



PETITION FOR A SPECIAL PRIVILEGE

ccI-246 (7/15)

SP 2792

CCF 180222

- New application \$250.00 Fee
- Amendment to add items to Special Privilege # _____ (\$125.00 Fee)
- Amendment to remove items from Special Privilege # 2439 (No fee)
- Amendment for change of ownership for Special Privilege # 2439 (No fee)

- File petition with the Department of Public Works, Attention: Special Privileges, 841 North Broadway, Room 919, Milwaukee, WI 53202.
- Fee must be submitted with petition. Checks should be made payable to the City of Milwaukee.
- Questions? Call 414-286-2454

To the Honorable, The Common Council of the City of Milwaukee:

The Licensee Park East PropCo LLC
(Name of Individual, Partners, Corporation or LLC)

being the owners of the following property known by street address as 916 E State St
(Street Address and Zip Code)

in the 4th Aldermanic District respectfully petition the Common Council of the City of Milwaukee according to the provisions of Section 66.0425 of the Wisconsin Statutes, that the following privilege be granted:


Description of Special Privilege: Removal of various items from the public right-of-way (This special privilege may be rescinded if all items are removed) 080656

Of which a plan or sketch is herewith submitted. Petitioner agrees to comply with all laws and all ordinances of the City of Milwaukee, to abide by any order or resolution of the Common Council affecting this privilege, to be primarily liable for damages to person or property by reason of the granting of such privilege, pay annual compensation as provided by law in the sum to be fixed by the proper city officers, and to file and keep current throughout the existence of the privilege, a certificate of insurance indicating applicant holds a public liability policy in at least the sums of \$25,000.00/\$50,000.00 bodily injury, and \$10,000.00 property damage, insuring the city against any liability that might arise by reason of the privilege.

Petitioner further agrees to remove said privilege whenever public necessity so requires when so ordered upon resolution adopted by the Common Council or other legislative body.

Should this special privilege be discontinued for any reason whatsoever, petitioner agrees to remove all construction work executed pursuant to this special privilege, to restore to its former condition and to the approval of the Commissioner of Public Works, any curb, pavement, or other public improvement which was removed, changed or disturbed by reason of the granting of this special privilege. Petitioner further agrees not to contest the validity of Section 66.0425 of the Wisconsin Statutes, or the legality of this special privilege in any way.

Name (Please Print): Mike Klein
(Individual, Partner, or Agent if corporation or LLC as shown above)

Signature:  Date: 02/07/2018
(Individual, Partner, or Agent if corporation or LLC)

Corporation or LLC Name: Park East PropCo LLC
(If applicable, as shown above)

Mailing Address (If different than property address above): 241 North Broadway

(OVER)

City: Milwaukee State: WI Zip: 53202

Telephone: (414) 732-7709 E-Mail: mike@kleindevelopmentinc.com

Architect/Engineer/Contractor (If Applicable)

Name: Glenn Roby (Kahler Slater, Inc.)

Address: 111 W Wisconsin Ave




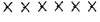
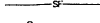



City: Milwaukee State: WI Zip: 53203

Telephone: (414) 272-2000 E-Mail: groby@kahlerslater.com

IMPORTANT NOTICE FOR CUSTOMERS PAYING BY CHECK

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account or to process the payment as a check transaction.

LEGEND

-  - ASPHALT PAVEMENT REMOVAL (MILL)
-  - BUILDING DEMOLITION
-  - CONCRETE PAVEMENT REMOVAL
-  - SAWCUT
-  - SILT FENCE (1) (CS900)
-  - INLET PROTECTION (2) (CS900)
-  - REMOVE LIGHT STANDARD OR ELECTRIC PEDESTAL
-  - REMOVE CHAIN LINK FENCE, RETAINING WALL, OR CONCRETE CURB

