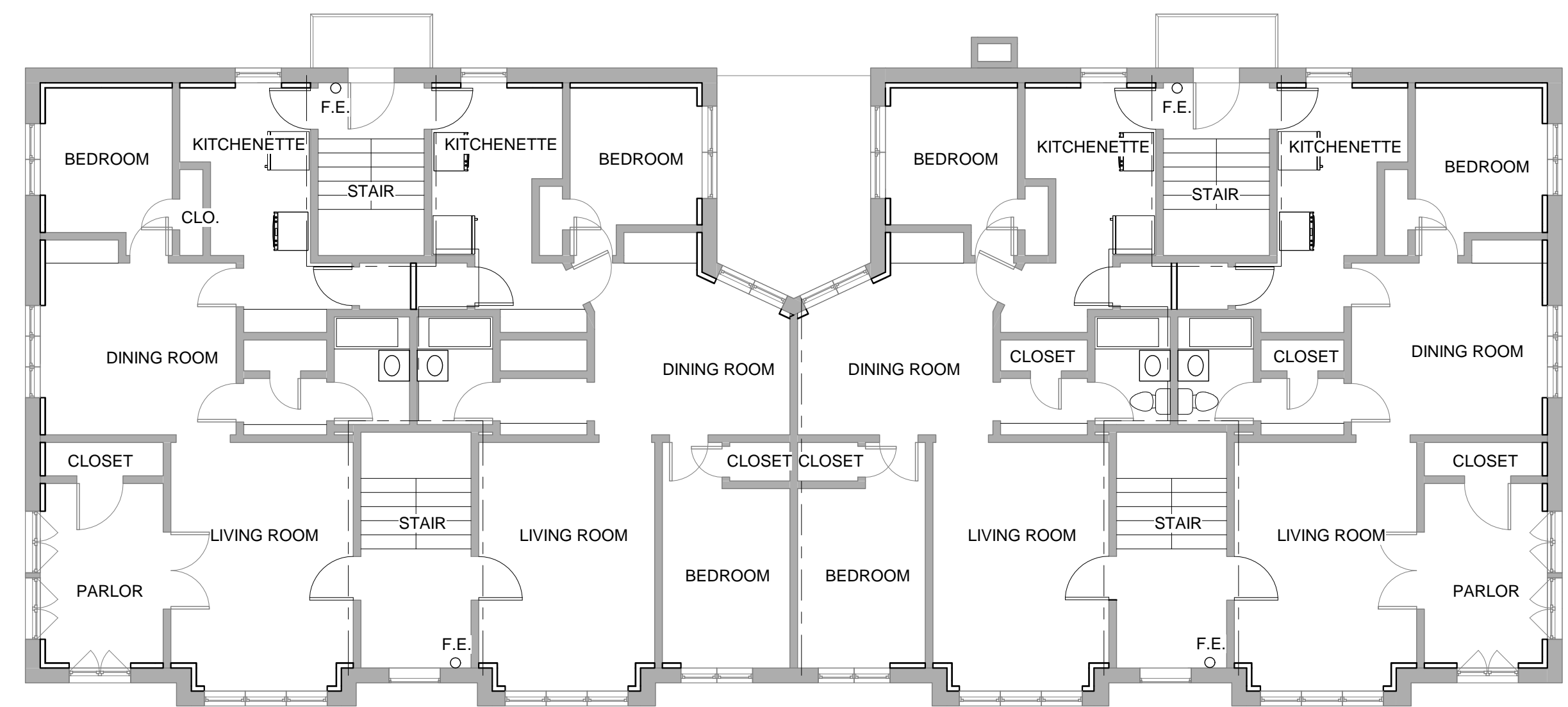
--- 1 HOUR RATED WALL

○ F.E. WALL MOUNTED FIRE EXTINGUISHER



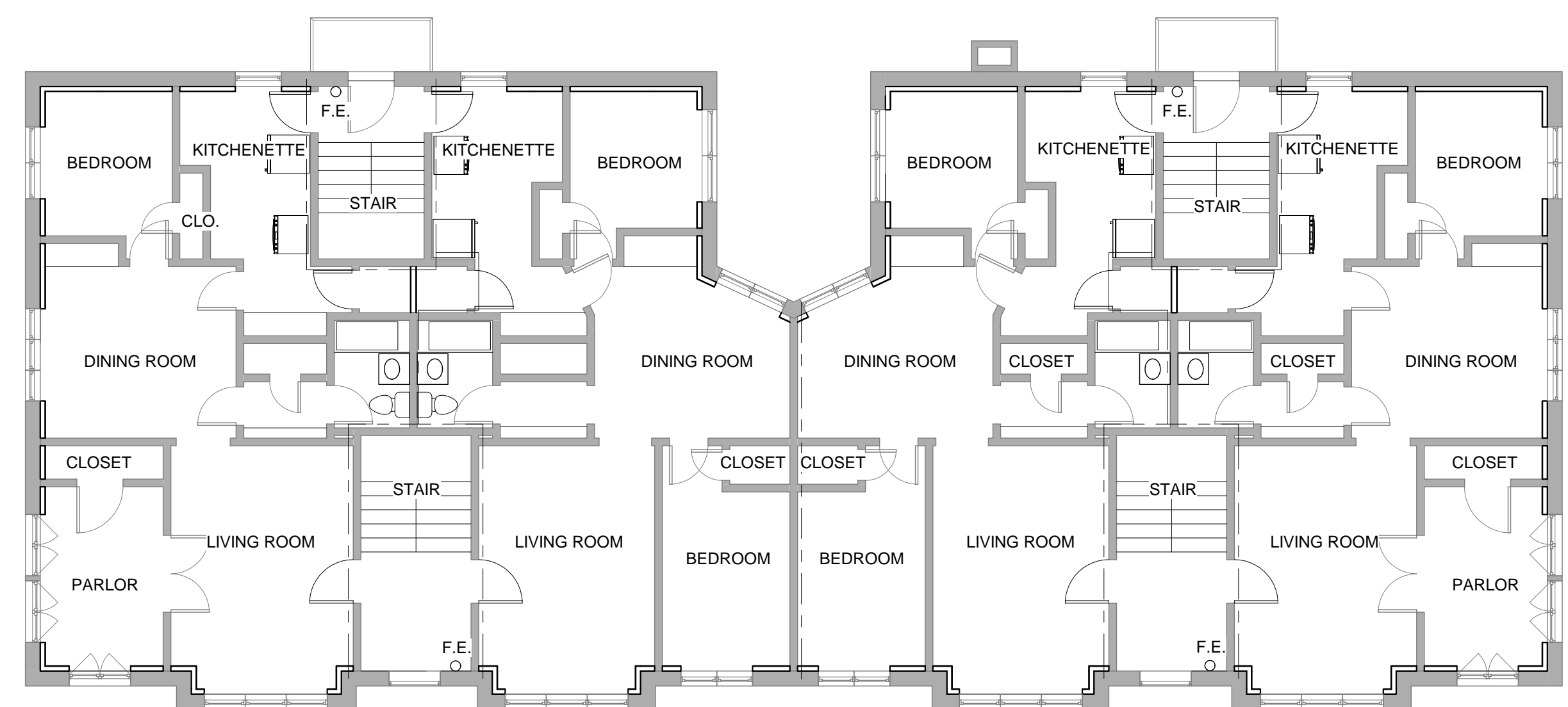
LIFE SAFETY FIRST FLOOR PLAN

1/8" = 1'-0"



LIFE SAFETY SECOND STORY PLAN

1/8" = 1'-0"



LIFE SAFETY THIRD FLOOR PLAN

1/8" = 1'-0"

T

REVISION TABLE	REVISED	DESCRIPTION
NUMBER	DATE	BY

LIFE SAFETY

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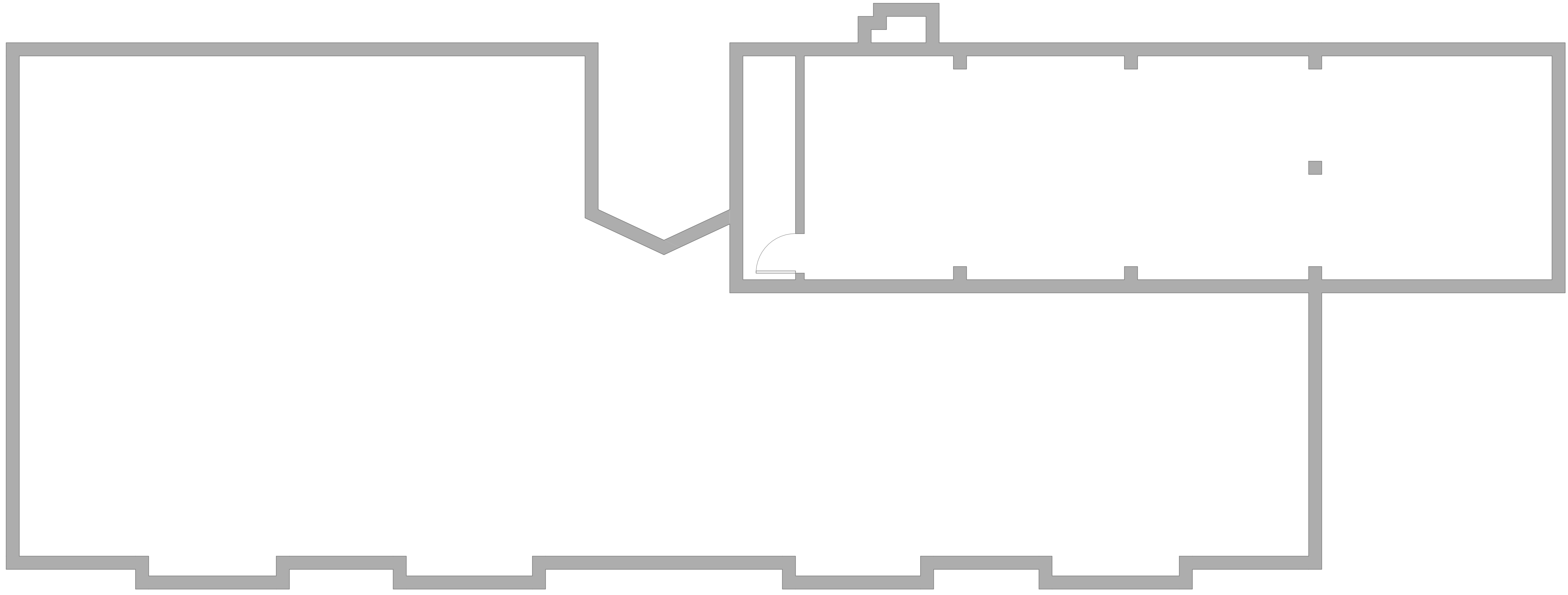
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11/12/2019

