

PARK EAST  
**REDEVELOPMENT**  
**PLAN**

DOCUMENT THREE:

**DEVELOPMENT  
CODE**

PREPARED FOR:

REDEVELOPMENT AUTHORITY  
OF THE CITY OF MILWAUKEE

PREPARED BY:

- HNTB CORPORATION
- PLANNING & DESIGN  
INSTITUTE, INC.

DATE ADOPTED BY RACM:

DATE ADOPTED BY CITY:

**FINAL DRAFT: 11/14/03**

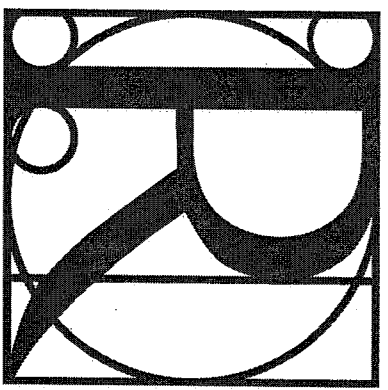
Planning & Design Institute, Inc.



**HNTB**

**PDI**

**PARK EAST**



**REDEVELOPMENT**

**PLAN**

**DOCUMENT THREE:**

**DEVELOPMENT  
CODE**

**PREPARED FOR:**

**REDEVELOPMENT AUTHORITY  
OF THE CITY OF MILWAUKEE**

**PREPARED BY:**

- **HNTB CORPORATION**
- **PLANNING & DESIGN  
INSTITUTE, INC.**

**DATE ADOPTED BY RACM:**

**DATE ADOPTED BY CITY:**

**FINAL DRAFT: 11/14/03**



## ACKNOWLEDGEMENTS

### CITY OF MILWAUKEE

John O. Norquist, Mayor

#### Common Council

Ald. Marvin E. Pratt, President  
Ald. Joe Davis, Sr.  
Ald. Michael S. D'Amato  
Ald. James A. Bohl, Jr.  
Ald. Marlene E. Johnson-Odom  
Ald. Fredrick G. Gordon  
Ald. Robert G. Donovan  
Ald. Don Richards  
Ald. Willie C. Wade  
Ald. Joe Dudzik  
Ald. Angel Sanchez  
Ald. Terry Witkowski  
Ald. Suzanne M. Breier  
Ald. Thomas G. Nardelli  
Ald. Michael J. Murphy  
Ald. Willie L. Hines

#### Redevelopment Authority

Tom Mellencamp, Chair  
Ald. Fredrick G. Gordon, Vice Chair  
Ald. Marlene E. Johnson-Odom  
Lincoln Fowler  
Kenneth L. Johnson  
Justin L. Mortara  
Kathryn M. West  
Julie Penman, Executive Secretary  
Greg Shelko, Assistant Director

#### City Plan Commission

Robert Greenstreet, Chairman  
Julilly Kohler, Vice Chairman  
Douglas Drake  
Larri Sue Jacquart  
R. Gray Michem  
J. Allen Stokes  
Patricia Torres

#### Department of City Development

Julie A. Penman, Commissioner  
Michal Dawson, Deputy Commissioner  
Peter J. Park, Planning Director  
Daniel McCarthy, Urban Development Manager  
Michael Wisniewski, Senior Economic Development Specialist  
Michael Maierle, Long-Range Planning Manager  
Allison Semandel, Senior Planner  
John Bratina, Economic Development Policy Coordinator  
Gregory A. Patin, Zoning and Development Coordinator  
Christopher R. Gleissner, Long Range Planning Intern  
Kristin Krueger, Long Range Planning Intern

#### Department of Public Works

Mariano A. Schifalacqua, Commissioner  
James P. Purko, Director of Operations  
Jeffrey S. Polenske, City Engineer  
Preston D. Cole, City Forester  
Jeffrey H. Dillon, Transportation Design Manager  
Jeffrey J. Mantes, Chief Planning & Development Engineer  
Robert Buffone, Major Projects Manager  
Ghassan A. Korban, District Manager of Construction  
Michael Chaplich, Construction Supervisor  
Lois C. Gresl, Project Engineer  
George Roemer, Structure Design Manager

# ACKNOWLEDGEMENTS

## MILWAUKEE COUNTY

Scott Walker, County Executive

### Board of Supervisors

Sup. Lee Holloway, Chair  
Sup. Peter Agnos  
Sup. Sheila A. Aldrich  
Sup. Thomas A. Bailey  
Sup. Mark A. Borkowski  
Sup. Gerry Broderick  
Sup. Paul Cesarz  
Sup. Toni Clark  
Sup. Elizabeth Coggs-Jones  
Sup. Lynne De Bruin  
Sup. Daniel J. Diliberti  
Sup. Bud Endries  
Sup. Willie Johnson, Jr.  
Sup. Tim Johnson  
Sup. Robert Krug  
Sup. Lori Lutzka  
Sup. Michael Mayo, Sr.  
Sup. Ryan McCue  
Sup. Rob McDonald  
Sup. Richard D. Nykiewicz, Jr.  
Sup. Roger Quindel  
Sup. Jim Schmitt  
Sup. John Weishan, Jr.  
Sup. James G. White  
Sup. T. Anthony Zielinski

### County Economic and Community Development Committee

Sup. Michael Mayo, Sr., Chairman  
Sup. Jim Schmitt  
Sup. Willie Johnson, Jr.  
Sup. Rob McDonald  
Sup. Lori Lutzka  
Sup. Lynne De Bruin  
Sup. Peter Agnos

### County Transportation, Public Works and Transit Committee

Sup. James White, Chairman  
Sup. Lori Lutzka  
Sup. Ryan McCue  
Sup. John Weishan, Jr.  
Sup. Willie Johnson, Jr.  
Sup. Michael Mayo, Sr.  
Sup. Jim Schmitt

### Milwaukee County Department of Economic Development

William W. Hatcher, Director  
Timothy Russell, Associate Director  
Leonard Jackson, Coordinator  
Craig C. Dillmann, Manager of Real Estate Services  
Gerald Baker, Real Estate Agent

## CONSULTING TEAMS

### HNTB Corporation

Don Lee, Project Manager  
Tom Dabareiner, Director Urban Design & Planning  
Carolyn Gretzinger, Community Planner  
Charlie Causier, Former Planning Director  
Jennifer Worrell, Urban Design/GIS Technician  
Tom Kindschi, Section Manager Urban Design  
Laurie DeVos, Landscape Architect  
Jiang Qian, Landscape Architect  
Jodi Wolfe, Graphic Designer

### Planning & Design Institute, Inc.

Larry Witzling, President  
Shaun Mularkey, Associate  
Mark C. Taylor, Former Associate

### Hurtado Consulting, LLC

Geoffrey F. Hurtado, Principal  
Dyann Benson, Associate

# Introduction / Table of Contents

## INTRODUCTION

The Development Code defines use and design standards for all buildings in the Park East Redevelopment boundary. The standards primarily control aspects of buildings and site elements that define street edges and corners to create a pedestrian-friendly public realm. In general, diverse uses and shared uses are encouraged.

The Development Code will be administered by the Redevelopment Authority of the City of Milwaukee (RACM) through the Department of City Development (DCD) staff. All new construction and modifications to existing buildings must comply with the standards set forth in the Development Code and all other applicable codes in the City of Milwaukee.

The Development Code consists of 3 sections: General Rules and Definitions, Regulating Plan, and Block Development Standards.

## CHAPTER ONE: GENERAL RULES AND DEFINITIONS

This section defines the general standards that apply to all development. This section explains the standards, terms, and diagrams used in the Development Code that control building use, placement, height, entrances, site access, street level activation and design details.

Page 5

## CHAPTER TWO: REGULATING PLAN

This section controls the overall form of streets, blocks and buildings to create the physical character envisioned in the Master Plan. Each block is coded to indicate the combination of building types allowed.

Page 10

## CHAPTER THREE: BLOCK DEVELOPMENT STANDARDS

This section includes general site information and specific regulations for each block. The regulations include standards for building placement, site access, alley locations, landmark buildings, building height, street activation, special features, and alternative standards where applicable. The Block Development Standards are organized by District.

McKinley Avenue District

Page 12

Lower Water Street District

Page 38

Upper Water Street District

Page 64

## APPENDICES

A	Use Table	Page 82
B	Building Height Map	Page 85
C	Street Activation Map	Page 86
D	Land Transfer of Public Rights-of-Way Dedications/Vacations Map	Page 87

Park East Redevelopment Streets and Blocks



# CHAPTER ONE General Rules and Definitions

All development proposals will be reviewed by the Department of City Development (DCD) to confirm compliance with the standards contained in this Development Code. All development shall conform to the Milwaukee Zoning Code of Ordinances and all other applicable codes. DCD shall be responsible for interpreting this Development Code as well as approving minor variations which are deemed consistent with the spirit and intent of the overall plan.

## 1. LAND USES

The following uses are permitted on all blocks. (See Use Table, Appendix A for specific uses that comprise each category.)

- Residential
- Office
- Retail/Service
- Entertainment/Accommodations
- Institutional

The following uses are limited by the C9B(A) Zoning and may be further limited by this Development Code. For example: While a surface parking lot is a Special Use in the C9B(A) Zone, it is prohibited by this Development Code. (See Use Table, Appendix A for specific uses that comprise each category.)

- Parking
- Industrial/Storage/Utility

## 2. BUILDING HEIGHT

Building heights are regulated to create streets in character with the Districts described in the Master Plan. Building height ranges are indicated on each block in the Block Development Standards. Building heights are identified by the number of stories above grade and given a minimum and maximum range. The ground floor shall not be less than 12 feet from finished floor to finished ceiling but has no maximum height limit. Above the ground floor, a story is defined as a habitable level no more than 14 feet in height from finished floor to finished ceiling. When an upper story exceeds 14 feet in height, the additional height will count as an additional story.

For additions to existing buildings, the allowable minimum building height is the height of the existing building.

Because of their prominent locations, several sites have been designated for Landmark Buildings as described in the Master Plan. These sites have taller minimum and maximum height ranges (typically 10-20 stories).

Large Venue Buildings must be a minimum of 36 feet in height and cannot exceed the block maximum height. The ground floor maximum height does not apply to Large Venue Buildings.

(See Block Development Standards, pages 12-81 and/or Appendix B)

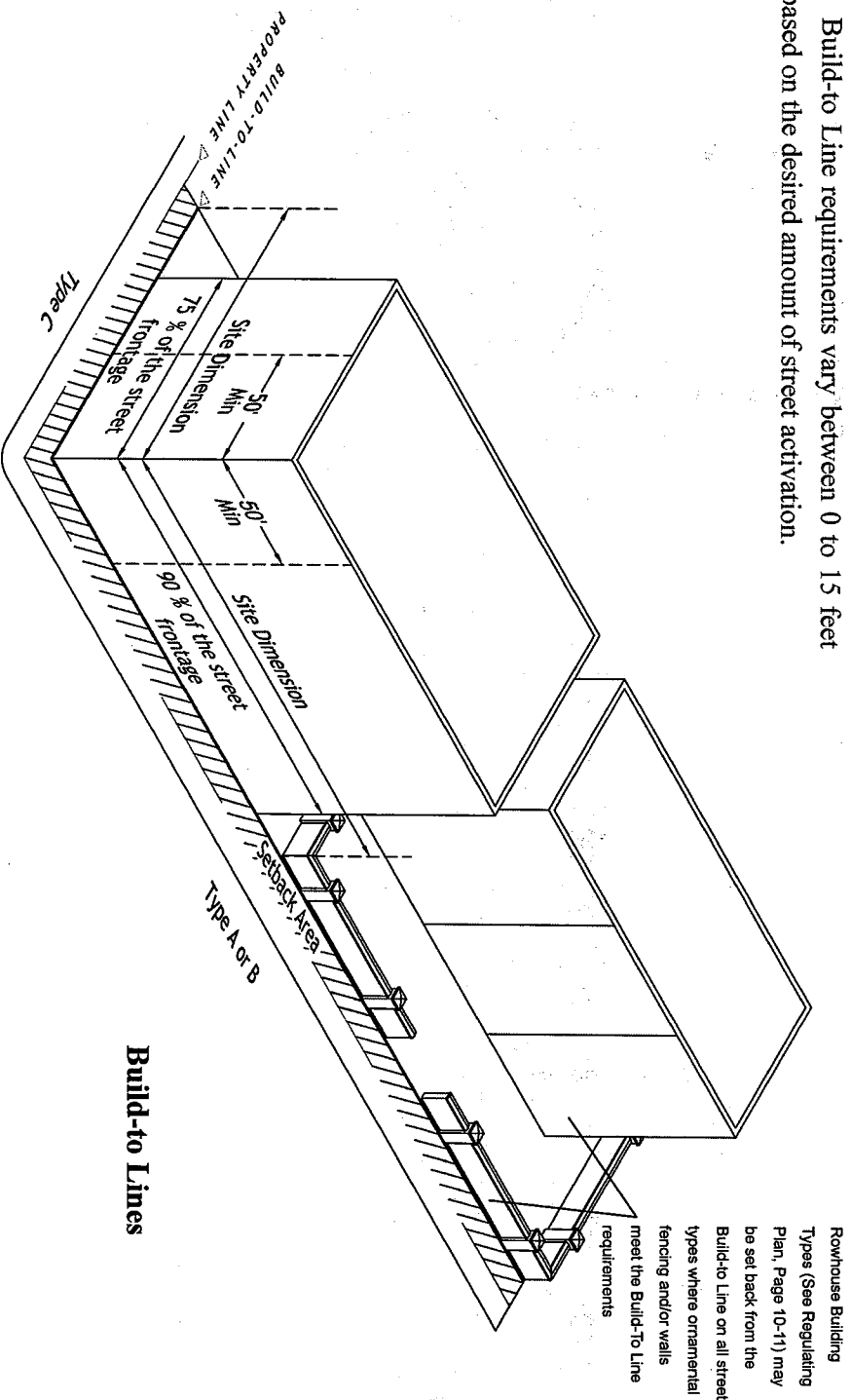
## 3. BUILD-TO LINE

Build-To Lines are established for each block to ensure that building placements clearly define street edges and corners. The Build-To Line is the line parallel to the property line along which the facade of the building must be located. Facade is defined as any vertical, exterior face or wall of a building.

Build-to Line requirements vary between 0 to 15 feet based on the desired amount of street activation.

At street corners, building facades must occupy 100% of the Build-To Line within 50' of the property corner. Large Venue Buildings can deviate from Build-to Line requirements within this 50' distance to the property corner.

For parcels with unusual geometries, alternative Build-To Line configurations are defined in the specific Block Development Standards.



# General Rules and Definitions

For adaptive reuse of existing buildings, the Build-To Line is the existing building facade.

For Type A and B Streets (*For street types, see Street Activation Map, Appendix C*) building facades must occupy at least 90% of the street frontage at the Build-to Line at the street level and at least 60% of the street frontage at the Build-to Line for upper stories. On Type C Streets, building facades must occupy at least 75% of the street frontage at the Build-to Line at the street level.

Building construction can vary from the Build-to Line to accommodate facade articulation including: arcades, entrances, balconies, and reveals.

Special design conditions on specified blocks may require a 10-foot facade setback after 3 stories (*See Block Development Standards, pages 12-81*).

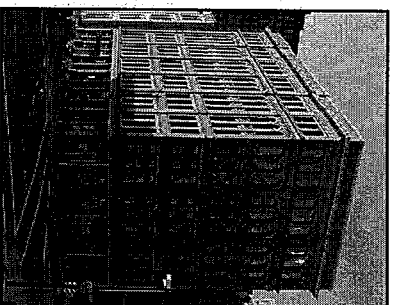
Within the McKinley and Lower Water Street Districts, the Setback Area must be paved (asphalt is prohibited) to create a wider walk area. In the Upper Water Street District, the Setback Area can be either paved (asphalt prohibited) or landscaped. In all three Districts, the Setback Area can include elements such as the following: stairs, ramps, terraces, awnings, signs, bay windows, balconies, roof overhangs, lighting, below grade vaults, foundations and footings. Further protrusions from the building that extend into the public ROW are called encroachments and are allowed up to the dimensions specified in Chapter 245 of the Milwaukee Code of Ordinance or could be allowed if a special privilege is granted.

(*See Block Development Standards, pages 12-81*)

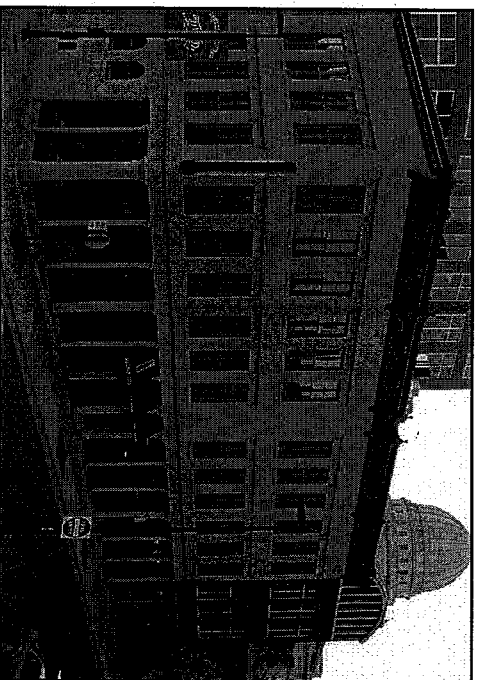
## 4. BUILDING COMPOSITION

### 4.1 Building Base (Ground Floor)

Buildings should be composed to define a base, middle and top.



Composition: Base, Middle and Top



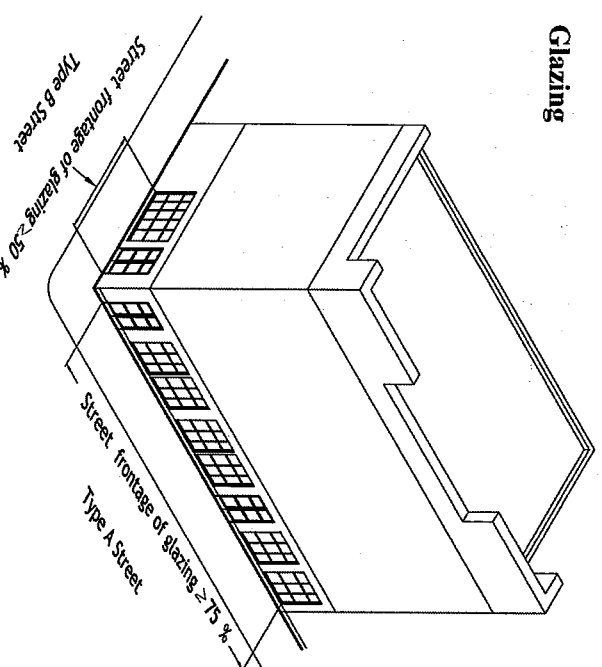
### 4.1.1 Glazing

Street level facades shall include visual features and design details that enrich the pedestrian experience. While

visual interaction with all stories of the building is encouraged, visual interaction by means of clear, non-tinted windows (glazing) is required along the street frontage of a building. The amount and type of ground floor windows is as follows:

- The area where clear, non-tinted glazing must occur is between 2 feet above grade to at least 8 feet above grade. Lower glazing (such as glazing extending to the floor) and/or higher-level glazing (such as transoms and clerestories) are encouraged. For residential buildings, ground floors should be raised a half level and the area where clear, nontinted glazing must occur is between 3 feet above the ground floor to at least 8 feet above the ground floor. Glazing is measured along the street frontage of a building.
- In order for the glazing to be considered “clear”, it should not be tinted, not be reflective, and have a visual transmittance factor of at least 65%. This rat-

### Glazing



ing refers to the amount of light that is able to pass through the glass. This rating will typically allow for the required clear window to be double insulated glass with a low-e coating. Selecting a low-e coating with low reflectivity is also required. (A glass sample may be needed to be submitted when low-e coatings are proposed.)

The clear glazing zone is measured along the street frontage of the building and does not include service entries. Glazing requirements vary by street type as follows:

- Type A Streets: 75% of the street frontage (50% for residential)
- Type B Streets: 50% of the street frontage
- Type C Streets: No requirement

### 4.1.2 Street Activation

Where required glazing is provided along the ground floor, the area behind the glazing must be Street Activating Uses for a minimum of 12 feet in depth.

Street Activating Uses are those open to the public including shops, restaurants, lobbies, and other service activities that move goods and people in and out of the building. Street Activating Uses can also include areas that are not open to the public yet still activate the street. Street Activating Uses do not include parking stalls.

For Residential Uses, the following Street Activating Uses are permitted:



## General Rules and Definitions

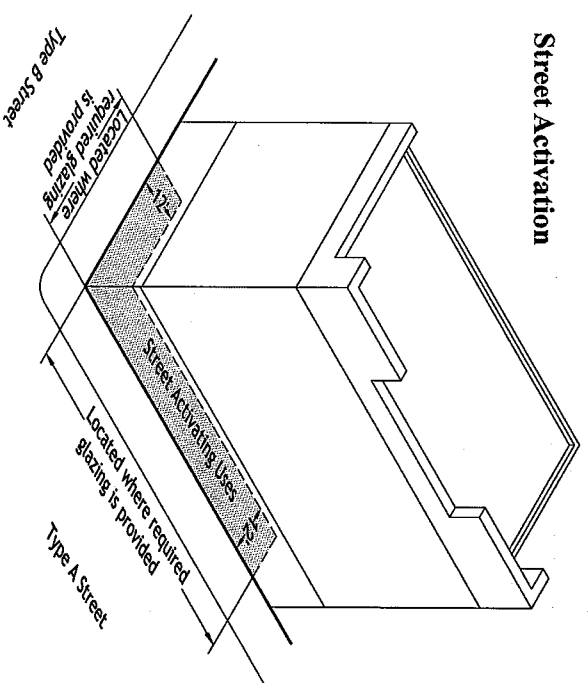
In all types of residential buildings, foyers and entry areas, main living spaces, dens, home offices, and live-work spaces are appropriate.

Where a multi-family use is present in the entire building, uses may also include vestibules, lobbies, mailbox areas, exercise rooms, regularly used activity rooms, leasing offices and similar types of spaces.

Examples of inappropriate areas would include parking areas, storage lockers, mechanical room, and other generally non-active spaces.

For Office Uses, the following Street Activating Uses are permitted:

Reception areas, waiting rooms, lobbies, teller areas, frequently used meeting rooms, break rooms, cafeterias and other similar areas are appropriate. Individual offices



### Street Activation

which may have the need for privacy and closed blinds are not appropriate along street frontages at street level.

Examples of inappropriate areas would include parking areas, supply rooms, mechanical room, and other generally non-active spaces.

For Retail/Service Uses, the following Street Activating Uses are permitted:

Merchandise display and sales floor areas, register areas, vestibules, and other staff areas are appropriate.

Examples of inappropriate areas would include areas not-accessible to the public such as offices, storage rooms, parking areas, employee lockers areas, mechanical room, and other generally non-active spaces.

For Entertainment/Accommodation Uses, the following Street Activating Uses are permitted:

In taverns and restaurants, customer seating and waiting areas, circulation areas, and other areas which could accommodate windows are appropriate.

Examples of inappropriate areas would include coat check, storage areas, and bar backs (unless designed with open transparency).

For hotels, Large Venue Buildings and other places of accommodation, lobbies, customer service areas, restaurants and bar areas, coffee shops, gift shops, and often used gathering and meeting breakout areas are appropriate.

Examples of inappropriate areas would include areas

not accessible to the public such as offices, storage rooms, coat checks rooms, only occasionally used ballrooms and large meeting rooms, parking areas, employee lockers areas, mechanical room, and other generally non-active spaces.

For Institutional Uses, the following Street Activating Uses are permitted:

For schools, areas with the highest and most frequent use, such as central circulation areas, libraries, student lounges, and similar areas are appropriate.

Areas such as infrequently used classrooms, laboratories, and faculty offices are inappropriate.

For Structured Parking Uses, the following Street Activating Uses are permitted:

Lobby areas or attended parking offices and vehicle access points are appropriate. Areas devoted to actual parking or circulation beyond access points are inappropriate.

Note: Industrial/Storage/Utility Uses are generally prohibited (See *Use Table, Appendix A*); if allowed, these uses are prohibited from locating along the street frontage. In cases where other factors necessitate utility or mechanical uses on the street level, they should be located as far from the street as possible.

#### 4.1.3. Entries

Pedestrian entries should be provided for each distinct ground floor use (or tenant) along the street frontage. Shared ground floor entrance lobbies are permitted for

upper story uses. Dominant corner entrances that maintain the Build-to-Line are desirable on corner sites.

