



# The Marq - A Detailed Planned Development

2040 W. Wisconsin Avenue  
Milwaukee, WI 53233

PRA Project #140180-02 | July 14, 2015



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**Project Team**

**Owner:**

**C150 2040 West Wisconsin Avenue LLC**

A subsidiary of Campus Advantage, Inc.

110 Wild Basin Road

Suite 365

Austin, TX 78746

**Architect:**

**Plunkett Raysich Architects, LLP.**

209 S. Water Street

Milwaukee, WI 53204



## **Owner's Statement of Intent**

C150 2040 West Wisconsin Avenue LLC, a Delaware limited liability company, acquired the property at 2040 West Wisconsin Avenue in March of 2014. Now known and marketed as "The Marq," it is a 231 unit apartment community within close proximity of Marquette University's main campus and within five blocks of the academic core. The project sits on 2.05 acres. It was constructed in two phases: Phase One was built in 1956 as a seven story mid-rise medical office building and was converted to a 131-unit, 372-bed apartment building in 2006. Phase Two, which consists of 100 units and 240 beds, was built in 2009 as a five story-midrise apartment building. In total, The Marq consists of 231 units with an average unit size of 908 square feet, providing 235,266 square feet of total residential space. In addition to the apartments, there are 175 residential parking spaces, as well as 2,453 square feet of retail space that is currently 100% occupied. Since acquisition in March of 2014, the property owners have spent over \$1,300,000 in capital improvements to the common area amenities and security of the property. Additions include controlled access entry, a new leasing area, improved social gathering areas, fitness on demand, a game room, lounge areas, a clerk-less convenience store, computer labs and tanning beds, all intended to make the property more attractive to students seeking a high-quality living experience. Although the property is marketed to students of Marquette and UW-Milwaukee, Fair Housing laws require that the property not exclude anyone that wants to lease at the property who meets rental guidelines.

C150 2040 West Wisconsin Avenue LLC is a subsidiary of Campus Advantage, a corporation with its principal offices in Austin, Texas. Campus Advantage was founded in March 2003 and is the 10th largest manager and 13th largest owner of student housing with 43 student housing assets located in 18 states and 32 markets.

The proposed Detailed Planned Development is consistent with the purposes of section 295-907, Milwaukee Ordinances, in that the property demonstrates flexibility in land development and is compatible with its surroundings and consistent with the City's Near West Side Area Comprehensive Plan, adopted March 19, 2004, and amended on March 3, 2009. The Comprehensive Plan is met in the following specific respects:

- Land Use Policy in the Plan encourages "residential above retail on commercial corridors and between intensively developed commercial nodes." The subject property accomplishes that objective.
- Further, the Plan states as policy for Commercial Uses that "street level, pedestrian-oriented commercial uses" and "residential apartments and condominiums above retail" uses are encouraged and that "residential uses along commercial corridors should be multi-story, densely developed, with minimal curb cuts along the commercial corridor." The Marq fully satisfies these policy objectives.
- The Plan directs that "building should be built-out to the street so that, collectively, the buildings on a block work together to define the pedestrian area and the street itself," "face the front façade of the principal building onto a public street" and "provide a clear entrance facing the primary street frontage" with the main entrance shall having a direct connection to the public sidewalk. The subject property satisfies these objectives, as well, with the main entrance directly adjoining the sidewalk along West Wisconsin Avenue.

Because a number of units in the property have four beds and may be occupied by persons not constituting a family, those units fall into the definition of a "rooming house" for purposes of the City of Milwaukee Zoning Ordinance. The current zoning of the property is RO2 (Residential and Office), and rooming houses are permitted as a special use in that zoning district. The property currently has an approved special use permit, but the property owner is seeking Detailed Plan Development approval to eliminate the potential risk that the special use approval would not be available in the future. The uncertainty of approval of the property's continued use can adversely affect the owner's ability to finance or sell the property. All other ancillary elements of the project now or in the future will conform to the requirements of the RO2 Zoning District.

The Marq is a substantial, high-quality asset serving Marquette University well and it is of substantial benefit to the Avenues West Neighborhood in which it is located. The certainty of its continued use as university student housing will encourage its ownership to continue making significant investments in its improvements and maintenance.

## **Detailed Plan Project Description**

1. Gross Land Area (GLA): 97,445sf (per survey dated 5/10/2011)
2. Maximum Area of Land Covered by Principal Buildings: 71,160sf (73% of GLA)
3. Maximum Area of Land for Parking, Drives and Parking Structures: 56,915sf (58% of GLA)
4. Minimum Area of Land for Landscaped Open Space: 17,604sf (18% of GLA)
5. Maximum Dwelling Unit Density and Total Area for Non-residential Users:
  - a. Building Density: Not Restricted per Section 295-505-2
    - i. Maximum Dwelling Unit density:  $97,445\text{sf} / 231 \text{ Dwelling Units} = 422\text{sf} / \text{ Dwelling Unit}$
    - ii. 505-2 Dimensional Variance - Granted per BOZA Record 28856 on 4/17/2008
  - b. Area for Non-residential users: 2,500sf
6. Number of Buildings: 2
7. Maximum Dwelling Units per Building:
  - a. South Building: 131 Units
  - b. North Building: 100 Units
8. Bedrooms per Unit:

There are one, two, three and four bedroom units. The units are arranged with one occupant per bedroom.

  - a. The south building has the following occupancy/unit breakdown:  
17 occupants in (17)-1 bedroom units; 82 occupants in (41)-2 bedroom units; 39 occupants in (13)-3 bedroom units; 240 occupants in (60)-4 bedroom units. A total of 378 occupants in the south building.
  - b. The north building has the following occupancy/unit breakdown:  
120 occupants in (60)-2 bedroom units; 120 occupants in (40)-3 bedroom units. A total of 240 occupants in the north building.
  - c. Combined total of 618 occupants in 618 bedrooms within 231 units for both buildings. Included are 60 rooming house (4 bedroom) units with a total of 240 occupants.

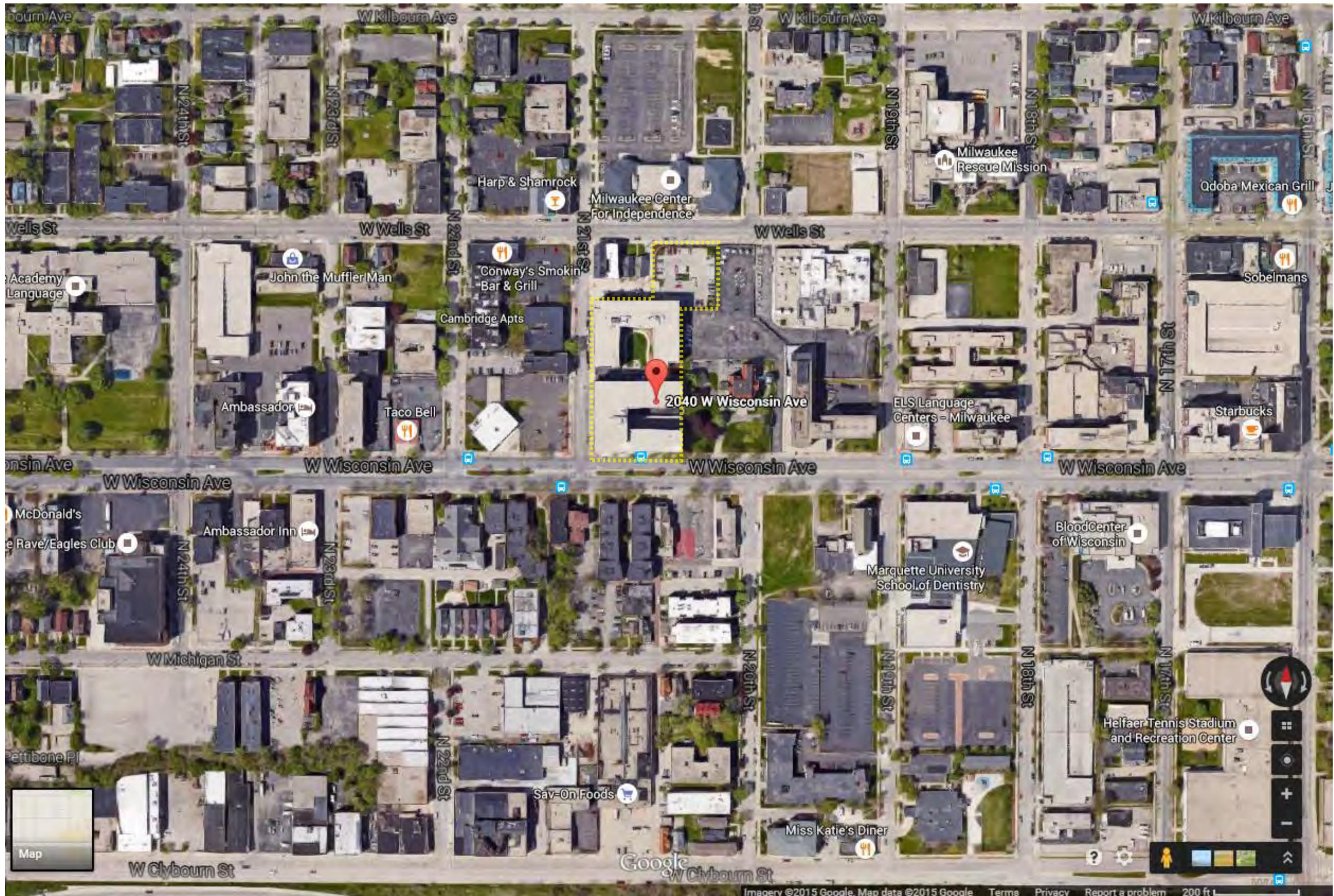
See charts of unit types and bedroom count distribution below:

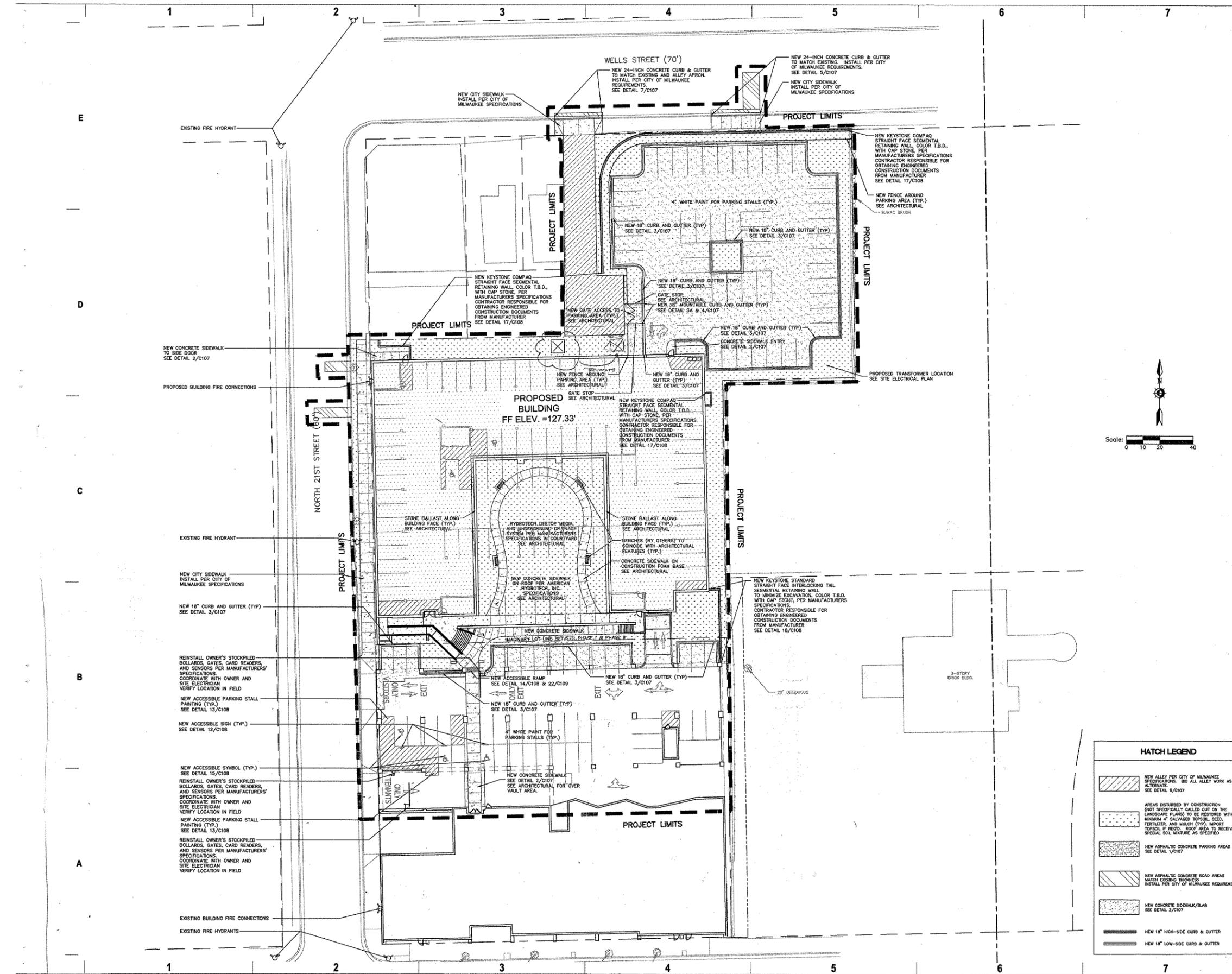
SOUTH BUILDING - UNIT STATISTICS																				
Unit Type	1A	1A.1	1B	2A	2B	2C	2D	2E	3A	3A.1	3B	3C	4A	4B	4C	4D	4E	4F	4G	TOTAL
Rms/Unit	1	1	1	2	2	2	2	2	3	3	3	3	4	4	4	4	4	4	4	
1st Floor	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2nd Floor	0	1	1	3	1	0	1	1	0	1	1	1	2	0	2	2	1	2	1	21
3rd Floor	2	0	1	4	1	1	1	0	1	0	1	0	2	1	2	2	1	2	0	22
4th Floor	2	0	1	4	1	1	1	0	1	0	1	0	2	1	2	2	1	2	0	22
5th Floor	2	0	1	4	1	1	1	0	1	0	1	0	2	1	2	2	1	2	0	22
6th Floor	2	0	1	4	1	1	1	0	1	0	1	0	2	1	2	2	1	2	0	22
7th Floor	2	0	1	4	1	1	1	0	1	0	1	0	2	1	2	2	1	2	0	22
Total Units	10	1	6	23	6	5	6	1	5	1	6	1	12	5	12	12	6	12	1	131
Total Bed Rms	10	1	6	46	12	10	12	2	15	3	18	3	48	20	48	48	24	48	4	378