REMOVAL NOTES

1. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR ABANDONMENT OR REMOVAL. EXISTING UTILITIES THAT ARE TO BE ABANDONED OR REMOVED SHALL BE RESPECTFULLY ABANDONED OR REMOVED TO THE LOCATIONS INDICATED ON THIS PLAN. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
3. MILL EXISTING ASPHALT PAVEMENT FOR PARKING STRUCTURE (SECOND FLOOR LEVEL) TO THE EXISTING CONCRETE DECK. SCARIFY CONCRETE MAT SLAB TO 0.25-INCH AMPLITUDE. ANTICIPATED MILLING DEPTH OF APPROXIMATELY 2-INCHES.
4. ITEMS SCHEDULED FOR REMOVAL AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
5. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
6. CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, RULES AND REGULATIONS APPLICABLE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO EROSION CONTROL, AIR POLLUTION, NOISE POLLUTION, AND WASTE DISPOSAL.
7. CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DETERMINED BY OWNER'S REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL OR REPLACEMENT. CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.

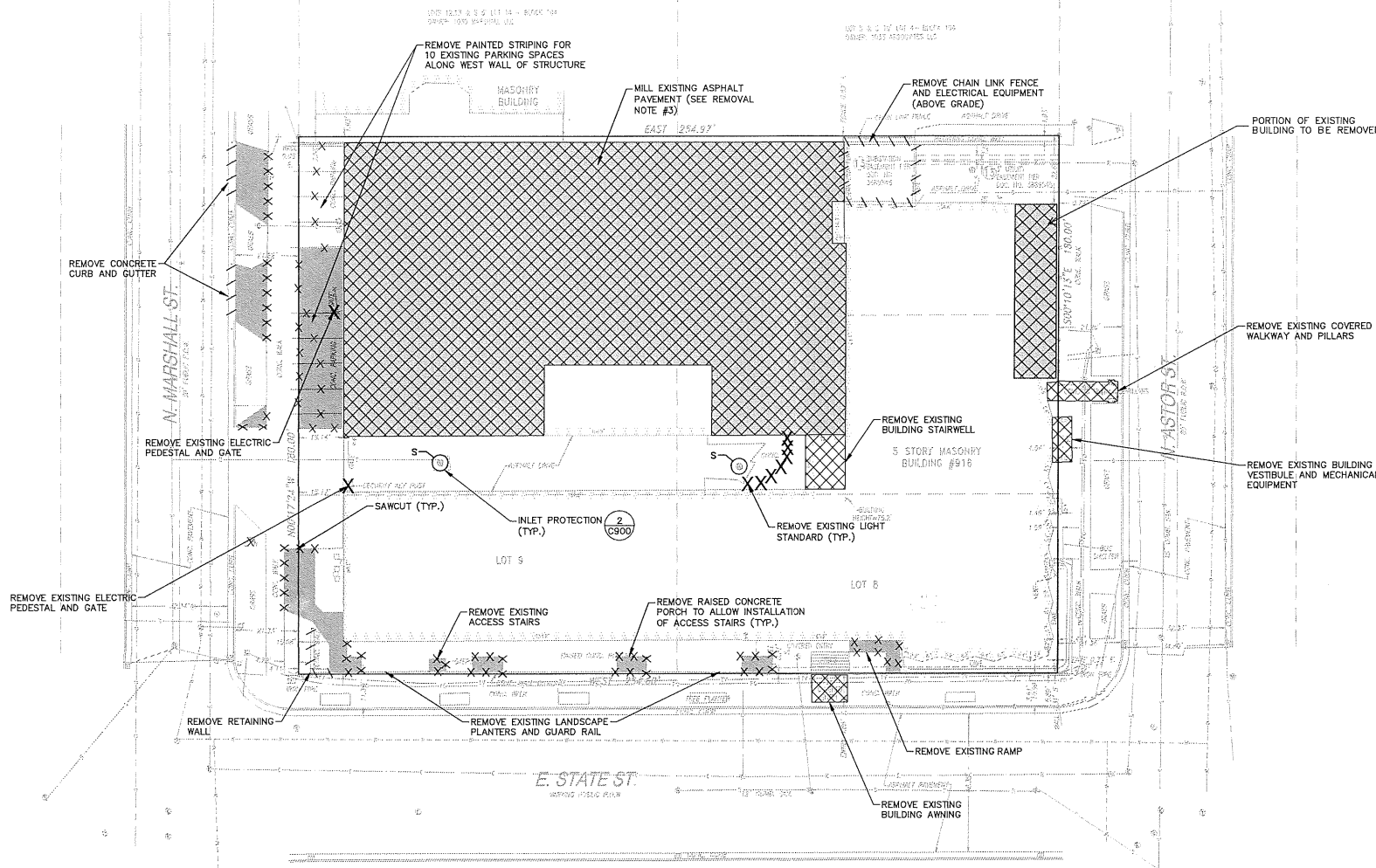
GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY CHAPUT LAND SURVEYS IN JUNE 2017. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THEREOF.
2. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