Service entries include truck docks, fire exit doors, areas for waste disposal, and areas for deliveries. Service entries should be located along alleys and are not permitted along street frontages unless no other access is available. Fully enclosed service entries are permitted along street frontages unless otherwise noted in the Block Development Standards. The paving along the sidewalk must be at the same typical height as the adjacent sidewalks to create a level, non-interrupted path for pedestrians.

Fire exit doors and service doors that must be along the street frontage should be designed to be consistent with other ground floor facade elements.

Vehicular parking entries, curb cuts, and driveways are permitted except as noted in the Block Development Standards. Curb cuts and driveways for vehicle parking entries shall not exceed 20 feet in width. Not more than 3 lanes total should enter/exit at any single location. Where the vehicle entry driveway crosses the sidewalk, the paving along the sidewalk must remain at the same typical height as the adjacent sidewalks to create a level, non-interrupted path for pedestrians.

Gates/doors for possible nighttime closure must be recessed 4 feet from the building facade.

Card readers or ticket booths shall be properly placed so that a vehicle entering will not protrude into the public Right-of-Way when stopped.

# General Rules and Definitions

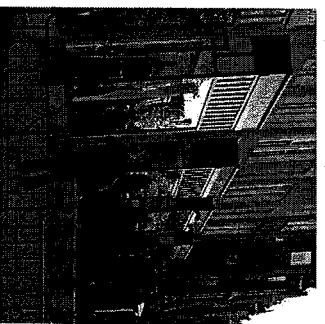
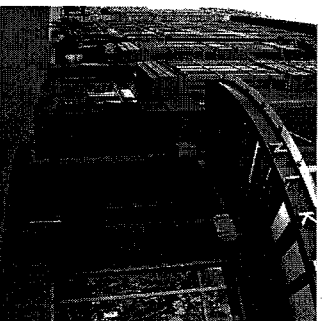
## 4.1.4. Materials

Enrichment of the pedestrian realm requires building base materials to be of high quality, such as stone, brick, metal panel systems, and other durable materials. Materials such as EIFS should not be used on the building base, and utility grade materials such as split face block are only allowed on rear, interior lot lines and alley frontages.

## 4.1.5. Detailing Enrichments

Detailing of the base of buildings should be used to enhance the human scale qualities of the building. On all types of buildings, the building base should be distinctly noticeable from the middle portion of the building. Cornices, friezes, hoods, canopies or other expressive elements should demark the separation of these portions of the buildings.

## Materials and Detailing



Awning and light shelves are also encouraged to help create a more human scale to the building.

The base of commercial and other buildings should have additional expressive elements that enhance the building's relation to human scale. A change in material or detailing for the base can often achieve this goal.

Lighting that illuminates the exterior of a building and highlights its design features is encouraged.

## 4.2. Building Middle and Top (Upper Stories and Rooftop)

### 4.2.1 Building Articulation

“Flat” facades should be avoided. When dissimilar materials of the exterior cladding meet, a distinct variation in surface plane must be present. For example, when a brick clad section meets up with a glass curtain wall, a variation in plane is generally needed to avoid the facade appearing too flat.

- When horizontal changes in materials are desired, different materials should generally meet only at a change of plane, particularly at an inside corner. This gives the material a sense of thickness and a perception of permanence and quality. Different materials should never meet at an outside corner as this reveals the thinness of the material.

- When adjacent vertical changes in materials are desired, different materials should typically meet with the upper material overlapping the lower material, sealed by an ornamental trim detail.

The window mullions in a curtain wall should be expressive and create depth and scale to the facade.

### 4.2.2 Detailing and Enrichments

For Residential Uses, balconies, French windows, bay windows or similar features are encouraged on all units above the building base to further activate the street and give the upper facade articulation and interest.

For Commercial Uses and other buildings with curtain wall facade, additional expressive elements are encouraged above the building base.

For Large Venue Buildings, wall areas above the building base should be articulated. Flat, windowless walls should be avoided.

Lighting that illuminates the exterior of a building and highlights its design features is encouraged.

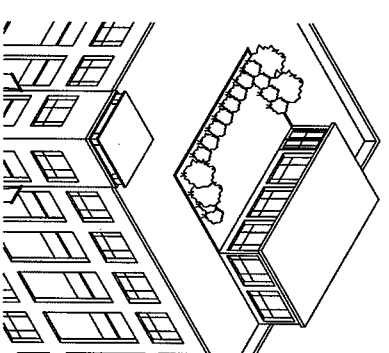


Structured parking garage facades above the building base should be fully enclosed along street frontages. Open parking garage walls to alleys and locations where the wall are less visible from public streets are allowed.

Where parking structure facades are open for ventilation purposes, they should not have long, horizontal openings. The facade should establish a vertical pattern or create gridded or punched window-type openings in order for the structured garage facade to maintain a sense of scale and vertical proportion.

Roof gardens are permitted and encouraged. Occupied penthouses are permitted and do not count as an additional story if the penthouse occupies less than one-half of the roof area. Roof forms and elements that serve as visual landmarks special features and architectural lighting of roof top elements are encouraged.

Mechanical equipment should be screened and mechanical penthouses should be clad with material consistent with the overall design of the facades.



## 5. SPECIAL FEATURES

Because of their prominent locations, several sites require special features such as unique forms, shapes, or facade elements that can be seen from a distance in order to terminate a vista or define the entrance into the McKinley Avenue District. These may be related to signage, required floor setbacks, distinct corner articulation, variations in building materials, etc. (See *Block Development Standards, pages 12-81*). Within the allowable dimensions for Special Features, the maximum building height restriction may be exceeded by one story for penthouse conditions or double story height interiors.

## 6. SITE FEATURES

Outdoor areas, such as cafés, beer gardens and plazas should be constructed with materials consistent with those along the ground floor facade. Material such as poured in place concrete, stone, and masonry elements should be used. Wood railings, wood skirting and wood-decking should be avoided.

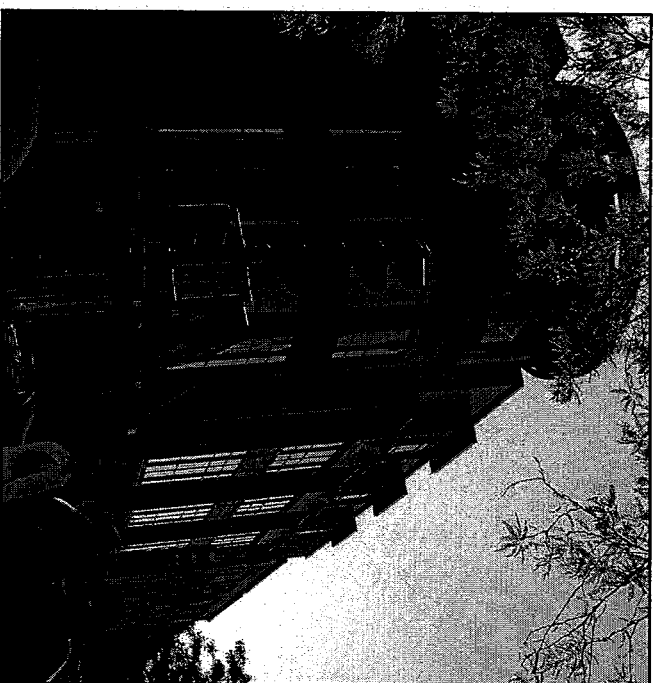
Retaining and garden walls should be constructed of poured in place concrete, or stone and brick masonry. Wood retaining walls and dry-stack block systems should be avoided.

Fencing should be decorative metal, masonry or other high quality materials. Chain link fencing should be avoided.

Site lighting should be controlled to prevent glare from the light source onto adjacent properties of the public Right-of-Way.

Existing Accessory Surface Parking Lots, which do not comply with the Zoning landscape requirements, should be upgraded to meet the Zoning Code if the parking lot requires a new occupancy permit or if modifications are made to the lot by existing occupants.

Riverwalks should be accessible to persons in wheelchairs and must comply with all requirements of the Americans with Disabilities Act of 1990, U.S.C. #12101, et. seq. Riverwalks also should follow *The Milwaukee Riverwalk Guidelines/Milwaukee River Design Guidelines, December 1993*.



Special Features

## 7. SIGNAGE

Signs and lighting are encouraged to enhance the visual character of the street. This includes neon signs and individual letters affixed to the building or embedded within the facade.

Larger, high quality signs on Juneau Avenue and Lower Water Street are encouraged.

Building signage must comply with the limitations as set forth in the Milwaukee Zoning Code as well as the additional requirements set forth below.

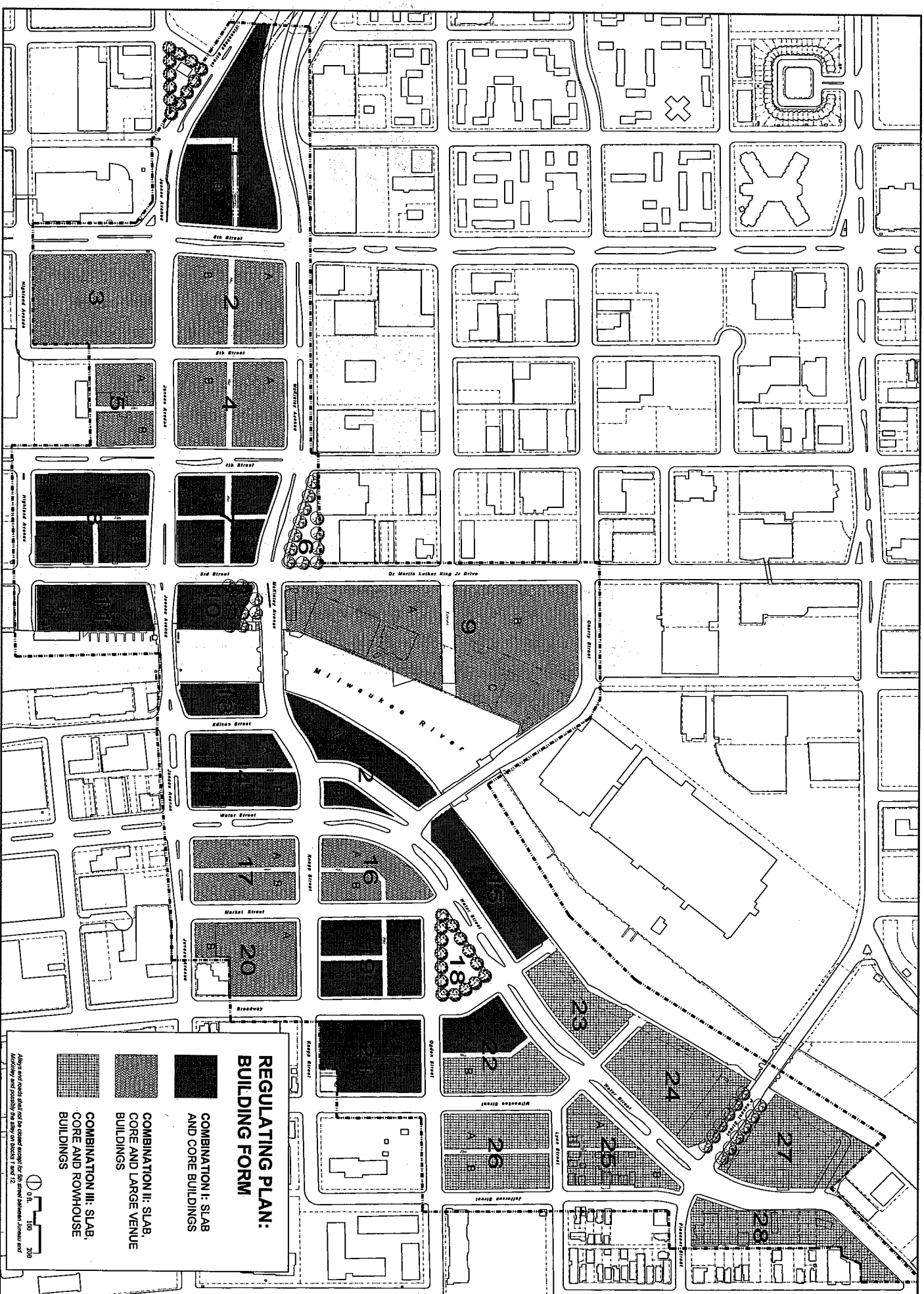
- Building signs must be scaled to fit the area in which it is being replaced.
- Face changes to existing signs which are not compliant with the Zoning Code are not allowed.

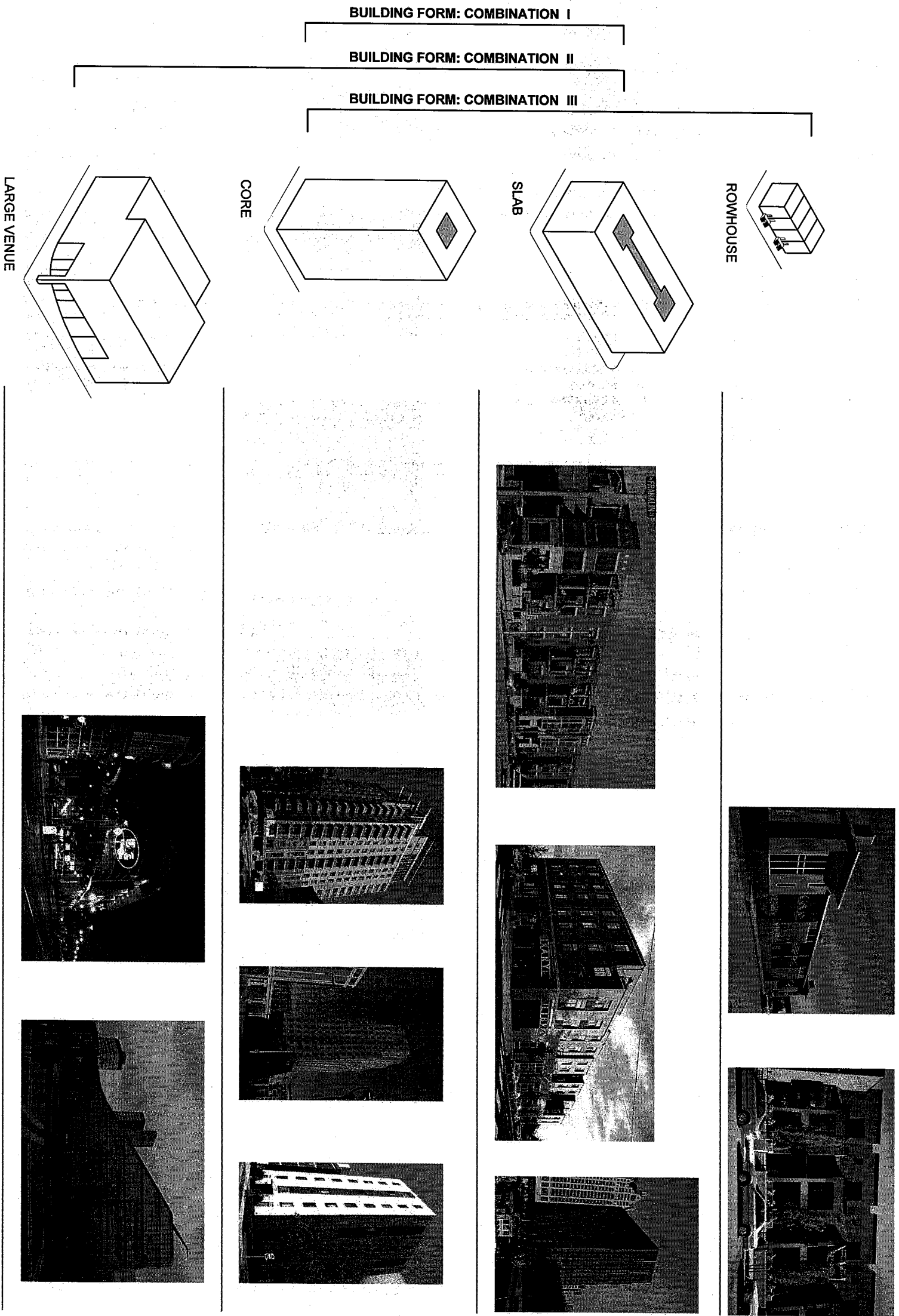
Box-type wall signs (Type B wall signs) are not allowed unless they meet the area limits allowed by the Zoning Code, are incorporated into the building design and relief patterns of structural bays, and the message cover is reverse copy, cut out letters.

*For further clarity on the definitions and rules of measurement, see applicable sections of the Zoning Code.*

# PAPER TWO Regulating Plan

The Regulating Plan controls the overall form of streets, blocks and buildings to create the physical character envisioned in the Master Plan. Four building types (Rowhouse, Slab, Core, and Large Venue) are grouped in three different combinations. Each Block is coded to indicate the combination of building types allowed (Building Form Combination I, II, or III).





# CHAPTER THREE

## Block Development Standards

This section includes general site information and specific regulations for each Block. The regulations include standards for building placement, site access, alley locations, landmark buildings, building height, street activation, special features, and alternative standards where applicable.

follows:

- The northeast corner of Block 1 requires a Landmark Building to highlight the prominent site location along the entrance to downtown.
- A Special Feature should be located on the northwest corner of block 2 to highlight the prominent site location along the entrance to downtown.

### MCKINLEY AVENUE DISTRICT

The Development Code converts the planning concepts in the Master Plan into rules governing the buildings, streets, and public places in the redevelopment area.

- The northwest corner of Block 7 requires a Special Feature serving to close the vista looking west on McKinley Avenue.

### Building Height Range, Landmarks, and Special Features

#### Street Activation – Social and Economic Activity

In order to facilitate the economies of scale needed by office buildings and, at the same time, ensure a minimum level of development on each Block, the building height has been set at a minimum of 4 stories and a maximum of 12. Along portions of Water Street, Third Street/Dr. Martin Luther King Jr. Drive, and Cherry Street the building height minimum is lowered to 3 stories, and for some, a facade setback after 3-stories is required in order to ensure continuity with the scale and character of the existing buildings.

Within this District, the south edge of McKinley Avenue should have a high level of pedestrian activity and a lively street condition. This is also true along portions of Juneau Avenue, Third and Fourth Streets. Conversely, both the lower traffic and lower potential for street activity along Fifth Street and Highland Avenue (west of Fifth) suggest that limited pedestrian activity and service are more likely and appropriate along these street frontages.

As development evolves, higher degrees of street activation should be considered along the street frontages opposite the public plazas and green spaces adjacent to Blocks 1, 7, and 10.

Three locations have been designated for Landmark Buildings or Special Features within this District. Views along the streets and public places are required to be emphasized with Landmark Buildings and Special Features as

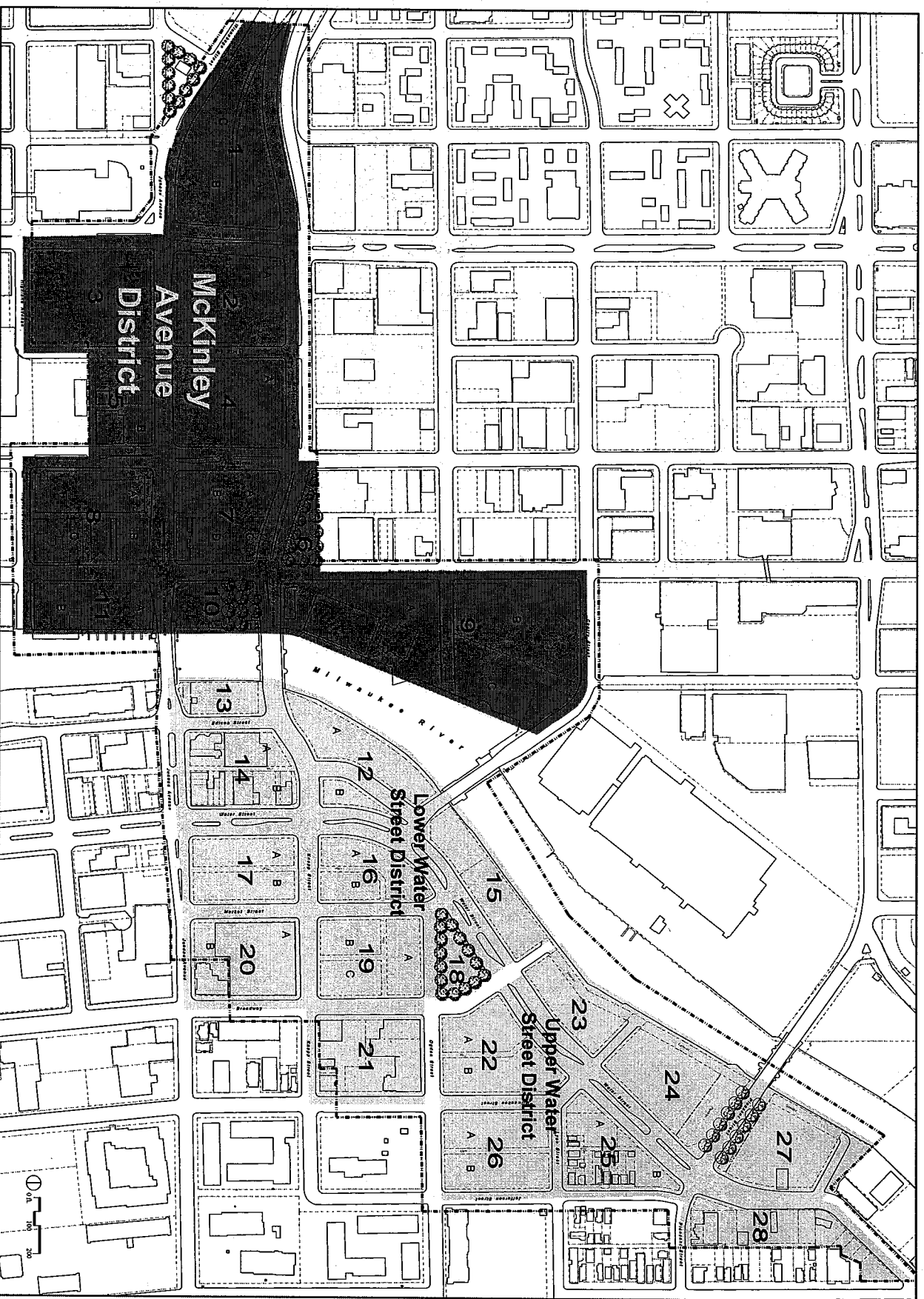
## Block Development Standards / McKinley Avenue District

### Building Form and Build-To Lines

All Blocks in this area can use building forms consisting of Slab and/or Core Buildings. Rowhouses are not considered compatible with the immediate context or the character and function of the buildings intended for this District and therefore cannot be used.

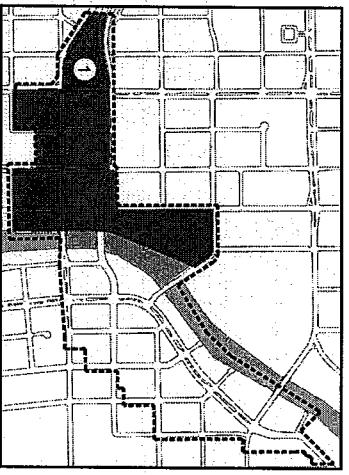
Several Blocks have been set aside as allowing Large Venue Buildings. Specifically this building type is allowed on Blocks 2, 3, 4, 5, and 9 to facilitate continuation of entertainment-related uses in this District. These buildings are expected to accommodate large places of public assembly on the interior of the block or above street level, with smaller scale uses activating street frontages.

To maintain the character of the public places, all Blocks have established Build-to Lines. In a few cases (Blocks 1, 9, and 10) there are street edges with unusual geometries that allow alternative Build-to Lines.



# Block Development Standards / Block 1

Block 1			
Parcel	A	B	C
<b>Allowable Building Form Combinations (I: Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse)</b>	I	I	I
<b>Approximate Acreage</b>	1.16 acres	1.18 acres	0.90 acres
<b>Current Use</b>	None-new block	None-new block	None-new block
<b>Allowed Use</b>	See Use Table on page 82	See Use Table on page 82	See Use Table on page 82
<b>Existing Zoning</b>	C9H	C9H	C9H
<b>Recommended Zoning</b>	C9B(A)	C9B(A)	C9B(A)
<b>Known Utilities</b>	84" storm sewer runs east-west in middle of block. Retaining wall present on McKinley.		
<b>Known Environmental Conditions</b>	Prior uses of parcels within the block include machine, printing, lithography and paint shops; automobile salvage, garage and repair shops; copiersmith shop; chemical and ink companies; metal goods manufacturing; and transport companies. Potential PECEFA sites (P6->800 mg/kg; DR0->2000 mg/kg; VOCs/PAHs->NR 120 RCLs).		