NORTH BUILDING - UNIT STATISTICS																				
Unit Type	A	A.1	A.2	A.3	B	B.1	B.2	C	D											TOTAL
Rms/Unit	2	2	2	2	3	3	3	2	2											
1st Floor	0	2	7	1	0	2	6	1	1											20
2nd Floor	0	2	7	1	0	2	6	1	1											20
3rd Floor	7	2	0	1	6	2	0	1	1											20
4th Floor	7	2	0	1	6	2	0	1	1											20
5th Floor	7	2	0	1	6	2	0	1	1											20
Total Units	21	10	14	5	18	10	12	5	5											100
Total Bed Rms	42	20	28	10	54	30	36	10	10											240



9. Occupancy:
  - a. Current Occupancy
    - i. RO2 – Residential Office
    - ii. 603-1 Special Use – Rooming House - Granted per BOZA Record 27234 on 1/26/2006.
    - iii. 503-1 Special Use – Rooming House - Granted per BOZA Record 26439 on 3/31/2005.
  - b. Proposed Occupancy
    - i. Planned Development
  
10. Parking Spaces:
  - a. Parking Spaces Provided in Compliance with Milwaukee Zoning Ordinance (Table 295-403-2-a):
    - i. Total On-Site Parking Provided: 188 spaces
    - ii. Required parking is calculated on the basis of a ratio of 2 stalls for every 3 apartments, including the apartments falling under the “rooming house” designation. This method was approved as part of the Dimensional Variance granted by the Board of Zoning Appeals on April 17, 2008 (BOZA Record 28856). Under this approach, the on-site parking exceeds the requirement of 155 stalls.
  
11. Circulation, Parking, Loading and Trash Collection:
  - a. 137 resident parking spaces are provided under the North and South buildings on the ground level. An additional 51 spaces are provided at the North open parking lot. Access and exit from the parking areas is off of North 21th Street. The open parking lot is fenced and the entire parking area is accessed through the control gate on North 21th Street.
  - b. Residential trash and recycling is delivered down through trash chutes and is collected in trash rooms located within the parking areas under the buildings.
  - c. Retail delivery and access is off of West Wisconsin Avenue.
  
12. Uses:
  - a. The facility consists of 171 multi-family housing units, 60 rooming house units and with two restaurants. The rooming house component is an approved special use with permit number 15153. The permit expires 4/4/2020. All future commercial uses shall be uses permitted in the RO2 Zoning District.
  - b. The project received dimensional variances for site density and the use of metal panels on the façade. Site density based on the requirements for apartments (400 square feet per unit) was approved by the Board of Zoning Appeals on April 17, 2008 (BOZA Record 28856). The use of metal panels totaling 21% of the façade area on the West façade was also approved by the Board of Zoning Appeals on April 17, 2008 (BOZA Record 28856).
  
13. Signage:
  - a. The wall mounted permanent signage for the building, including the two restaurants are located along West Wisconsin Avenue and are compliant with the RO2 zoning designation, under Section 295-505-5 and with requirements under table 295-605-5 for NS2. All future signage will be consistent with the signage permitted in the RO2 zoning district.





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**PROJECT INFORMATION**  
 2040 LOFTS PHASE II

2040 W WISCONSIN  
 AVE  
 MILWAUKEE WI  
 53233



**ISSUANCE AND REVISIONS**  
 BID PACKAGE 1

**REVISIONS**

#	DATE	DESCRIPTION
1	03/25/08	BID PACKAGE 2

**KEY PLAN**



**KAPUR & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
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**SHEET INFORMATION**

PROJECT MANAGER MLL  
 PROJECT NUMBER 305001-03  
 DATE FEBRUARY 19, 2008

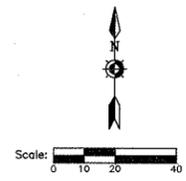
**SITE PLAN**

**C102**

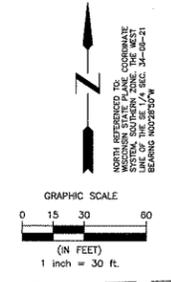
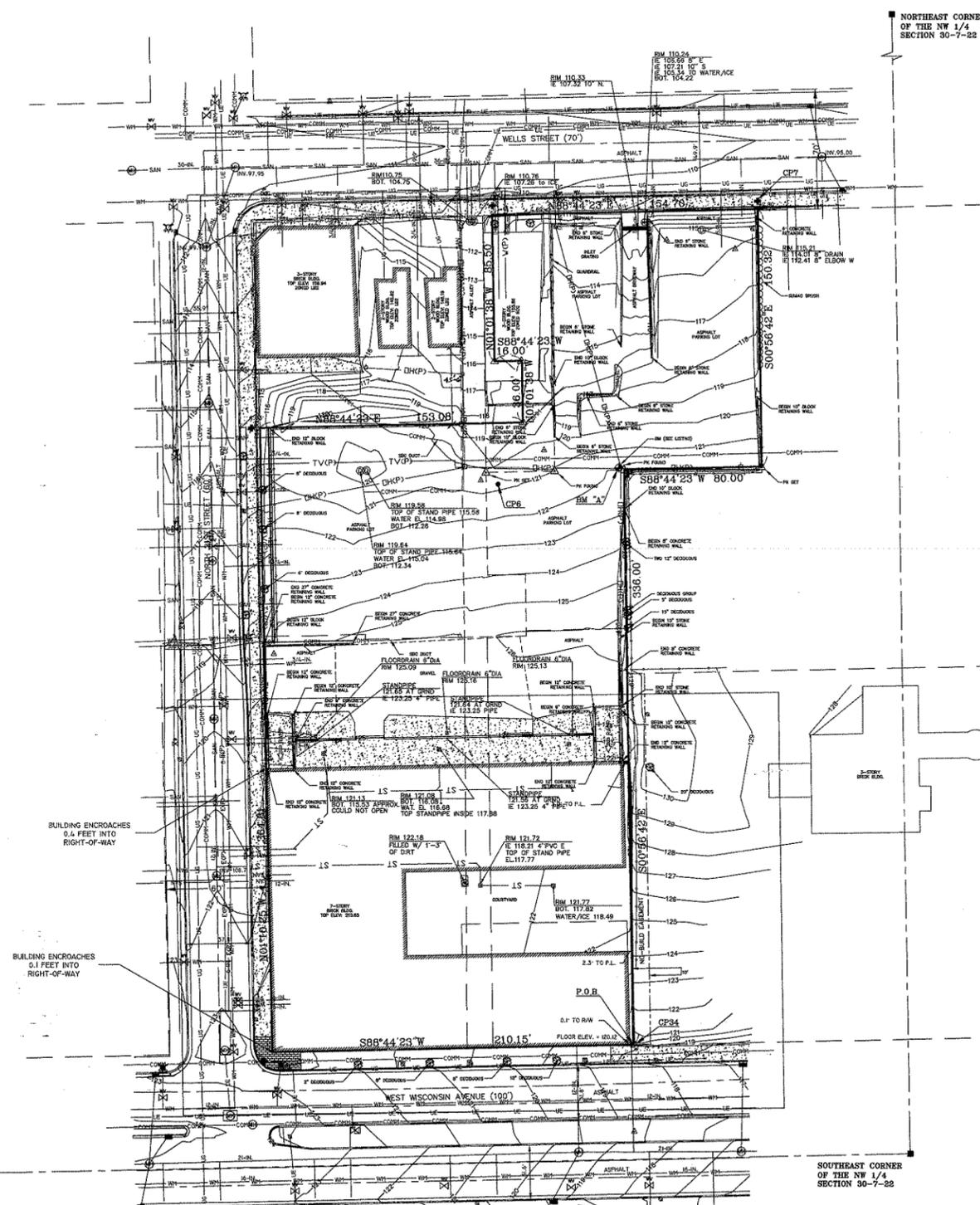
© Eppstein Uhan Architects, Inc.

**HATCH LEGEND**

	NEW ALLEY PER CITY OF MILWAUKEE SPECIFICATIONS. BID ALL ALLEY WORK AS AN ALTERNATE. SEE DETAIL 6/C107
	AREAS DISTURBED BY CONSTRUCTION (NOT SPECIALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" SALVAGED TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). IMPORT TOPSOIL IF REQ'D. ROOF AREA TO RECEIVE SPECIAL SOIL MIXTURE AS SPECIFIED
	NEW ASPHALTIC CONCRETE PARKING AREAS SEE DETAIL 1/C107
	NEW ASPHALTIC CONCRETE ROAD AREAS MATCH EXISTING FINISHES. INSTALL PER CITY OF MILWAUKEE REQUIREMENTS
	NEW CONCRETE SIDEWALK/SLAB SEE DETAIL 2/C107
	NEW 18" HIGH-SIDE CURB & GUTTER
	NEW 18" LOW-SIDE CURB & GUTTER



# BOUNDARY / TOPO SURVEY



### BENCH MARKS (NGVD 1929)

BM	LOCATION	ELEV.
BM "A"	RR SPIKE IN POWER POLE	123.55

### HORIZONTAL CONTROL POINT TABLE

CP NO.	DESCRIPTION	NORTHING	EASTING
6	PK NAIL	385746.97	2551030.05
7	CHISELED "4"	385912.18	2551180.95
34	1" IP	385418.81	2551108.97

The Horizontal control in this table was set on December 17, 2007. Kapur and Associates is not responsible for the perpetuation of these monuments.

### LEGAL DESCRIPTION:

Legal Description Pending.

### SURVEYORS CERTIFICATE:

I Anthony J. Gromacki Land Surveyor in the State of Wisconsin, do hereby certify that on December 17, 2007, I surveyed the above described property and that the above map is a true representation of its boundary and the location of visible structures, fence lines, major trees, tree lines, contours, visible utilities and other topographical features.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2007

Anthony J. Gromacki S-2090

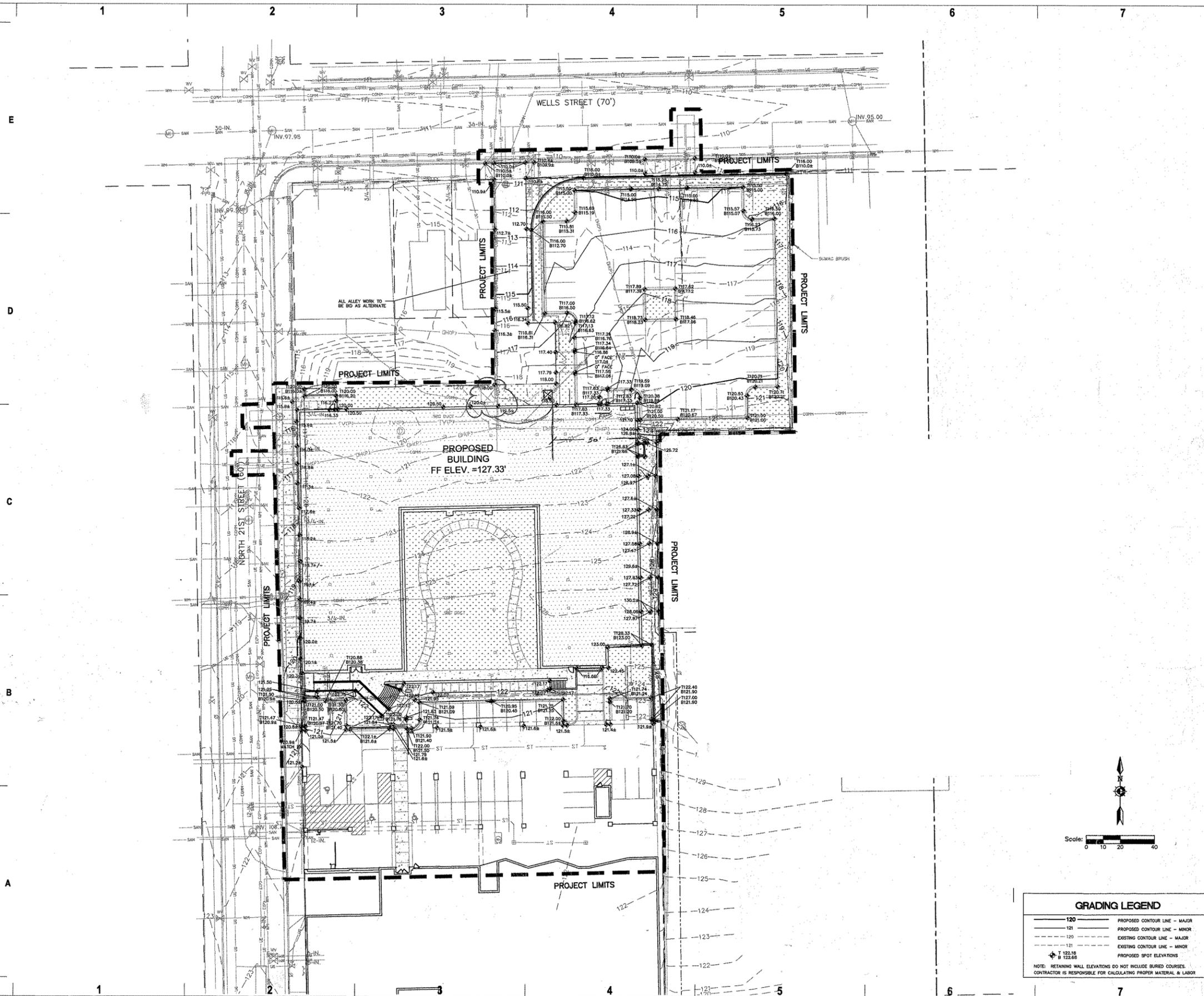
### LEGEND:

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>⊗ = LIGHT POLE</li> <li>⊖ = POWER POLE</li> <li>⊕ = STORM SEWER MANHOLE</li> <li>⊞ = CATCH BASIN</li> <li>⊟ = INLET</li> <li>⊠ = GAS VALVE</li> <li>⊡ = MANHOLE</li> <li>⊢ = FIRE HYDRANT (EXISTING AND PROPOSED)</li> <li>⊣ = WATER VALVE</li> </ul>  | <h4>SYMBOLS AND PATTERNS</h4> <ul style="list-style-type: none"> <li>⊙ = BENCH MARK</li> <li>△ = CONTROL POINT</li> <li>○ = 1-1/4" O.D. IRON PIPE FOUND</li> <li>⊕ = CHISELED "4" FOUND</li> <li>⊞ = 3/4" REBAR SET</li> <li>■ = SECTION CORNER MON.</li> <li>⊞ = SIGN ON POST</li> <li>⊟ = TREE (CONIFEROUS)</li> <li>⊠ = TREE (DECIDUOUS)</li> <li>▒ = CONCRETE SURFACE</li> </ul> |
| <h4>LINE STYLES AND DEFINITIONS</h4> <ul style="list-style-type: none"> <li>—W—W— = WATER MAIN</li> <li>—SS—SS— = STORM SEWER</li> <li>—SAN—SAN— = SANITARY SEWER</li> <li>—G—G— = NATURAL GAS MAIN</li> <li>—UT—UT— = UNDERGROUND CABLE TELEVISION</li> <li>—UE—UE— = UNDERGROUND ELECTRIC</li> <li>—OH—OH— = OVERHEAD UTILITY LINES</li> <li>—SAN—SAN— = SANITARY SEWER</li> <li>—COM—COM— = COMMUNICATION LINE</li> <li>E(P)— = UNDERGROUND ELECTRIC PER PLAN</li> <li>DHP— = OVERHEAD UTILITY LINE PER PLAN</li> <li>WCP— = WATERMAIN PER PLAN</li> <li>TVCP— = CABLE TELEVISION PER PLAN</li> <li>967— = MINOR CONTOUR</li> <li>970— = MAJOR CONTOUR</li> <li>— = CURB AND GUTTER</li> <li>—○— = CHAINLINK FENCE</li> <li>— = RETAINING WALL</li> <li>— = WOODED AREA</li> </ul> |  |



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 2007-4904380 2007-4904382 2007-4904380  
 2007-4904382

NO. _____ REVISIONS _____ DATE _____	DESIGNED BY: RKK DRAWN BY: RKK CHECKED BY: A.J.G. APPROVED BY: _____ DATE: 01/16/2008 SCALE: 1" = 30'	VERIFY SCALES BAS ON ORIGINAL DRAWING IS ONE INCH IF NO ONE INCH ADJUST SCALES ACCORDINGLY	BOUNDARY/TOPO SURVEY 2040 LOFTS MILWAUKEE COUNTY, WISCONSIN
PROJECT NO. 080001.01 SHEET NO. 1 OF 1			



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**PROJECT INFORMATION**  
 2040 LOFTS PHASE II

2040 W WISCONSIN  
 AVE  
 MILWAUKEE WI  
 53233



**ISSUANCE AND REVISIONS**  
 BID PACKAGE 1

**REVISIONS**

#	DATE	DESCRIPTION
1	03/25/08	BID PACKAGE 2

**KEY PLAN**



**KAPUR & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 www.kapurengineers.com

**SHEET INFORMATION**

PROJECT MANAGER M.J.L.  
 PROJECT NUMBER 305001-03  
 DATE FEBRUARY 19, 2008

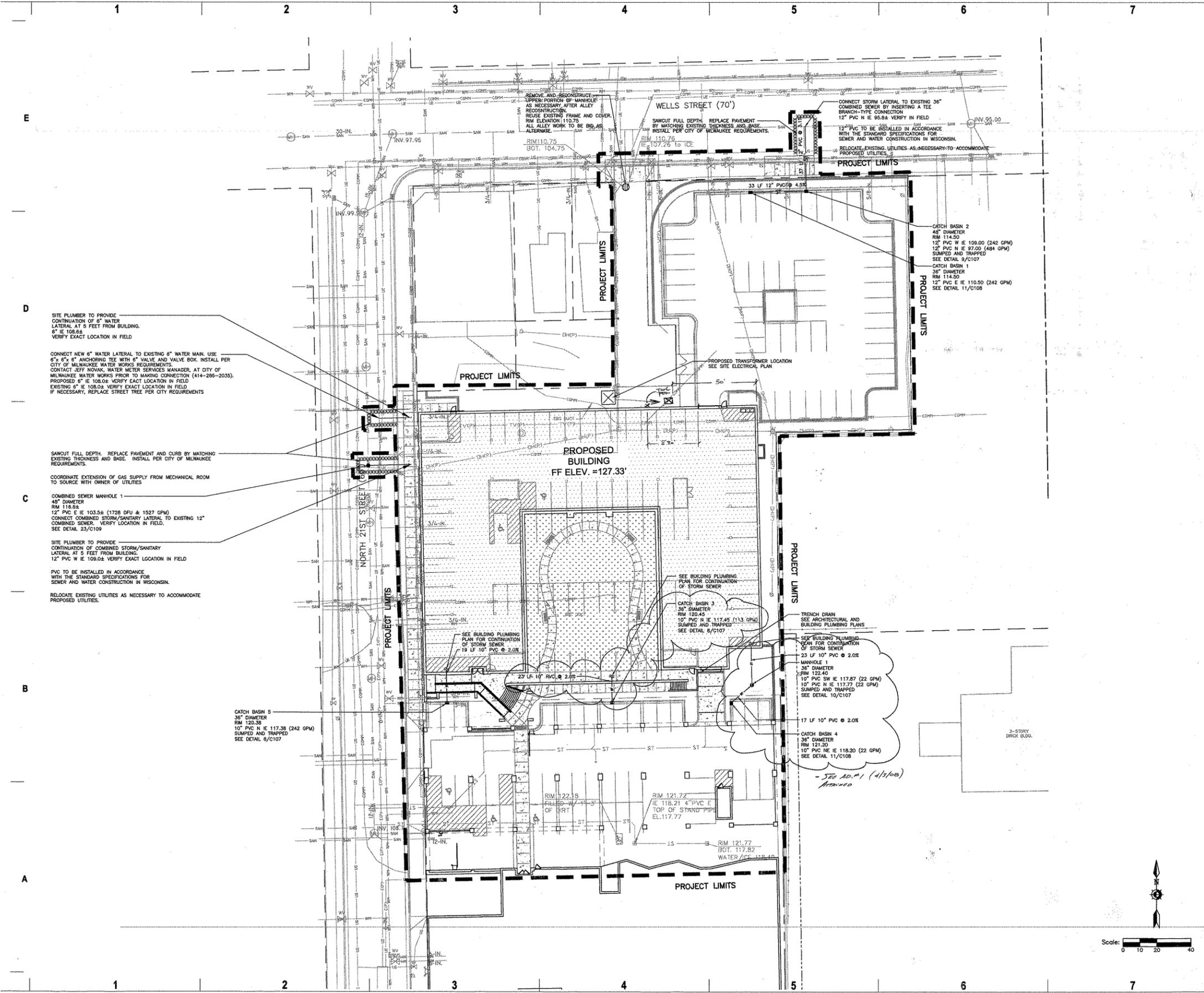
**SITE GRADING PLAN**

**GRADING LEGEND**

120	PROPOSED CONTOUR LINE - MAJOR
121	PROPOSED CONTOUR LINE - MINOR
120	EXISTING CONTOUR LINE - MAJOR
121	EXISTING CONTOUR LINE - MINOR
122.68	PROPOSED SPOT ELEVATIONS

NOTE: RETAINING WALL ELEVATIONS DO NOT INCLUDE BURIED COURSES.  
 CONTRACTOR IS RESPONSIBLE FOR CALCULATING PROPER MATERIAL & LABOR

**C104**



SITE PLUMBER TO PROVIDE CONTINUATION OF 6" WATER LATERAL AT 5 FEET FROM BUILDING. 6" IE 108.0±. VERIFY EXACT LOCATION IN FIELD.

CONNECT NEW 6" WATER LATERAL TO EXISTING 8" WATER MAIN. USE 6" x 6" ANCHORING TEE WITH 8" VALVE AND VALVE BOX. INSTALL PER CITY OF MILWAUKEE WATER WORKS REQUIREMENTS. CONTACT JEFF NOVAK, WATER METER SERVICES MANAGER, AT CITY OF MILWAUKEE WATER WORKS PRIOR TO MAKING CONNECTION (414-296-2035). PROPOSED 6" IE 108.0±. VERIFY EXACT LOCATION IN FIELD. EXISTING 6" IE 108.0±. VERIFY EXACT LOCATION IN FIELD. IF NECESSARY, REPLACE STREET TREE PER CITY REQUIREMENTS.

SAWOUT FULL DEPTH. REPLACE PAVEMENT AND CURB BY MATCHING EXISTING THICKNESS AND BASE. INSTALL PER CITY OF MILWAUKEE REQUIREMENTS.

COORDINATE EXTENSION OF GAS SUPPLY FROM MECHANICAL ROOM TO SOURCE WITH OWNER OF UTILITIES.

COMBINED SEWER MANHOLE 1  
48" DIAMETER  
RIM 118.65  
12" PVC E IE 103.5± (1728 DPU & 1527 GPM)  
CONNECT COMBINED STORM/SANITARY LATERAL TO EXISTING 12" COMBINED SEWER. VERIFY LOCATION IN FIELD.  
SEE DETAIL 23/C109

SITE PLUMBER TO PROVIDE CONTINUATION OF COMBINED STORM/SANITARY LATERAL AT 5 FEET FROM BUILDING. 12" PVC W IE 109.0±. VERIFY EXACT LOCATION IN FIELD.

PVC TO BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

RELOCATE EXISTING UTILITIES AS NECESSARY TO ACCOMMODATE PROPOSED UTILITIES.