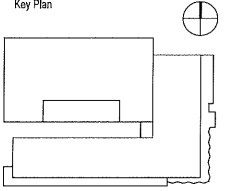
EROSION CONTROL NOTES

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MILWAUKEE, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THIS PLAN. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT AS PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THIS PLAN.
6. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
7. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
8. CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 1. INSTALL SILT FENCE AND INLET PROTECTION.
 2. PERFORM DEMOLITION ACTIVITY.
 3. INSTALL UTILITIES. INSTALL INLET PROTECTION ON NEW INLETS.
 4. CONSTRUCT BUILDING IMPROVEMENTS.
 5. INSTALL PAVEMENTS.
 6. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

9. SITE DEWATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
10. WASTE AND MATERIAL DISPOSAL: ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
11. TRACKING: EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY, BEFORE THE END OF EACH WORKDAY.
12. SEDIMENT CLEANUP: ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
13. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, AND MULCHING SODDING, COVERING WITH TARP, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
14. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
15. NOTIFY THE CITY WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
16. NOTIFY THE CITY OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.
17. OBTAIN PERMISSION IN WRITING FROM THE CITY OF MILWAUKEE ENGINEERING DEPARTMENT PRIOR TO MODIFYING THIS PLAN.
18. KEEP A COPY OF THIS PLAN ON SITE.



Key Plan



Revisions

Date	Description

CONSTRUCTION DRAWINGS

Drawing Date
12/20/2017

PARK EAST APARTMENTS

916 EAST STATE STREET
MILWAUKEE, WI 53202

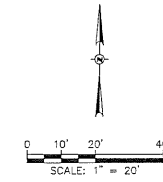
Project No. KLEIN
217016.00 DEVELOPMENT

DEMOLITION AND EROSION CONTROL





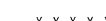


111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
Telephone 414.272.2000 Fax 414.272.2001