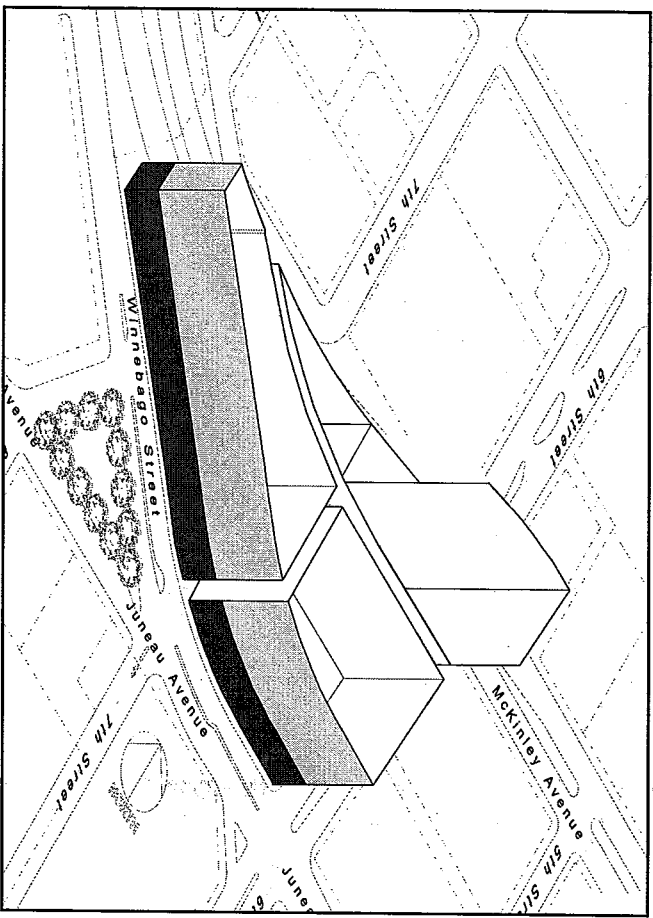
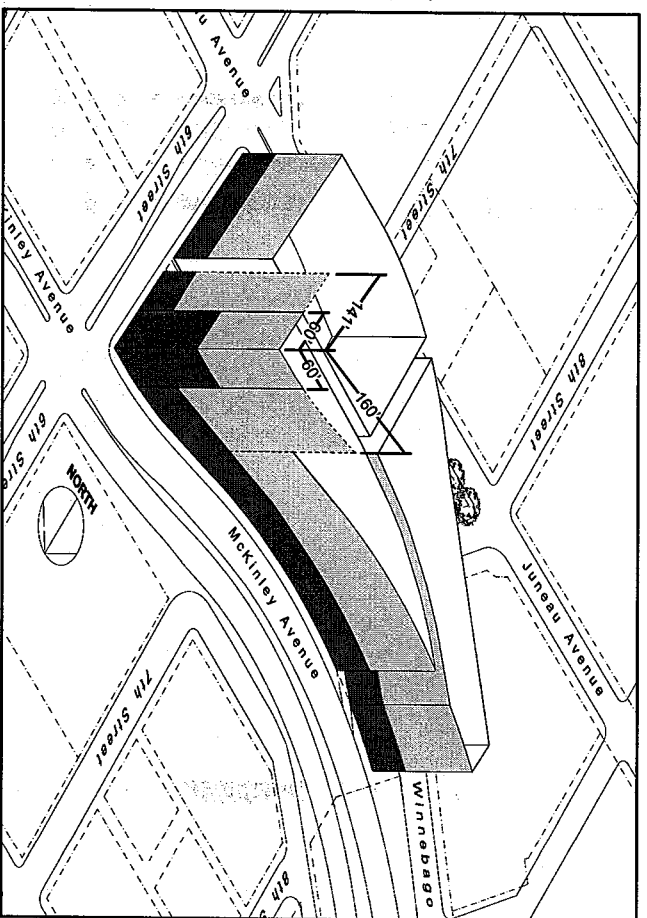


# Block Development Standards / Block 1

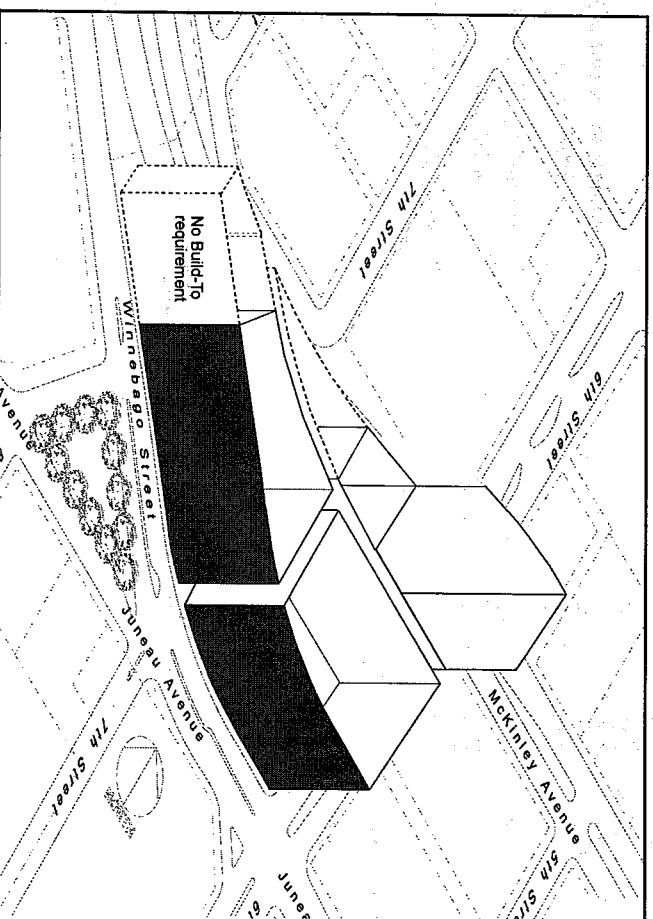
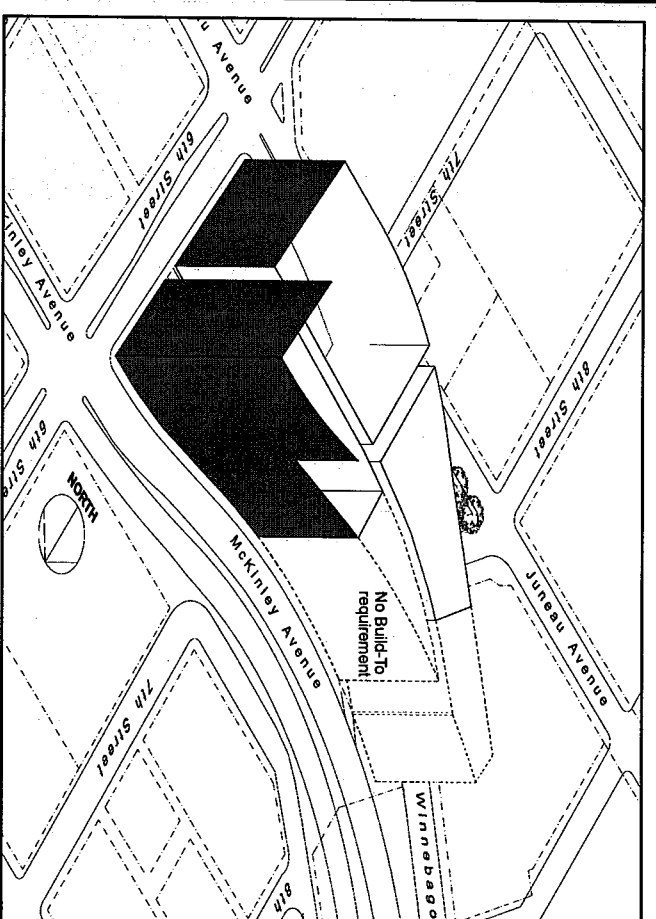
## BUILDING HEIGHT

### LANDMARK BUILDING

The northeast corner of Block 1 requires a Landmark Building to highlight the prominent site location along the entrance to downtown. The minimum dimension of the Landmark Building along 6th Street and McKinley Avenue is 60'. The maximum dimension along 6th street is 141' and along McKinley Avenue is 160'.

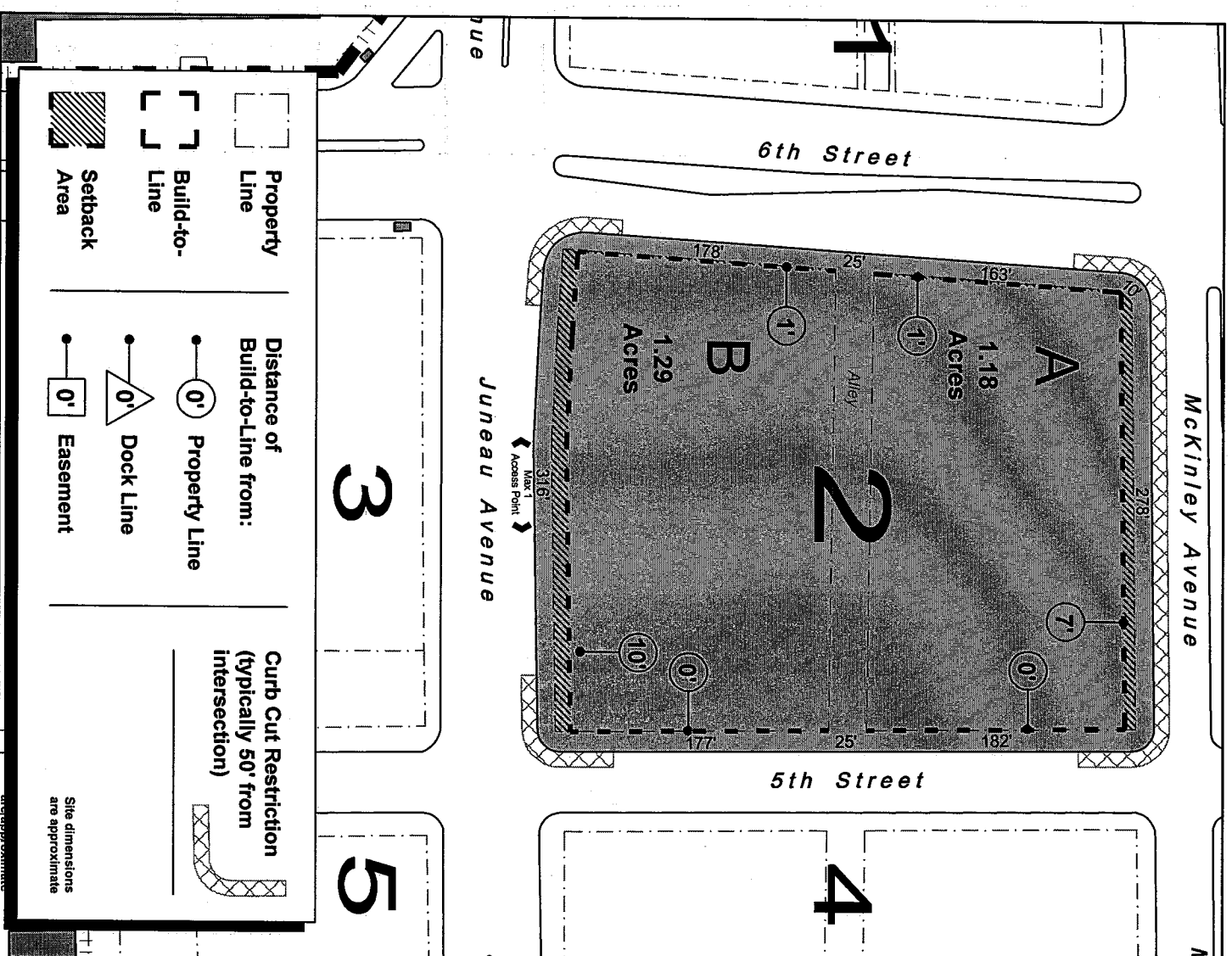
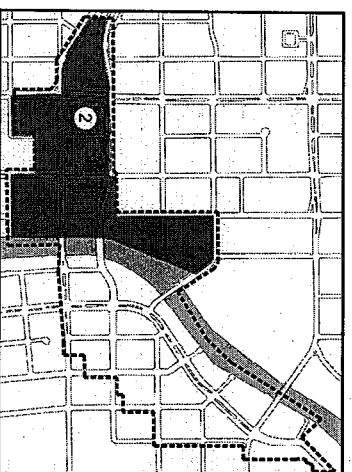


## FACADE REQUIREMENTS



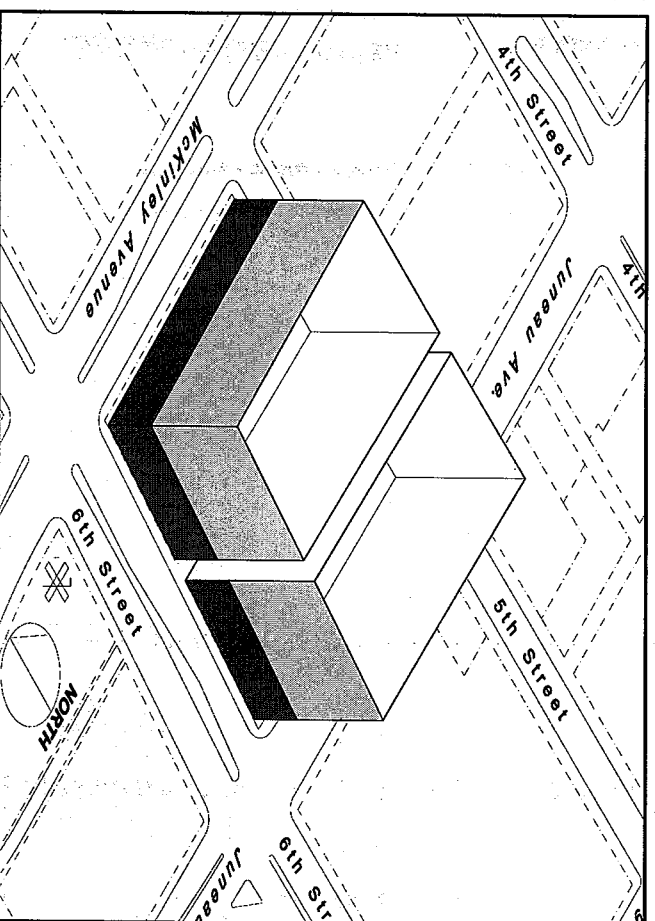
# Block Development Standards / Block 2

Block 2	
Parcel	
A	B
II	II
Form Combinations (I: Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse)	
Approximate Acreage	
1.17 acres	1.29 acres
Current Use	
None-new block	None-new block
Allowed Use	
See Use Table on page 82	See Use Table on page 82
Existing Zoning	
C9H	C9H
Recommended Zoning	
C9B(A)	C9B(A)
Known Utilities	
84" storm sewer runs east-west in middle of block.	
Known Environmental Conditions	
Prior uses of parcels within the block include gas station (underground storage tanks), printing and typesetting business, junkyard and foundry. Potential PECEFA sites (P6>800 mg/kg; DRO>2000 mg/kg; VOCs/PAHs>NR 720 RCLs).	



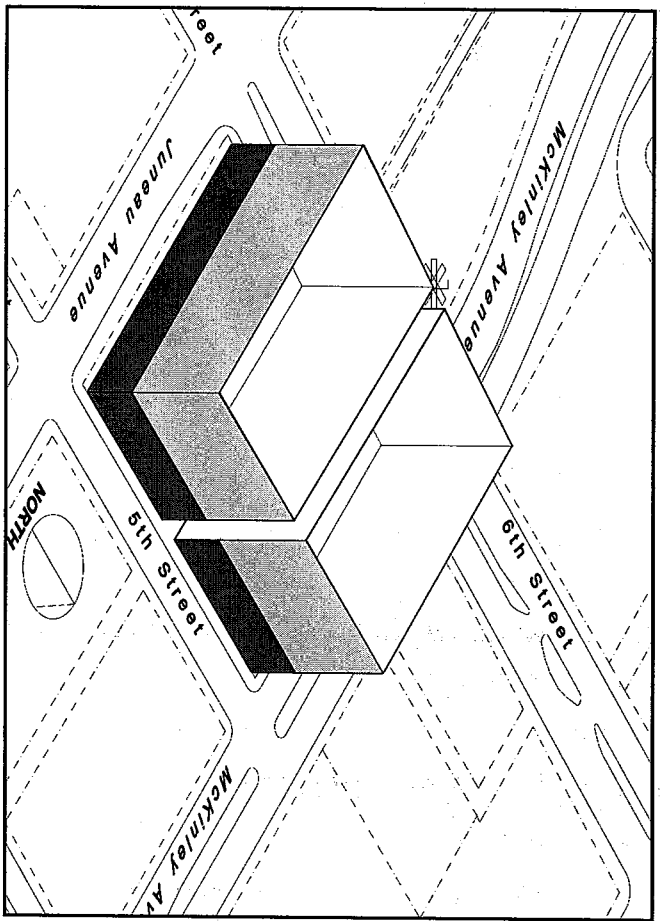
# Block Development Standards / Block 2

## BUILDING HEIGHT

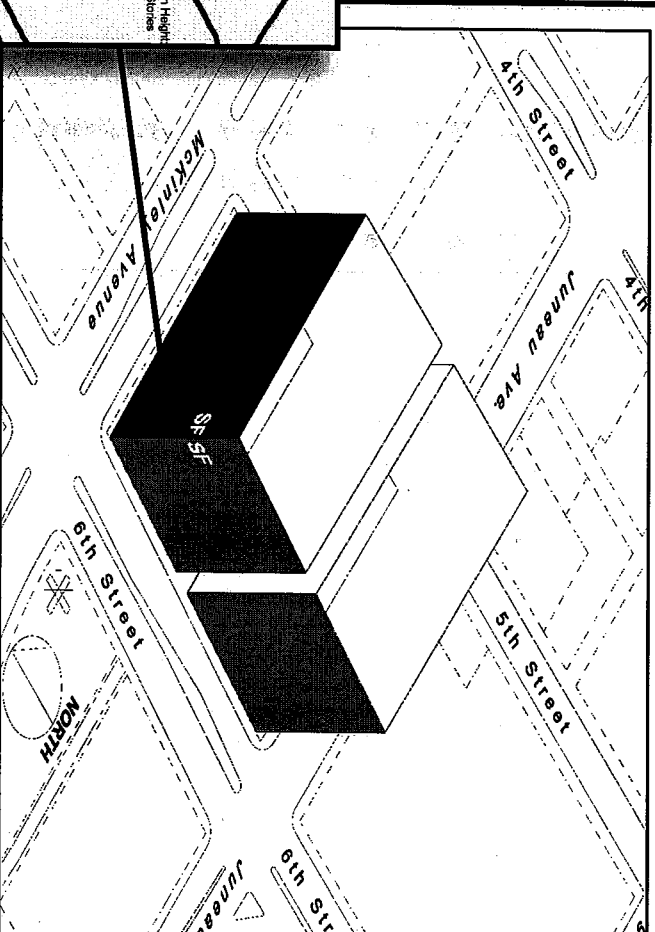


Maximum Height  
12 Stories

Minimum Height  
4 Stories



## FACADE REQUIREMENTS



High Street Activation  
Ground Floor Build-to  
Line: 90%

Upper Floor Build-to  
Line: 60%

Ground Floor Glazing:  
75% (50% for  
Residential)

Moderate Street  
Activation

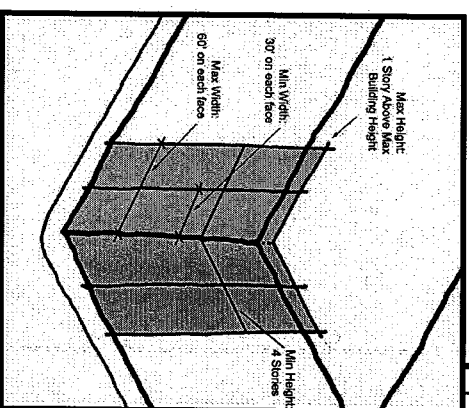
Ground Floor Build-to  
Line: 90%

Upper Floor Build-to  
Line: 60%

Ground Floor Glazing:  
50%

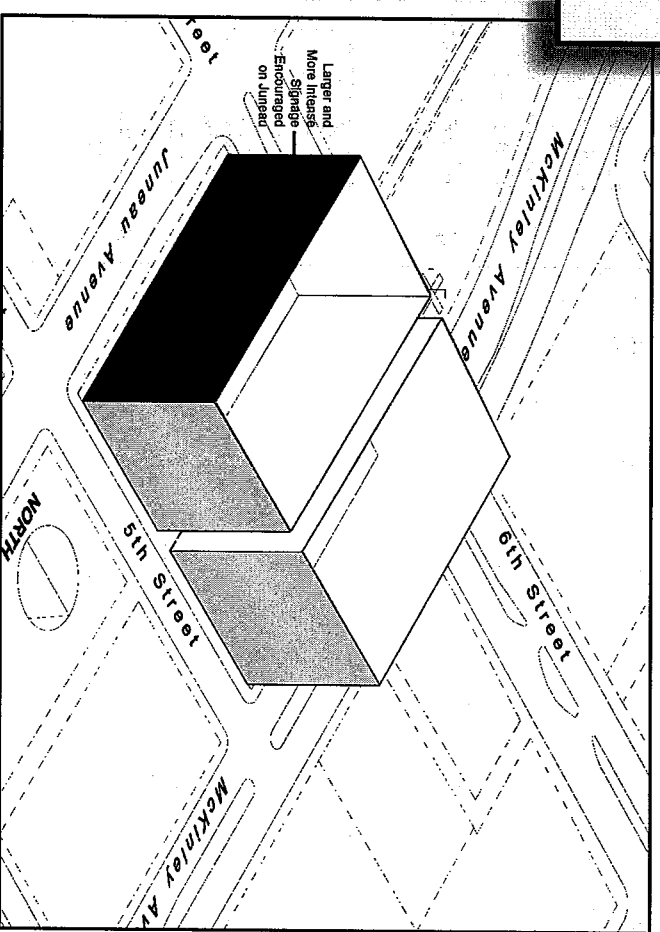
Limited Street  
Activation

Ground Floor Build-to  
Line: 75%



### SF - SPECIAL FEATURE

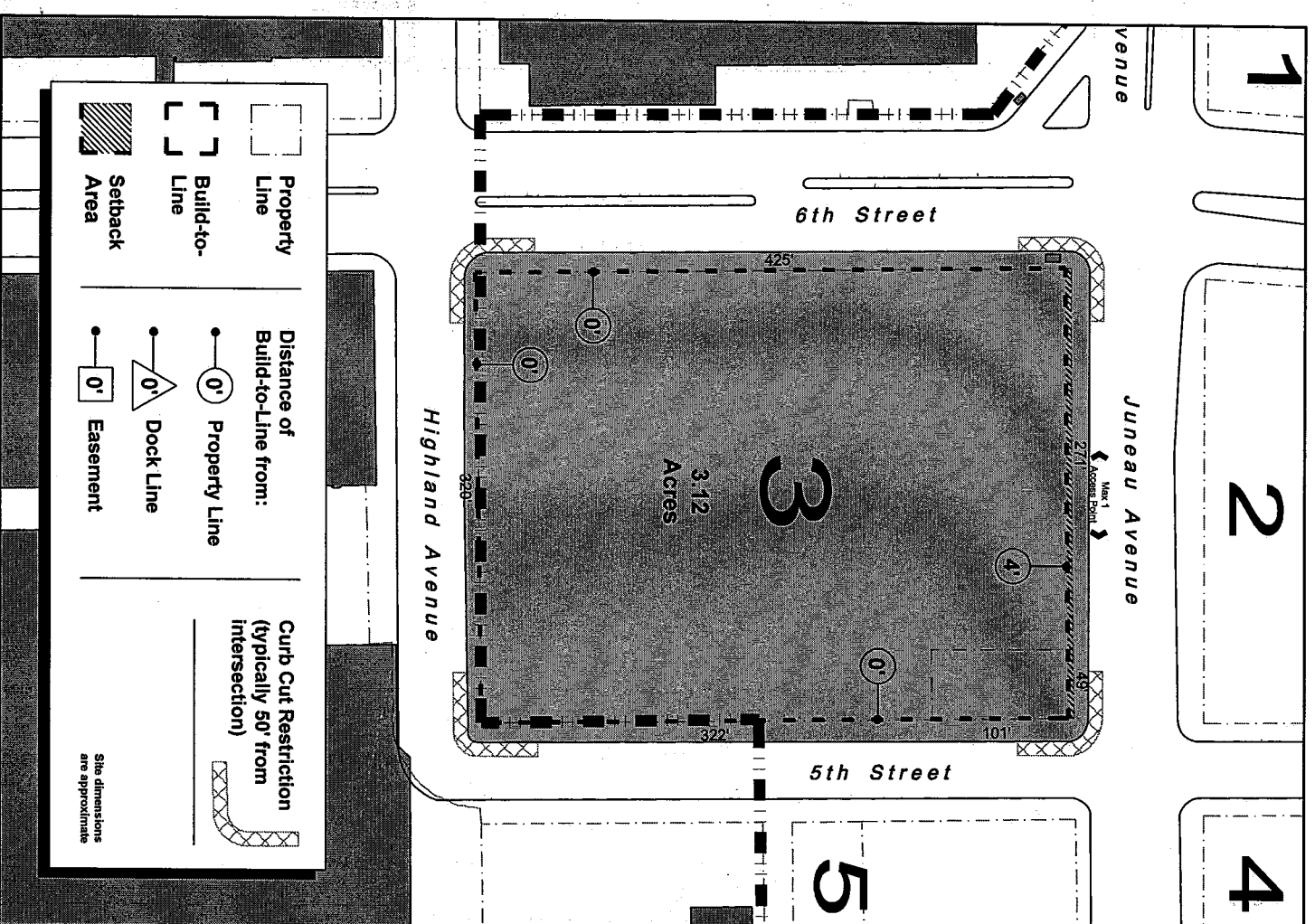
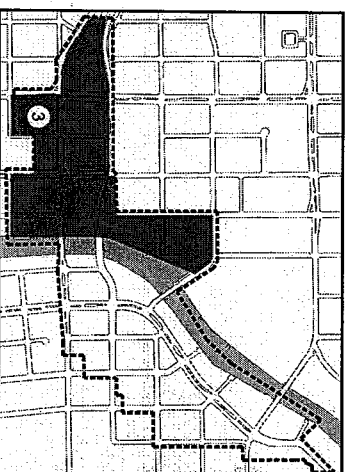
A Special Feature should be located on the north-west corner of block 2 to highlight the prominent site location along the entrance to downtown.