CATCH BASIN 5  
36" DIAMETER  
RIM 120.30  
10" PVC N IE 117.38 (242 GPM)  
SUMPED AND TRAPPED  
SEE DETAIL 9/C107

SEE BUILDING PLUMBING PLAN FOR CONTINUATION OF STORM SEWER  
18 LF 10" PVC @ 2.0%

CATCH BASIN 3  
36" DIAMETER  
RIM 120.45  
10" PVC N IE 117.45 (113 GPM)  
SUMPED AND TRAPPED  
SEE DETAIL 6/C107

SEE BUILDING PLUMBING PLAN FOR CONTINUATION OF STORM SEWER  
23 LF 10" PVC @ 2.0%

MANHOLE 1  
36" DIAMETER  
RIM 122.40  
10" PVC SW IE 117.87 (22 GPM)  
10" PVC N IE 117.77 (22 GPM)  
SUMPED AND TRAPPED  
SEE DETAIL 10/C107

17 LF 10" PVC @ 2.0%

CATCH BASIN 4  
36" DIAMETER  
RIM 121.20  
10" PVC NE IE 118.20 (22 GPM)  
SEE DETAIL 11/C108

- SEE AD.#1 (4/1/00) ATTACHED

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PROJECT INFORMATION  
**2040 LOFTS PHASE II**

2040 W WISCONSIN AVE  
 MILWAUKEE WI 53233



ISSUANCE AND REVISIONS  
**BID PACKAGE 1**

REVISIONS

#	DATE	DESCRIPTION
1	03/25/08	BID PACKAGE 2

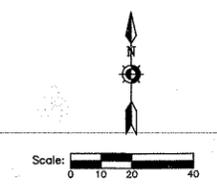
KEY PLAN

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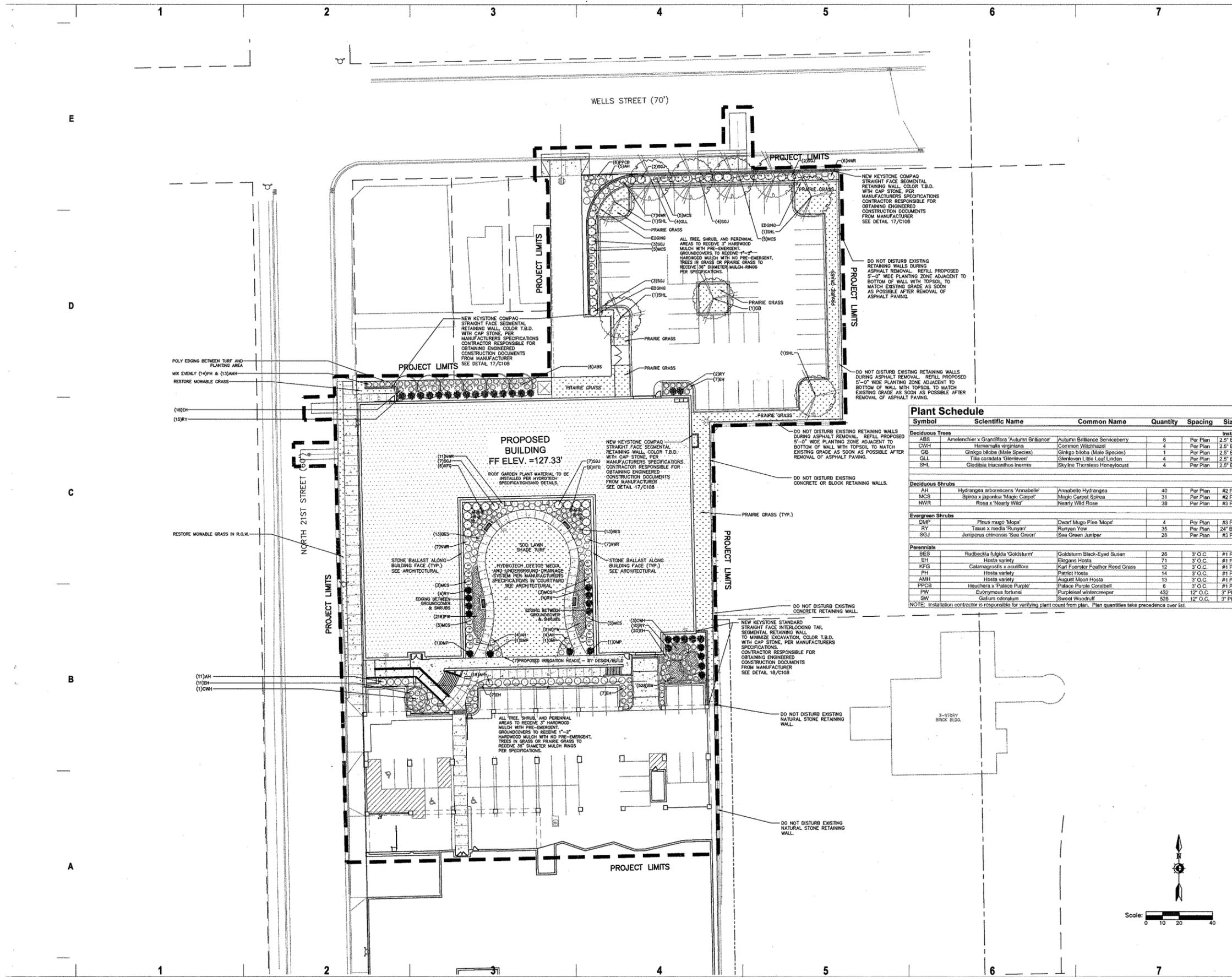
SHEET INFORMATION

PROJECT MANAGER M.J.L.  
 PROJECT NUMBER 305001-03  
 DATE FEBRUARY 19, 2006

SITE UTILITY PLAN



**C105**  
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**Plant Schedule**

Symbol	Scientific Name	Common Name	Quantity	Spacing	Size
<b>Deciduous Trees</b>					
ABS	Amelanchier x Grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6	Per Plan	2.5' B&B
CVH	Hamamelis virginiana	Common Witchhazel	4	Per Plan	2.5' B&B
GS	Ginkgo biloba (Male Specie)	Ginkgo biloba (Male Specie)	1	Per Plan	2.5' B&B
GLL	Tilia cordata 'Greenview'	Greenview Little Leaf Linden	4	Per Plan	2.5' B&B
SHL	Gleditsia triacanthos inermis	Skyline Thornless Honeylocust	4	Per Plan	2.5' B&B
<b>Deciduous Shrubs</b>					
AH	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	40	Per Plan	#2 Pot
MCS	Spiraea japonica 'Magic Carpet'	Magic Carpet Spiraea	31	Per Plan	#2 Pot
NWR	Rosa x 'Nearly Wild'	Nearly Wild Rose	38	Per Plan	#5 Pot
<b>Evergreen Shrubs</b>					
DMP	Pinus mugo 'Mops'	Dwarf Mugo Pine 'Mops'	4	Per Plan	#3 Pot
RY	Taxus x media 'Rumyan'	Rumyan Yew	35	Per Plan	24" B&B
SGJ	Juniperus chinensis 'Sea Green'	Sea Green Juniper	28	Per Plan	#3 Pot
<b>Perennials</b>					
BES	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-Eyed Susan	26	3' O.C.	#1 Pot
SH	Hosta variety	Elegans Hosta	71	3' O.C.	#1 Pot
KFG	Calamagrostis x acutiflora	Karl Foerster Feather Reed Grass	12	3' O.C.	#1 Pot
PH	Hosta variety	Panicle Hosta	14	3' O.C.	#1 Pot
AMH	Hosta variety	August Moon Hosta	13	3' O.C.	#1 Pot
PPCB	Heuchera x 'Palace Purple'	Palace Purple Coralbell	6	3' O.C.	#1 Pot
PW	Eucryphia fortunei	Purpleleaf wintercreeper	432	12' O.C.	3" Plug
SW	Galium edonarium	Sweet Woodruff	528	12' O.C.	3" Plug

NOTE: Installation contractor is responsible for verifying plant count from plan. Plan quantities take precedence over list.