44 East Miller Street, Suite 700, Madison, Wisconsin 53703
Telephone 608.283.6300 Fax 608.283.6317

Sheet No.
C100



LEGEND

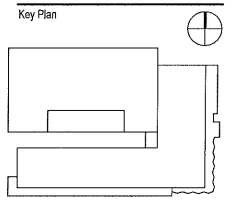
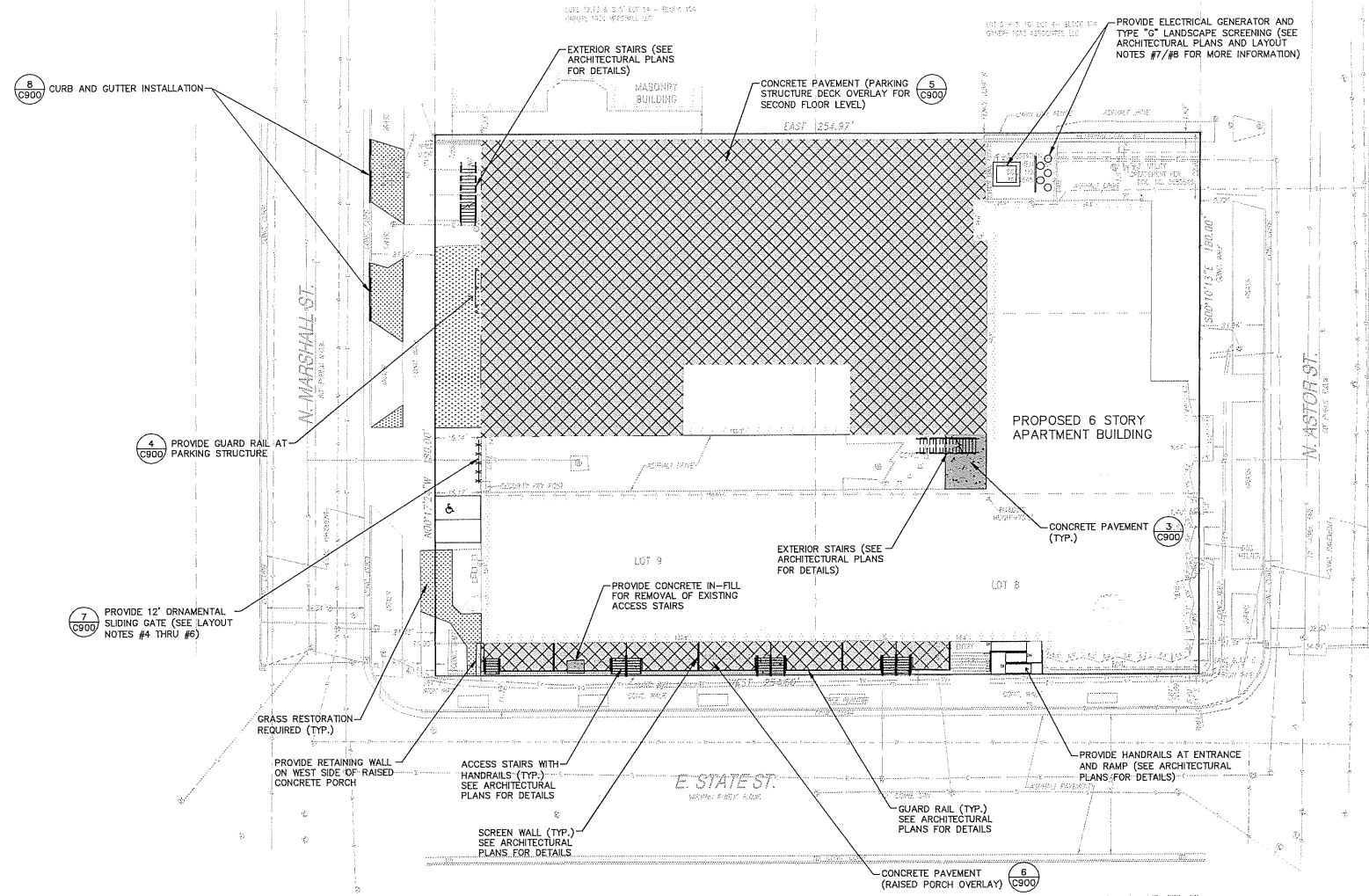
-  - CONCRETE PAVEMENT (OVERLAY) (5) (C900)
-  - CONCRETE PAVEMENT (3) (C900)
-  - GRASS RESTORATION
-  - GUARD RAIL (4) (C900)
-  - SLIDING ACCESS GATE (7) (C900)
-  - RETAINING WALL
-  - CURB AND GUTTER (8) (C900)

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY CHAPUT LAND SURVEYS IN JUNE 2017. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.
3. SEE STRUCTURAL GENERAL NOTES FOR CONCRETE BONDING AGENT REQUIREMENTS TO EXISTING PARKING STRUCTURE DECK AND EXISTING RAISED PORCH.