Larger and  
More Intense  
Signage  
Encouraged  
on Juneau

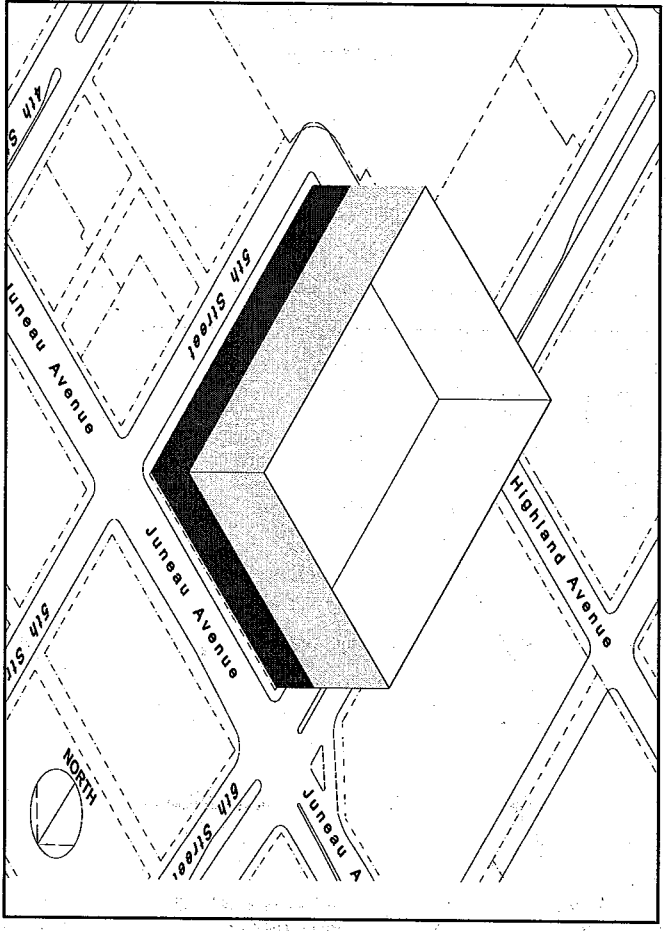
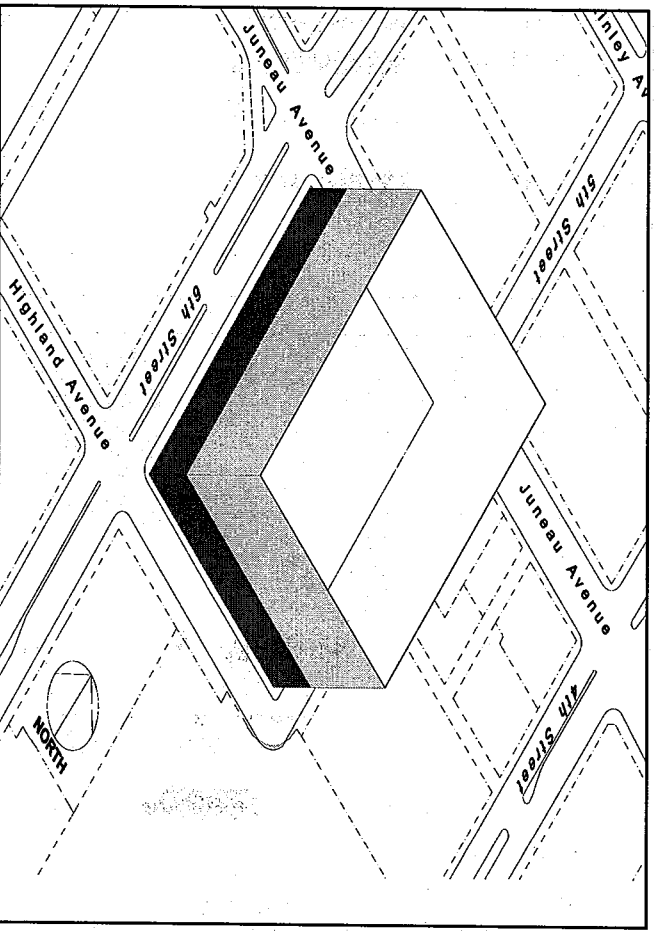
# Block Development Standards / Block 3



<b>Block 3</b>	<b>Parcel</b> II
	<b>Allowable Building Form Combinations</b> (I: Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse)
	<b>Approximate Acreage</b> 3.12 acres
	<b>Current Use</b> Surface parking and building
	<b>Allowed Use</b> See Use Table on page 82
	<b>Existing Zoning</b> C9H
	<b>Recommended Zoning</b> C9B(A)
	<b>Known Utilities</b> No known utility issues.
	<b>Known Environmental Conditions</b> No known environmental issues.



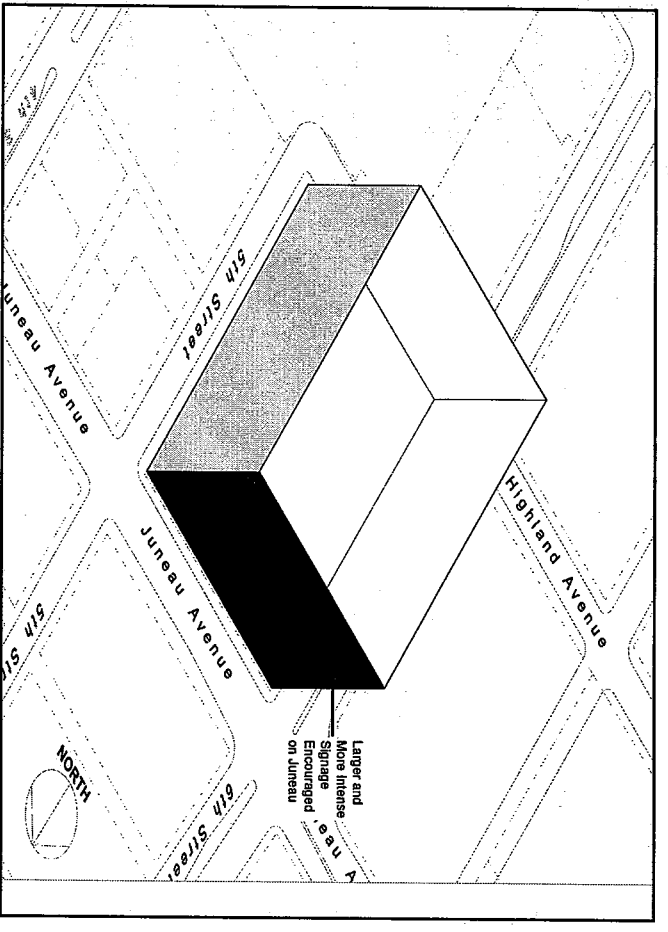
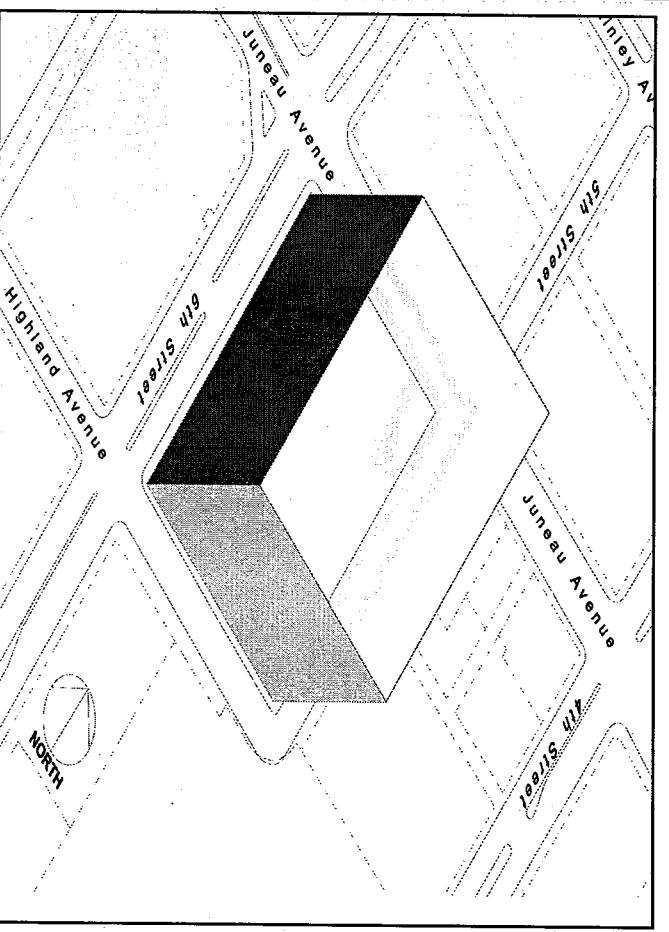
# Block Development Standards / Block 3

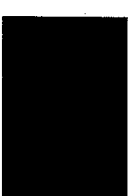
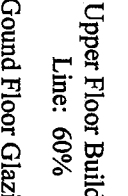


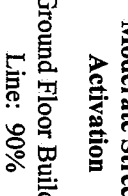
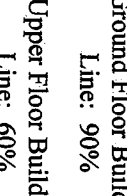
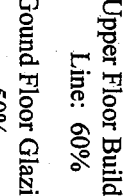


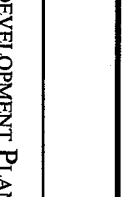
## BUILDING HEIGHT



-  Maximum Height  
12 Stories
-  Minimum Height  
4 Stories

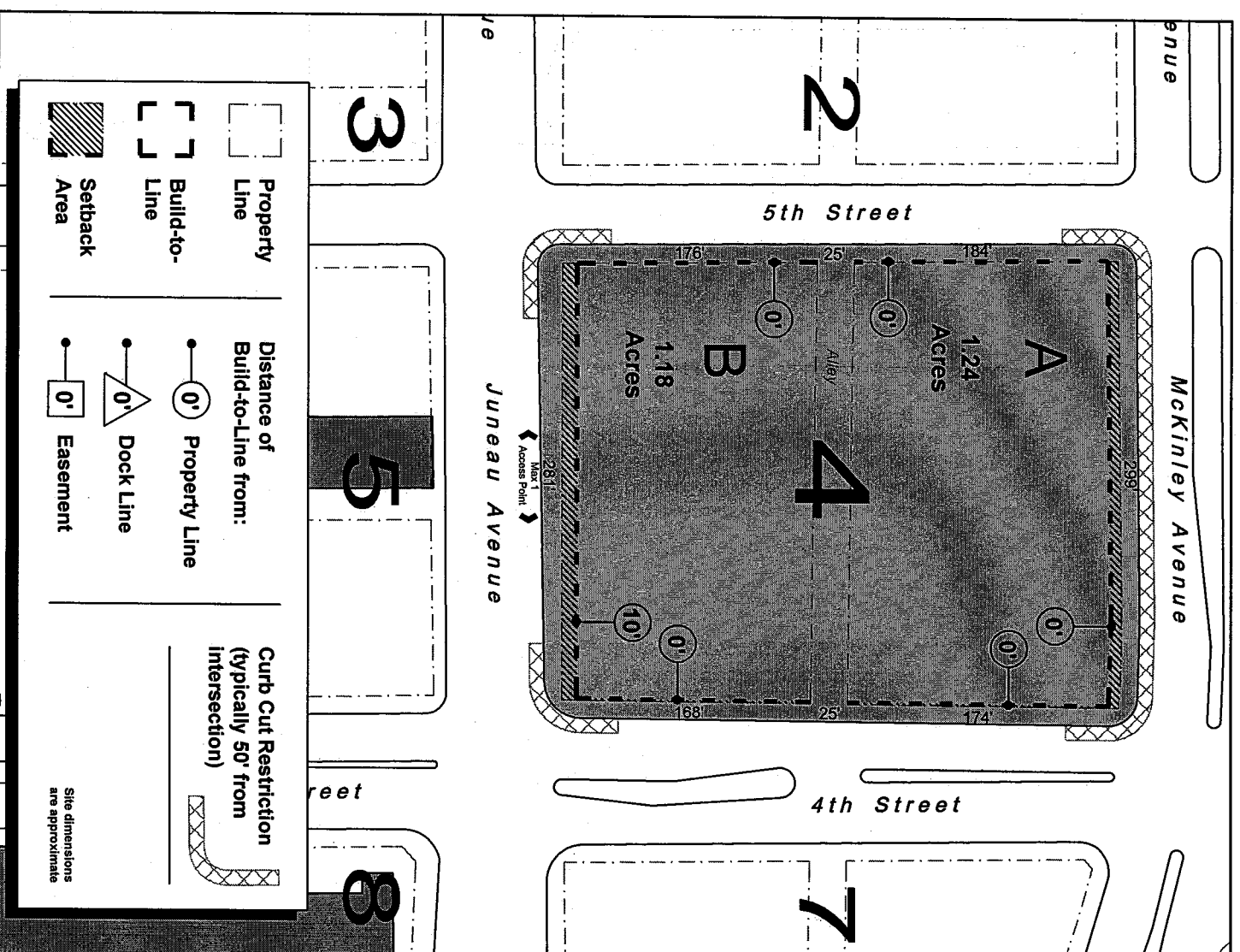
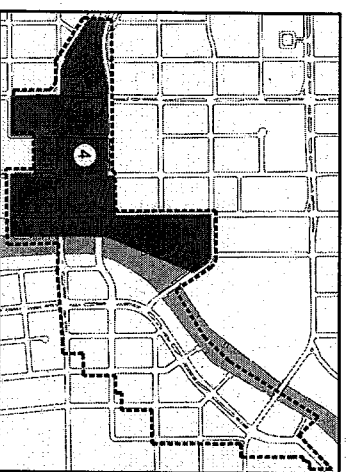
## FACADE REQUIREMENTS



-  High Street Activation  
Ground Floor Build-to  
Line: 90%
-  Upper Floor Build-to  
Line: 60%
-  Ground Floor Glazing:  
75% (50% for  
Residential)
-  Moderate Street  
Activation
-  Ground Floor Build-to  
Line: 90%
-  Upper Floor Build-to  
Line: 60%
-  Ground Floor Glazing:  
50%
-  Larger and  
More Intense  
Signage  
Encouraged  
on Juneau
-  Limited Street  
Activation
-  Ground Floor Build-to  
Line: 75%

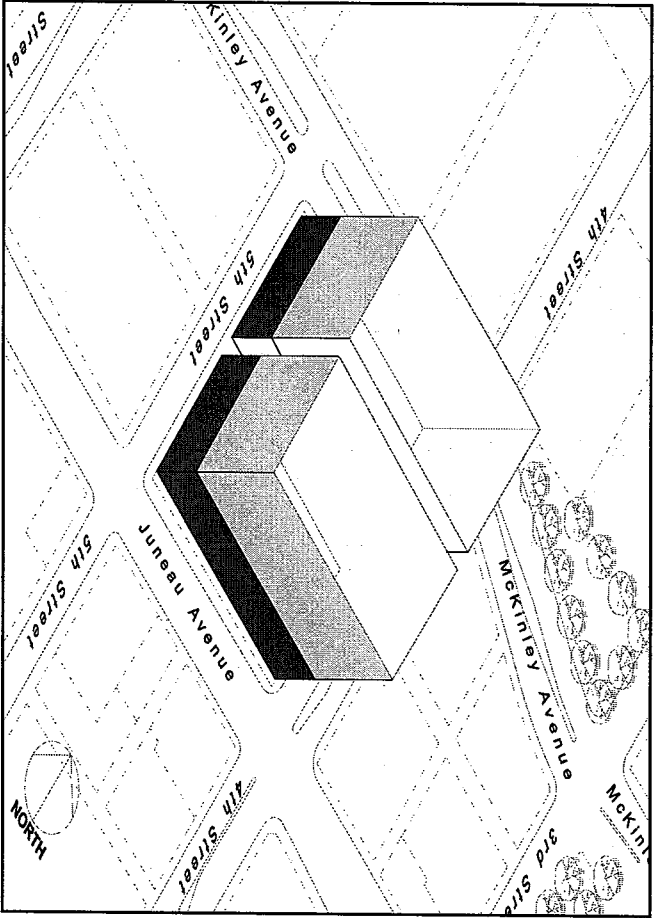
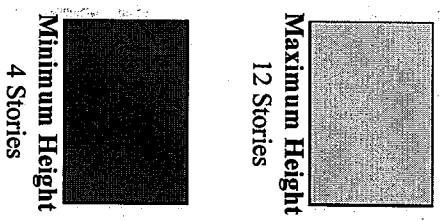
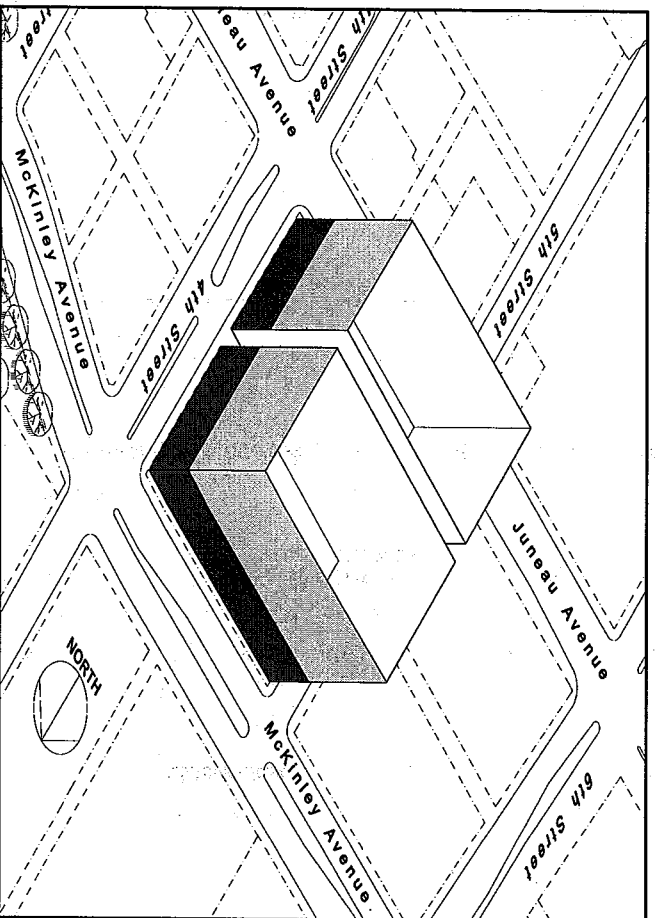
# Block Development Standards / Block 4

Block 4	
Parcel	
A	B
<b>Allowable Building Form Combinations (I: Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse)</b>	
1.24 acres	1.18 acres
None-new block	None-new block
Approximate Acreage	
Current Use	
Allowed Use	See Use Table on page 82
Existing Zoning	C9H
Recommended Zoning	C9H
Known Utilities	C9B(A)      C9B(A)
Known Environmental Conditions	84" storm sewer runs east-west in middle of block.  Prior uses of parcels within the block include machine manufacturing, carriage and automobile manufacturing. Potential PECCA sites (Pg>800 mg/kg;VOCs/PAHs-NR 720 RCLs).

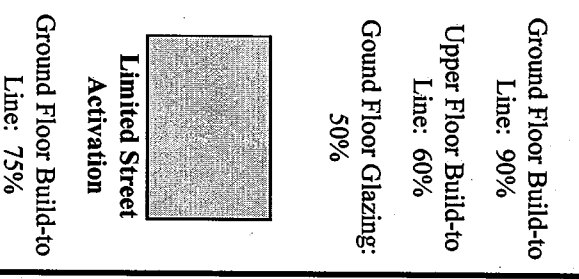
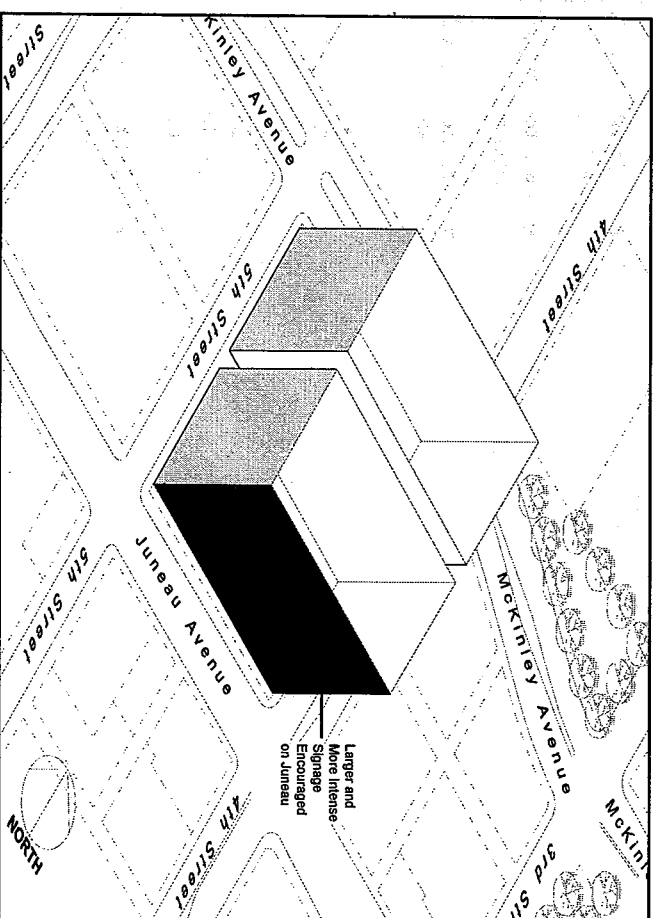
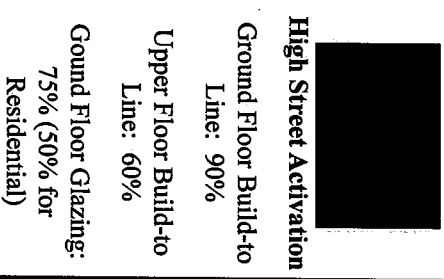
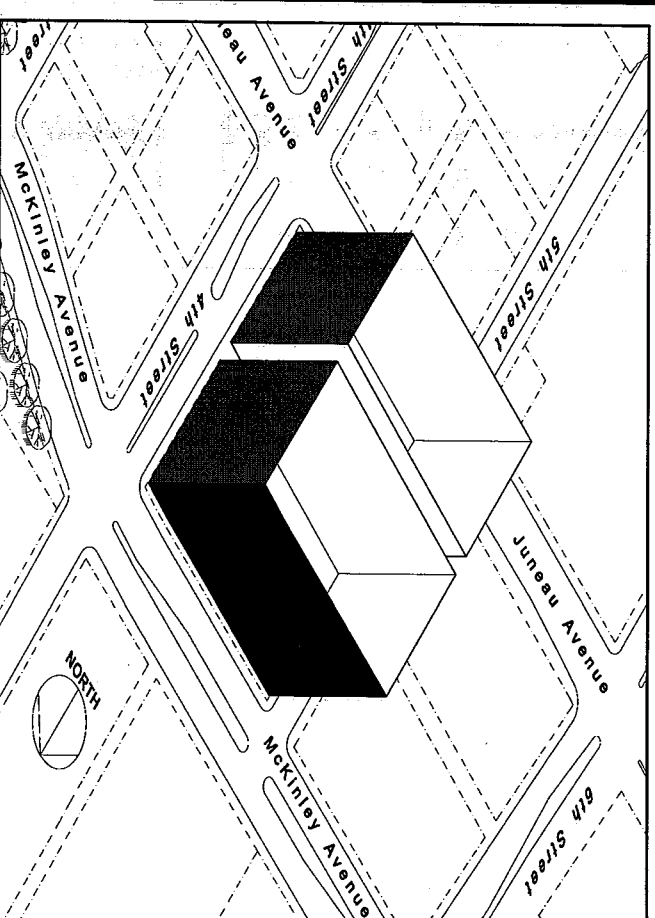