**REVISIONS**

#	DATE	DESCRIPTION
1	03/25/08	BID PACKAGE 2

**KEY PLAN**

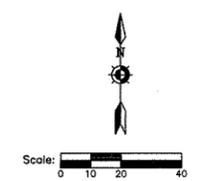


**SHEET INFORMATION**

PROJECT MANAGER M.A.  
 PROJECT NUMBER 305001-03  
 DATE FEBRUARY 19, 2008

**SITE LANDSCAPE PLAN**

**L101**

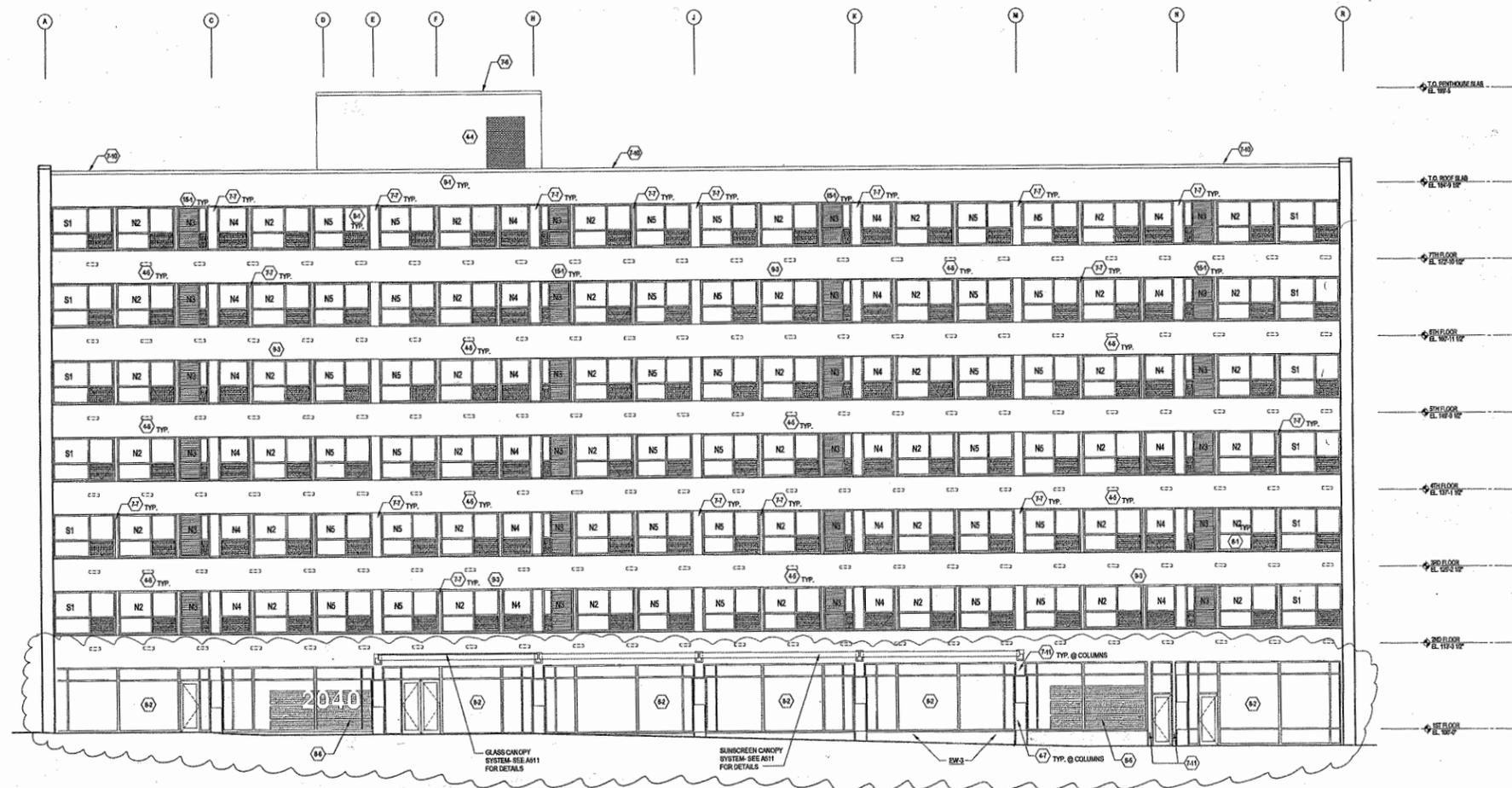


Project  
**2040 LOFTS**  
2040 West  
Wisconsin Avenue  
Milwaukee, WI 53233

Sheet Title  
**SOUTH  
ELEVATION**

Revisions

Item	Date	By
GMP BID PACK	03-08-05	MCH
2nd FLR INFILL	03-31-05	MCH
PLAN REVIEW	04-06-05	MCH
CB 1	05-04-05	MCH



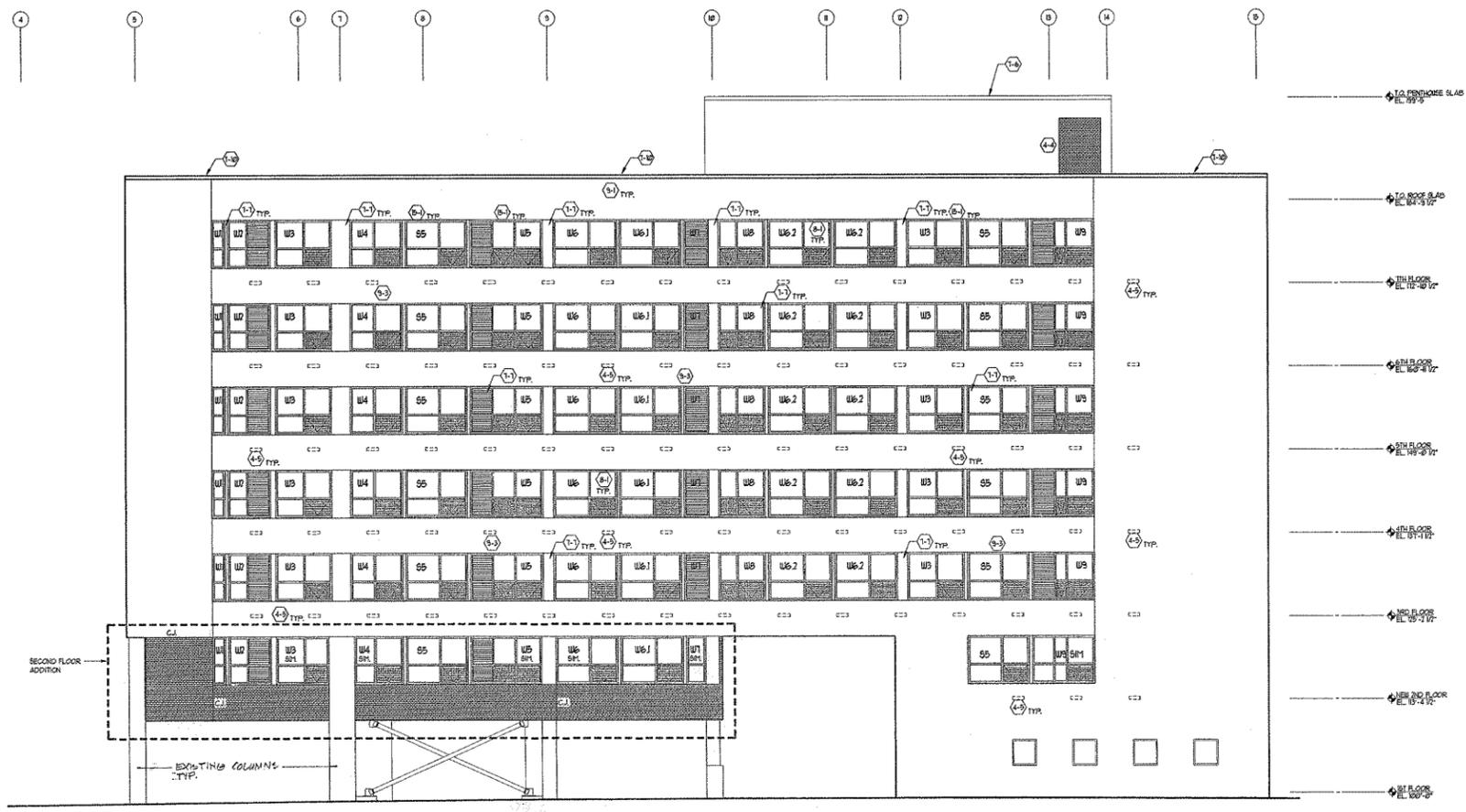
1 SOUTH ELEVATION  
1/8" = 1'-0"

**GENERAL NOTES**

- SEE A405 FOR TYPICAL WINDOW TYPES.
- SEE A505 FOR TYPICAL WINDOW DETAILS.
- XXX: INDICATES SYSTEM ASSEMBLY, SEE G600 FOR SYSTEM DESCRIPTION NOTES.
- XXX: INDICATES COMPONENT KEY NOTE. SEE G600 FOR KEYNOTE DESCRIPTIONS.
- SEE A400 TO A405 FOR SECTION CUT LOCATIONS.
- 2ND TO 11TH FLOOR DASH ELEVATIONS. DATUM ELEVATIONS NOTED ON THE BUILDING ELEVATIONS AND SECTION AT THESE FLOORS IS REFERENCING THE TOP OF SLAB AT THE EXISTING FLOOR. FOR DATUM ELEVATIONS AT THE NEW TOPPING SLAB ADD 4" UNLESS NOTED OTHERWISE.

Project Architect JP  
Drawn By MCH  
Project No. 3.04245-01  
Date May 04, 2005  
Sheet No.

**A-201**



Project  
**2040 LOFTS**  
2040 West  
Wisconsin Avenue  
Milwaukee, WI 53233

Sheet Title  
**WEST  
ELEVATION**

Revisions

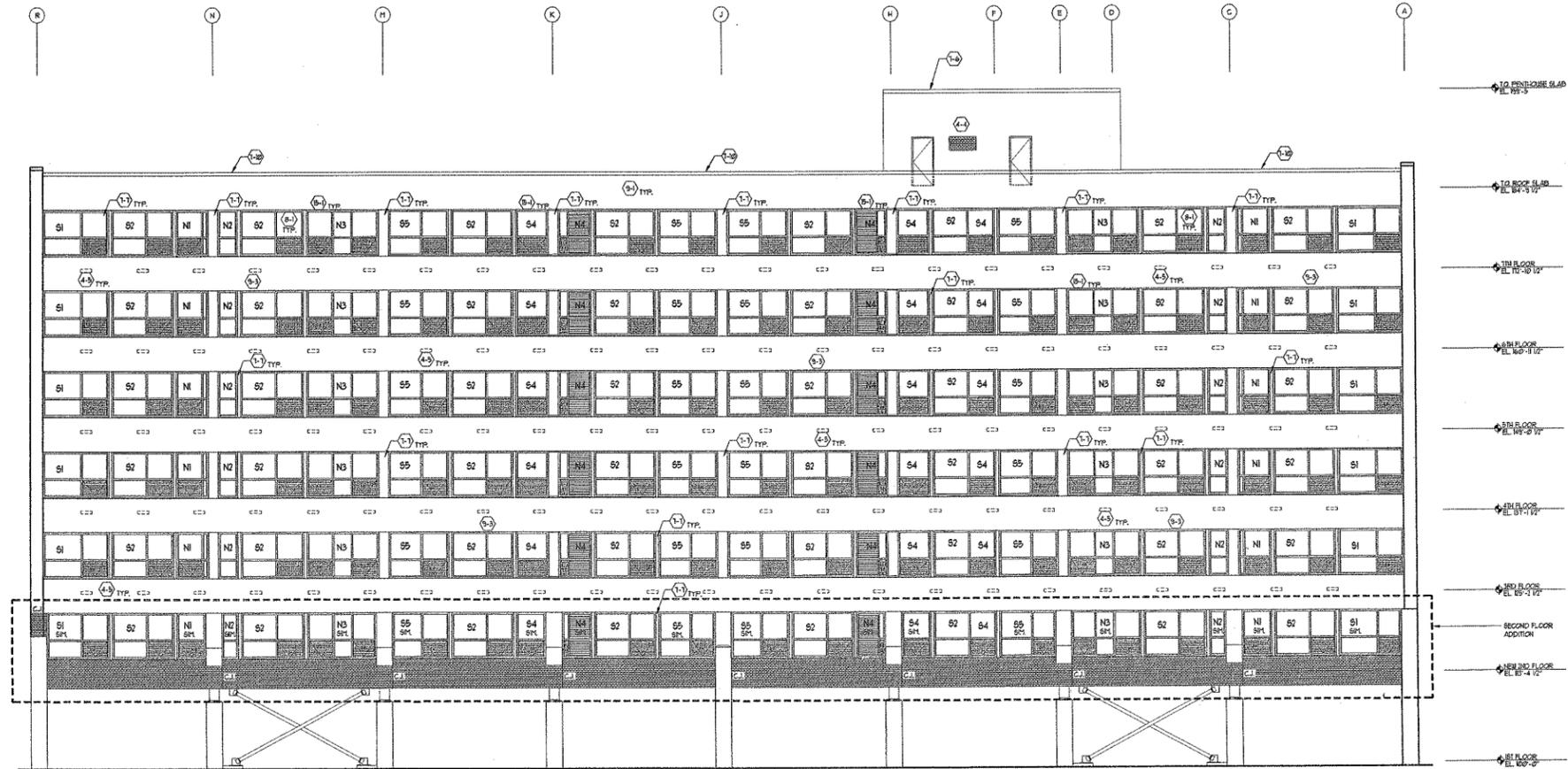
Item	Date	By
2nd FLR INFILL	03-31-05	MCH
PLAN REVIEW	04-06-05	MCH
△ CB #	04-11-05	MCH

**NOTE**  
CONTRACTOR TO FIELD VERIFY COLUMN  
DIMENSIONS FROM FLOOR TO FLOOR WHICH  
WILL AFFECT THE WINDOW OPENING SIZES

**2 WEST ELEVATION**  
1/8" = 1'-0"

- GENERAL NOTES**
- SEE A505 FOR TYPICAL WINDOW TYPES.
  - SEE A505 FOR TYPICAL WINDOW DETAILS.
  - XXX: INDICATES SYSTEM ASSEMBLY, SEE GOOD FOR SYSTEM DESCRIPTION NOTES.
  - ⊗: INDICATES COMPONENT KEY NOTE. SEE GOOD FOR KEYNOTE DESCRIPTIONS.
  - SEE A50 TO A53 FOR SECTION CUT LOCATIONS.
  - NO. TO THE FLOOR DIM. ELEVATIONS. DATE ELEVATIONS NOTED ON THE BUILDING ELEVATIONS AND SECTION AT THESE FLOORS IS REFERENCING THE TOP OF SLAB AT THE EXISTING FLOOR FOR DATE ELEVATIONS AT THE NEW TOPPING SLAB ADD \* UNLESS NOTED OTHERWISE.
  - SEE A300 FOR WALL SECTIONS AT 2ND FLOOR INFILL.

Project Architect JP  
Drawn By MCH  
Project No. 3.04245-01  
Date April 11, 2005  
Sheet No. A-252  
FIRST ISSUE



Project  
**2040 LOFTS**  
 2040 West  
 Wisconsin Avenue  
 Milwaukee, WI 53233

Sheet Title  
**NORTH  
 ELEVATION**

Item	Date	By
2nd FLR INFILL	03-31-05	MCH
PLAN REVIEW	04-06-05	MCH
CB #1	04-11-05	MCH

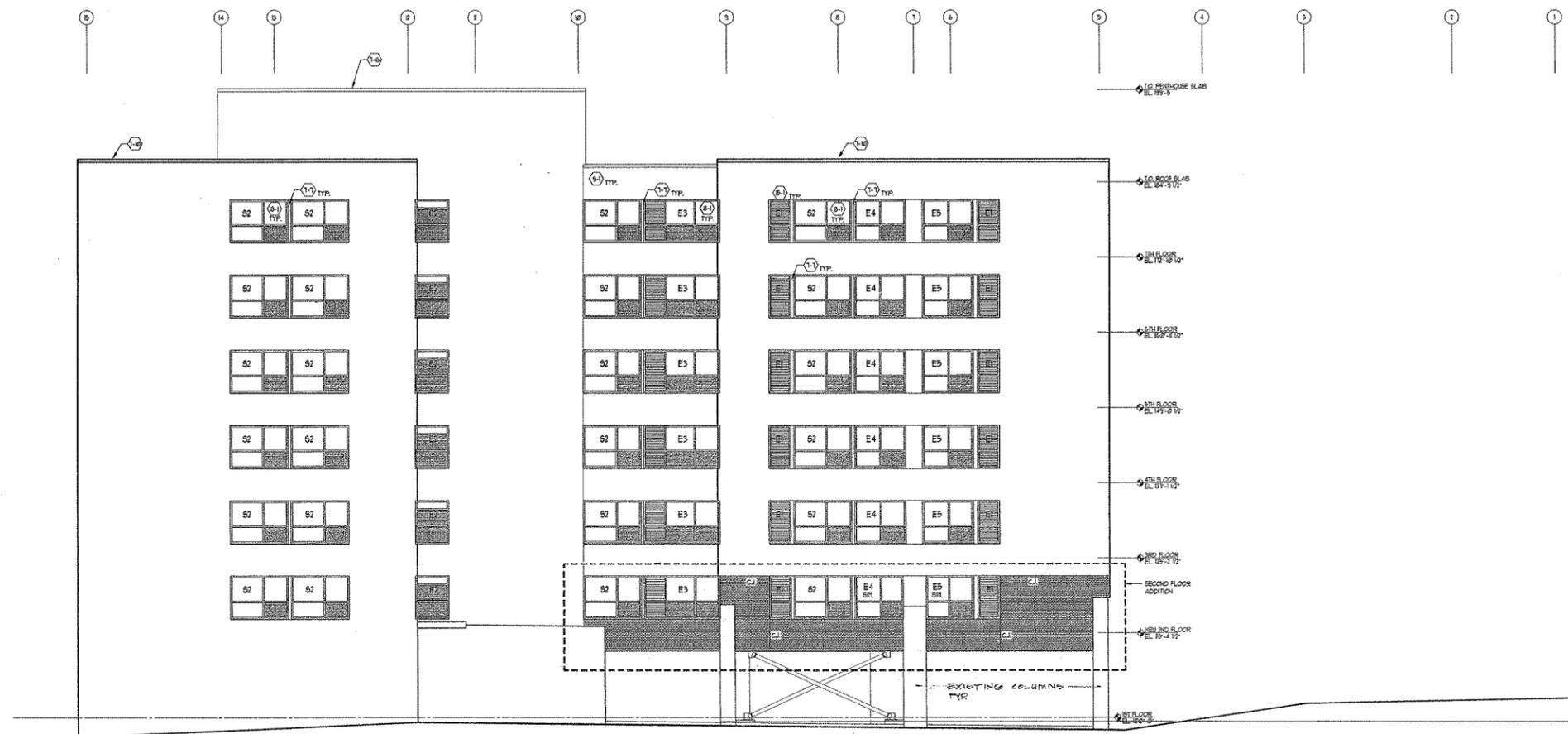
**NOTE**  
 CONTRACTOR TO FIELD VERIFY COLUMN  
 DIMENSIONS FROM FLOOR TO FLOOR LEVELS  
 WILL AFFECT THE WINDOW OPENING SIZES.