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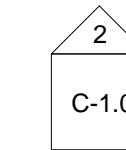
SHEET:

S-1.0



DEMOLITION BASEMENT PLAN

1/4" = 1'-0"



REVISION TABLE	NUMBER	DATE	REVISION	DESCRIPTION

BUILDING ALTERATIONS
 KILBOURNE APARTMENTS
 2804 W KILBOURNE AVE
 MADISON, WI

**DEMO BASEMENT
 PLAN**

DRAWINGS PROVIDED BY:
**TRENKLE
 ARCHITECTURE**

DATE:

11/12/2019

SCALE:

1/4" = 1'-0"

SHEET:

A-1.0

REVISION TABLE	REVISED	DESCRIPTION
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BUILDING ALTERATIONS
 KILBOURNE APARTMENTS
 2804 W KILBOURNE AVE
 MADISON, WI

DEMO FIRST FLOOR PLAN

DRAWINGS PROVIDED BY:
TRENKLE ARCHITECTURE

DATE:

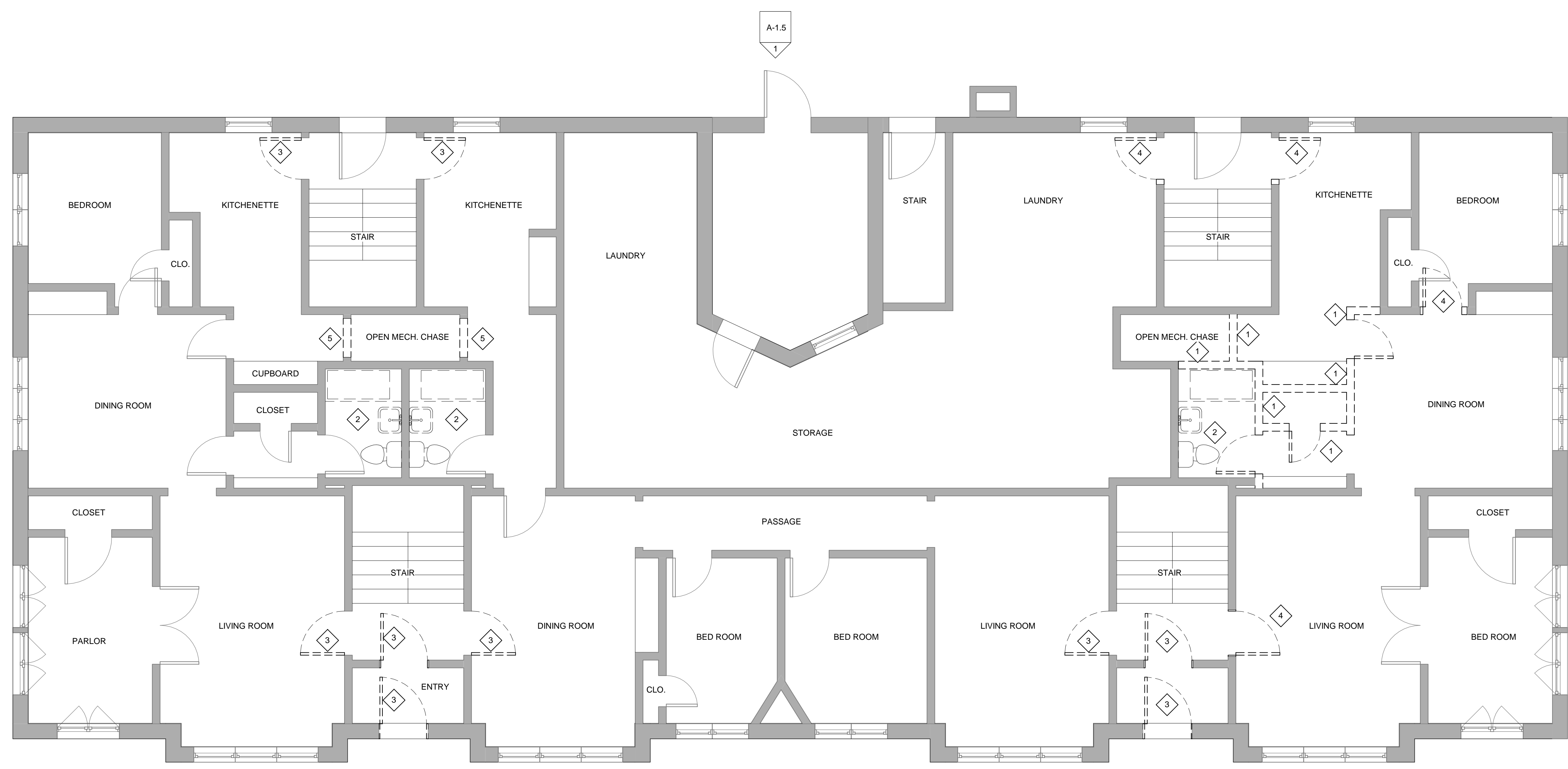
11/12/2019

SCALE:

1/4" = 1'-0"

SHEET:

A-1.1



DEMOLITION FIRST FLOOR PLAN
 1/4" = 1'-0"

DEMOLITION GENERAL NOTES:

1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION
2. CONFORM WITH ALL APPLICABLE LAWS, RULES, AND REGULATIONS
3. SEE DEMOLITION ELEVATIONS FOR WINDOWS TO BE REMOVED / REPAIRED

GENERAL PLAN NOTES

1. REMOVE WALLS AND DOORS SHOWN AS DASHED ON PLANS
2. REMOVE EXISTING TOILET, SINK AND TUB UNIT
3. REMOVE EXISTING DOOR, PREPARE FRAME FOR NEW DOOR
4. REMOVE EXISTING DOOR AND FRAME, ENLARGE OPENING FOR NEW 36" WIDE DOOR
5. REMOVE PORTION OF EXISTING WALL FOR NEW 30" WIDE DOOR

REVISION TABLE	REVISED	DESCRIPTION
NUMBER	DATE	BY

BUILDING ALTERATIONS
 KILBOURNE APARTMENTS
 2804 W KILBOURNE AVE
 MADISON, WI

DEMO SECOND FLOOR PLAN

DRAWINGS PROVIDED BY:
TRENKLE ARCHITECTURE

DATE:

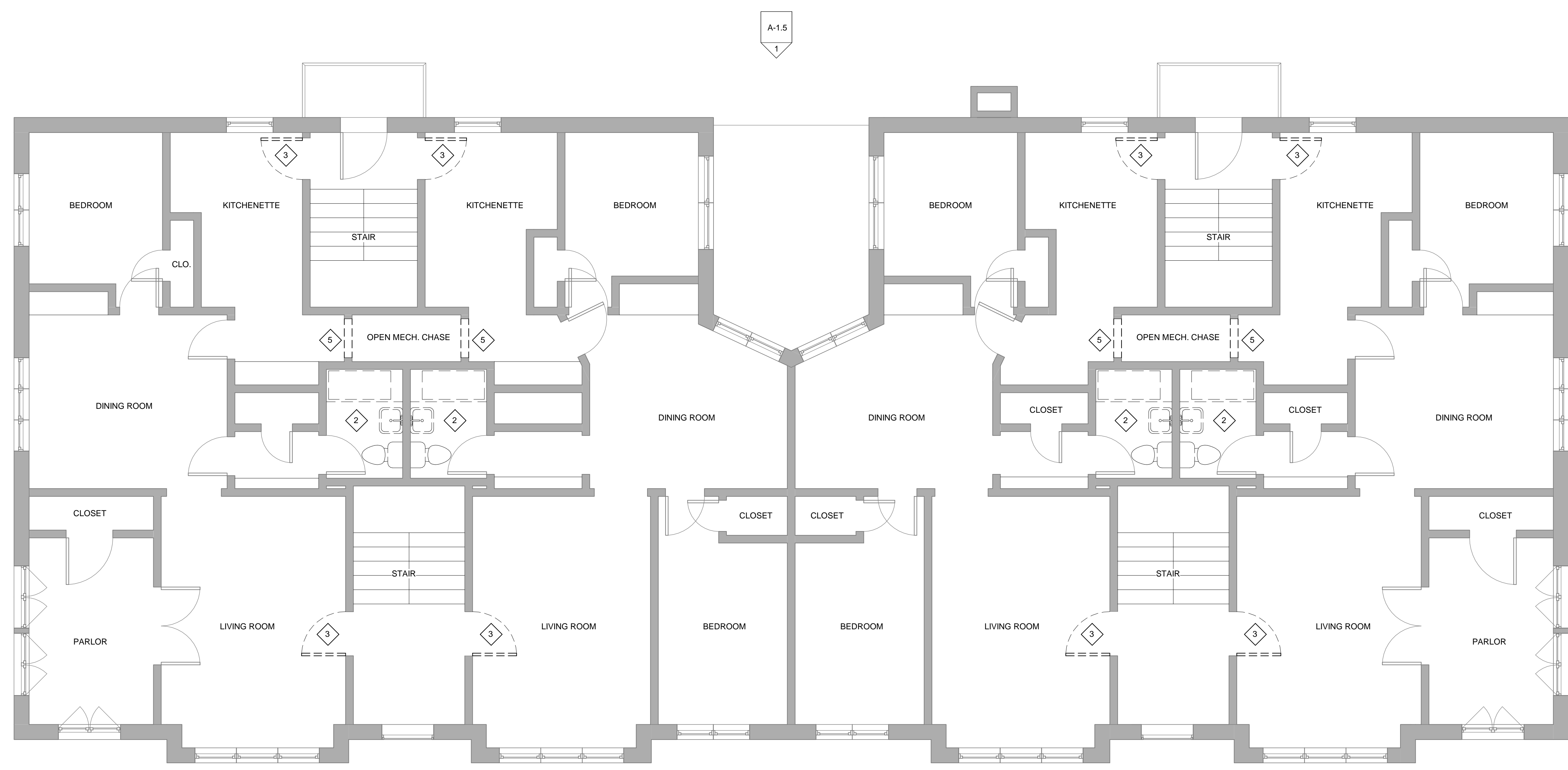
11/12/2019

SCALE:

1/4" = 1'-0"

SHEET:

A-1.2



DEMOLITION SECOND STORY PLAN
 1/4" = 1'-0"

- DEMOLITION GENERAL NOTES:**
1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION
 2. CONFORM WITH ALL APPLICABLE LAWS, RULES, AND REGULATIONS
 3. SEE DEMOLITION ELEVATIONS FOR WINDOWS TO BE REMOVED / REPAIRED