# Block Development Standards / Block 4

## BUILDING HEIGHT

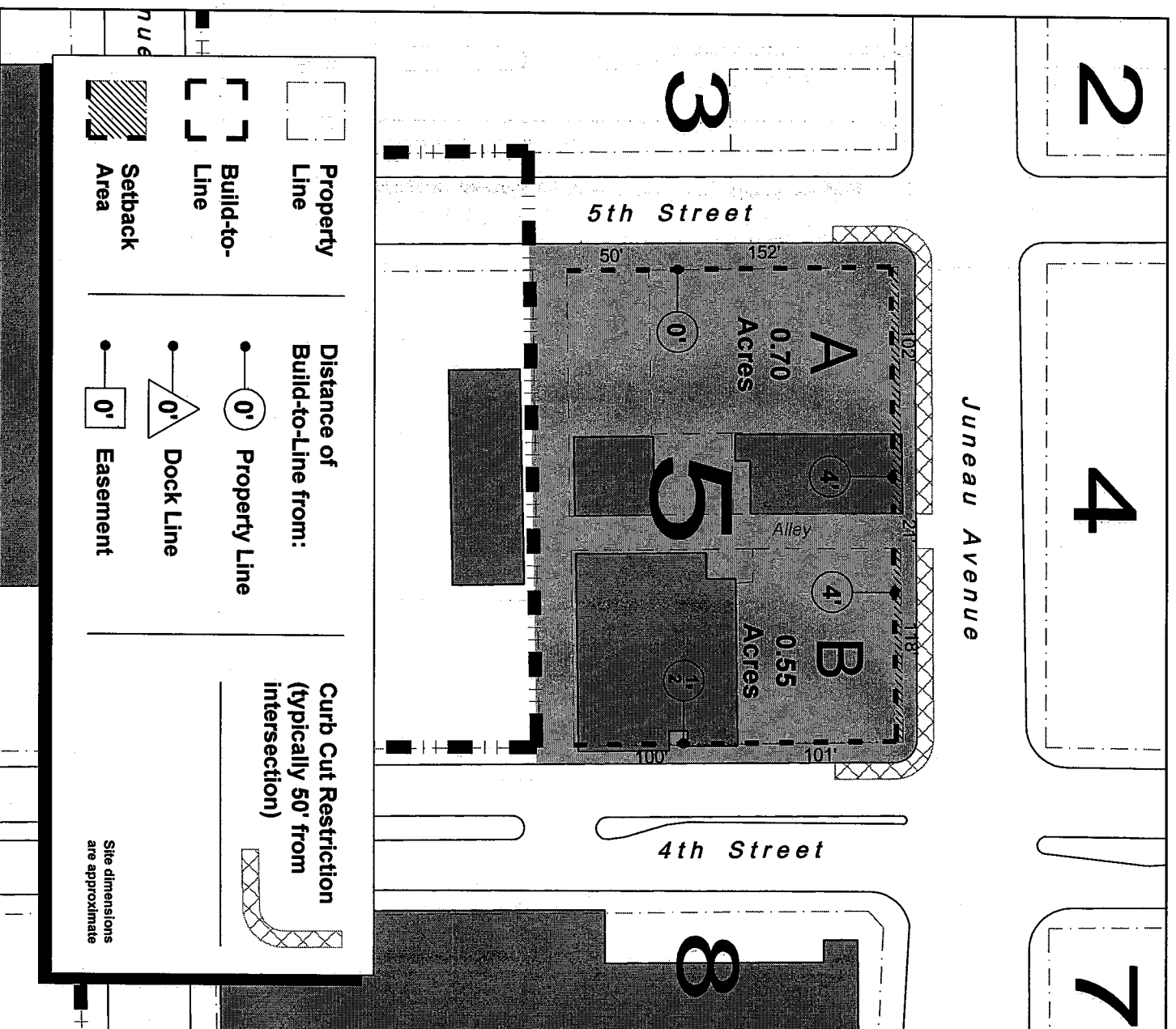
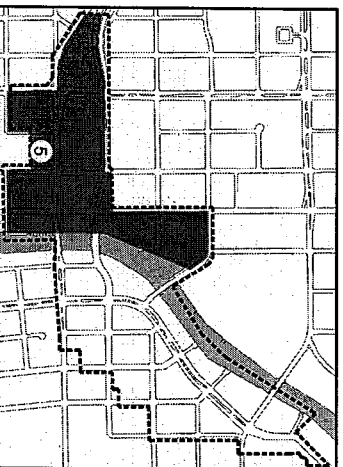


## FACADE REQUIREMENTS



# Block Development Standards / Block 5

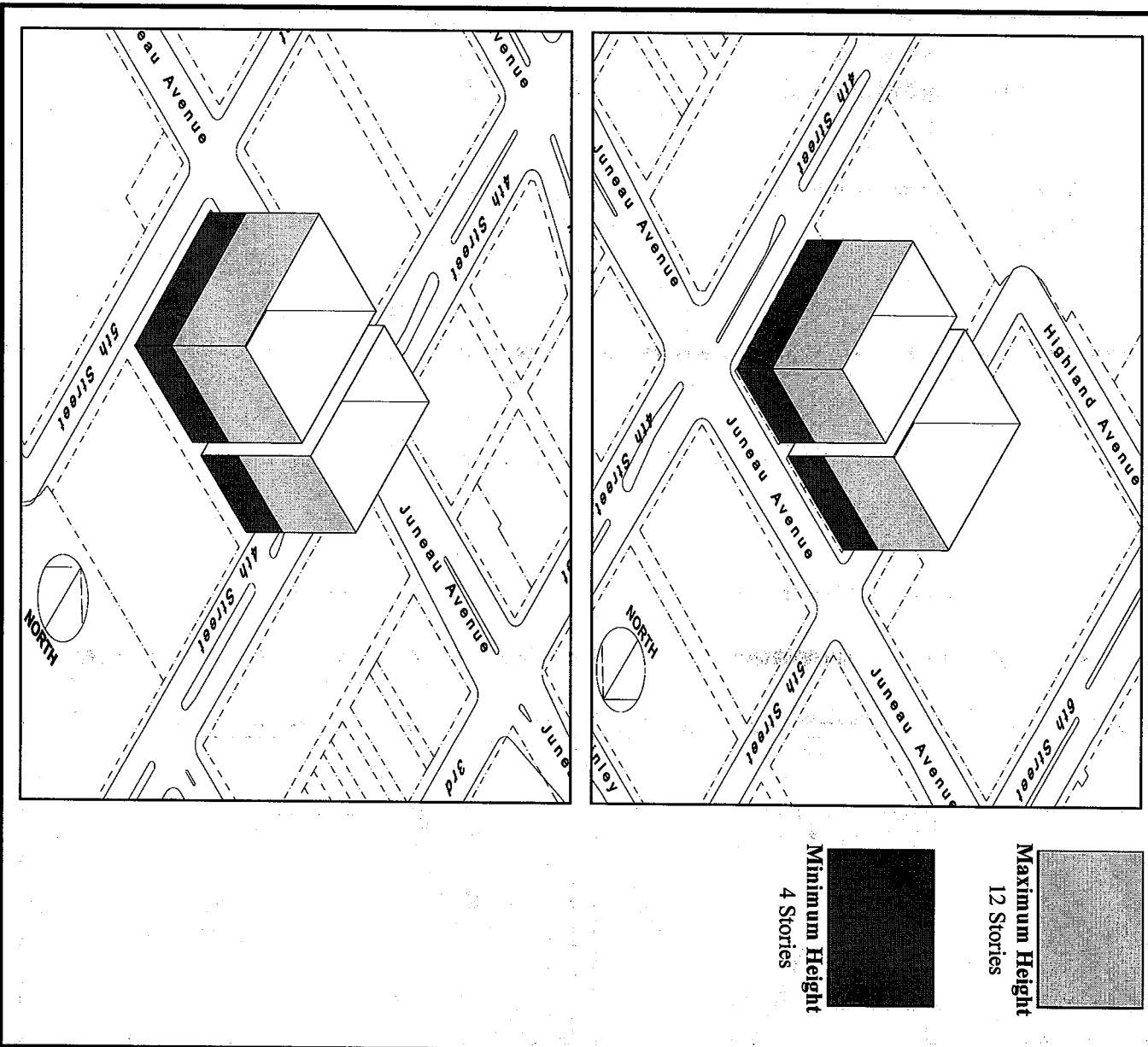
Block 5	
Parcel	
A	B
II	II
<b>Allowable Building Form Combinations (I: Slab and Core; II: Types In I + Large Venue; III: Types In I + Rowhouse)</b>	
Approximate Acreage	0.70 acres
Current Use	Surface parking with misc. structures
Allowed Use	Surface parking with small building
Existing Zoning	See Use Table on page 82
Recommended Zoning	See Use Table on page 82
Known Utilities	C9H C9H C9B(A) C9B(A)
Known Environmental Conditions	No known utility issues. No known environmental issues.



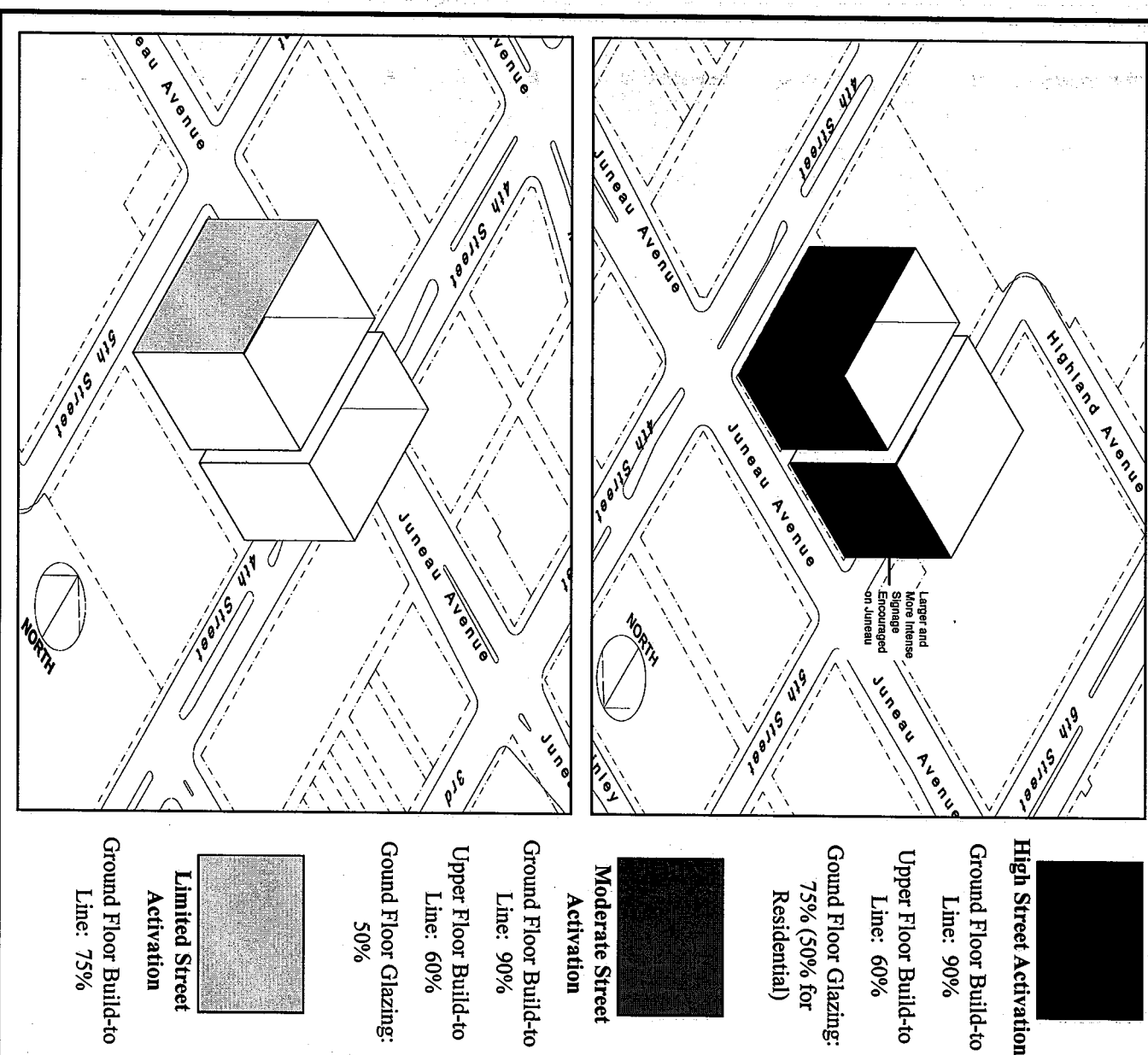


# Block Development Standards / Block 5

## BUILDING HEIGHT

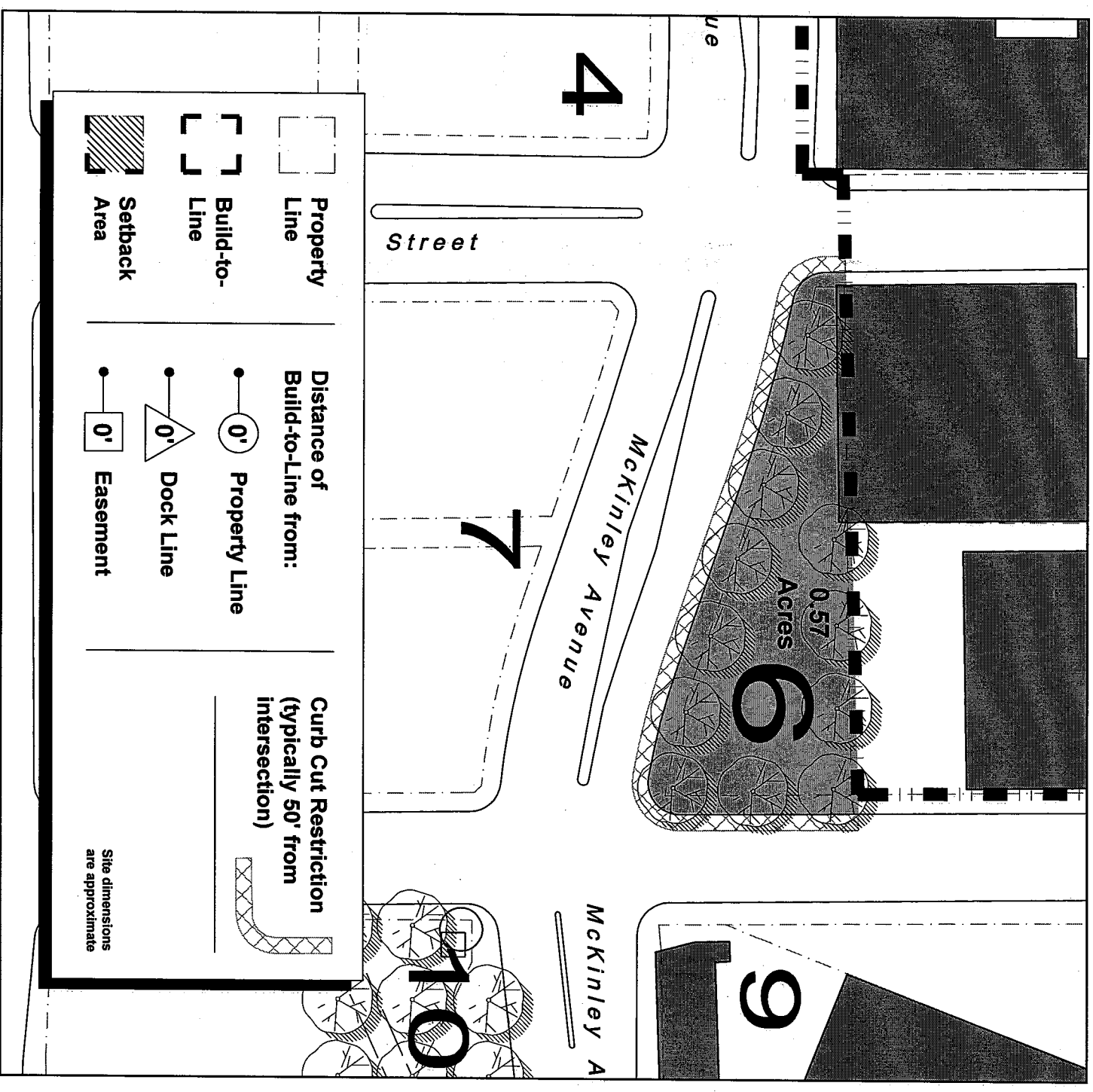
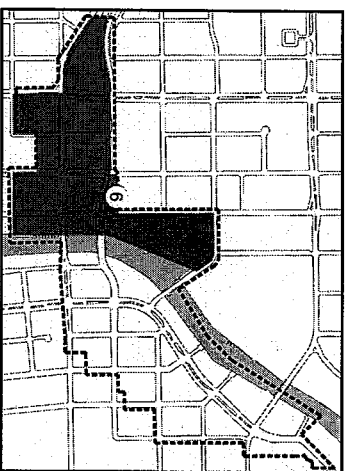


## FACADE REQUIREMENTS



# Block Development Standards / Block 6

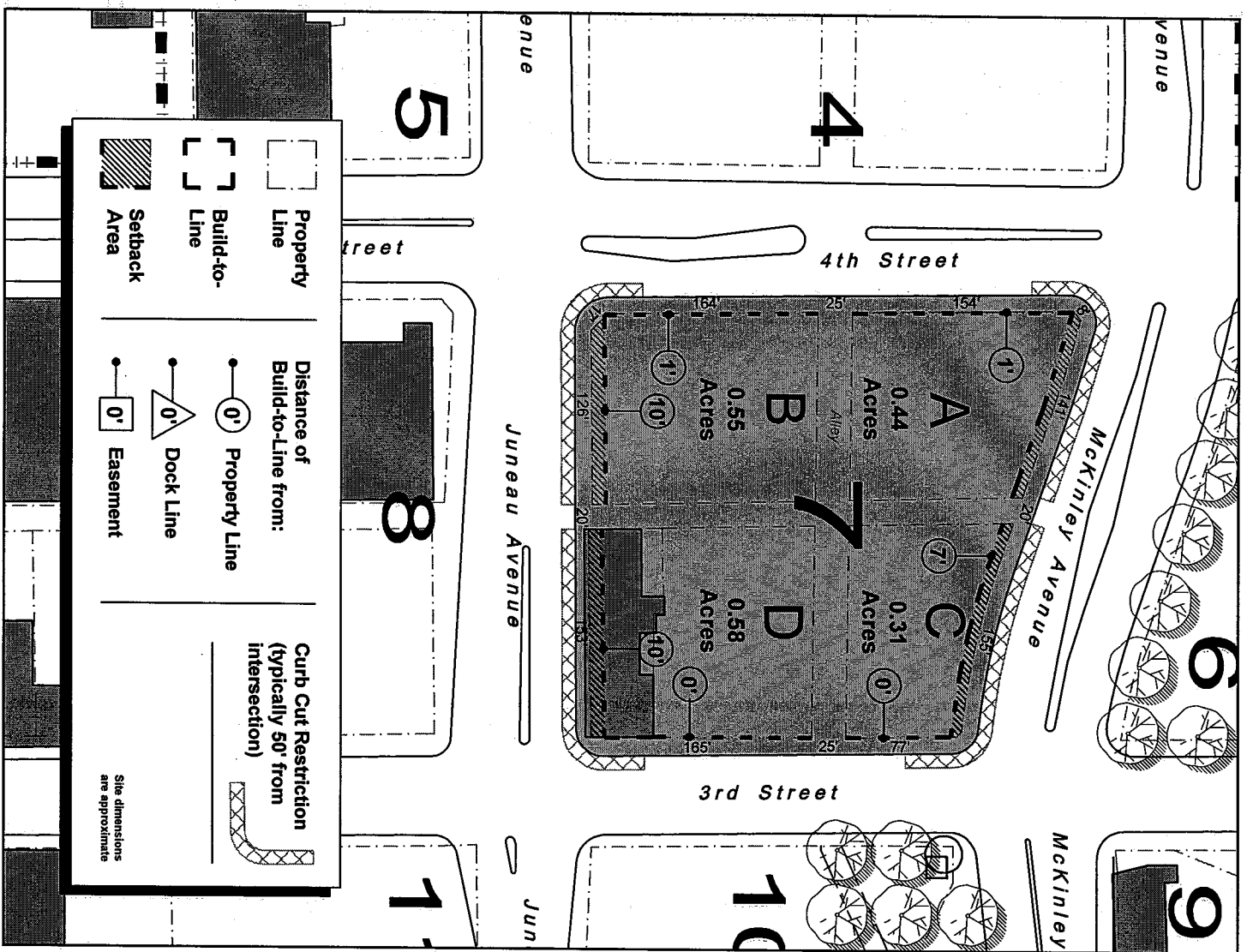
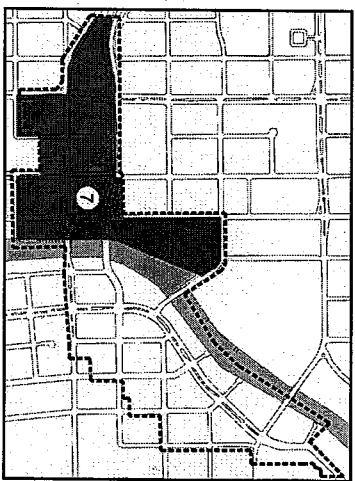
Block 6	Parcel
<p><b>Allowable Building Form Combinations (I):</b> Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse</p> <p><b>Approximate Acreage</b></p> <p><b>Current Use</b></p> <p><b>Allowed Use</b></p> <p><b>Existing Zoning</b></p> <p><b>Recommended Zoning</b></p> <p><b>Known Utilities</b></p> <p><b>Known Environmental Conditions</b></p>	<p><b>1.</b> Public Space at Street Level</p> <p><b>2.</b> Buildings at Street Level limited to kiosks, small public facilities and/or small commercial establishments limited to 1000 square feet.</p> <p><b>3.</b> Structured parking allowed below grade.</p> <p>0.57 acres</p>
	Vacant
	See Use Table on page 82
	IL2
	C9B(A)
<p>Block contains sewer, steam, water, cable, gas and electric lines as well as two monitoring wells.</p> <p>Prior use of parcels within the block include two gas stations. Two soil borings have been done revealing no significant environmental contamination. Additional testing is recommended.</p>	<p><b>Block 6</b></p> <p>0.57 Acres</p>



This page intentionally left blank

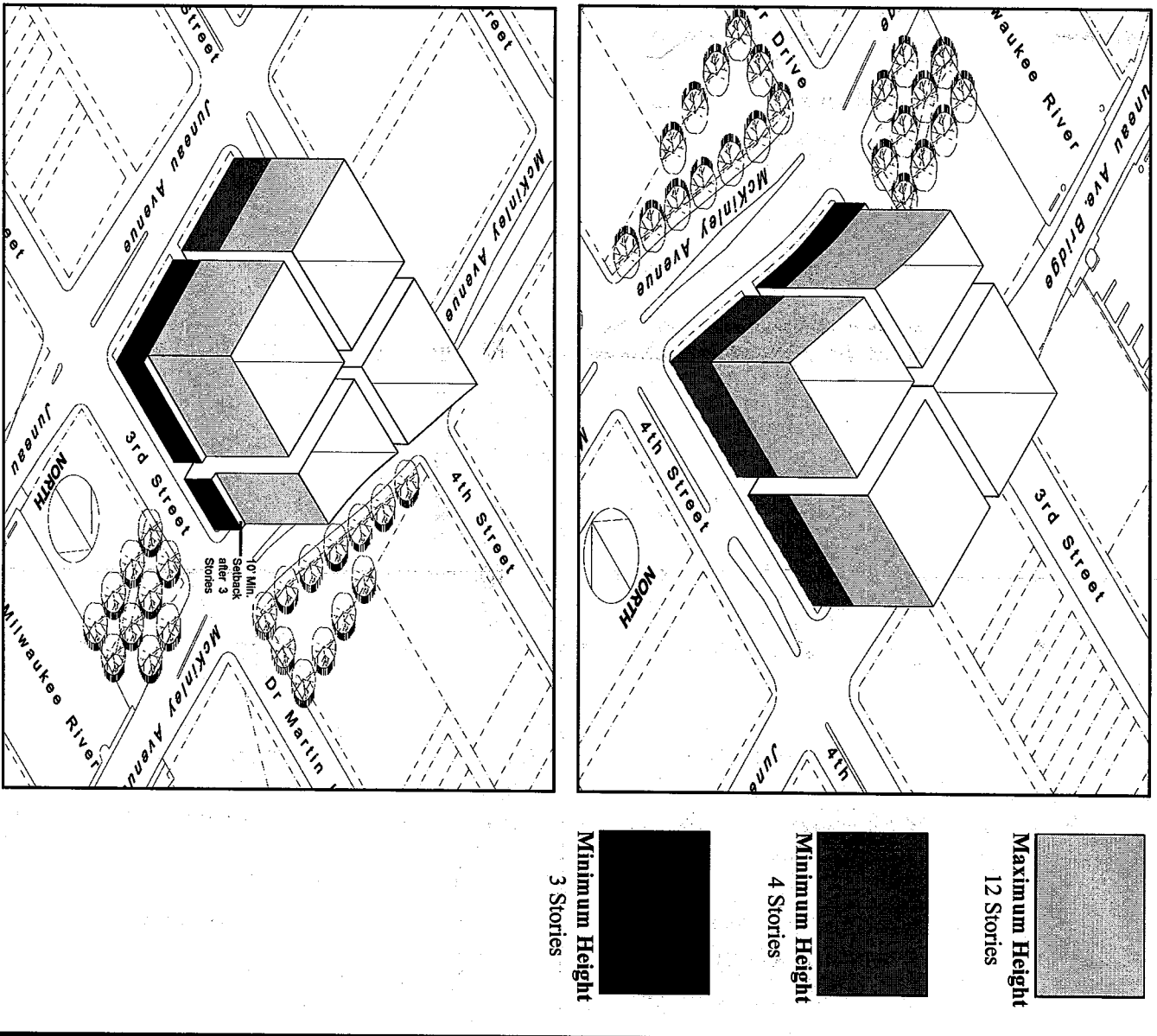
# Block Development Standards / Block 7

Parcel	Block 7			
	A	B	C	D
<b>Allowable Building Form Combinations (I: Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse)</b>	I	I	I	I
<b>Approximate Acreage</b>	0.44 acres	0.55 acres	0.31 acres	0.58 acres
<b>Current Use</b>	None-new block	None-new block	None-new block	None-new block (Adjacent building - Sidney Hlh)
<b>Allowed Use</b>	See Use Table on page 82	See Use Table on page 82	See Use Table on page 82	See Use Table on page 82
<b>Existing Zoning</b>	C9G	C9G	C9G	C9G
<b>Recommended Zoning</b>	C9B(A)	C9B(A)	C9B(A)	C9B(A)
<b>Known Utilities</b>	84" storm sewer runs east-west in middle of block. Existing north-south alley access on south edge of block.			
<b>Known Environmental Conditions</b>	Prior uses of parcels within the block include carriage repair shop, junkyard, plating business, printing business and gas station. Potential PECFA sites (Pg-800 mg/kg; VOCs/PAHs-NR 720 RCLs).			