**3 NORTH ELEVATION**  
 1/8" = 1'-0"

**GENERAL NOTES**

- SEE AS05 FOR TYPICAL WINDOW TYPES.
- SEE AS05 FOR TYPICAL WINDOW DETAILS.
- 3000: INDICATES SYSTEM ASSEMBLY, SEE G000 FOR SYSTEM DESCRIPTION NOTES.
- INDICATES COMPONENT KEY NOTE. SEE G000 FOR KEYNOTE DESCRIPTIONS.
- SEE A000 TO A003 FOR SECTION CUT LOCATIONS.
- 2ND TO 3RD FLOOR DATUM ELEVATIONS: DATUM ELEVATIONS NOTED ON THE BUILDING ELEVATIONS AND SECTION AT THESE FLOORS IS REFERENCING THE TOP OF SLAB AT THE EXISTING FLOOR FOR DATUM ELEVATIONS AT THE NEW TOPPING SLAB ADD. IF UNLESS NOTED OTHERWISE.
- SEE A300 FOR WALL SECTIONS AT 2ND FLOOR INFILL.

Project Architect JP  
 Drawn By MCH  
 Project No. 3.04245-01  
 Date April 11, 2005  
 Sheet No. A-253  
 FIRST ISSUE



Project  
**2040 LOFTS**  
2040 West  
Wisconsin Avenue  
Milwaukee, WI 53233

Sheet Title  
EAST  
ELEVATION

Revisions	Item	Date	By
	2nd FLR INFILL	03-31-05	MCH
	PLAN REVIEW	04-06-05	MCH
	CB #	04-11-05	MCH

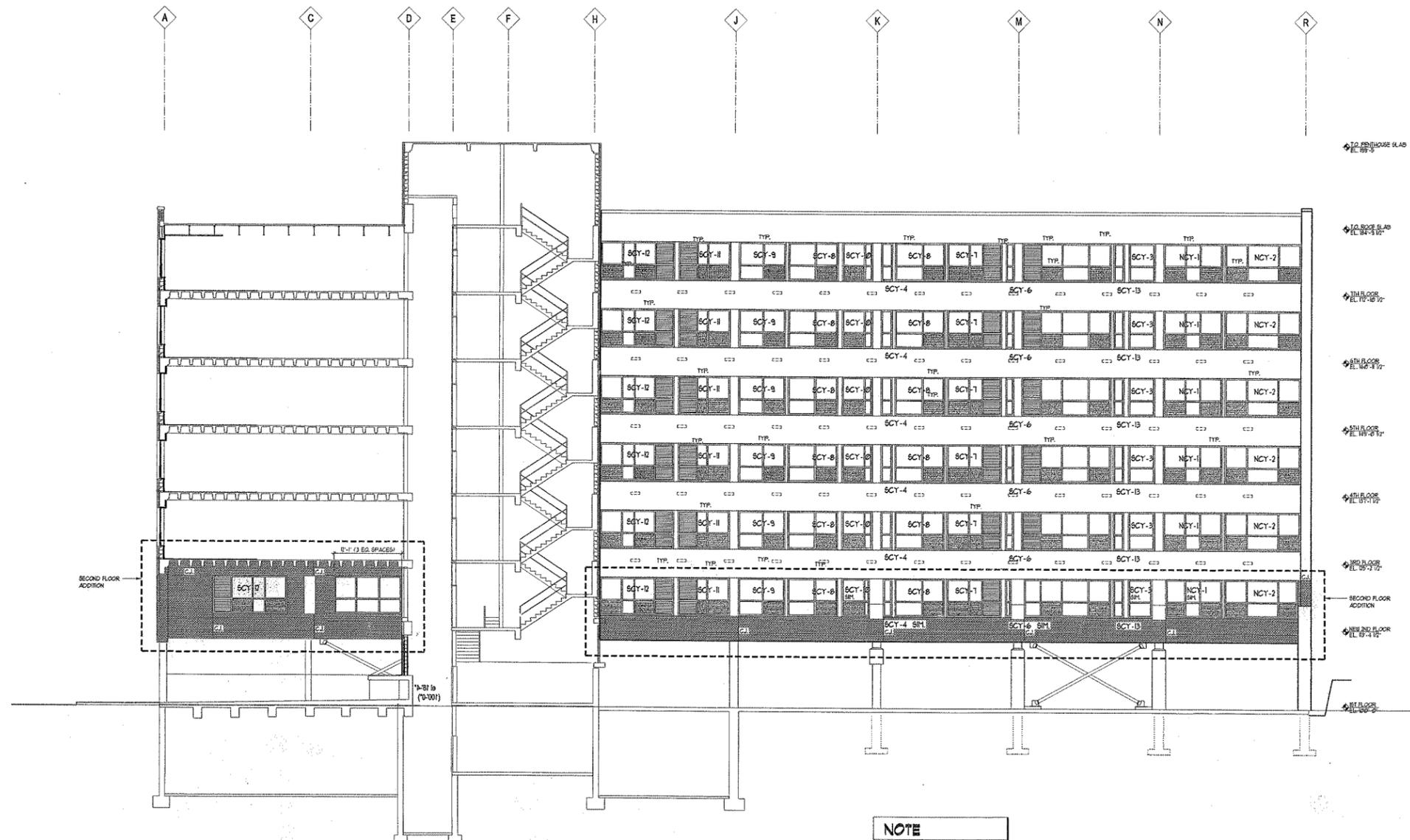
**NOTE**  
CONTRACTOR TO FIELD VERIFY COLUMN  
DIMENSIONS FROM FLOOR TO FLOOR SINCE  
WILL AFFECT THE WINDOW OPENING SIZES.

**4 EAST ELEVATION**  
1/8" = 1'-0"

- GENERAL NOTES**
- SEE A505 FOR TYPICAL WINDOW TYPES.
  - SEE A505 FOR TYPICAL WINDOW DETAILS.
  - XXX: INDICATES SYSTEM ASSEMBLY. SEE GOOD FOR SYSTEM DESCRIPTION NOTES.
  - ⊗ INDICATED COMPONENT KEY NOTE. SEE GOOD FOR KEYNOTE DESCRIPTIONS.
  - SEE A500 TO A503 FOR SECTION CUT LOCATIONS.
  - 2ND TO 7TH FLOOR DATUM ELEVATIONS: DATUM ELEVATIONS NOTED ON THE BUILDING ELEVATIONS AND SECTION AT THESE FLOORS IS REFERENCING THE TOP OF SLAB AT THE EXISTING FLOOR. FOR GARDEN ELEVATIONS AT THE NEW TOPPING SLAB ADD 4' UNLESS NOTED OTHERWISE.

Project Architect JP  
Drawn By MCH  
Project No. 3.04245-01  
Date April 11, 2005  
Sheet No.

**A-254**  
FIRST ISSUE



Project  
**2040 LOFTS**  
2040 West  
Wisconsin Avenue  
Milwaukee, WI 53233

Sheet Title  
**COURTYARD  
ELEVATION**

Revisions	Item	Date	By
2nd FLR INFILL	03-31-05	MCH	
PLAN REVIEW	04-06-05	MCH	
CB 1	04-11-05	MCH	

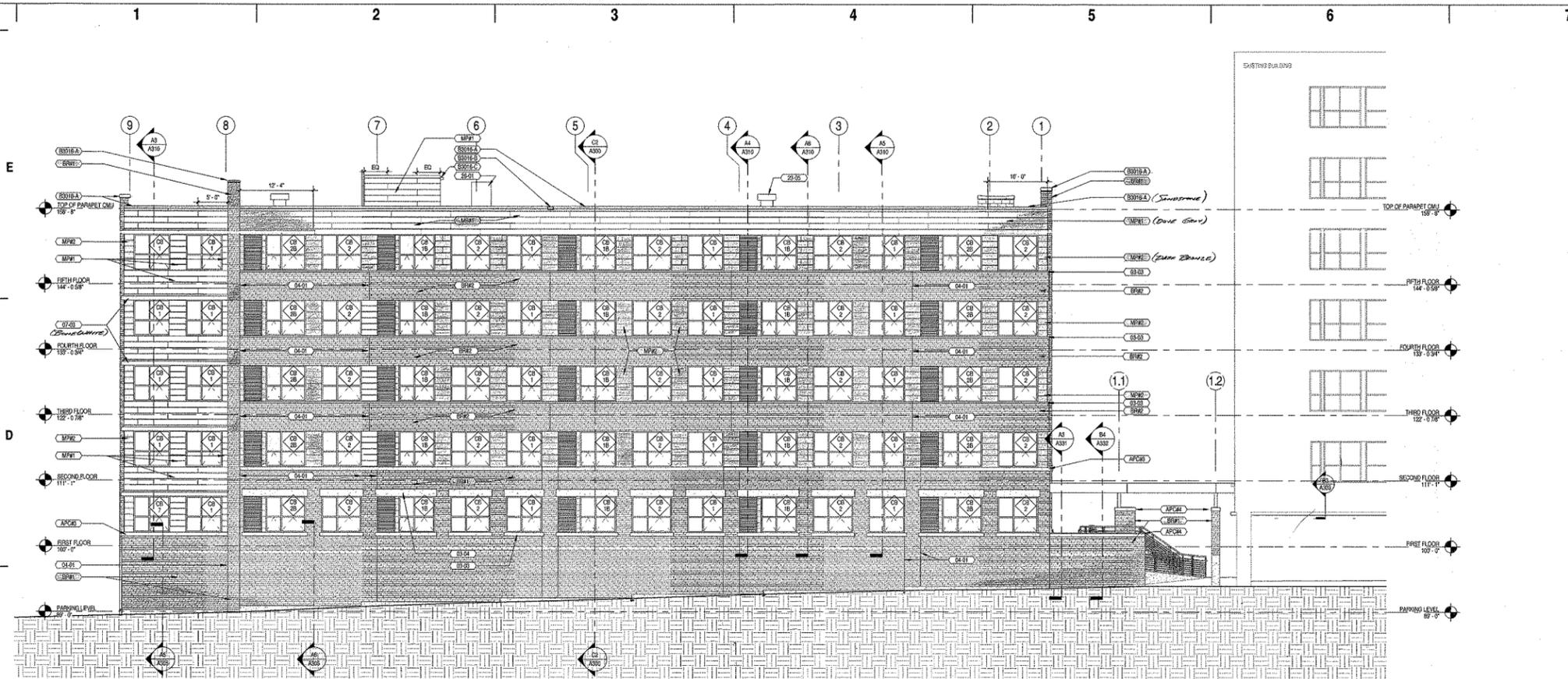
**NOTE**  
CONTRACTOR TO FIELD VERIFY COLUMN  
DIMENSIONS FROM FLOOR TO FLOOR UNLESS  
SHELL AFFECT THE WINDOW OPENING SIZES.

**COURTYARD ELEVATION LOOKING NORTH**  
1/8" = 1'-0"

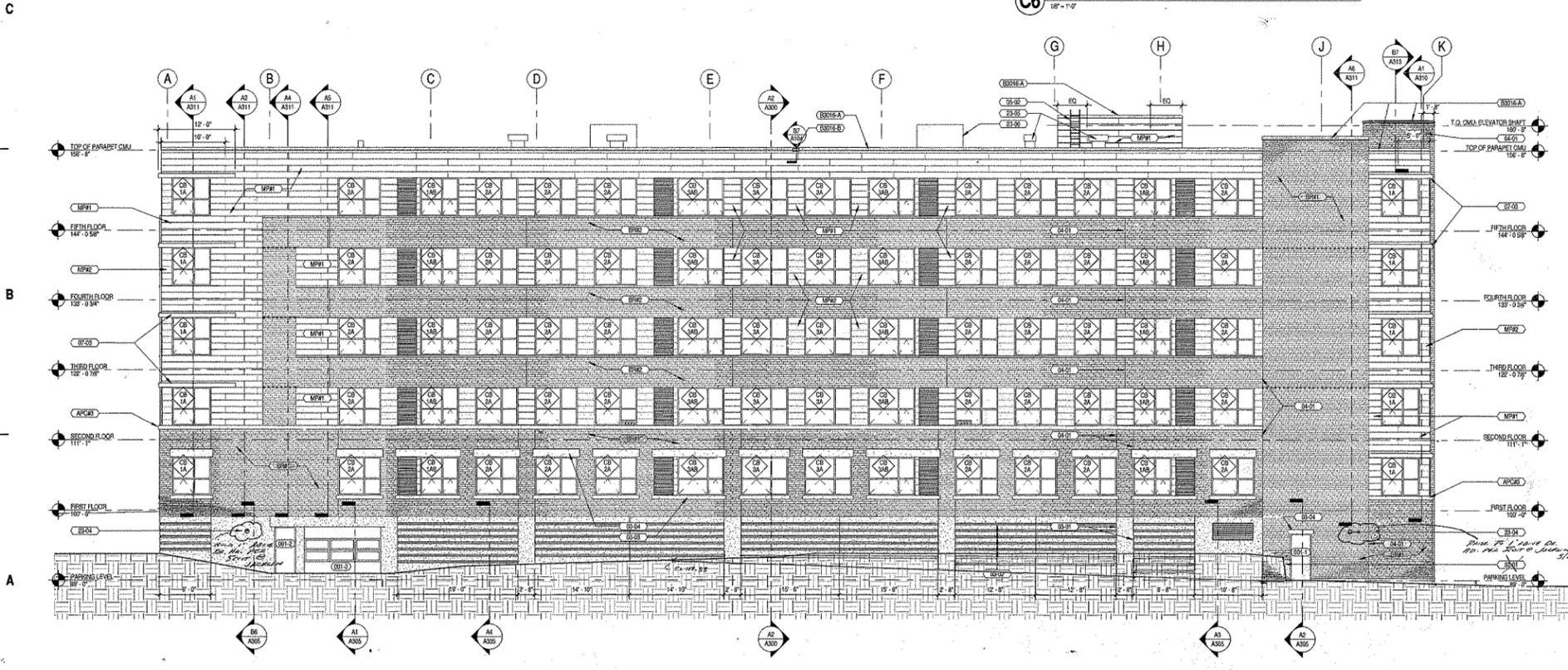
- GENERAL NOTES**
- SEE A365 FOR TYPICAL WINDOW TYPES.
  - SEE A365 FOR TYPICAL WINDOW DETAILS.
  - XXXXX INDICATES SYSTEM ASSEMBLY. SEE GROUND FOR SYSTEM DESCRIPTION NOTES.
  - XXXX INDICATES COMPONENT KEY NOTE. SEE GROUND FOR KEYNOTE DESCRIPTIONS.
  - SEE A360 FOR KEYNOTE LOCATIONS.
  - TO 1TH FLOOR DATUM ELEVATIONS: DATUM ELEVATIONS NOTED ON THE BUILDING ELEVATIONS AND SECTION AT THESE FLOORS IS REFERENCING THE TOP OF SLAB AT THE EXISTING FLOOR FOR DATUM ELEVATIONS AT THE NEW TOPPING SLAB ADD. UNLESS NOTED OTHERWISE.
  - SEE ALSO FRIE WALL SECTIONS AT 2ND FLOOR INFILL.