LAYOUT NOTES

1. THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
2. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CONCRETE CURB IS SHOWN.
3. CONTRACTOR SHALL SUBMIT A CONCRETE JOINTING PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION. JOINTING PLAN SHALL INDICATE: FOUR SEQUENCE, LOCATION OF CONSTRUCTION, ISOLATION, CONTRACTION JOINTS, AND TYPE OF REINFORCEMENT.
4. CONTRACTOR SHALL COORDINATE AND PROVIDE POWER, GARD ACCESS READER, MOUNTING STRUCTURE, DETECTION LOOPS, AND PHOTOELECTRIC SENSOR FOR THE PROPOSED SLIDING GATE. THE GATE SHALL BE PROVIDED WITH A BLACK POWDER COATED FINISH AND SLIDE NORTH TOWARD THE PARKING GARAGE.
5. THE SLIDING GATE SHALL COMPLY WITH UL 325 STANDARDS. PROVIDE A CLASS II HORIZONTAL SLIDE GATE OPERATOR WITH TYPE "A" PRIMARY ENTRAPMENT PROTECTION DEVICE AND TYPE "B1" SECONDARY ENTRAPMENT PROTECTION PROVISION.
6. IN AN EFFORT TO FACILITATE PEDESTRIAN INGRESS/EGRESS, CONTRACTOR SHALL ENSURE THAT 4- FEET OF CLEARANCE IS PROVIDED BETWEEN THE EXISTING BUILDING CORNER AND TERMINAL POST OF THE PROPOSED SLIDING GATE.
7. CONTRACTOR SHALL PROVIDE A DECORATIVE METAL FENCE BETWEEN THE GENERATOR AND ASTOR STREET. THE FENCE SHALL EXTEND A MINIMUM 12-INCHES ABOVE THE GENERATOR (9' MAXIMUM HEIGHT). THE FENCE SHALL HAVE 100-PERCENT OPACITY. A CHAIN LINK FENCE IS OPTIONAL (8' MAXIMUM HEIGHT) WITH COATED WIRE AND SLAT/MESH SCREENING.
8. CONTRACTOR SHALL PROVIDE TWO STAGGERED ROWS OF SHRUBS (SPACED A MAXIMUM 4' ON CENTER) ADJACENT TO THE DECORATIVE METAL FENCE. ONLY ONE ROW OF SHRUBS (SPACED A MAXIMUM 3' ON CENTER) SHALL BE PROVIDED IF THE FENCE HEIGHT DOES NOT EXCEED 4- FEET. AT THE TIME OF PLANTING, SHRUB MATERIAL SHALL HAVE A MINIMUM 6" HEIGHT AND 24-INCH DIAMETER.



Revisions	
Date	Description

CONSTRUCTION DRAWINGS

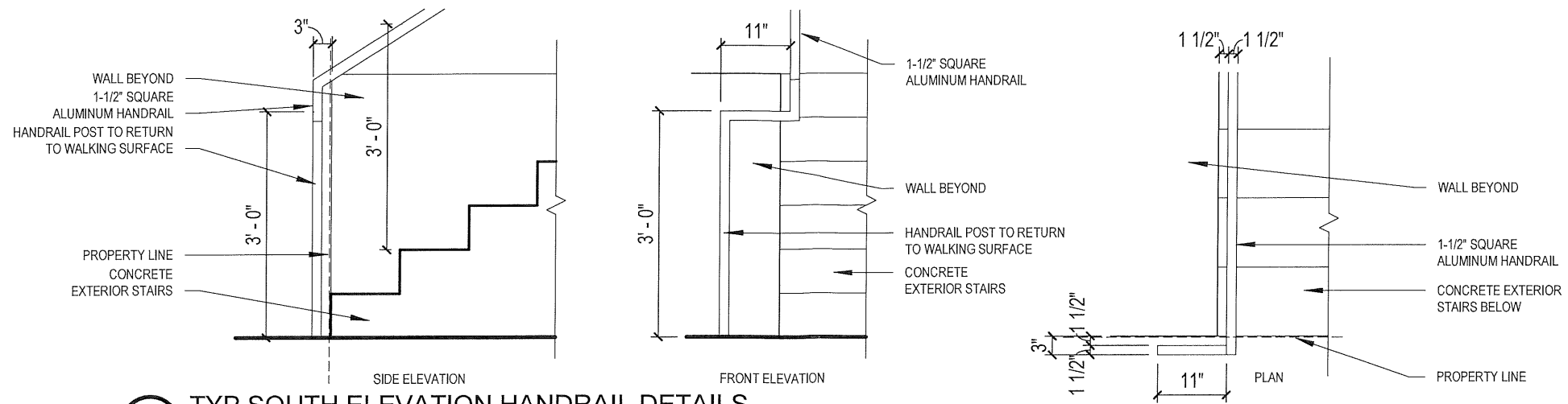
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PARK EAST APARTMENTS