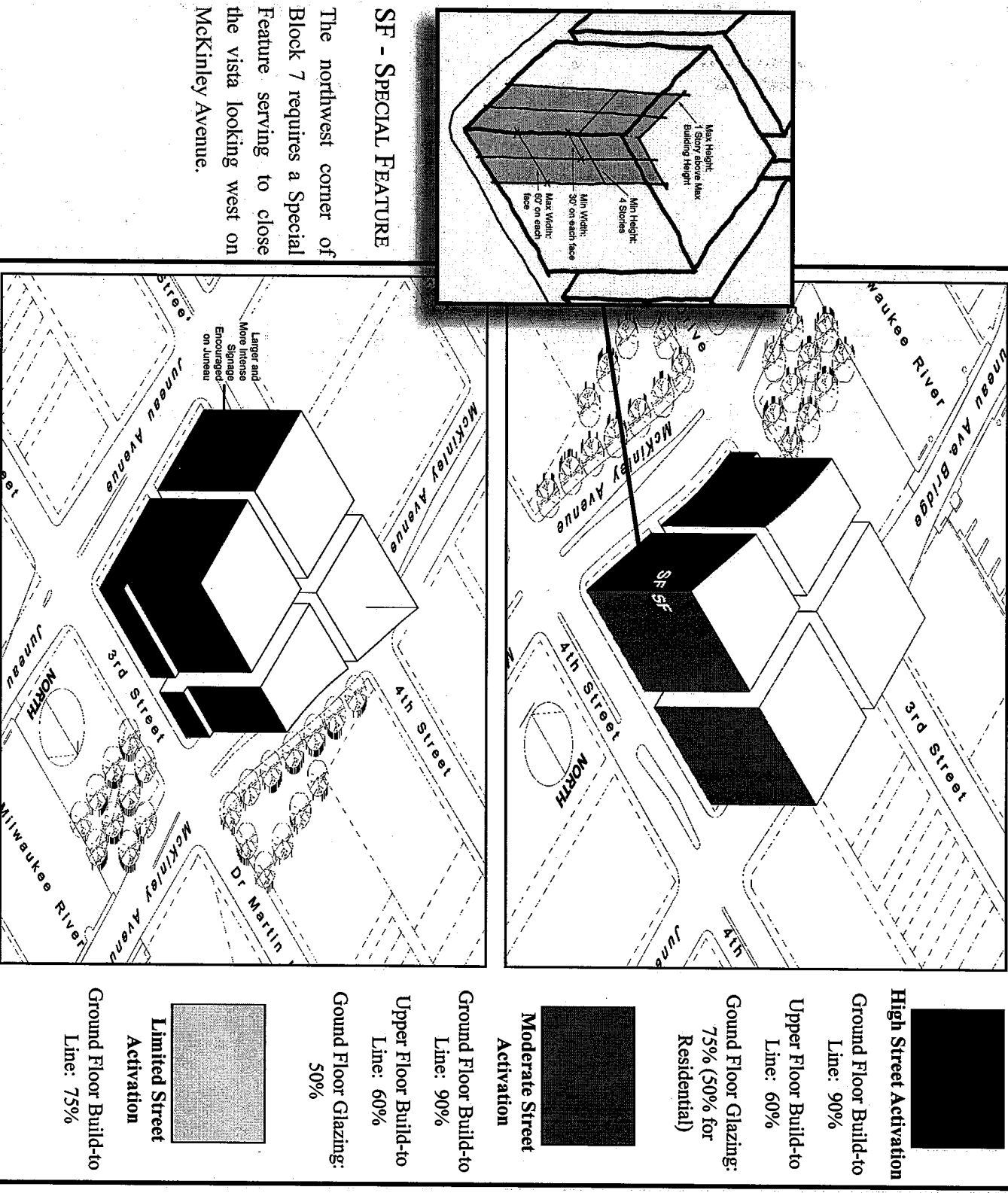


# Block Development Standards / Block 7

## BUILDING HEIGHT



## FACADE REQUIREMENTS

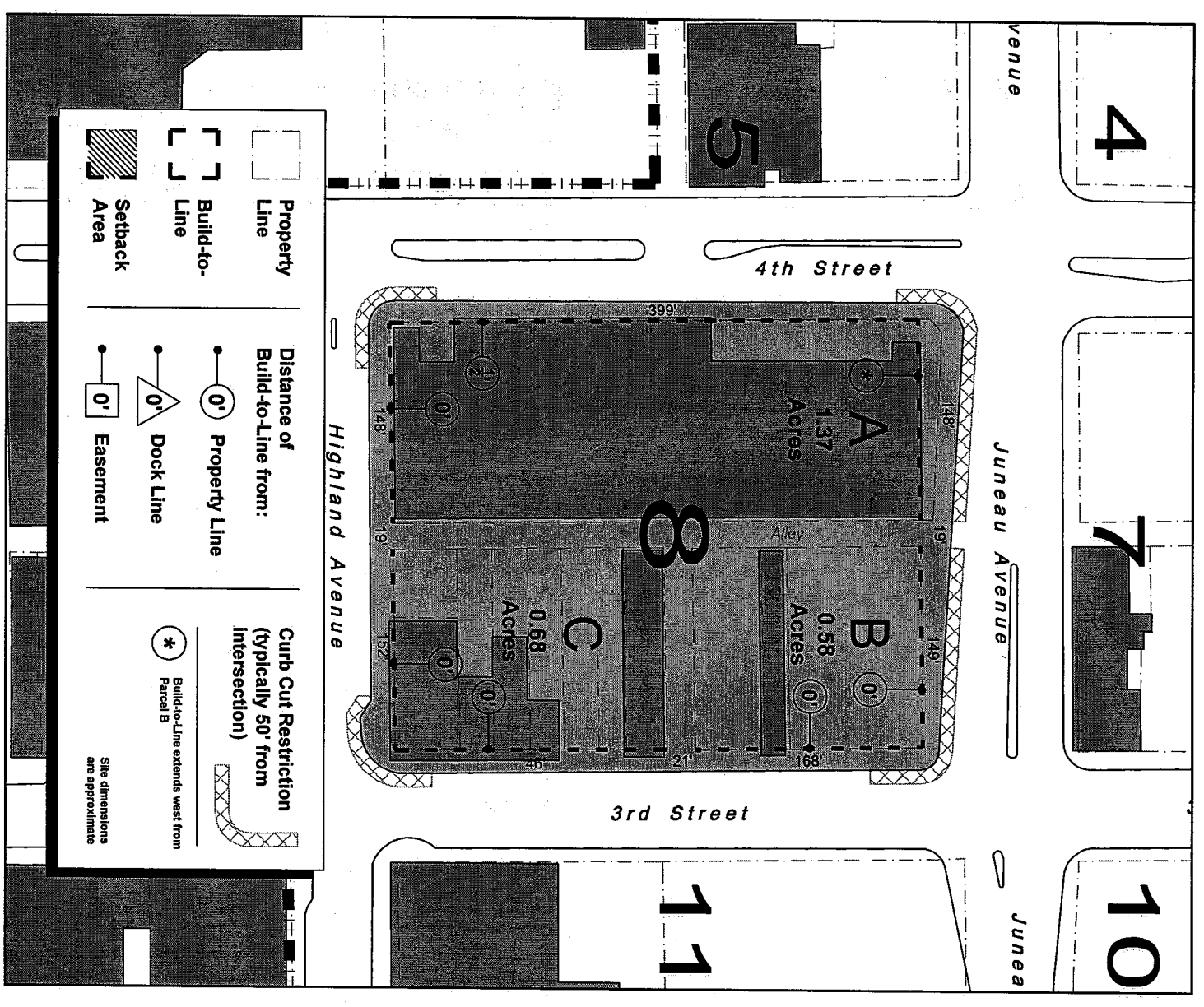
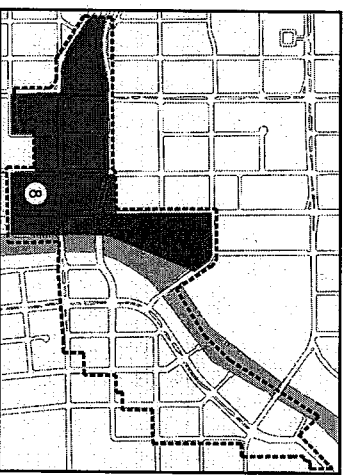


### SF - SPECIAL FEATURE

The northwest corner of Block 7 requires a Special Feature serving to close the vista looking west on McKinley Avenue.

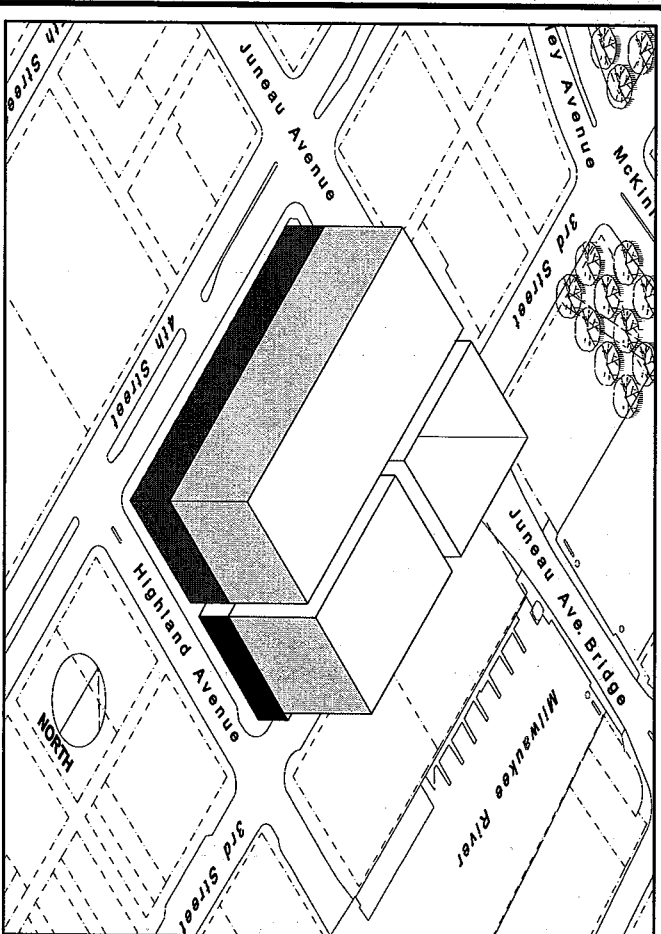
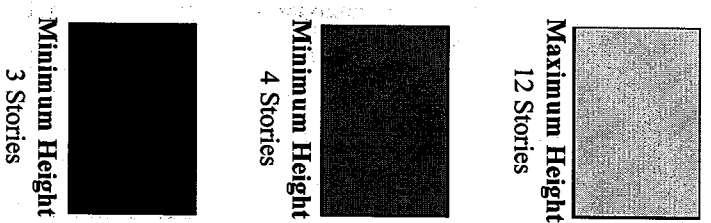
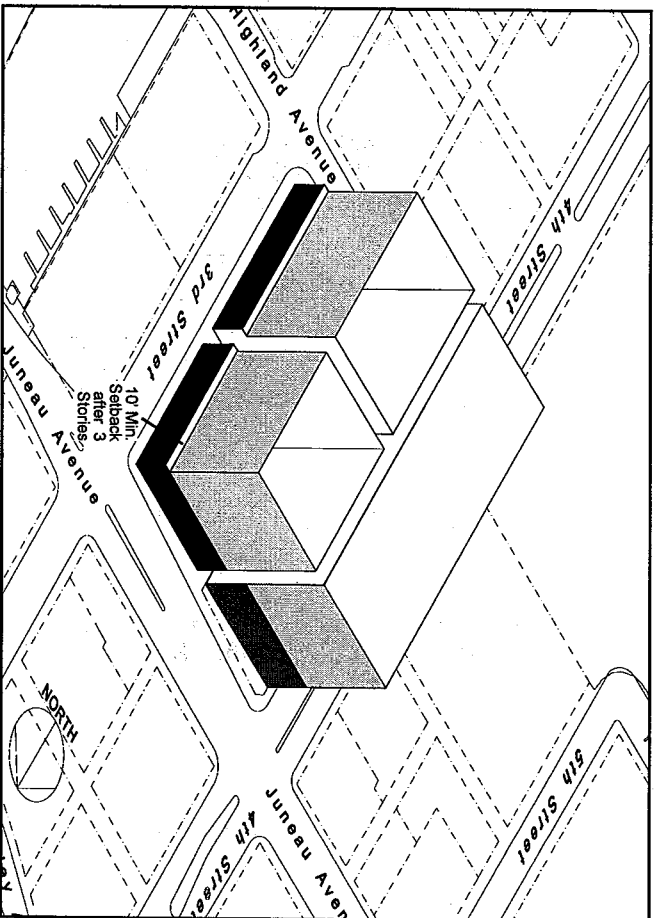
# Block Development Standards / Block 8

Block 8			
Parcel	A	B	C
<b>Allowable Building Form Combinations (I: Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse)</b>	I	I	I
<b>Approximate Acreage</b>	1.37 acres	0.58 acres	0.68 acres
<b>Current Use</b>	Parking structure, restaurant/bar	Car repair	Infill surface parking
<b>Allowed Use</b>	See Use Table on page 82	See Use Table on page 82	See Use Table on page 82
<b>Existing Zoning</b>	C9G	C9G	C9G
<b>Recommended Zoning</b>	C9B(A)	C9B(A)	C9B(A)
<b>Known Utilities</b>	No known utility issues.		
<b>Known Environmental Conditions</b>	No known environmental issues.		

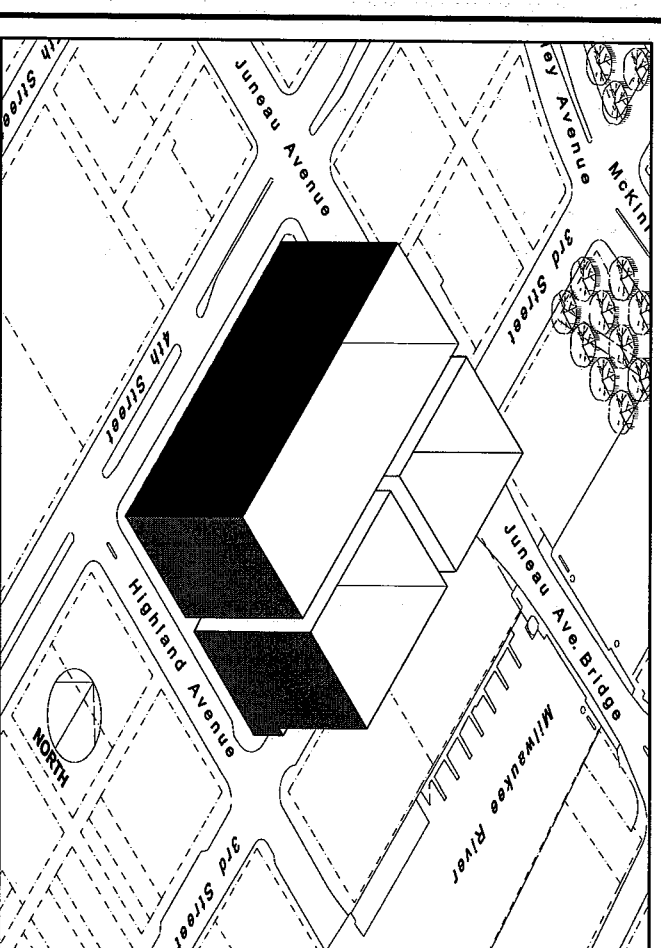
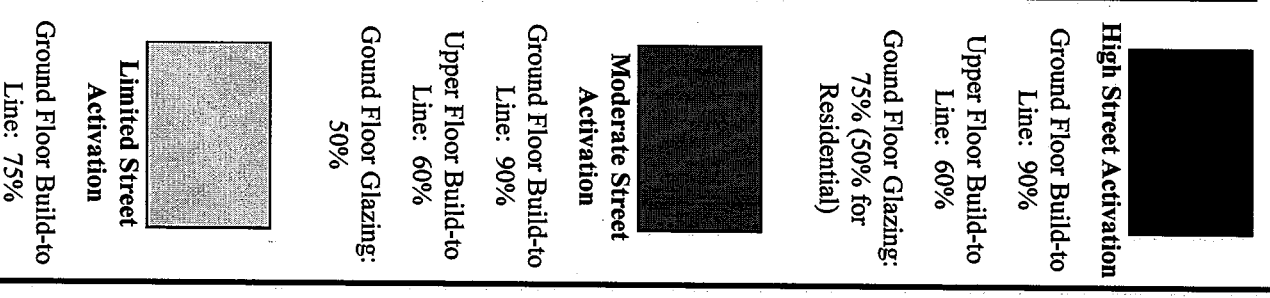
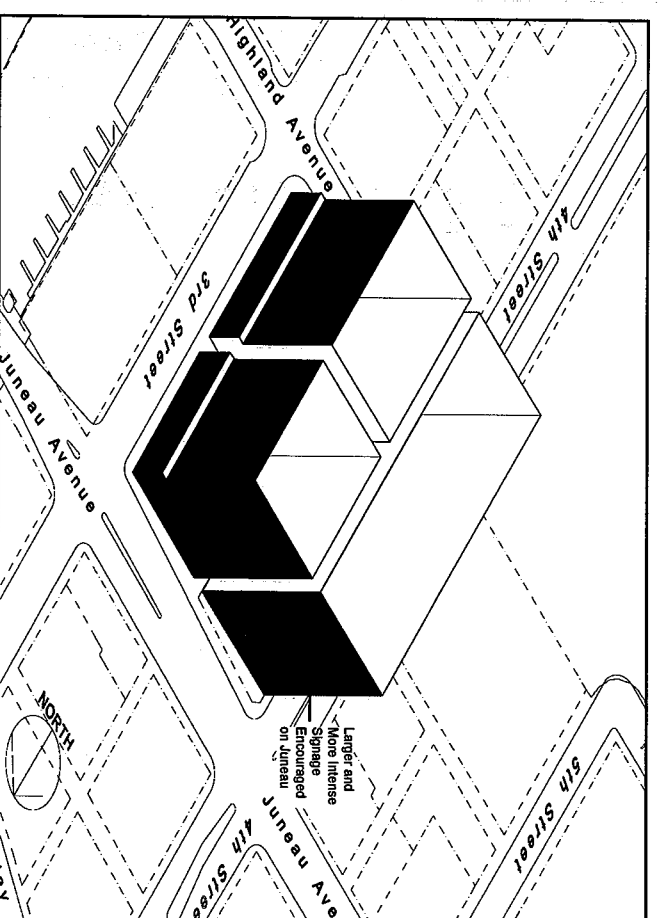