Project Architect JP  
Drawn By MCH  
Project No. 3.04245-01  
Date April 11, 2005  
Sheet No.

**A-255**  
FIRST ISSUE



C6 WEST ELEVATION  
1/8" = 1'-0"



A6 NORTH ELEVATION  
1/8" = 1'-0"

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 Milwaukee, Wisconsin 53202  
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PROJECT INFORMATION  
**2040 LOFTS**  
 PHASE II

2040 W WISCONSIN AVE  
 MILWAUKEE WI 53233



ISSUANCE AND REVISIONS  
**BID PACKAGE 2**

REVISIONS

#	DATE	DESCRIPTION

KEY PLAN

GENERAL EXTERIOR WALL SECTION NOTES  
 - - - - - INDICATES EXTENT OF BRICK EDGE -  
 COORDINATE ELEVATION WITH SECTIONS

KEYNOTES PER SHEET

Key Value	Keynote Text
03-01	CAST-IN-PLACE CONCRETE CONTROL JOINT PER DETAIL 03-01
03-02	CAST-IN-PLACE CONCRETE REVEALS PER SECTION DETAILS
03-03	PRECAST CONCRETE SILL WITH DRAINAGE SLOPE AT TOP FROM INTERIOR EDGE THEN SLOPE TOP 1/4 VERTICAL UNITS IN 12 HORIZONTAL UNITS TO EXTERIOR EDGE
03-04	PRECAST CONCRETE ENTIRE WINDOW AND SILL PER DETAIL
04-01	BRICK MORTAR JOINT PER SPECIFICATIONS
05-02	GALVANIZED AND PAINTED METAL ROOF LADDER
07-03	PREFINISHED GALVALUMINIUM METAL "STEPPED" PER DETAILS
23-04	EXHAUST VENT BY MECHANICAL CONTRACTOR
23-05	EXHAUST FAN ON ROOF CURBS BY MECHANICAL CONTRACTOR
23-06	ROOF TOP UNIT ON CURBS BY MECHANICAL CONTRACTOR
23-07	ROOF TOP GENERATION ON CURBS BY ELECTRICAL
32-01	KEYSTONE RETAINING WALL PER CIVIL DRAWINGS

BUILDING SYSTEMS PER SHEET

Key Value	Keynote Text
BS216-A	PREFINISHED METAL COPING
BS216-B	PREFINISHED METAL SOUTHER TO MATCH COPING
BS216-C	PREFINISHED METAL GUTTER ON TREATED WOOD FASCIA PROVIDE DOWNSPUTS IN LOCATION SHOWN IN P.L.A.S.

BUILDING COMPONENTS PER SHEET

Key Value	Keynote Text
AP208	ARCHITECTURAL PRECAST WATERFALL
AP204	ARCHITECTURAL PRECAST COPING
BR01	4" NOMINAL BRICK, COLOR A
BR02	4" NOMINAL BRICK, COLOR B
MP01	PREFINISHED GAGE METAL PANEL
MP02	PREFINISHED GAGE METAL PANEL

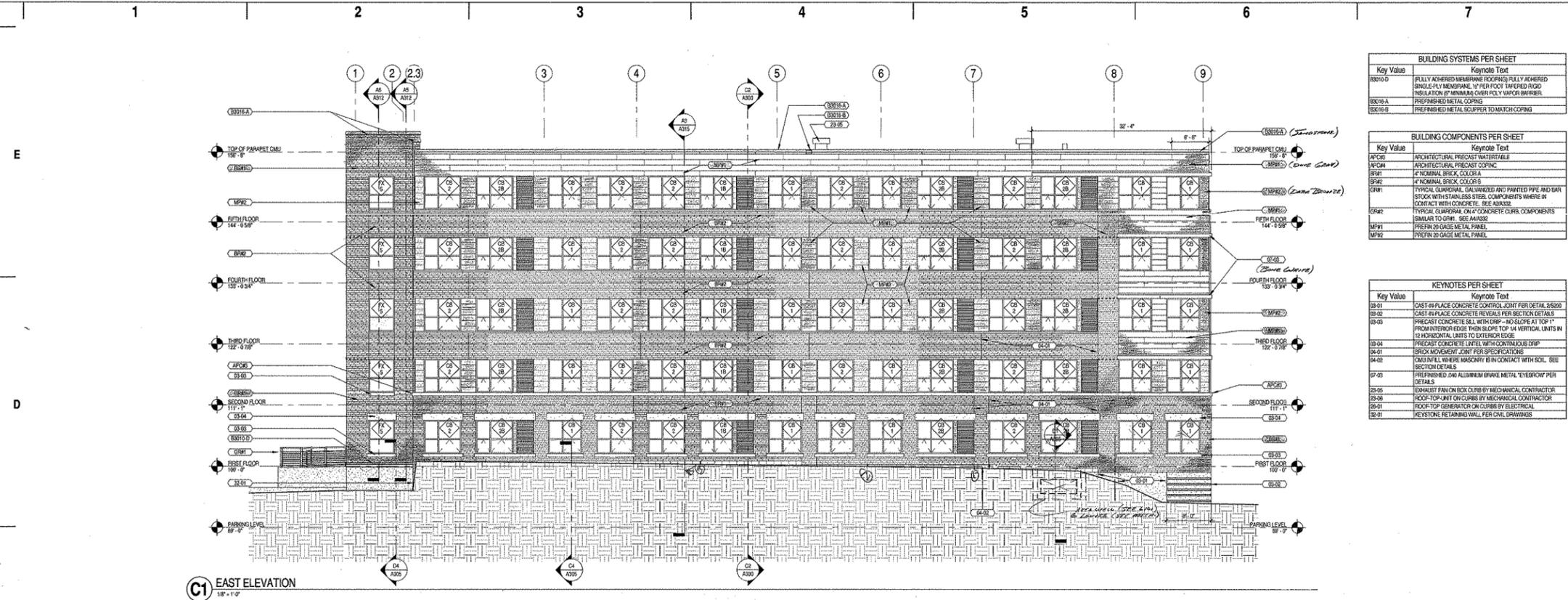
SHEET INFORMATION

PROJECT MANAGER M.L.  
 PROJECT NUMBER 305001-03  
 DATE MARCH 25, 2008

EXTERIOR ELEVATIONS

**A200**

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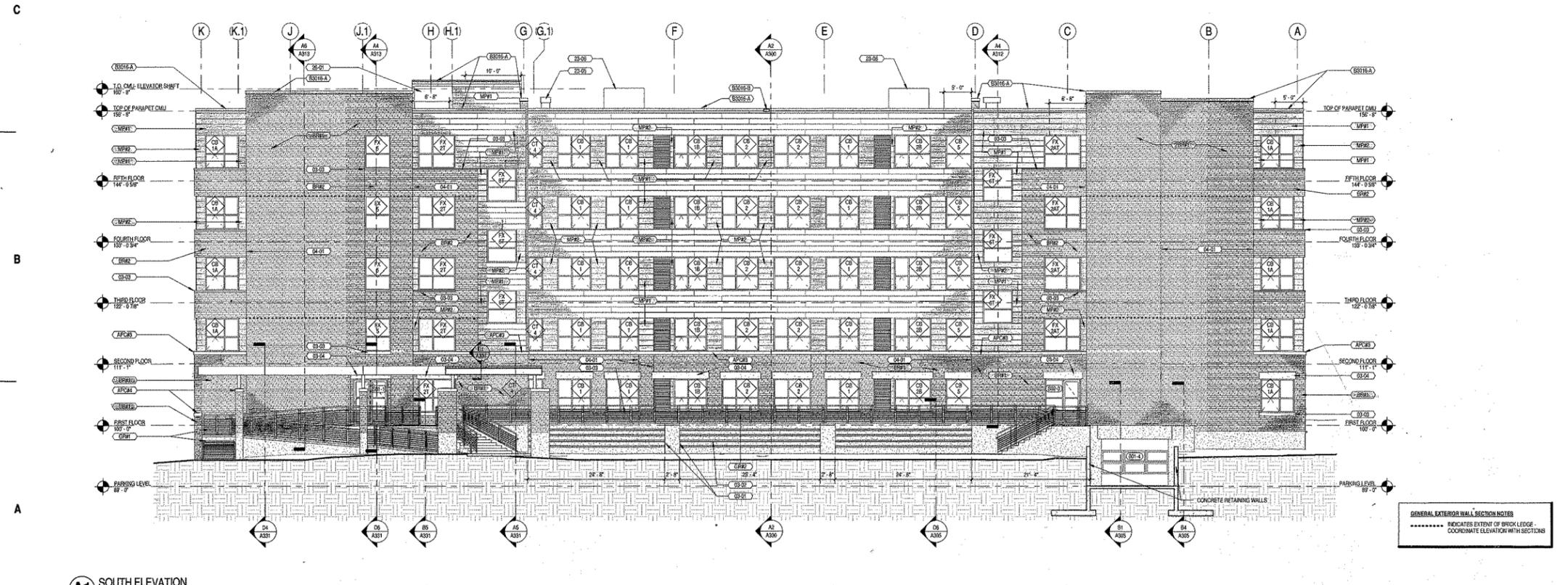


**C1 EAST ELEVATION**  
1/8" = 1'-0"

BUILDING SYSTEMS PER SHEET	
Key Value	Keynote Text
BS010-D	FULLY ADHERED MEMBRANE (COATING) FULLY ADHERED SINGLE-PLY MEMBRANE, 1/2" PER FOOT TAPERED RIGID INSULATION AT MINIMUM OVER POLY VAMON BARRIER
BS010-A	PREFINISHED METAL COPING
BS010-B	PREFINISHED METAL SCUPPER TO MATCH COPING

BUILDING COMPONENTS PER SHEET	
Key Value	Keynote Text
AP020	ARCHITECTURAL PRECAST WATERTABLE
AP021	ARCHITECTURAL PRECAST COPING
SP01	4" NOMINAL BRICK, COLOR A
SP02	4" NOMINAL BRICK, COLOR B
CR01	TYPICAL GLAZERIAL, GALVANNEED AND PAINTED PIPE AND BARR STOCK WITH STAINLESS STEEL COMPONENTS WHERE IN CONTACT WITH CONCRETE. SEE A3032.
CR02	TYPICAL GLAZERIAL ON 4" CONCRETE CURB, COMPONENTS SIMILAR TO CR01. SEE A3032.
MP01	PREFINISHED 20 GAUGE METAL PANEL
MP02	PREFINISHED 20 GAUGE METAL PANEL

KEYNOTES PER SHEET	
Key Value	Keynote Text
23-01	CAST-IN-PLACE CONCRETE CONTROL JOINT PER DETAIL 23-02
23-02	CAST-IN-PLACE CONCRETE REVEALS PER SECTION DETAILS
23-03	PREFRIG CONCRETE SL WITH DWP - NO SLOPE AT TOP 1" FROM INTERIOR EDGE THEN SLOPE TOP 1/4" VERTICAL UNITS IN 12" HORIZONTAL UNITS TO EXTERIOR EDGE
23-04	PREFRIG CONCRETE UNIF WITH CONTINUOUS DWP
23-05	BRICK MOVEMENT JOINT PER SPECIFICATIONS
23-06	CAST-IN-PLACE MASONRY IS IN CONTACT WITH SOIL. SEE SECTION DETAILS.
23-07	PREFRIG 20 GA ALUMINUM BRASS METAL TEVERSON PER DETAILS
23-08	EXHAUST FAN ON BRICK CURB BY MECHANICAL CONTRACTOR
23-09	ROOF TOP UNIT ON CURB BY MECHANICAL CONTRACTOR
23-10	ROOF TOP GENERATOR ON CURB BY ELECTRICAL CONTRACTOR
23-11	KEYSTONE RETAINING WALL PER CIVIL DRAWINGS