- GENERAL PLAN NOTES**
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BUILDING ALTERATIONS
 KILBOURNE APARTMENTS
 2804 W KILBOURNE AVE
 MADISON, WI

DEMO THIRD FLOOR PLAN

DRAWINGS PROVIDED BY:
TRENKLE ARCHITECTURE

DATE:

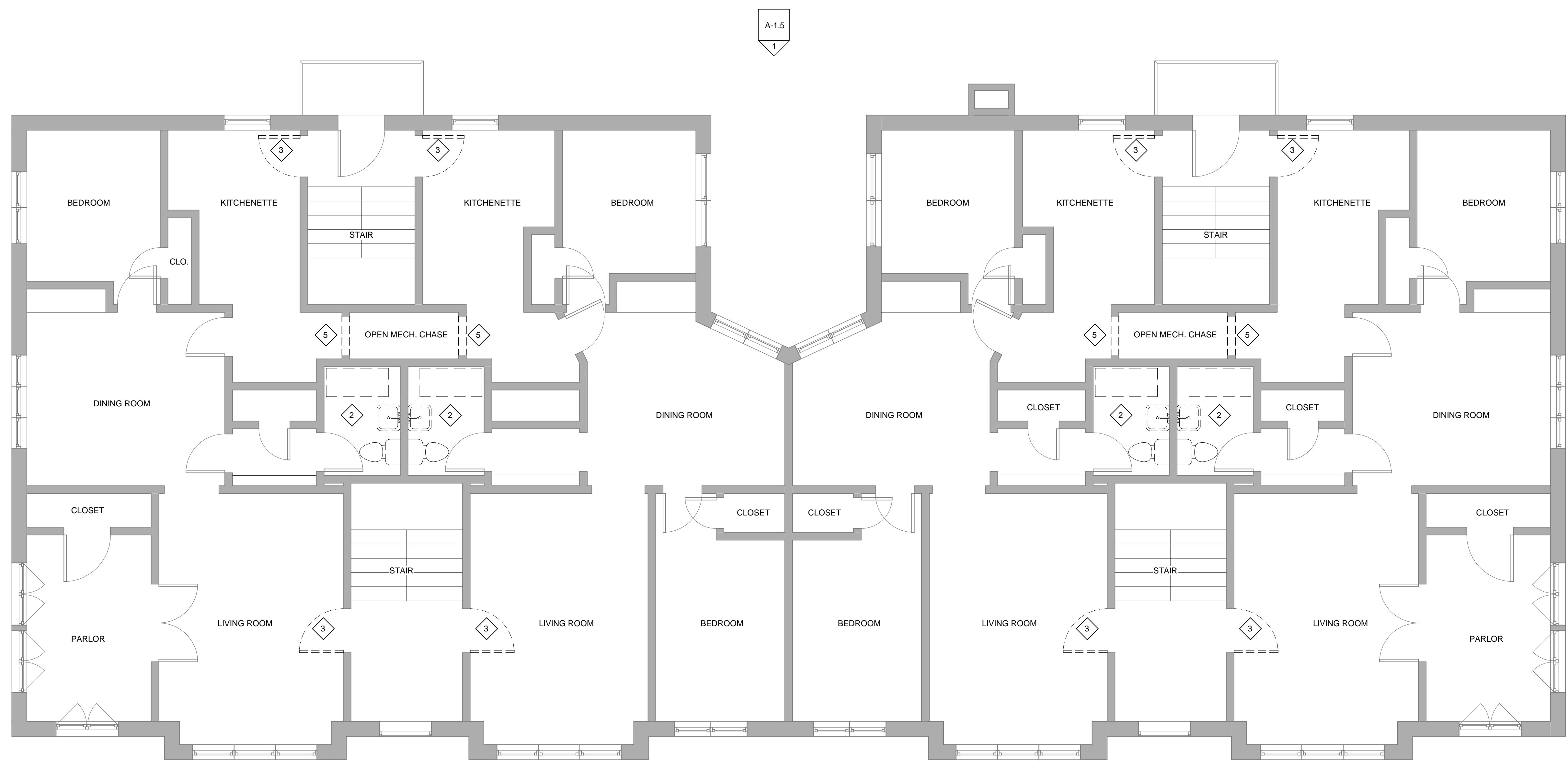
11/12/2019

SCALE:

1/4" = 1'-0"

SHEET:

A-1.3



DEMOLITION THIRD FLOOR PLAN

1/4" = 1'-0"

DEMOLITION GENERAL NOTES:

1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION
2. CONFORM WITH ALL APPLICABLE LAWS, RULES, AND REGULATIONS
3. SEE DEMOLITION ELEVATIONS FOR WINDOWS TO BE REMOVED / REPAIRED

GENERAL PLAN NOTES:

1. REMOVE WALLS AND DOORS SHOWN AS DASHED ON PLANS
2. REMOVE EXISTING TOILET, SINK AND TUB UNIT
3. REMOVE EXISTING DOOR, PREPARE FRAME FOR NEW DOOR
4. REMOVE EXISTING DOOR AND FRAME, ENLARGE OPENING FOR NEW 36" WIDE DOOR
5. REMOVE PORTION OF EXISTING WALL FOR NEW 30" WIDE DOOR



REVISION TABLE	
NUMBER	DATE

BUILDING ALTERATIONS
KILBOURNE APARTMENTS
2804 W KILBOURNE AVE
MADISON, WI

DEMO ROOF PLAN

DRAWINGS PROVIDED BY:
**TRENKLE
ARCHITECTURE**

DATE:

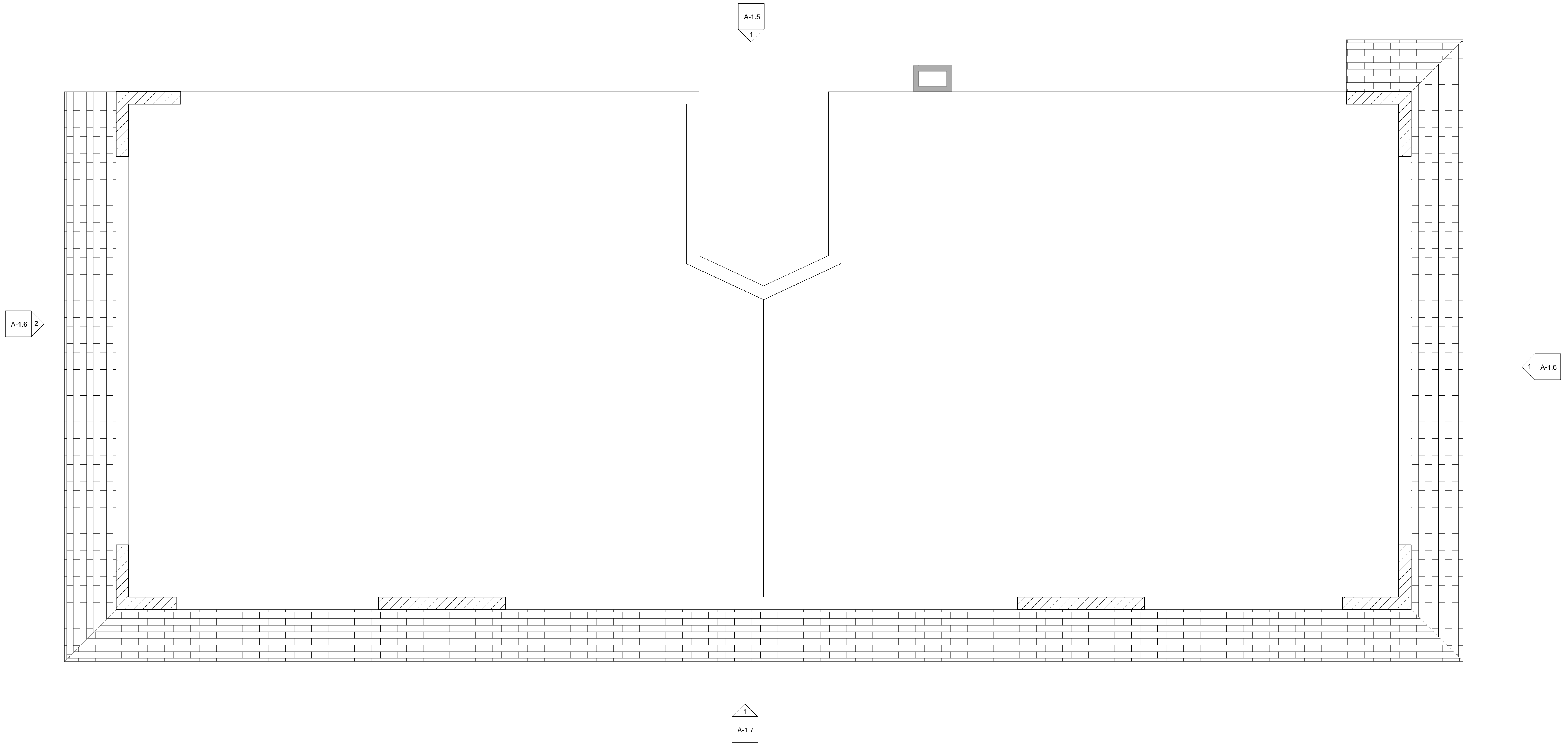
11/12/2019

SCALE:

1/4" = 1'-0"

SHEET:

A-1.4



DEMOLITION ROOF PLAN

1/4" = 1'-0"

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

BUILDING ALTERATIONS
KILBOURNE APARTMENTS
2804 W KILBOURNE AVE
MADISON, WI

DEMO EXT
ELEVATION

DRAWINGS PROVIDED BY:
**TRENKLE
ARCHITECTURE**

DATE:

11/12/2019

SCALE:

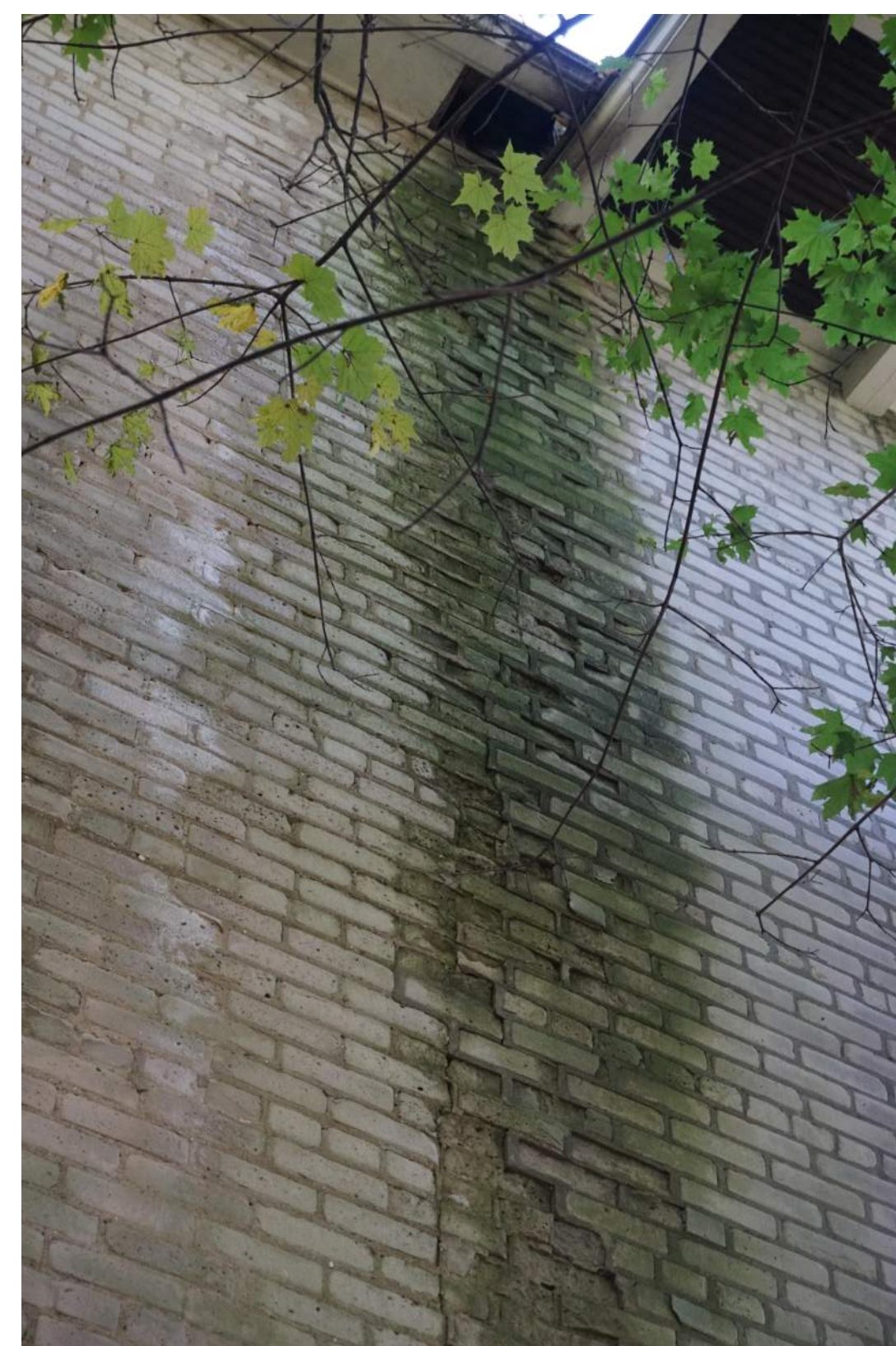
1/4" = 1'-0"

SHEET:

A-1.5



1 DEMOLITION NORTH (ALLEY SIDE)
1/4" = 1'-0"



DEMOLITION GENERAL NOTES:

1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION
2. CONFORM WITH ALL APPLICABLE LAWS, RULES, AND REGULATIONS
3. SEE DEMOLITION ELEVATIONS FOR WINDOWS TO BE REMOVED / REPAIRED

DEMOLITION ELEVATION KEYNOTES:

1. REBUILD BRICK PARAPET WITH BRICK AND MORTAR TO MATCH EXISTING. VERIFY WITH ARCHITECT AND IN FIELD, AND OBTAIN APPROVAL BY HISTORIC COMMITTEE PRIOR TO COMPLETION
2. REPOINT/REPAIR EXISTING BRICK CHIMNEY WITH BRICK AND MORTAR TO MATCH EXISTING. VERIFY WITH ARCHITECT AND IN FIELD, AND OBTAIN APPROVAL BY HISTORIC COMMITTEE PRIOR TO COMPLETION
3. REPOINT/REPAIR EXISTING BRICK WITH BRICK AND MORTAR TO MATCH EXISTING. VERIFY WITH ARCHITECT AND IN FIELD, AND OBTAIN APPROVAL BY HISTORIC COMMITTEE PRIOR TO COMPLETION
4. REPAIR EXISTING WINDOW TO HISTORICAL STANDARDS TO MATCH EXISTING WINDOWS IN STYLE, MATERIAL AND DIMENSIONS; SEE SHEET A-3.0 FOR MORE INFORMATION
5. REPLACE WINDOW IN ITS ENTIRETY WHERE DEEMED NECESSARY BY G.C. / OWNER / ARCHITECT / CITY WITH EXISTING MATCHED WINDOW; OBTAIN SHOP DRAWING APPROVAL BY ARCHITECT
6. PRESSURE WASH AND CLEAN RAILINGS, REPAIR AS NECESSARY AND PAINT



REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

BUILDING ALTERATIONS
KILBOURNE APARTMENTS
2804 W KILBOURNE AVE
MADISON, WI

**DEMO EXT
ELEVATIONS**

DRAWINGS PROVIDED BY:
**TRENKLE
ARCHITECTURE**

DATE:

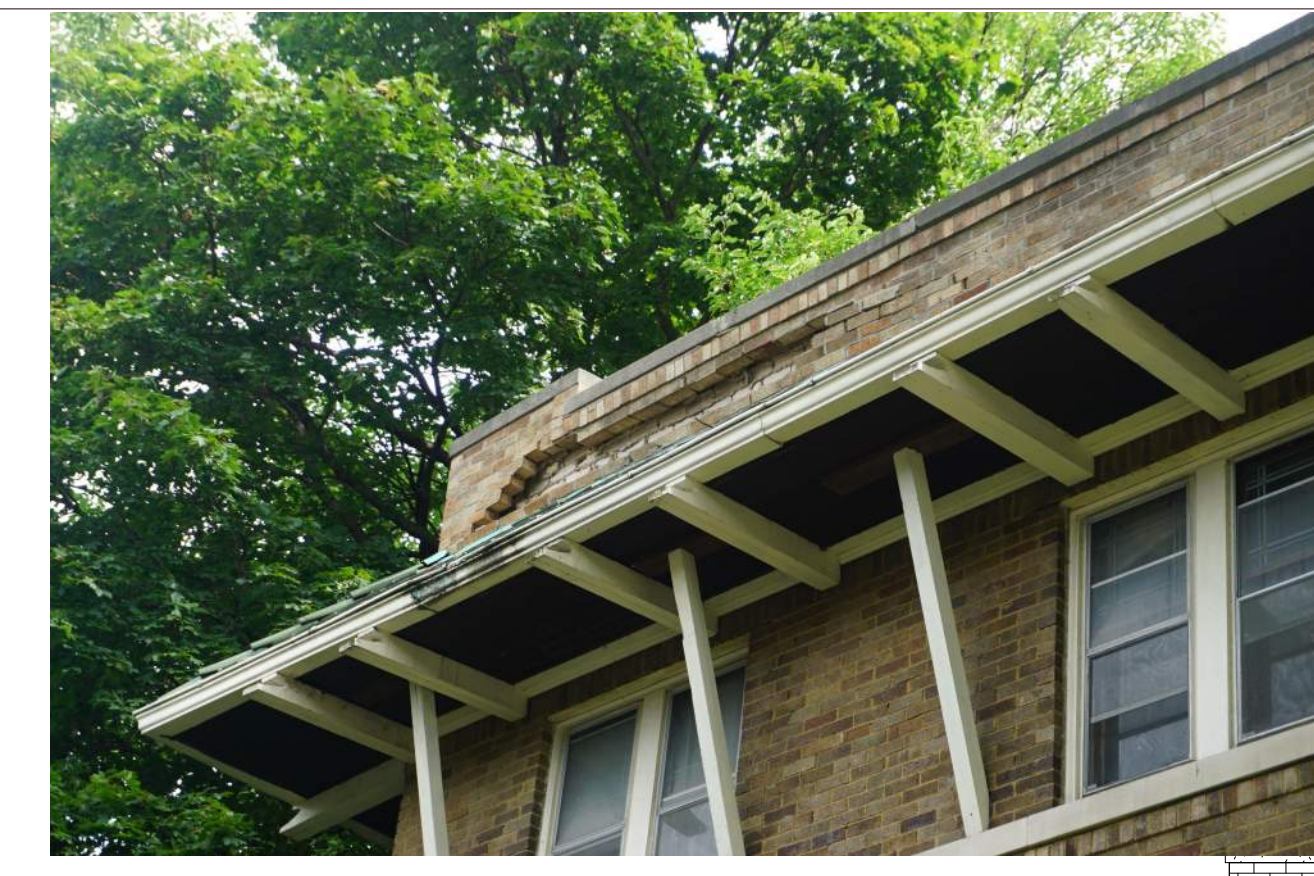
11/12/2019

SCALE:

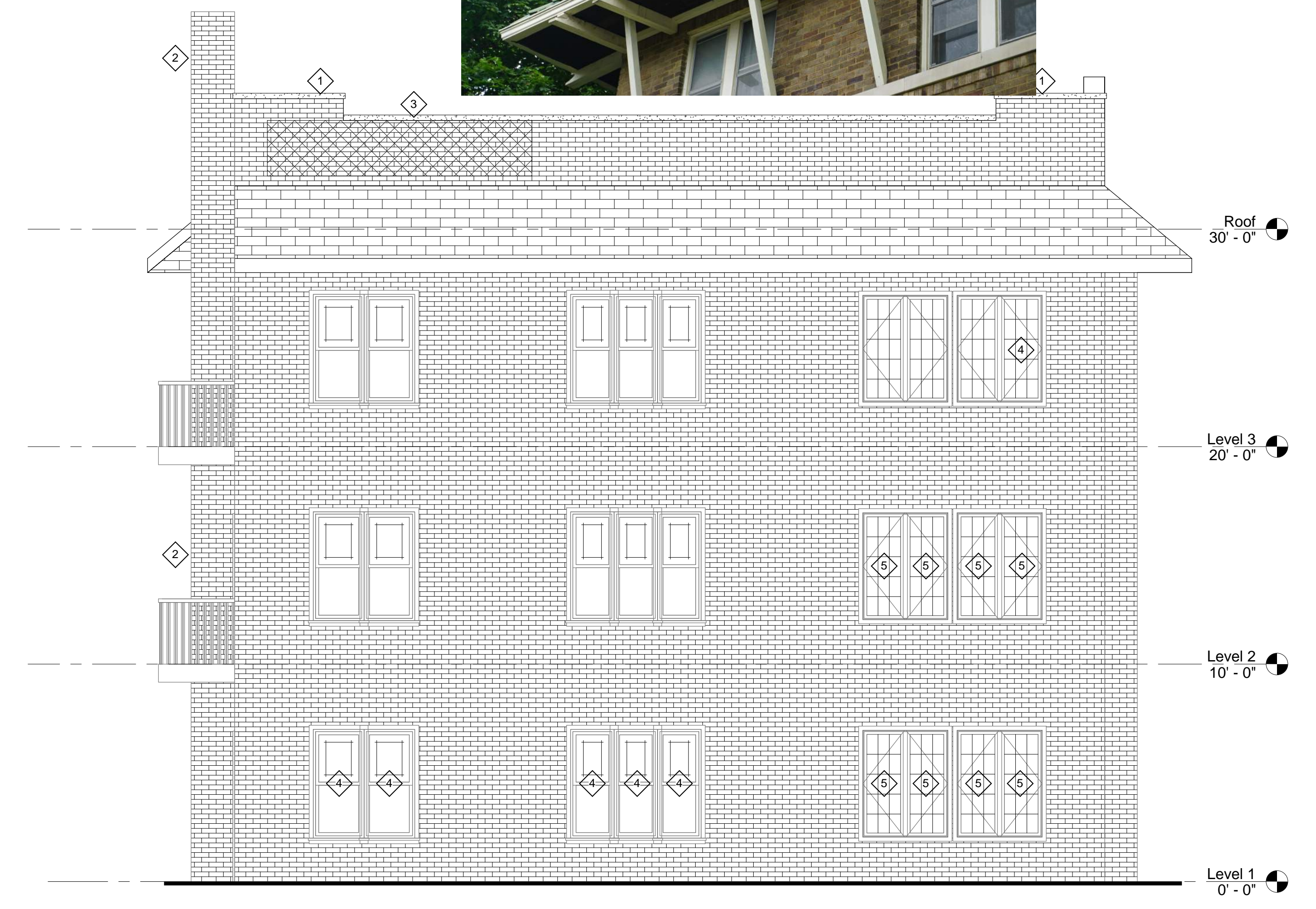
1/4" = 1'-0"

SHEET:

A-1.6



1 DEMOLITION EAST
1/4" = 1'-0"



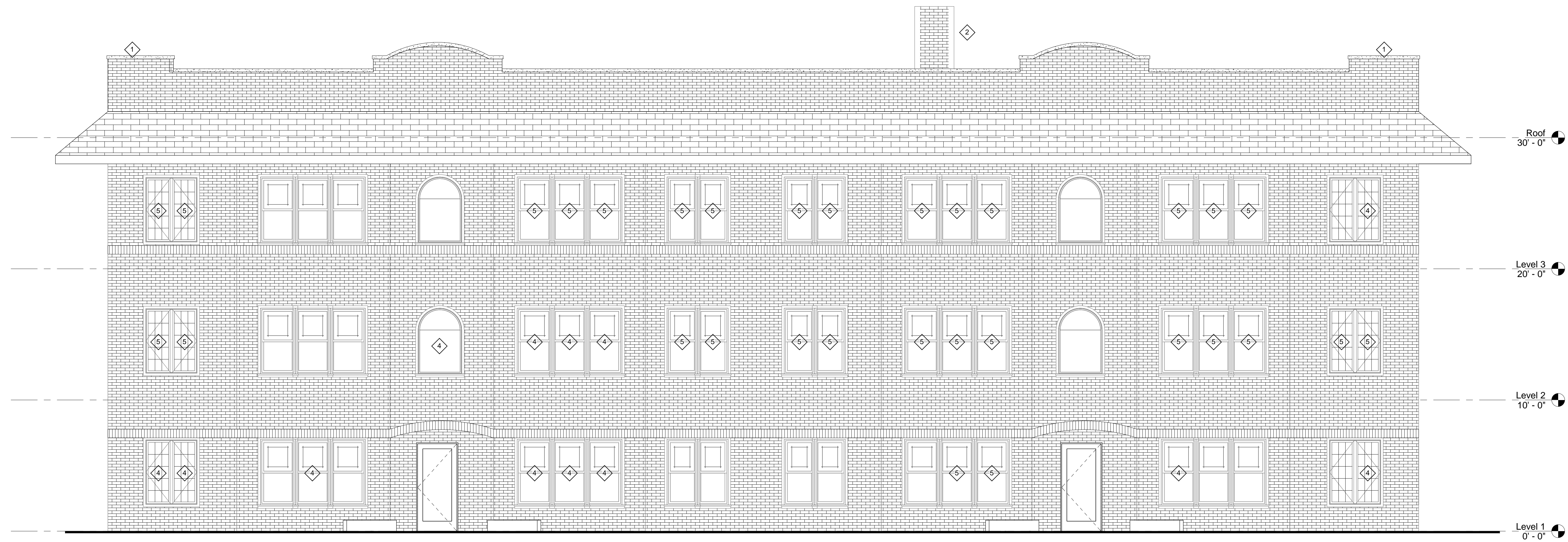
2 DEMOLITION WEST
1/4" = 1'-0"

DEMOLITION GENERAL NOTES:

1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION
2. CONFORM WITH ALL APPLICABLE LAWS, RULES, AND REGULATIONS
3. SEE DEMOLITION ELEVATIONS FOR WINDOWS TO BE REMOVED / REPAIRED

DEMOLITION ELEVATION KEYNOTES:

1. REBUILD BRICK PARAPET WITH BRICK AND MORTAR TO MATCH EXISTING. VERIFY WITH ARCHITECT AND IN FIELD, AND OBTAIN APPROVAL BY HISTORIC COMMITTEE PRIOR TO COMPLETION
2. REPOINT/REPAIR EXISTING BRICK CHIMNEY WITH BRICK AND MORTAR TO MATCH EXISTING. VERIFY WITH ARCHITECT AND IN FIELD, AND OBTAIN APPROVAL BY HISTORIC COMMITTEE PRIOR TO COMPLETION
3. REPOINT/REPAIR EXISTING BRICK WITH BRICK AND MORTAR TO MATCH EXISTING. VERIFY WITH ARCHITECT AND IN FIELD, AND OBTAIN APPROVAL BY HISTORIC COMMITTEE PRIOR TO COMPLETION
4. REPAIR EXISTING WINDOW TO HISTORICAL STANDARDS TO MATCH EXISTING WINDOWS IN STYLE, MATERIAL AND DIMENSIONS; SEE SHEET A-3.0 FOR MORE INFORMATION
5. REPLACE WINDOW IN ITS ENTIRETY WHERE DEEMED NECESSARY BY G.C. / OWNER / ARCHITECT / CITY WITH EXISTING MATCHED WINDOW; OBTAIN SHOP DRAWING APPROVAL BY ARCHITECT
6. PRESSURE WASH AND CLEAN RAILINGS, REPAIR AS NECESSARY AND PAINT



1 DEMOLITION SOUTH
1/4" = 1'-0"

- DEMOLITION GENERAL NOTES:**
1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION
 2. CONFORM WITH ALL APPLICABLE LAWS, RULES, AND REGULATIONS
 3. SEE DEMOLITION ELEVATIONS FOR WINDOWS TO BE REMOVED / REPAIRED

- DEMOLITION ELEVATION KEYNOTES:**
1. REBUILD BRICK PARAPET WITH BRICK AND MORTAR TO MATCH EXISTING. VERIFY WITH ARCHITECT AND IN FIELD, AND OBTAIN APPROVAL BY HISTORIC COMMITTEE PRIOR TO COMPLETION
 2. REPOINT/REPAIR EXISTING BRICK CHIMNEY WITH BRICK AND MORTAR TO MATCH EXISTING. VERIFY WITH ARCHITECT AND IN FIELD, AND OBTAIN APPROVAL BY HISTORIC COMMITTEE PRIOR TO COMPLETION
 3. REPOINT/REPAIR EXISTING BRICK WITH BRICK AND MORTAR TO MATCH EXISTING. VERIFY WITH ARCHITECT AND IN FIELD, AND OBTAIN APPROVAL BY HISTORIC COMMITTEE PRIOR TO COMPLETION
 4. REPAIR EXISTING WINDOW TO HISTORICAL STANDARDS TO MATCH EXISTING WINDOWS IN STYLE, MATERIAL AND DIMENSIONS; SEE SHEET A-3.0 FOR MORE INFORMATION
 5. REPLACE WINDOW IN ITS ENTIRETY WHERE DEEMED NECESSARY BY G.C. / OWNER / ARCHITECT / CITY WITH EXISTING MATCHED WINDOW; OBTAIN SHOP DRAWING APPROVAL BY ARCHITECT
 6. PRESSURE WASH AND CLEAN RAILINGS, REPAIR AS NECESSARY AND PAINT

REVISION TABLE	REVISED	DESCRIPTION
NUMBER	DATE	BY

BUILDING ALTERATIONS
KILBOURNE APARTMENTS
2804 W KILBOURNE AVE
MADISON, WI

DEMO EXT
ELEVATION

DRAWINGS PROVIDED BY:
TRENKLE
ARCHITECTURE

DATE:

11/12/2019

SCALE:

1/4" = 1'-0"

SHEET:

A-1.7



REVISION TABLE	REVISION	DESCRIPTION
NUMBER	DATE	BY

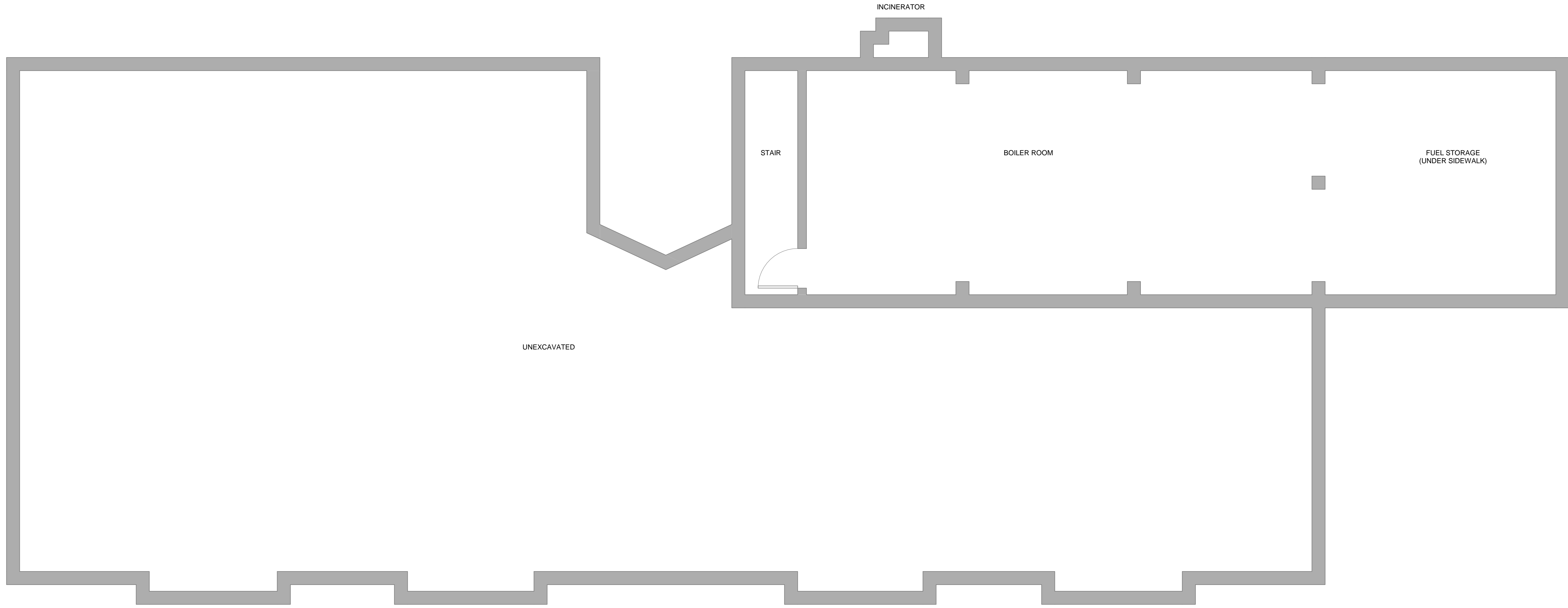
BASEMENT PLAN

DRAWINGS PROVIDED BY:
**TRENKLE
ARCHITECTURE**

DATE:
11/12/2019

SCALE:
1/4" = 1'-0"

SHEET:
A-2.0



BASEMENT PLAN
1/4" = 1'-0"

REVISION TABLE	REVISED	DESCRIPTION
NUMBER	DATE	BY

SECOND FLOOR PLAN

DRAWINGS PROVIDED BY:
TRENKLE ARCHITECTURE

DATE:

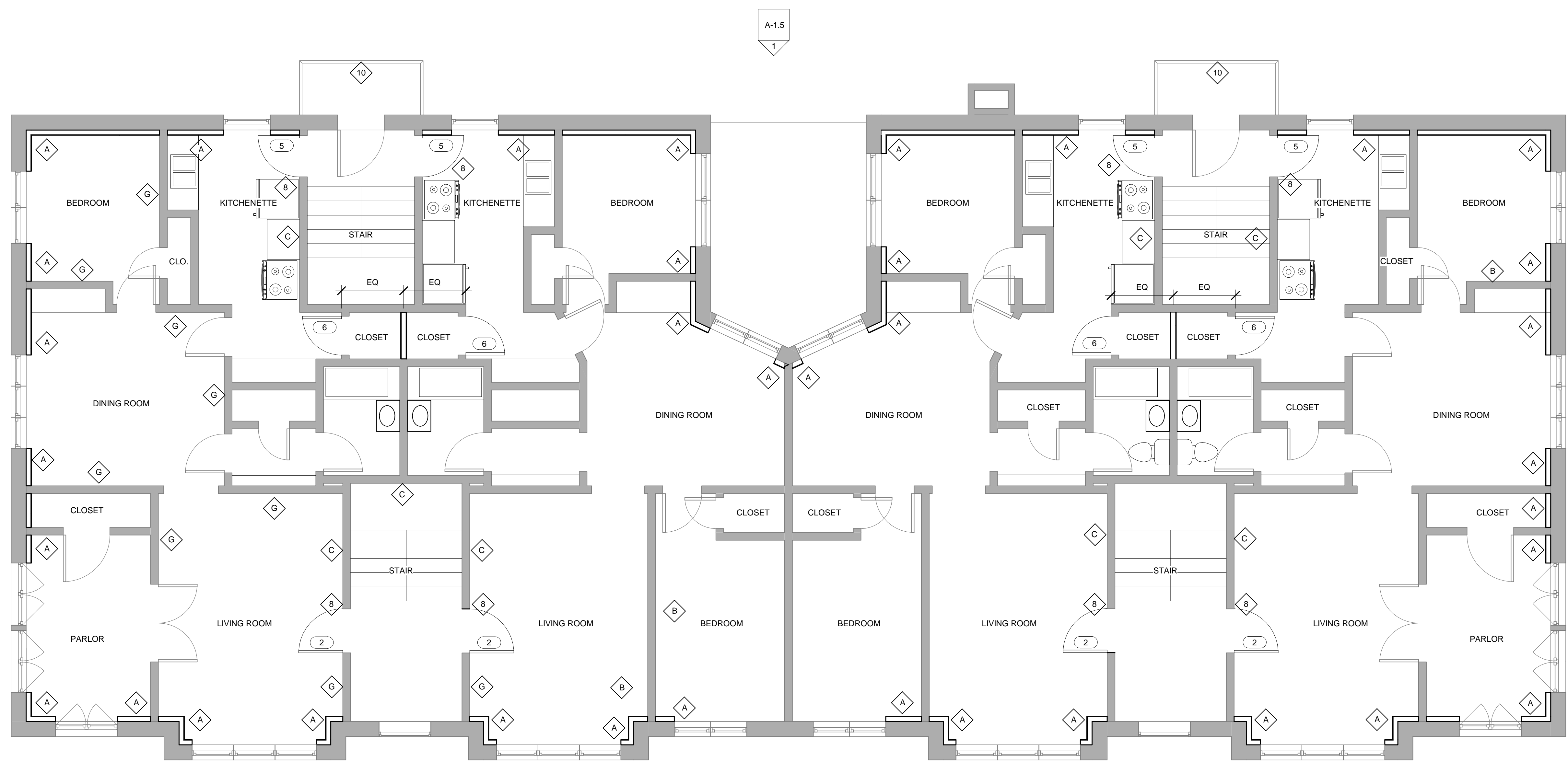
11/12/2019

SCALE:

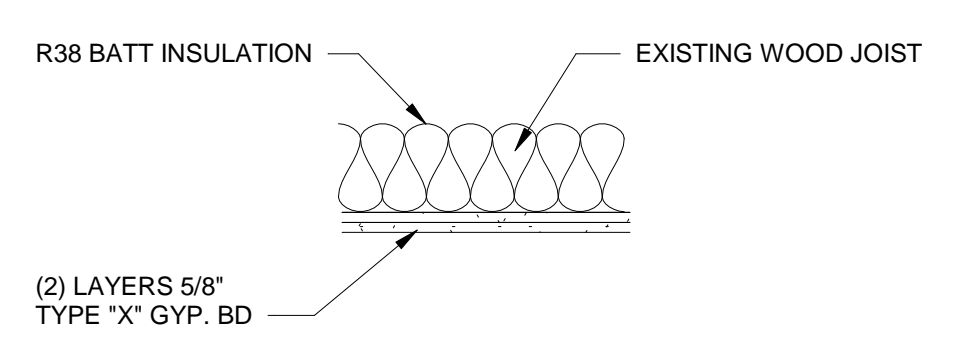
1/4" = 1'-0"

SHEET:

A-2.2



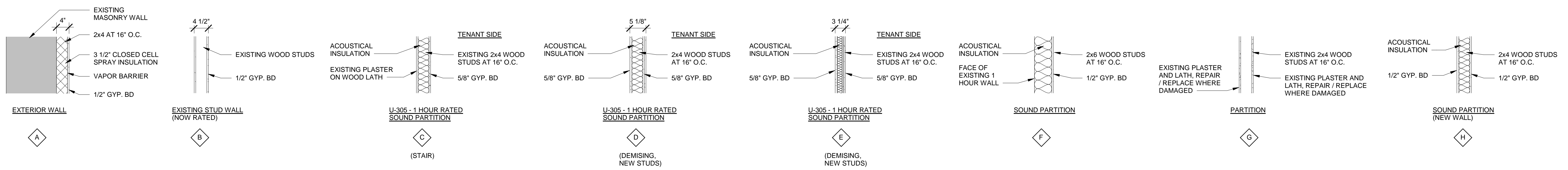
SECOND STORY PLAN
1/4" = 1'-0"



1 CEILING DETAIL
1" = 1'-0" 1 HOUR RATING

- GENERAL NOTES:
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION
 - ALL INTERIOR FINISHES, PLANES, LINES, AND CORNERS MUST BE STRAIGHT, NEAT, AND CLEAN, ANY SAME MATERIALS ABUTTING EACH OTHER MUST ALIGN. EDGES SHALL BE SHARP AND TRUE
 - PROVIDE ONLY NEW MATERIALS FOR CONSTRUCTION. VERIFY ALL FINISHES AND TEXTURES WITH OWNER. STORE AND INSTALL NEW MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S DETAILS, INSTRUCTIONS, AND RECOMMENDATIONS
 - CONFORM WITH ALL APPLICABLE LAWS, RULES, AND REGULATIONS
 - PROVIDE HVAC AND ELECTRICAL SYSTEMS AND COMPONENTS AT MINIMUM REQUIREMENTS SET BY AUTHORITY HAVING JURISDICTION. COORDINATE WITH OWNER FOR SPECIFIC DESIGN INTENT
 - USE MOISTURE RESISTANT GYPSUM BOARD FOR BATHROOM INTERIOR WALLS
 - ALL WALLS, WINDOWS AND DOORS SHOWN ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED
 - EXISTING EXTERIOR WALLS ARE 3 WYTHE BRICK (2 HOUR RATING)
 - SEE DETAIL 1 ON THIS SHEET FOR TYPICAL CEILING/FLOOR CONSTRUCTION

- PLAN KEYNOTES:
- NEW TOILET
 - 24" VANITY WITH OVERMOUNT CERAMIC SINK AND PLASTIC LAMINATE COUNTER TOP
 - FIBERGLASS TUB AND SHOWER SURROUND
 - 24" DISHWASHER
 - REMOVABLE BASE CABINET FOR FUTURE WHEEL CHAIR ACCESS
 - NEW ADA ACCESSIBLE ENTRANCE WITH RAMP, SEE 1/C-1.0
 -
 -
 - NEW 1 HOUR RATED HM DOOR PER SCHEDULE
 - REPOINT MASONRY AS NECESSARY CONFORMING WITH ALL HISTORICAL GUIDELINES
 - PRESSURE WASH AND CLEAN RAILINGS, REPAIR AS NECESSARY AND PAINT