# Block Development Standards / Block 8

## BUILDING HEIGHT

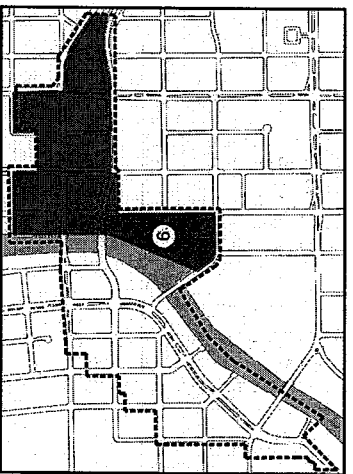


## FACADE REQUIREMENTS

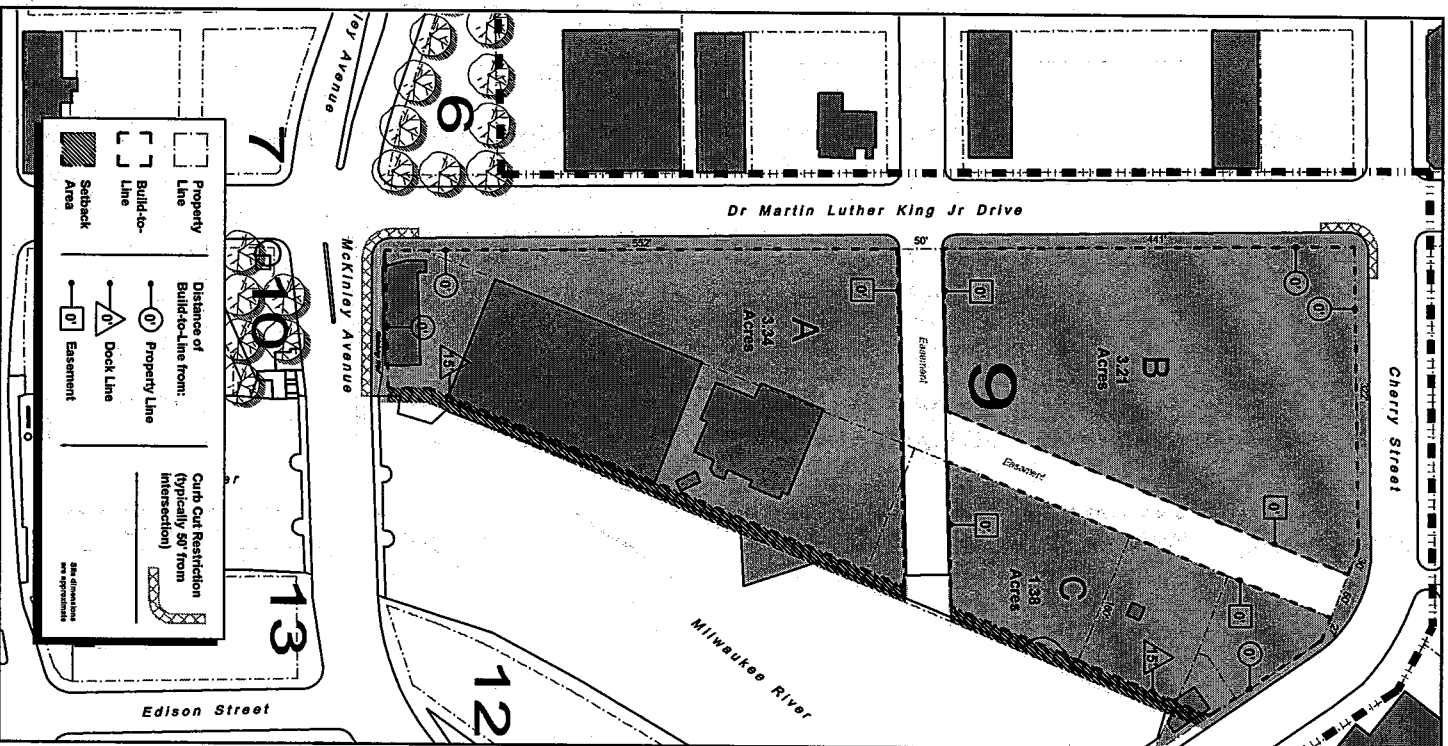


# Block Development Standards / Block 9

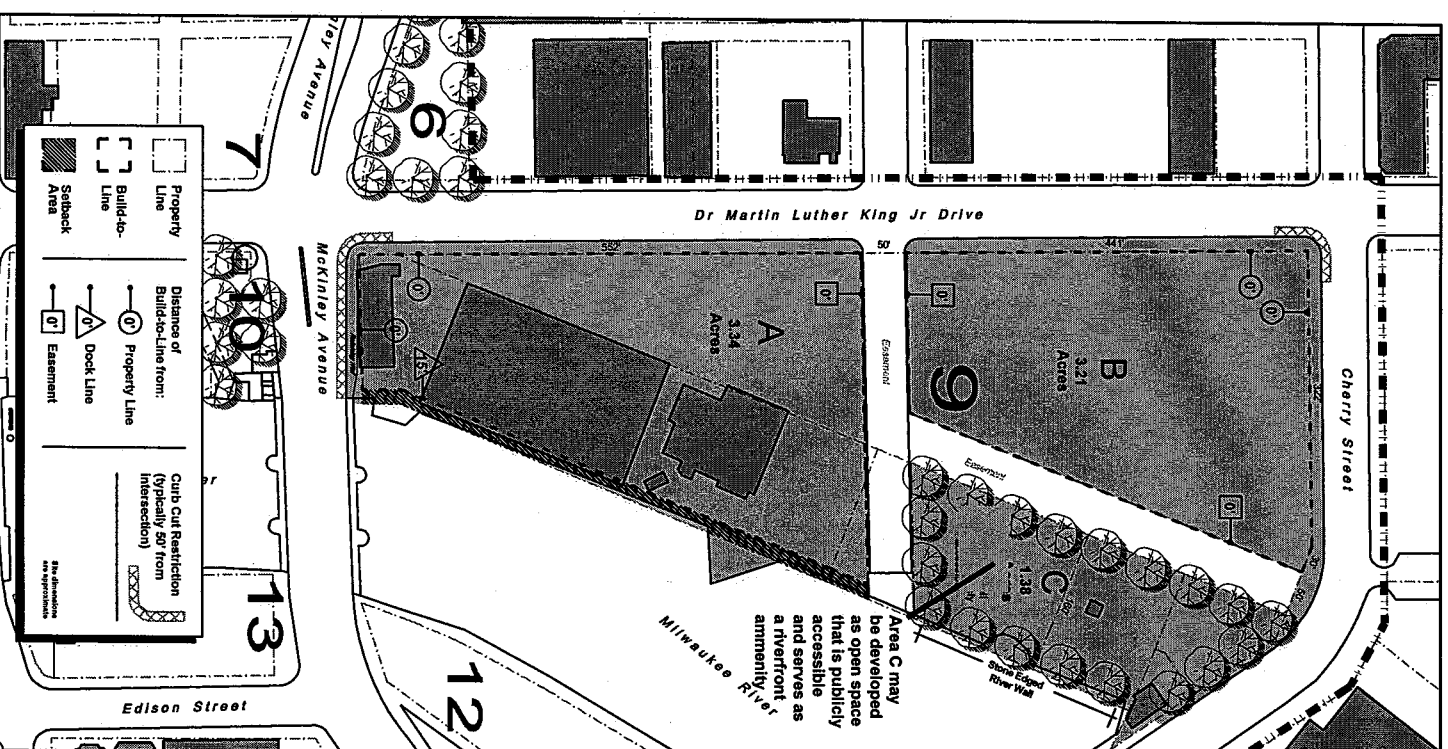
Block 9			
Parcel	A	B	C
<b>Allowable Building Form Combinations (I: Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse)</b>	II	II	II
<b>Approximate Acreage</b>	3.34 acres	3.21 acres	1.38 acres
<b>Current Use</b>	Office building - Time Warner (Historic building also on the site)	Vacant - surface parking	Vacant - surface parking
<b>Allowed Use</b>	See Use Table on page 82	See Use Table on page 82	See Use Table on page 82
<b>Existing Zoning</b>	C9G	C9G	C9G
<b>Recommended Zoning</b>	C9B(A)	C9B(A)	C9B(A)
<b>Known Utilities</b>	No known utility issues.		
<b>Known Environmental Conditions</b>	No known environmental issues.		



ALTERNATIVE 1



ALTERNATIVE 2

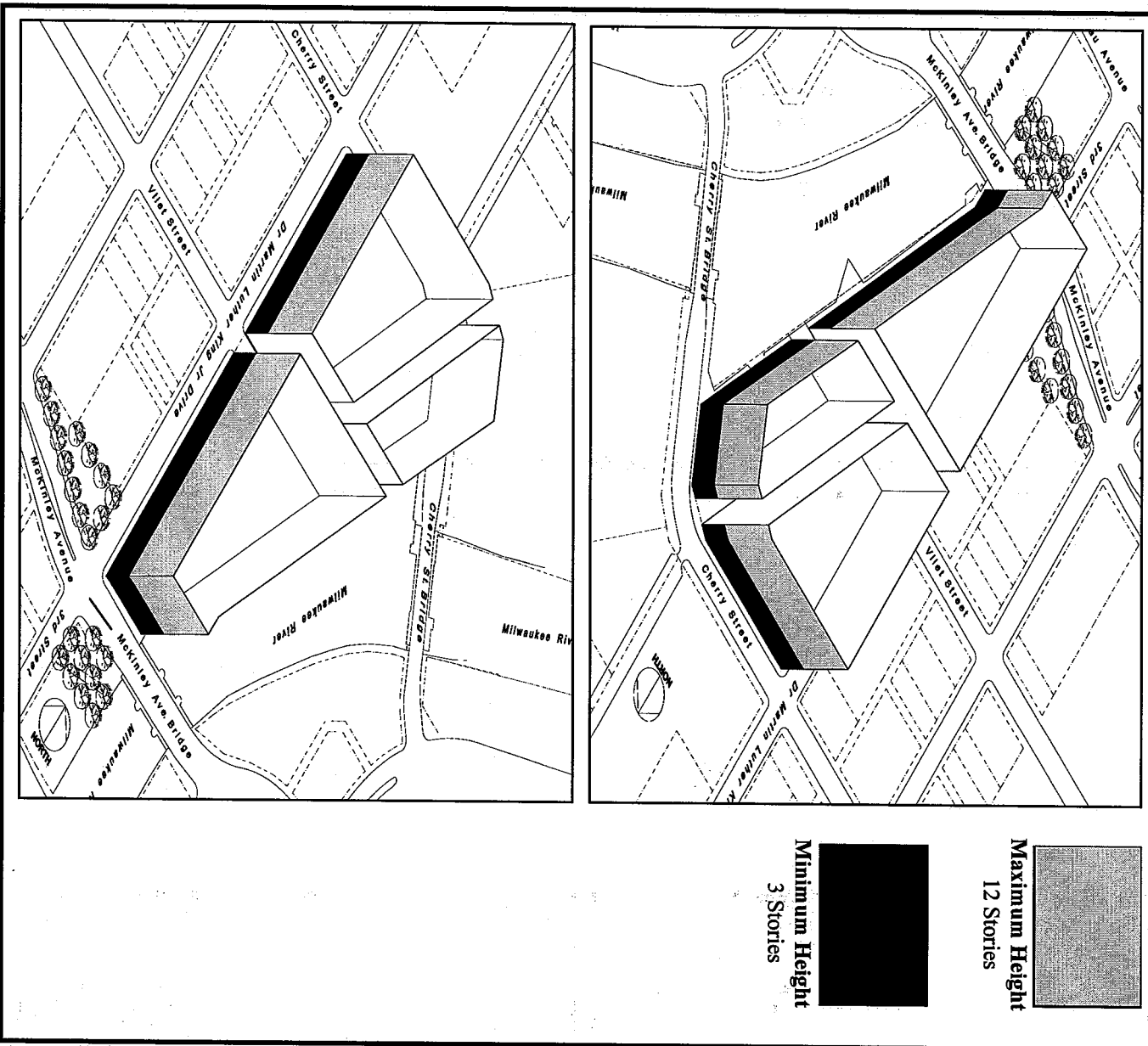




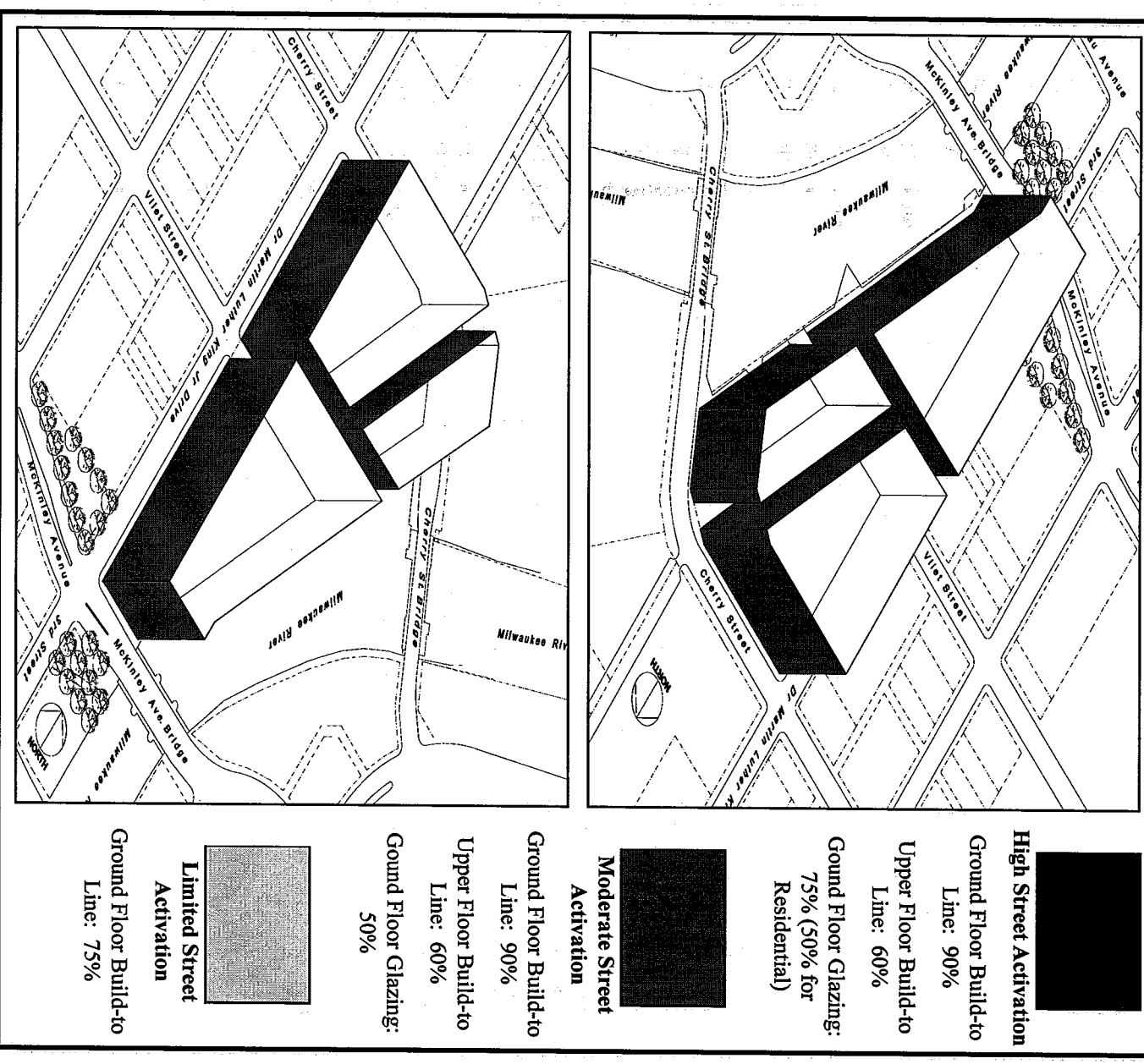
# Block Development Standards / Block 9

## ALTERNATIVE 1

### BUILDING HEIGHT



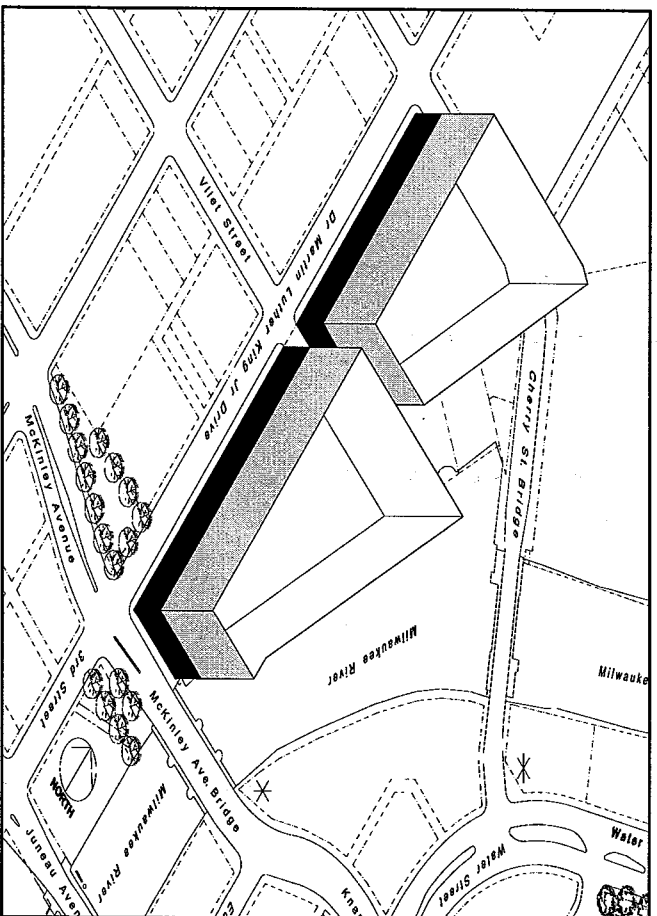
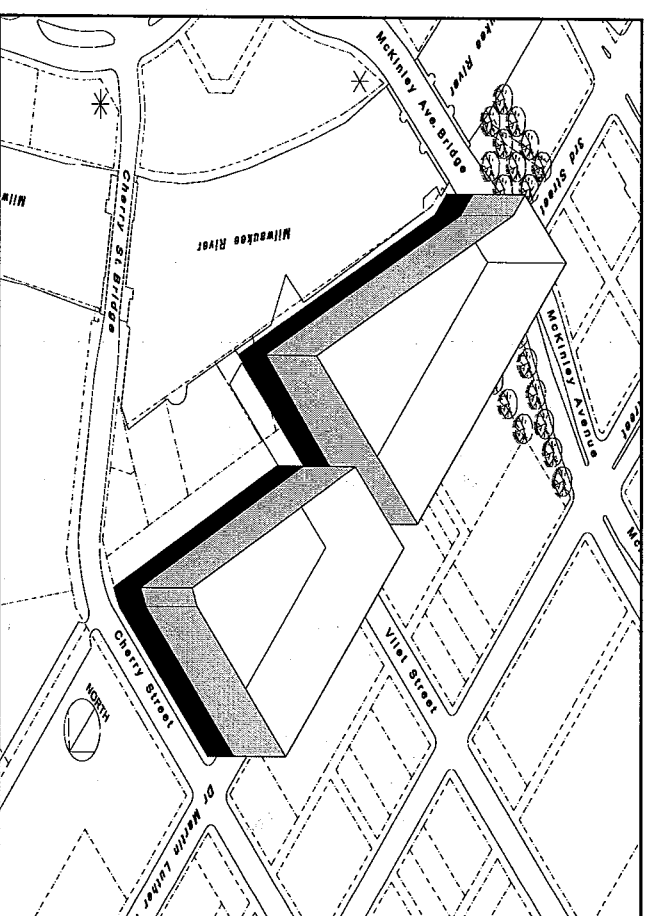
### FACADE REQUIREMENTS



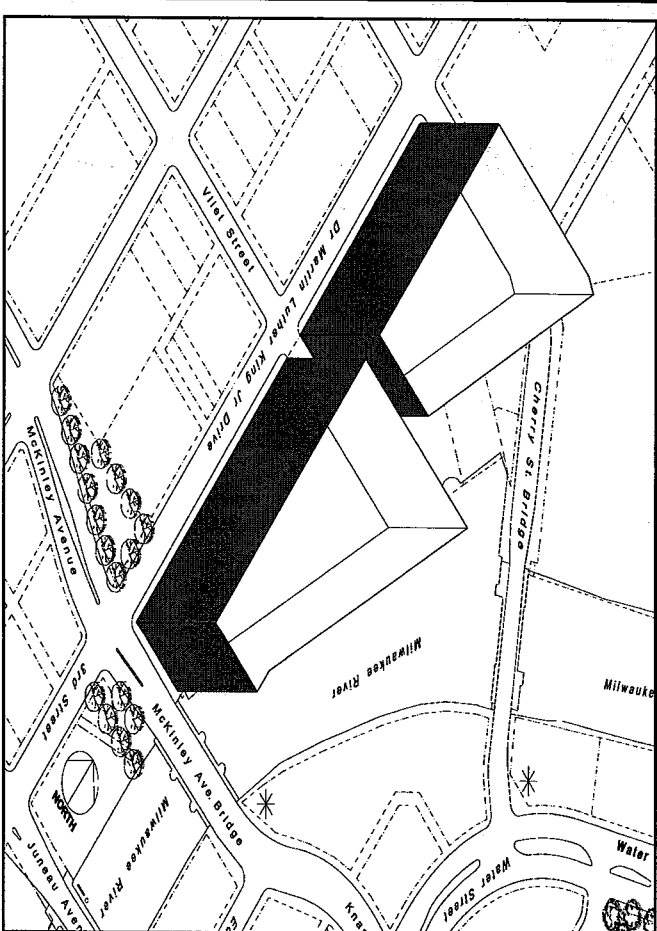
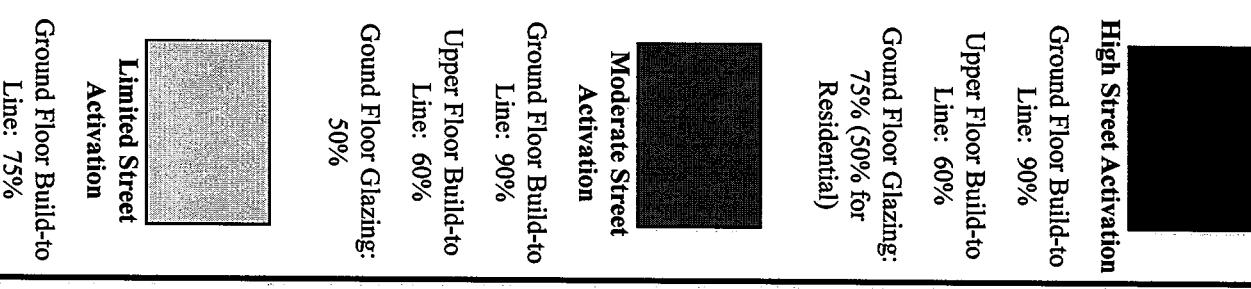
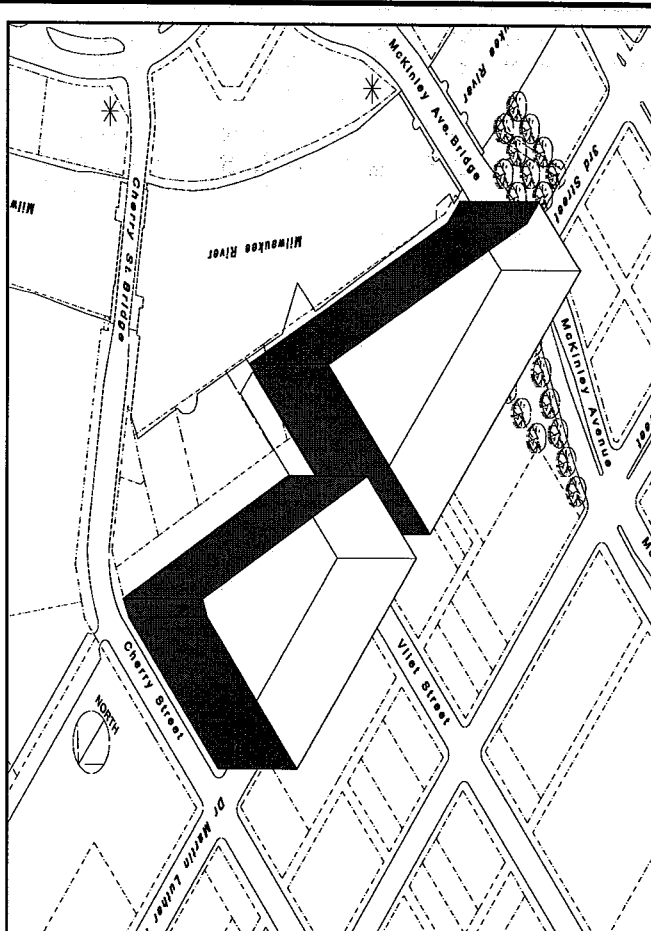
# Block Development Standards / Block 9

## ALTERNATIVE 2

### BUILDING HEIGHT (BASED ON ALTERNATE BUILD-TO LINE)



### FACADE REQUIREMENTS (BASED ON ALTERNATE BUILD-TO LINE)

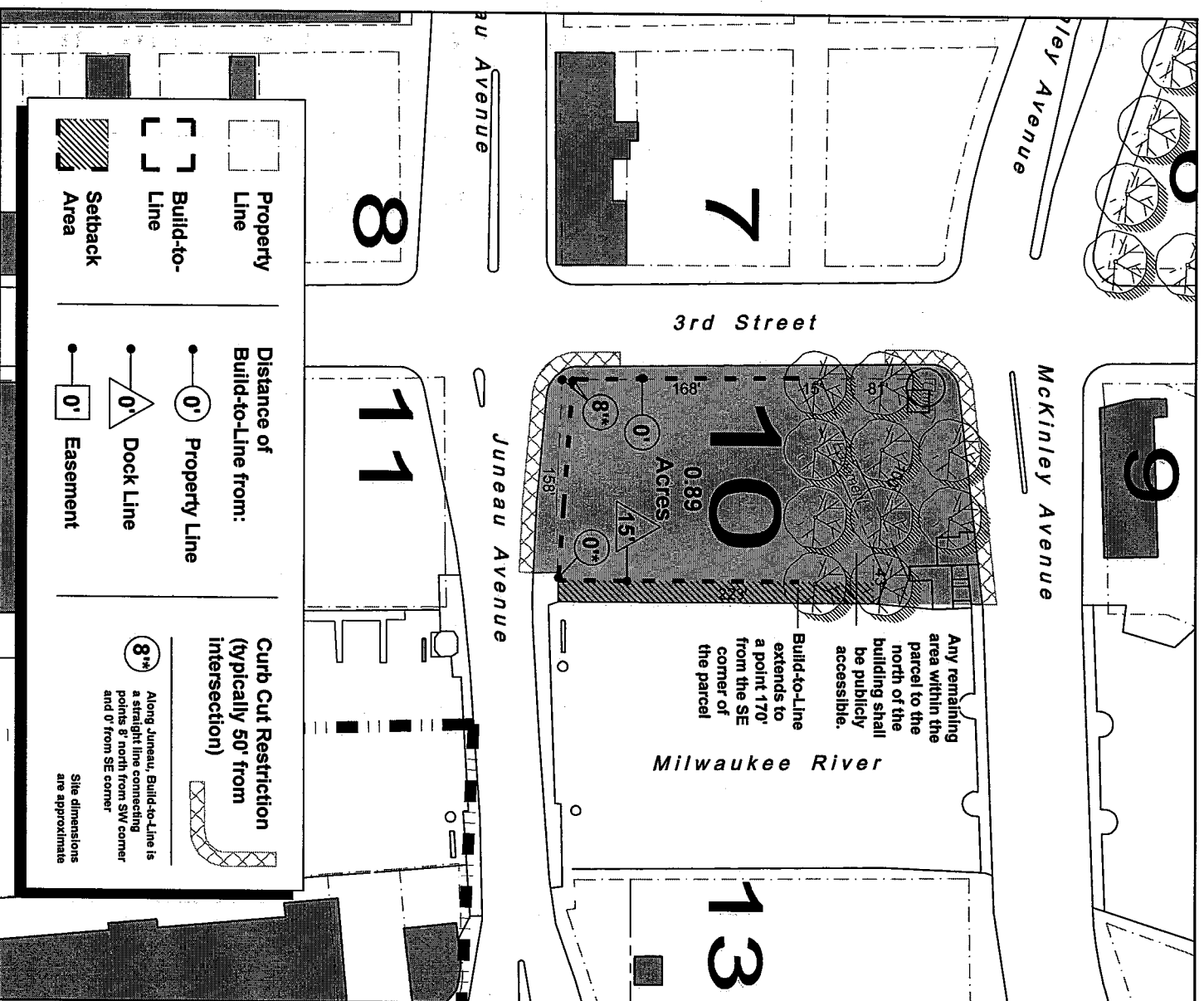
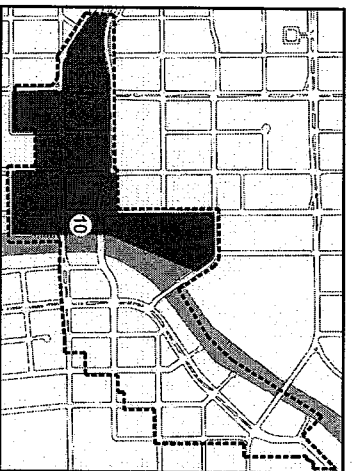