**A1 SOUTH ELEVATION**  
1/8" = 1'-0"

**GENERAL EXTERIOR WALL SECTION NOTES**  
 - - - - - INDICATES EXTENT OF BRICK LEDGE -  
 COORDINATE ELEVATION WITH SECTIONS

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PROJECT INFORMATION  
**2040 LOFTS**  
**PHASE II**

2040 W WISCONSIN AVE  
 MILWAUKEE WI 53233



ISSUANCE AND REVISIONS  
**BID PACKAGE 2**

REVISIONS		
#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

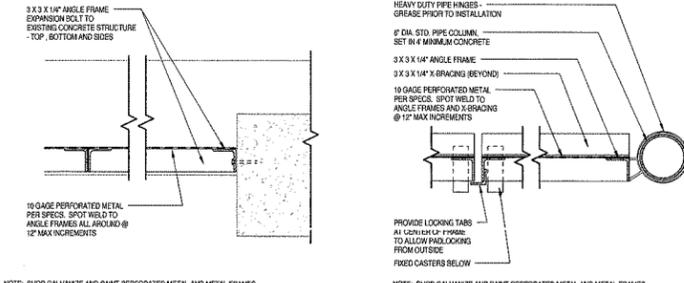
PROJECT MANAGER: M.J.  
 PROJECT NUMBER: 305021-03  
 DATE: MARCH 25, 2008

EXTERIOR ELEVATIONS

**A201**

1 2 3 4 5 6 7

E



**D3** DUMPSTER SCREEN DETAIL  
1:12" = 1'-0"

**D5** GATE DETAIL  
1:12" = 1'-0"

BUILDING SYSTEMS PER SHEET	
Key Value	Keynote Text
B016-A	REFINISHED METAL COPING
B016-B	REFINISHED METAL SCUPPER TO MATCH COPING

BUILDING COMPONENTS PER SHEET	
Key Value	Keynote Text
APC03	ARCHITECTURAL PRECAST WATERTABLE
SPR1	4" NOMINAL BRICK, COLOR A
MPR1	PERFORATED METAL PANEL
MPR2	PERFORATED METAL PANEL

KEYNOTES PER SHEET	
Key Value	Keynote Text
05-03	PRECAST CONCRETE SILL WITH DRIP - NO SLOPE AT TOP. FROM INTERIOR EDGE, THEN SLOPE TOP IN VERTICAL UNITS IN 12 HORIZONTAL UNITS TO EXTERIOR EDGE.
02-04	PRECAST CONCRETE LATEL WITH CONTINUOUS GRIP
04-01	BRICK MOVEMENT JOINT PER SPECIFICATIONS

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PROJECT INFORMATION  
**2040 LOFTS**  
 PHASE II

2040 W WISCONSIN AVE  
 MILWAUKEE WI 53233

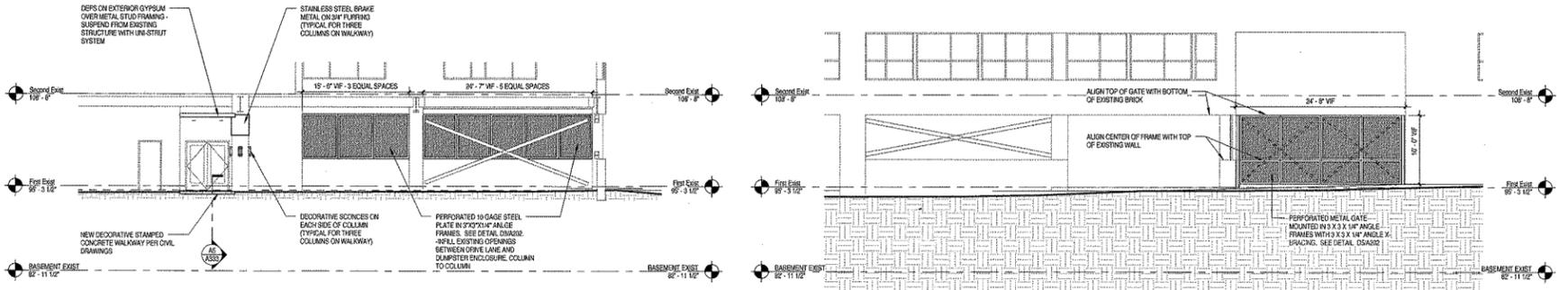


ISSUANCE AND REVISIONS  
**BID PACKAGE 2**

REVISIONS

#	DATE	DESCRIPTION

D

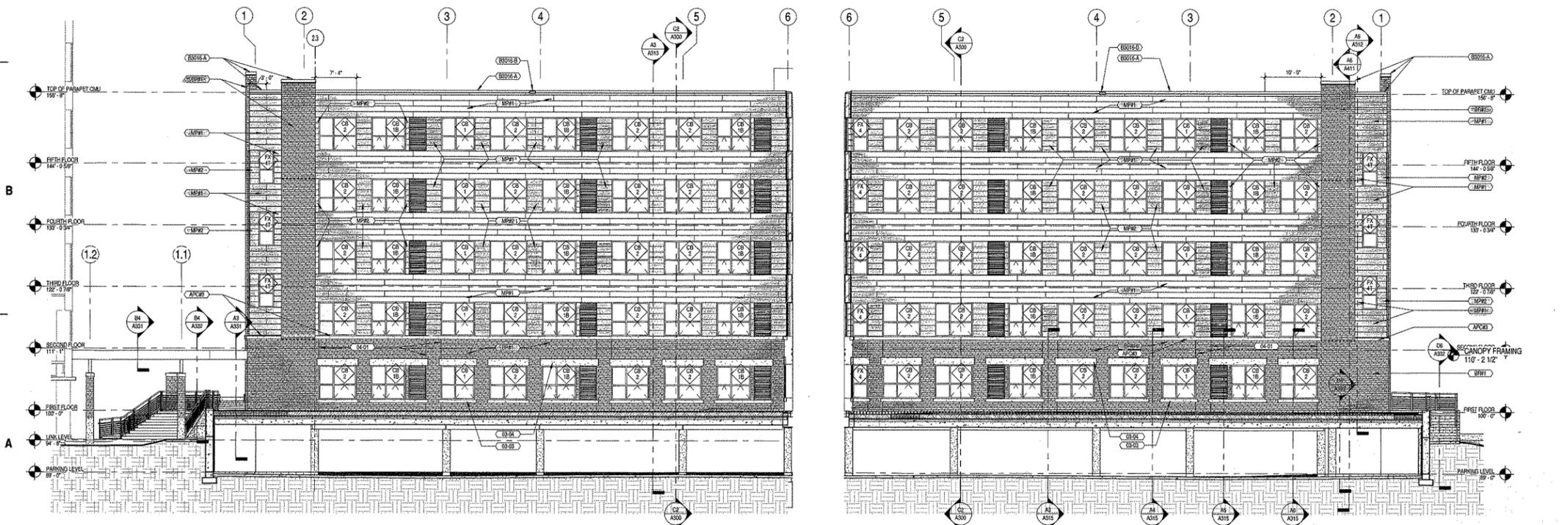


**C2** EXISTING WALKWAY SOUTH ELEVATION / SECTION  
1/8" = 1'-0"

**C5** WEST ELEVATION EXISTING WALKWAY / DUMPSTER ENCLOSURE  
1/8" = 1'-0"

GENERAL EXTERIOR WALL SECTION NOTES  
 ..... INDICATES EXTENT OF BRICK LEDGE.  
 COORDINATE ELEVATION WITH SECTIONS

C



**A2** EAST ELEVATION - COURTYARD  
1/8" = 1'-0"

**A4** WEST ELEVATION - COURTYARD  
1/8" = 1'-0"

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER	MIL
PROJECT NUMBER	303001-03
DATE	MARCH 25, 2008

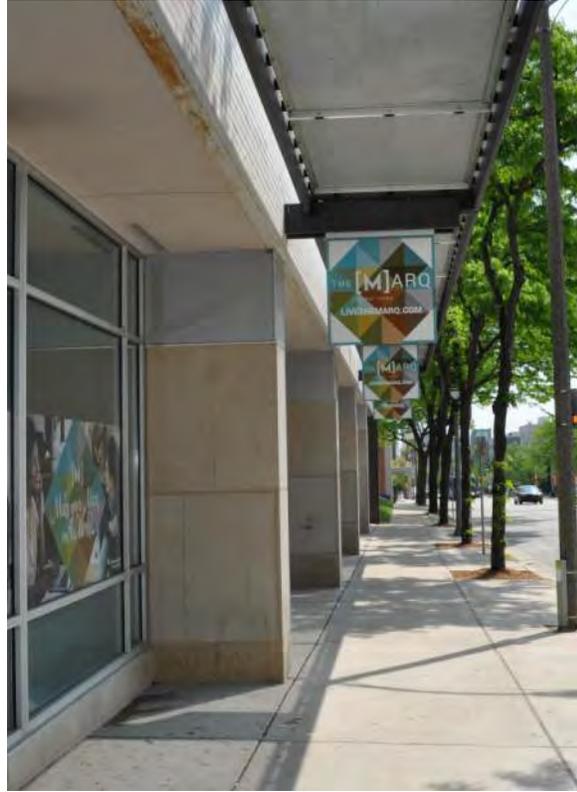
EXTERIOR ELEVATIONS

**A202**

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Westward on Wisconsin Avenue



Eastward on Wisconsin Avenue



South Building - Main Entrance from W. Wisconsin Avenue.



South Building - South Elevation on Wisconsin Avenue



South Building - Corner of Wisconsin Avenue and N. 21st Street



North & South Building - West Elevation on 21st Street



South Building - West Elevation on N. 21st Street



North Building - West Elevation on 21st Street



North Building - North Elevation



North Building & North Parking Lot - North Elevation from W. Wells St.



North & South Building - East Elevations from W. Wisconsin Avenue.



South Building - South Elevation on W. Wisconsin Avenue



North & South Building - East Elevations from W. Wisconsin Avenue.



North Courtyard- Looking North



North Courtyard - Looking Southwest



North Courtyard- Looking Southeast



North Courtyard - Looking East



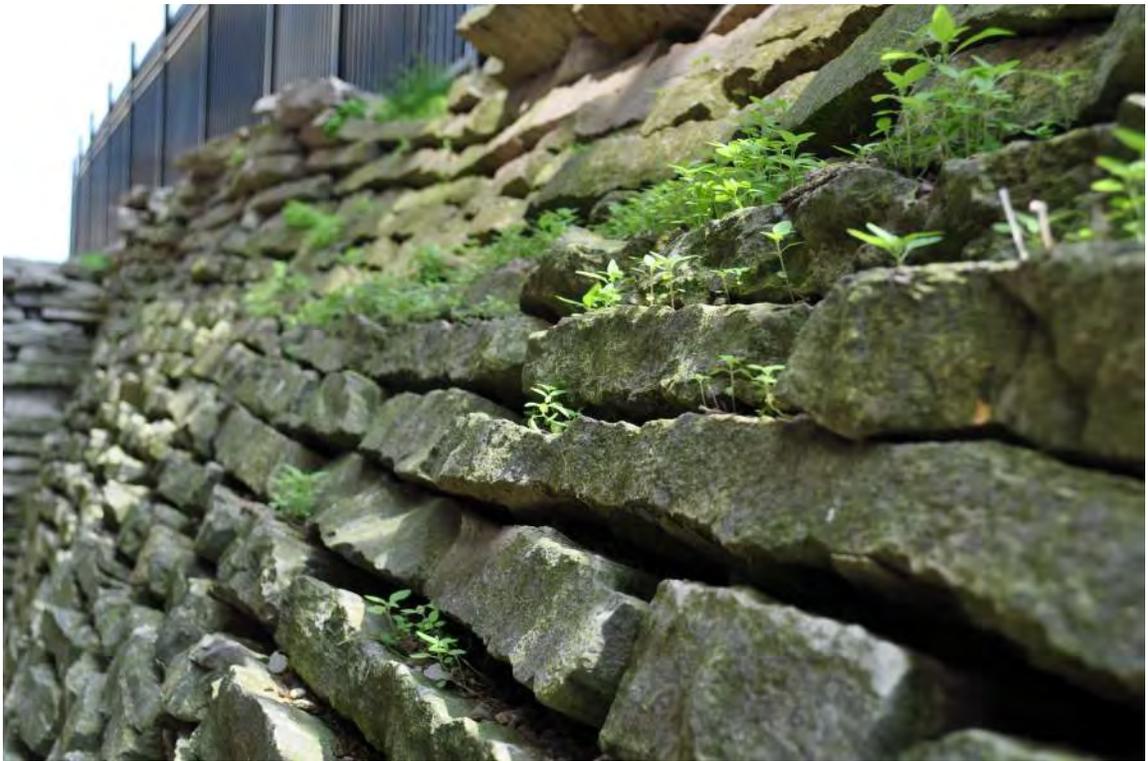
North Courtyard- Looking West



North Building - East side



Parking Area - East Side Looking South



Parking Area - East Side Looking North