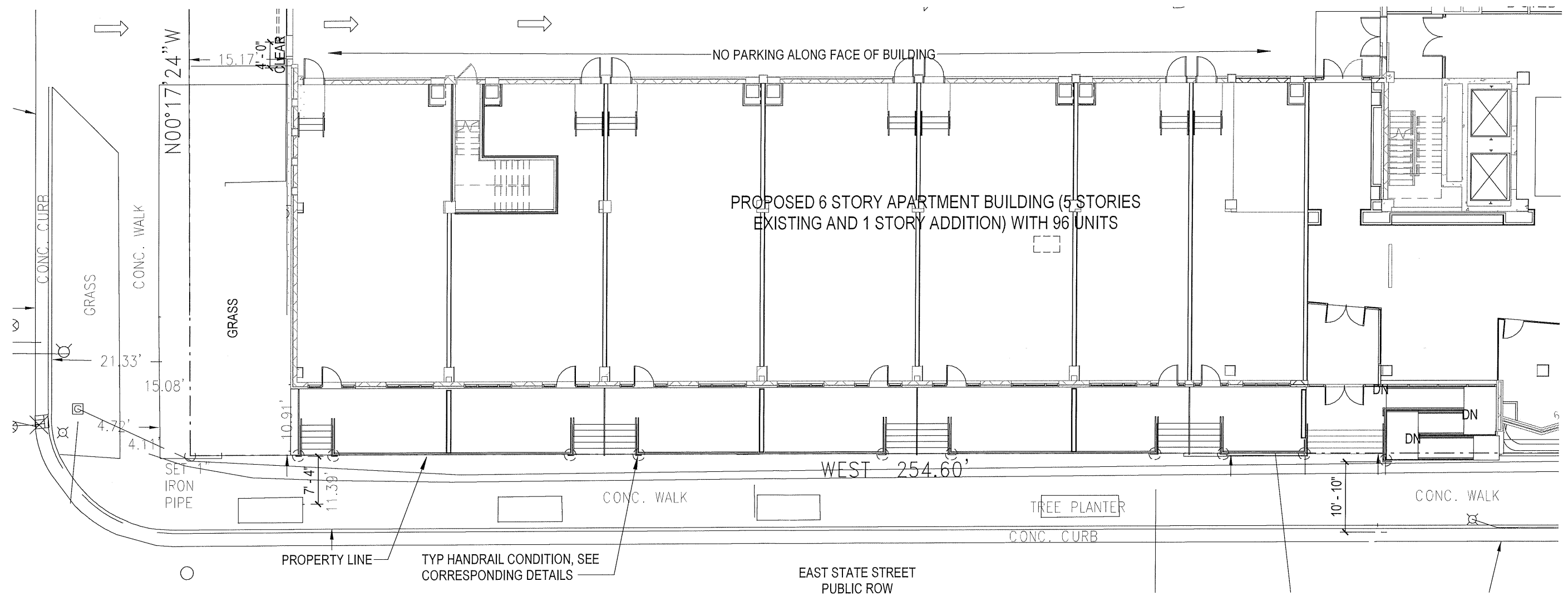
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Project No. KLEIN
217016.00 DEVELOPMENT

SITE PLAN



2 TYP SOUTH ELEVATION HANDRAIL DETAILS
 1/2" = 1'-0"



1 SITE PLAN
 1/16" = 1'-0"

SOUTH ELEVATION HANDRAILS