WALL TYPES
3/4" = 1'-0"



REVISION TABLE	REVISED	DESCRIPTION
NUMBER	DATE	BY

ROOF PLAN

DRAWINGS PROVIDED BY:
TRENKLE ARCHITECTURE

DATE:

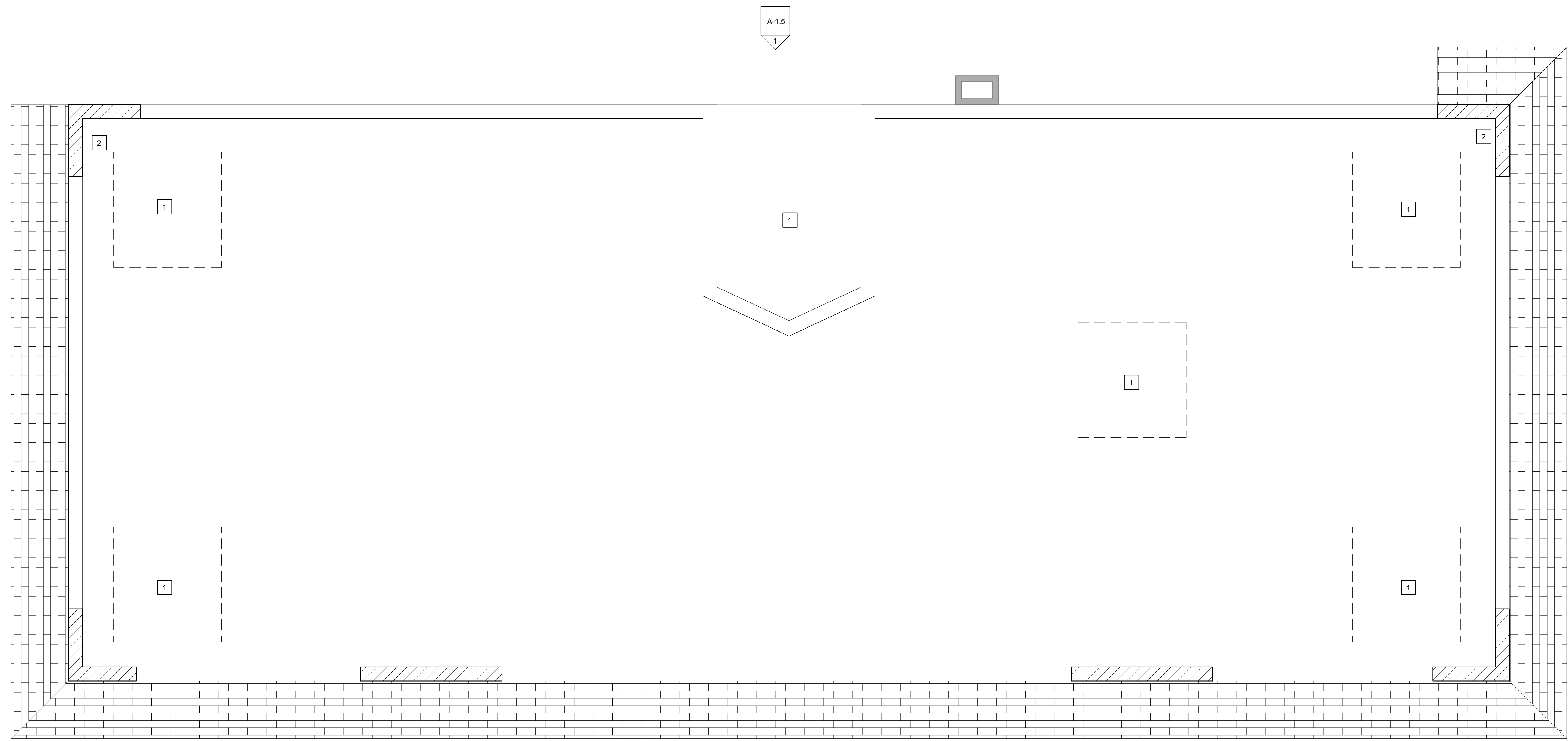
11/12/2019

SCALE:

1/4" = 1'-0"

SHEET:

A-2.4



ROOF PLAN

1/4" = 1'-0"

GENERAL NOTES:

1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION
2. ALL INTERIOR FINISHES, PLANES, LINES, AND CORNERS MUST BE STRAIGHT, NEAT, AND CLEAN; ANY SAME MATERIALS ABUTTING EACH OTHER MUST ALIGN. EDGES SHALL BE SHARP AND TRUE
3. PROVIDE ONLY NEW MATERIALS FOR CONSTRUCTION. VERIFY ALL FINISHES AND TEXTURES WITH OWNER. STORE AND INSTALL NEW MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S DETAILS, INSTRUCTIONS, AND RECOMMENDATIONS
4. CONFORM WITH ALL APPLICABLE LAWS, RULES, AND REGULATIONS
5. PROVIDE HVAC AND ELECTRICAL SYSTEMS AND COMPONENTS AT MINIMUM REQUIREMENTS SET BY AUTHORITY HAVING JURISDICTION. COORDINATE WITH OWNER FOR SPECIFIC DESIGN INTENT
6. USE MOISTURE RESISTANT GYPSUM BOARD FOR BATHROOM INTERIOR WALLS
7. ALL WALLS, WINDOWS AND DOORS SHOWN ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED
8. EXISTING EXTERIOR WALLS ARE 3 WYTHE BRICK (2 HOUR RATING)
9. SEE DETAIL 1 ON THIS SHEET FOR TYPICAL CEILING/FLOOR CONSTRUCTION

ROOF KEYNOTES

1. AREA OF FAILING ROOF MEMBRANE: REPAIR OR REPLACE AS NECESSARY
2. REBUILD BRICK PARAPET WITH BRICK AND MORTAR TO MATCH EXISTING. VERIFY WITH ARCHITECT AND IN FIELD, AND OBTAIN APPROVAL BY HISTORIC COMMITTEE PRIOR TO COMPLETION
- 3.



1 EAST
1/4" = 1'-0"



2 WEST
1/4" = 1'-0"

T

REVISION TABLE	REVISION	DESCRIPTION
NUMBER	DATE	BY

BUILDING
ELEVATIONS

DRAWINGS PROVIDED BY:
TRENKLE
ARCHITECTURE

DATE:

11/12/2019

SCALE:

1/4" = 1'-0"

SHEET:

A-2.6

T

REVISION TABLE	REVISED	DESCRIPTION
NUMBER	DATE	BY



1 SOUTH
1/4" = 1'-0"

BUILDING
ELEVATION

DRAWINGS PROVIDED BY:
TRENKLE
ARCHITECTURE

DATE:

11/12/2019

SCALE:

1/4" = 1'-0"

SHEET:

A-2.7

REVISION TABLE		REVISED	DESCRIPTION
NUMBER	DATE	BY	

WINDOW AND DOOR ELEVATIONS

DRAWINGS PROVIDED BY:
TRENKLE ARCHITECTURE

DATE:

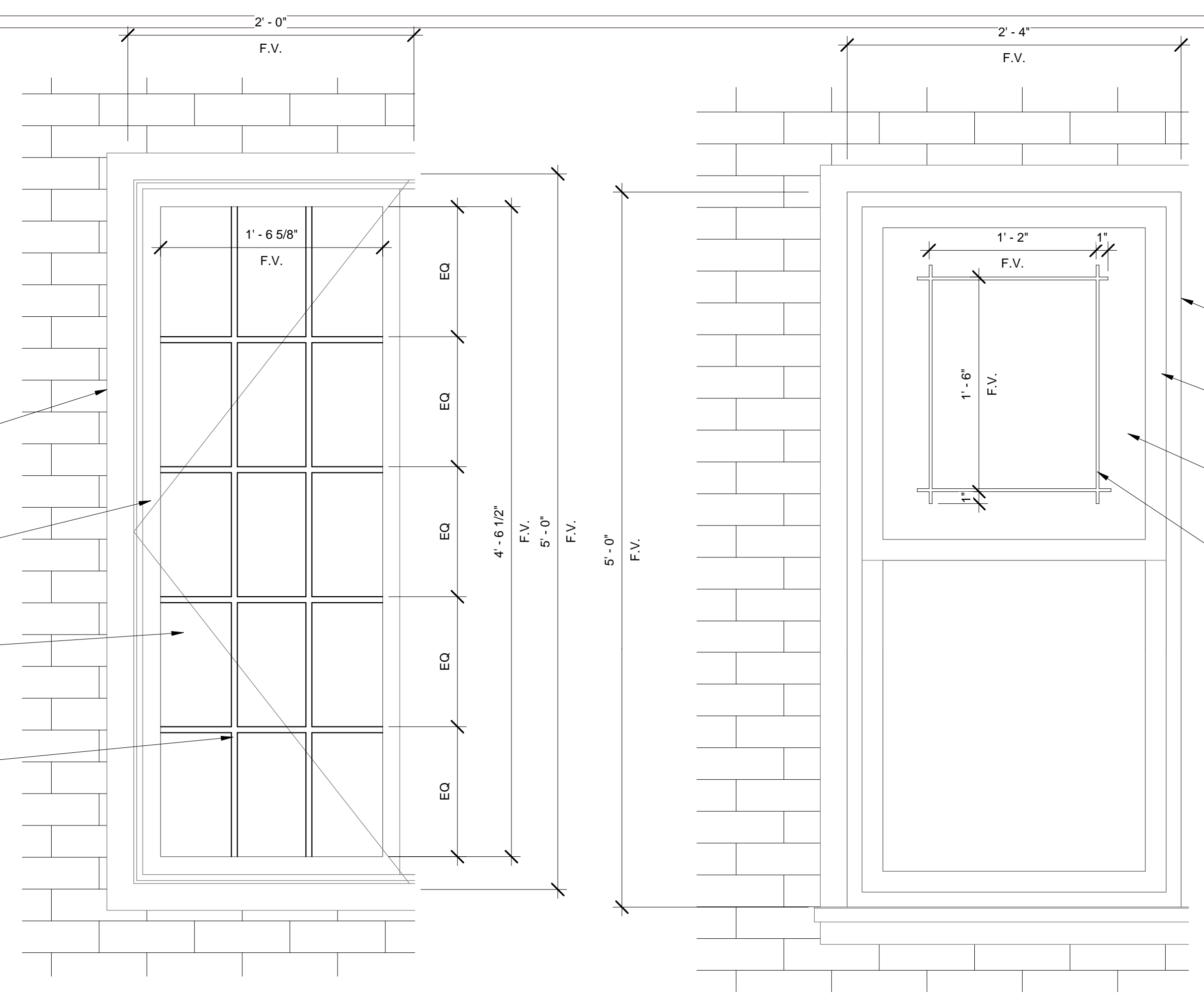
11/12/2019

SCALE:

1 1/2" = 1'-0"

SHEET:

A-3.0



1 CASEMENT WINDOW ELEVATION - TYPE A
1 1/2" = 1'-0"

2 DOUBLE HUNG WINDOW ELEVATION - TYPE B
1 1/2" = 1'-0"

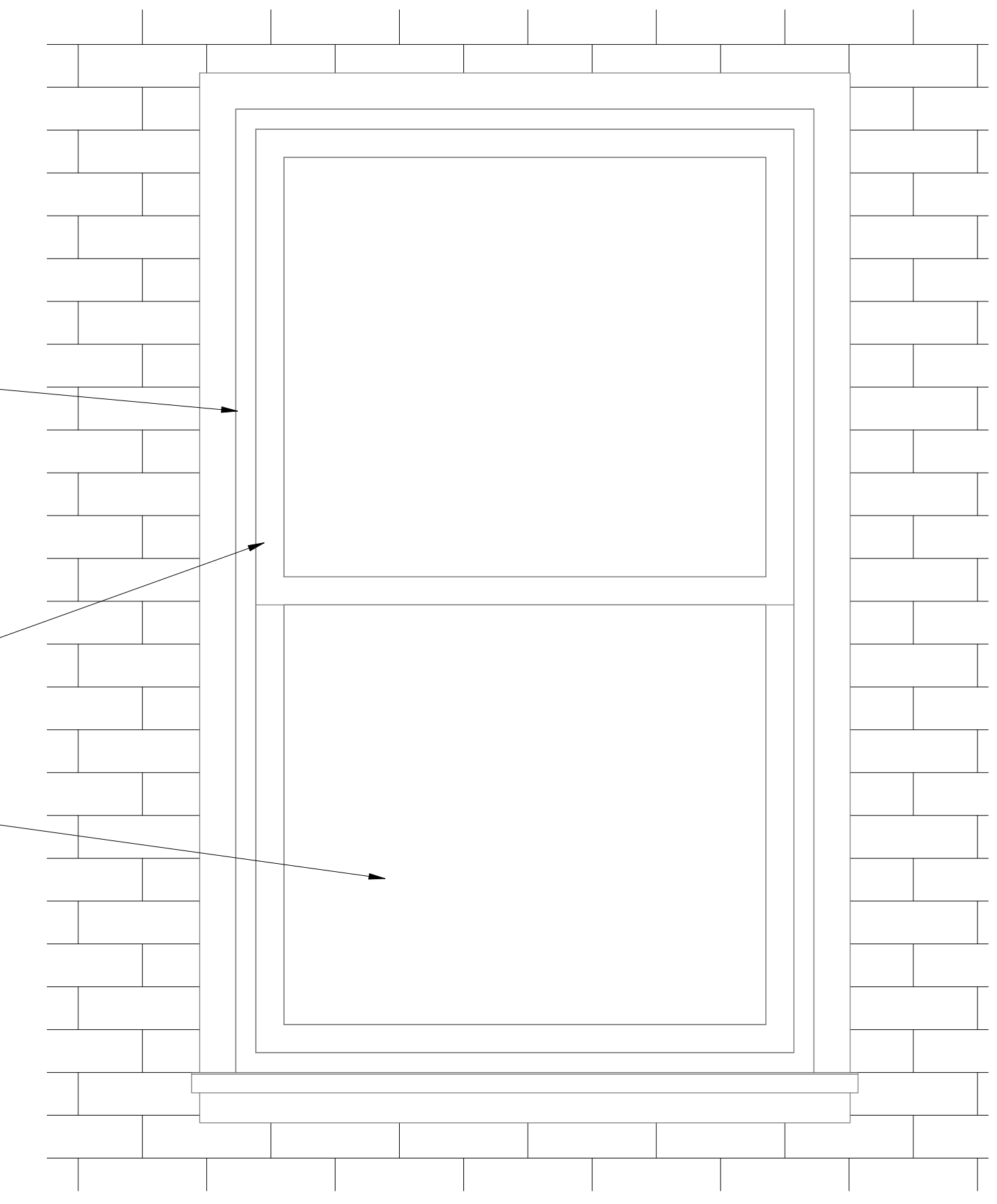


NEW TYPE B WINDOWS MUST MATCH EXISTING COMPLETELY. WINDOW MFR TO VERIFY DIMENSIONS AND MATERIAL OF EXISTING PRIOR TO MANUFACTURE

- REPAIR DAMAGED FRAME, INTERIOR AND EXTERIOR, REFINISH TO MATCH EXISTING
- REPAIR DAMAGED LEAF BODY, INTERIOR AND EXTERIOR, REFINISH TO MATCH EXISTING
- REPLACE DAMAGED GLASS PANES, RE-SEAL PANES TO MATCH EXISTING
- REPAIR DAMAGED MUNTINS, FINISH TO MATCH EXISTING

- REPAIR DAMAGED FRAME, INTERIOR AND EXTERIOR, REFINISH TO MATCH EXISTING
- REPAIR DAMAGED LEAF BODY, INTERIOR AND EXTERIOR, REFINISH TO MATCH EXISTING
- REPLACE DAMAGED GLASS PANES, RE-SEAL PANES TO MATCH EXISTING
- REPAIR DAMAGED MUNTINS, FINISH TO MATCH EXISTING

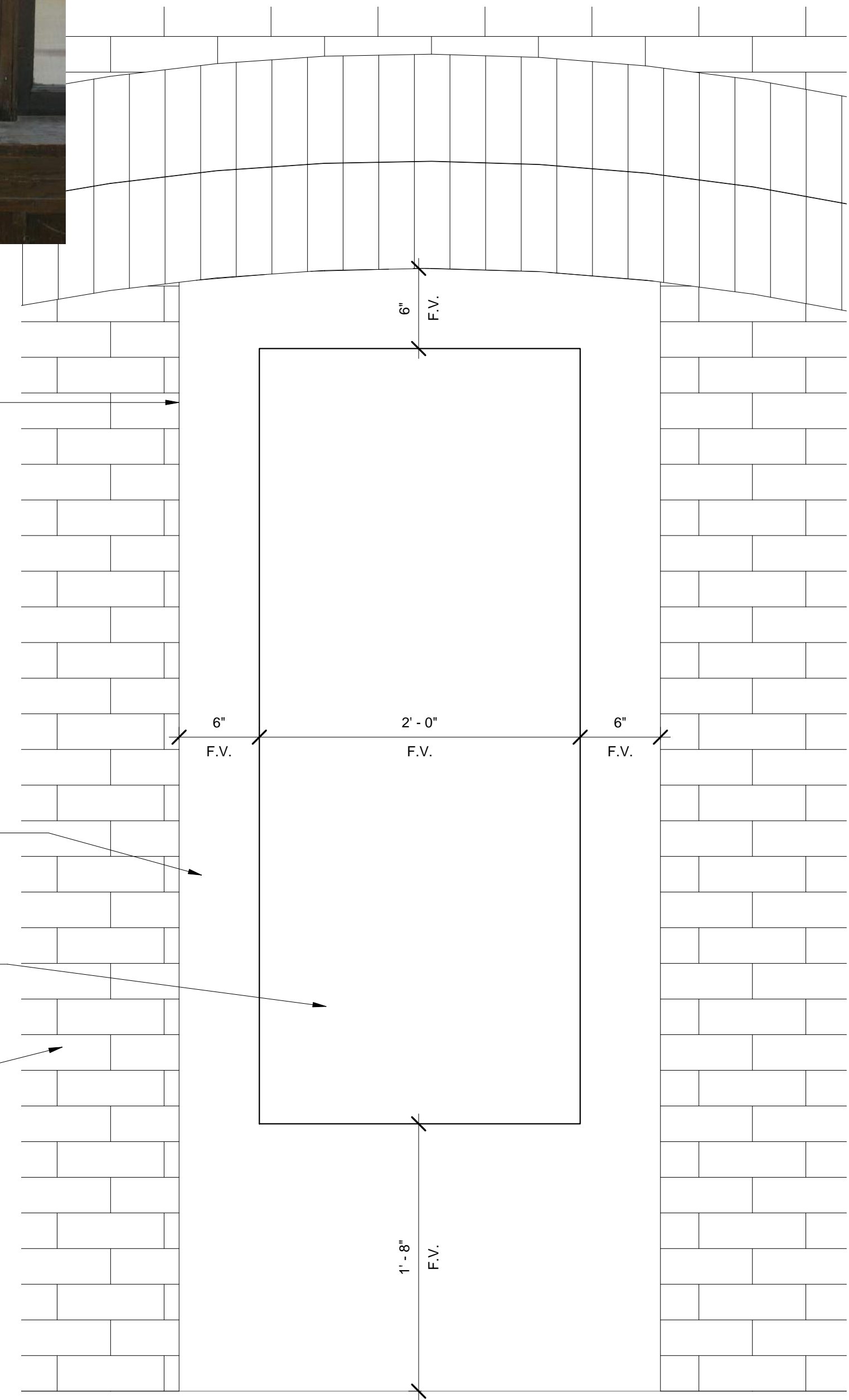
- REPAIR DAMAGED FRAME, INTERIOR AND EXTERIOR, REFINISH TO MATCH EXISTING
- REPAIR DAMAGED LEAF BODY, INTERIOR AND EXTERIOR, REFINISH TO MATCH EXISTING
- REPLACE DAMAGED GLASS PANES, RE-SEAL PANES TO MATCH EXISTING



4 DOUBLE HUNG WINDOW ELEVATION - TYPE C
1 1/2" = 1'-0"
NEW TYPE C WINDOWS MUST MATCH EXISTING COMPLETELY. WINDOW MFR TO VERIFY DIMENSIONS AND MATERIAL OF EXISTING PRIOR TO MANUFACTURE



NEW TYPE A WINDOWS MUST MATCH EXISTING COMPLETELY. WINDOW MFR TO VERIFY DIMENSIONS AND MATERIAL OF EXISTING PRIOR TO MANUFACTURE



- REPAIR DAMAGED FRAME, INTERIOR AND EXTERIOR, REFINISH TO MATCH EXISTING

- REPAIR DAMAGED DOOR BODY, INTERIOR AND EXTERIOR, REFINISH TO MATCH EXISTING
- REPLACE DAMAGED GLASS PANES, RE-SEAL PANES TO MATCH EXISTING
- EXISTING BRICK WALL

3 FRONT DOOR ELEVATION
1 1/2" = 1'-0"