This page intentionally left blank

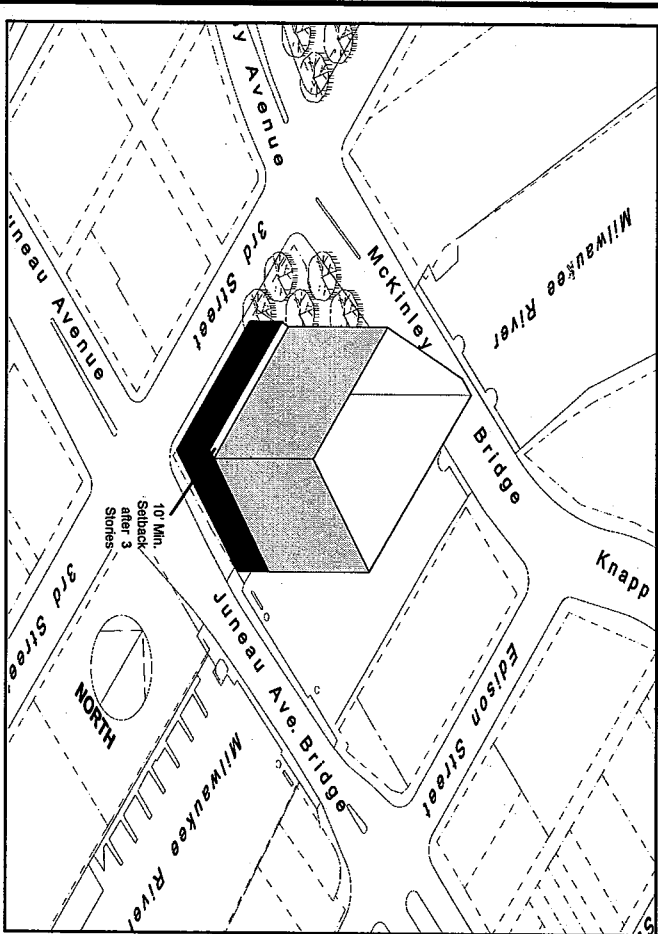
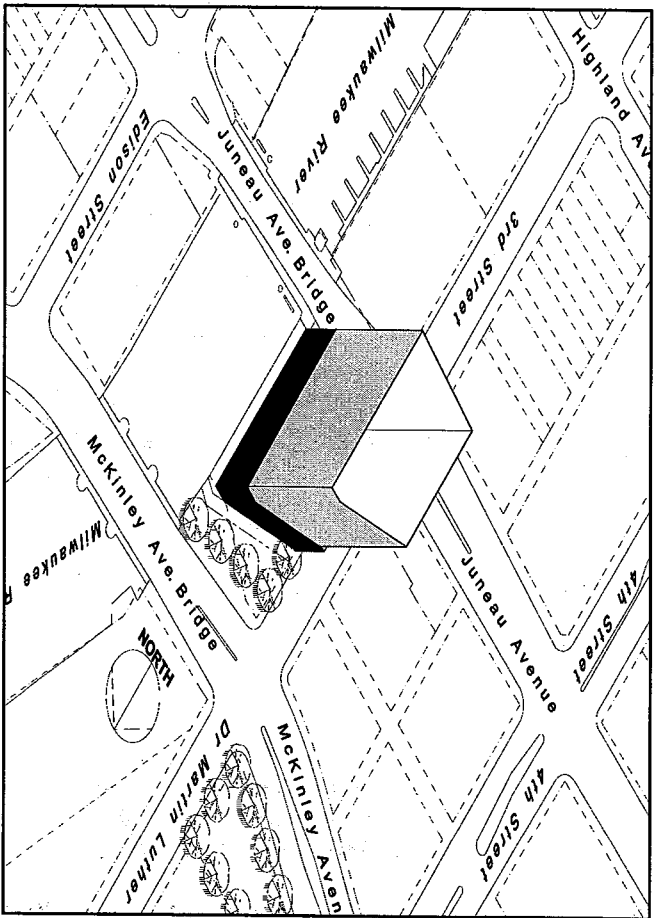
# Block Development Standards / Block 10

<b>Parcel</b>	<b>Block 10</b>
<b>Allowable Building Form Combinations (I: Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse)</b>	<b>I</b>
<b>Approximate Acreage</b>	0.89 acres
<b>Current Use</b>	None-new block (Riverwalk)
<b>Allowed Use</b>	See Use Table on page 82
<b>Existing Zoning</b>	C9G
<b>Recommended Zoning</b>	C9B(A)
<b>Known Utilities</b>	84" storm sewer runs northeast to bridge house with spill way in river. Large utility access point on corner of 3rd and McKinley.
<b>Known Environmental Conditions</b>	Prior use of parcels within the block include shipping and receiving warehouse and railroad yard.



Block Development Standards / Block 10

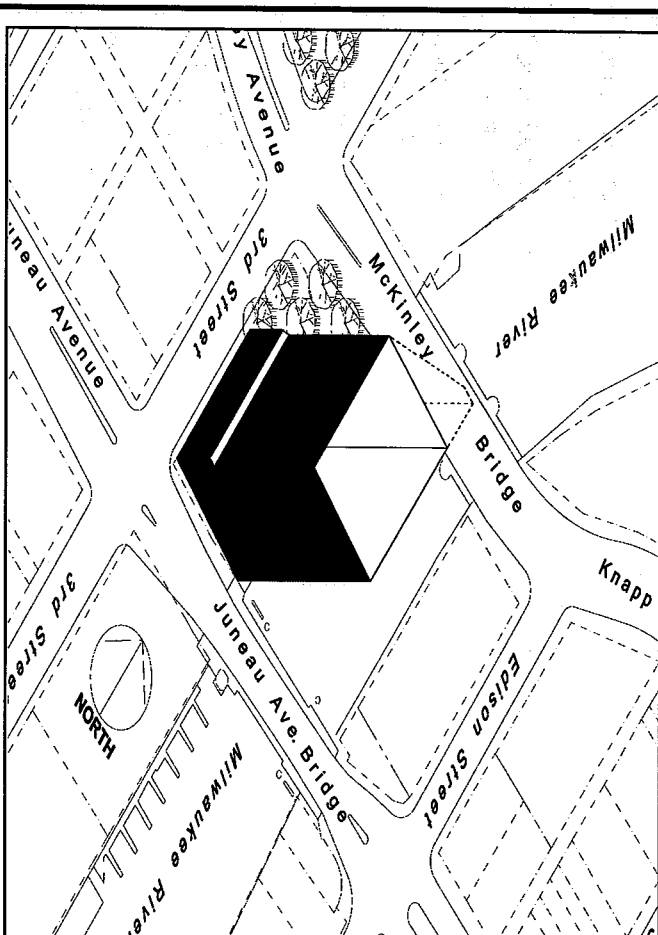
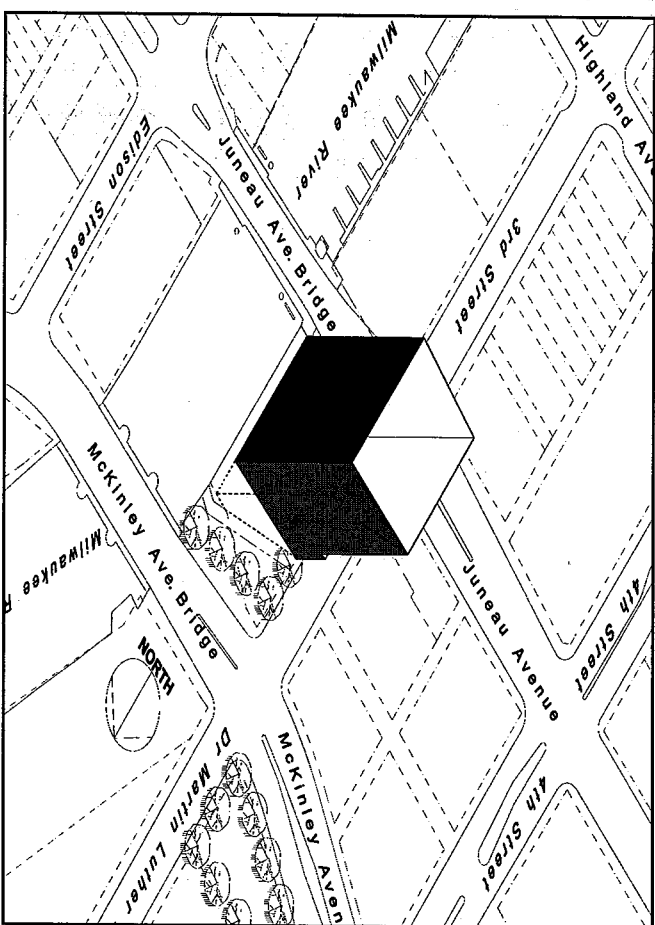
BUILDING HEIGHT



Maximum Height  
12 Stories

Minimum Height  
3 Stories

FACADE REQUIREMENTS



High Street Activation  
Ground Floor Build-to  
Line: 90%

Upper Floor Build-to  
Line: 60%

Ground Floor Glazing:  
75% (50% for  
Residential)

Moderate Street  
Activation

Ground Floor Build-to  
Line: 90%

Upper Floor Build-to  
Line: 60%

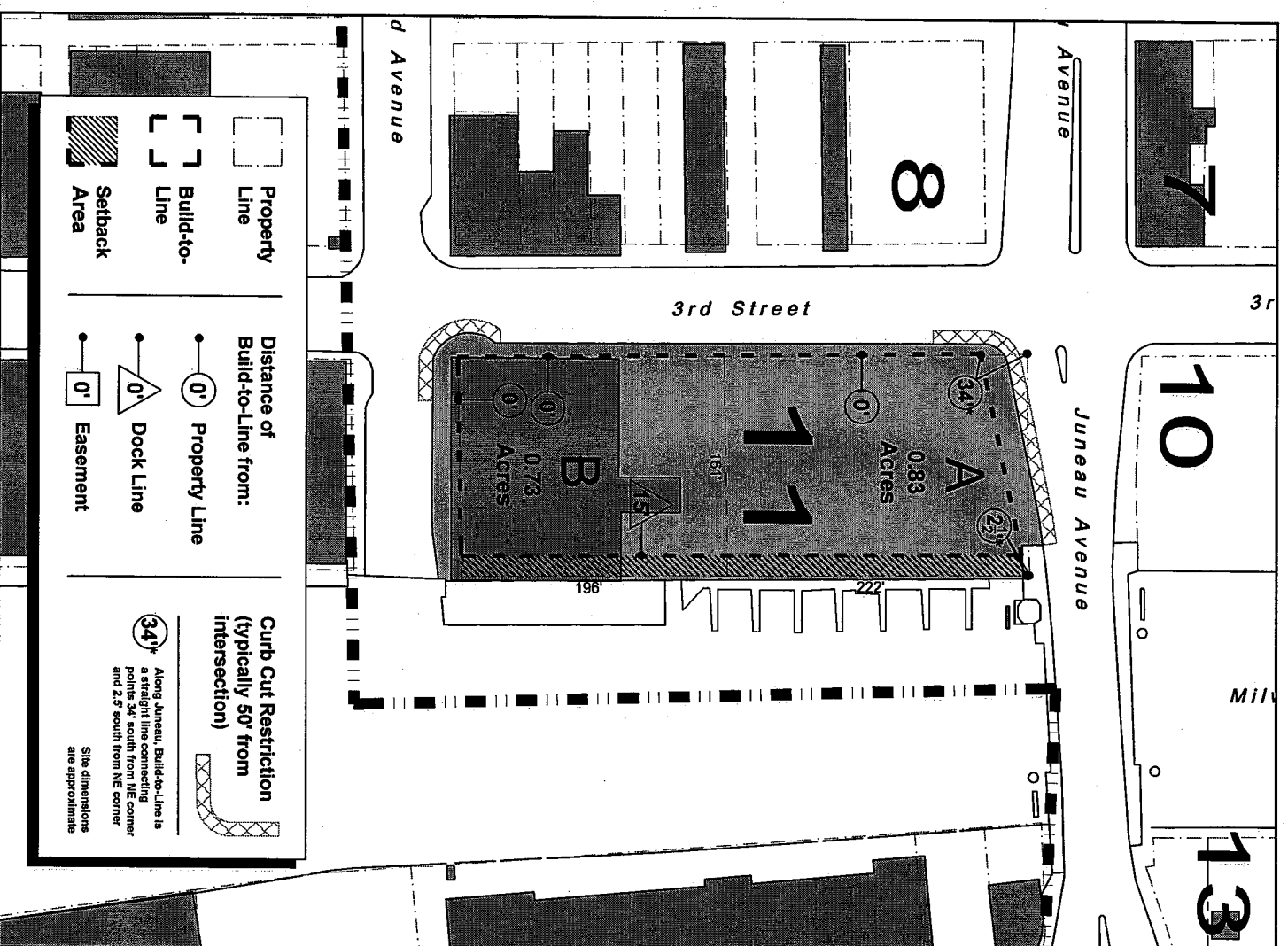
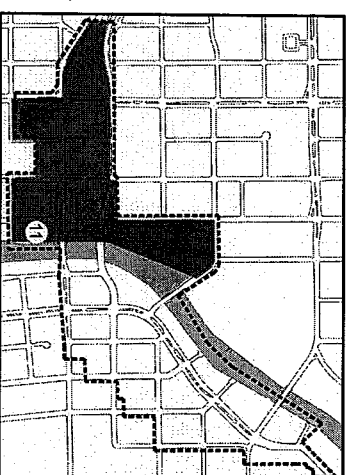
Ground Floor Glazing:  
50%

Limited Street  
Activation

Ground Floor Build-to  
Line: 75%

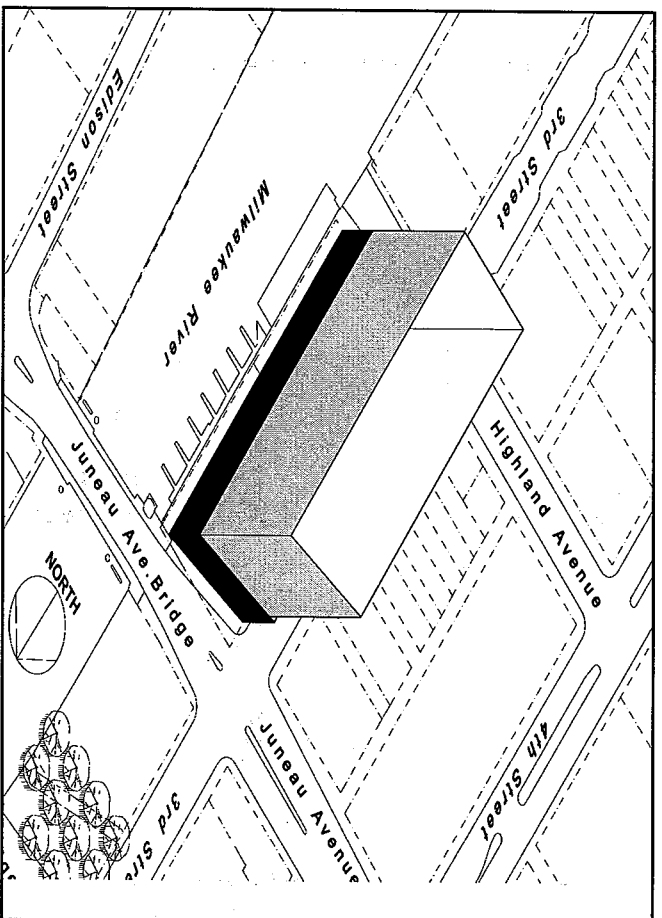
# Block Development Standards / Block 11

Block 11	
Parcel	
A	B
<b>Allowable Building Form Combinations (I: Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse)</b>	
I	I
0.83 acres	0.73 acres
Surface parking	Multi-tenant, mixed-use building
Approximate Acreage	
Current Use	
Allowed Use	See Use Table on page 82
Existing Zoning	C9G
Recommended Zoning	C9B(A)
Known Utilities	No known utility issues.
Known Environmental Conditions	No known environmental issues.



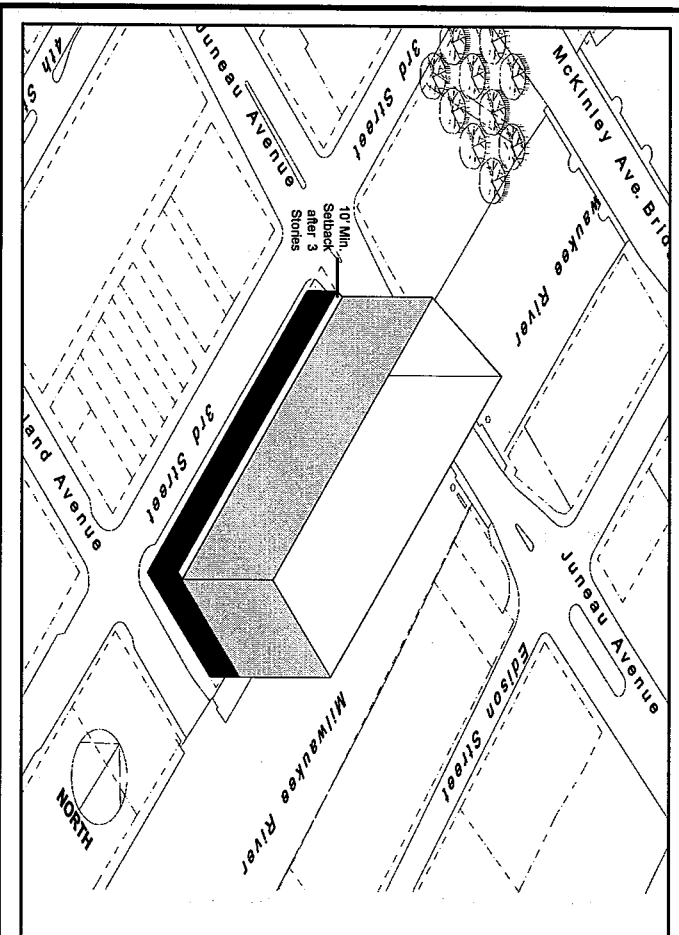
# Block Development Standards / Block 11

## BUILDING HEIGHT

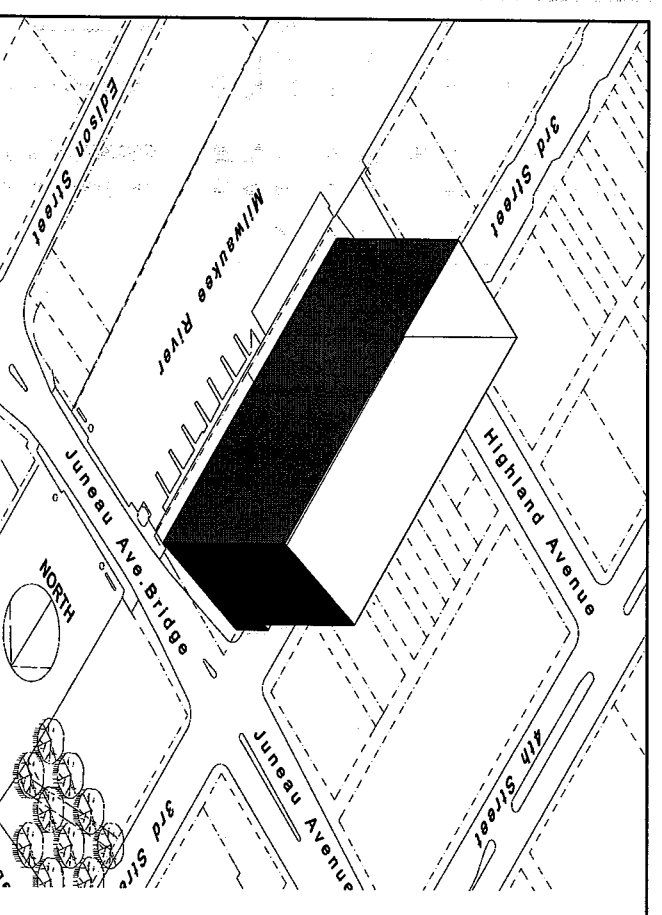


Maximum Height  
12 Stories

Minimum Height  
3 Stories



## FACADE REQUIREMENTS



High Street Activation  
Ground Floor Build-to  
Line: 90%

Upper Floor Build-to  
Line: 60%

Ground Floor Glazing:  
75% (50% for  
Residential)

Moderate Street  
Activation

Ground Floor Build-to  
Line: 90%

Upper Floor Build-to  
Line: 60%

Ground Floor Glazing:  
50%

Limited Street  
Activation  
Ground Floor Build-to  
Line: 75%

## Block Development Standards / Lower Water Street District

### LOWER WATER STREET DISTRICT

The Development Code converts the planning concepts in the Master Plan into rules governing the buildings, streets, and public places in the redevelopment area.

#### **Building Height Range, Landmarks, and Special Features**

In order to facilitate the economies of scale needed by office buildings and, at the same time insure a minimum level of development on each Block, the building height has been set at a minimum of 4 stories and a maximum of 12. Along a portion of Water Street (from Knapp to Juneau), the building height minimum is lowered to 3 stories, and a facade setback after 3 stories is required in order to ensure continuity with the scale and character of the other buildings along Water Street south of the redevelopment area.

Two locations in this District have been designated with Landmark Buildings due to their unique location and potential for responding to the issues identified in the Master Plan. In both cases the building height requirements, both the minimum and the maximum, are substantially taller.

- The southwest corner of Block 12 requires a Landmark Building to emphasize the pivotal site location at the bend of the river. This Landmark Building will serve to close the vista looking west along Knapp Street.

- The southwest corner of Block 15 requires a Landmark Building to emphasize the pivotal site location at the bend of the river. This Landmark Building will serve to close the vista looking north along Water Street.

- The northeast corner of Block 16 requires a Special Feature to enliven Ogdén Square as well as terminate the vista looking west along Ogdén Street. The western edge of Block 16 should acknowledge the termination of Cherry Street at Water Street.

#### **Street Activation - Social and Economic Activity**

Within this District, several streets should have significantly higher levels of pedestrian street activity – these include Water Street, Edison Street, and portions of Knapp, Juneau, and Cherry (east of Water). Higher pedestrian activation is also required along this section of the Riverwalk. East of this area, as indicated in the Master Plan, the level of activity anticipated along street frontages is more moderate and, consequently, this is reflected in the regulations for these streets. Lower traffic and lower potential street activity along portions of Market Street and Highland suggest that limited pedestrian activity and service are more likely and more appropriate along these street frontages.

As development evolves, higher degrees of street activation should be considered along the street frontages opposite the public green space on Block 18. For now, only a moderate degree of street activation is required.



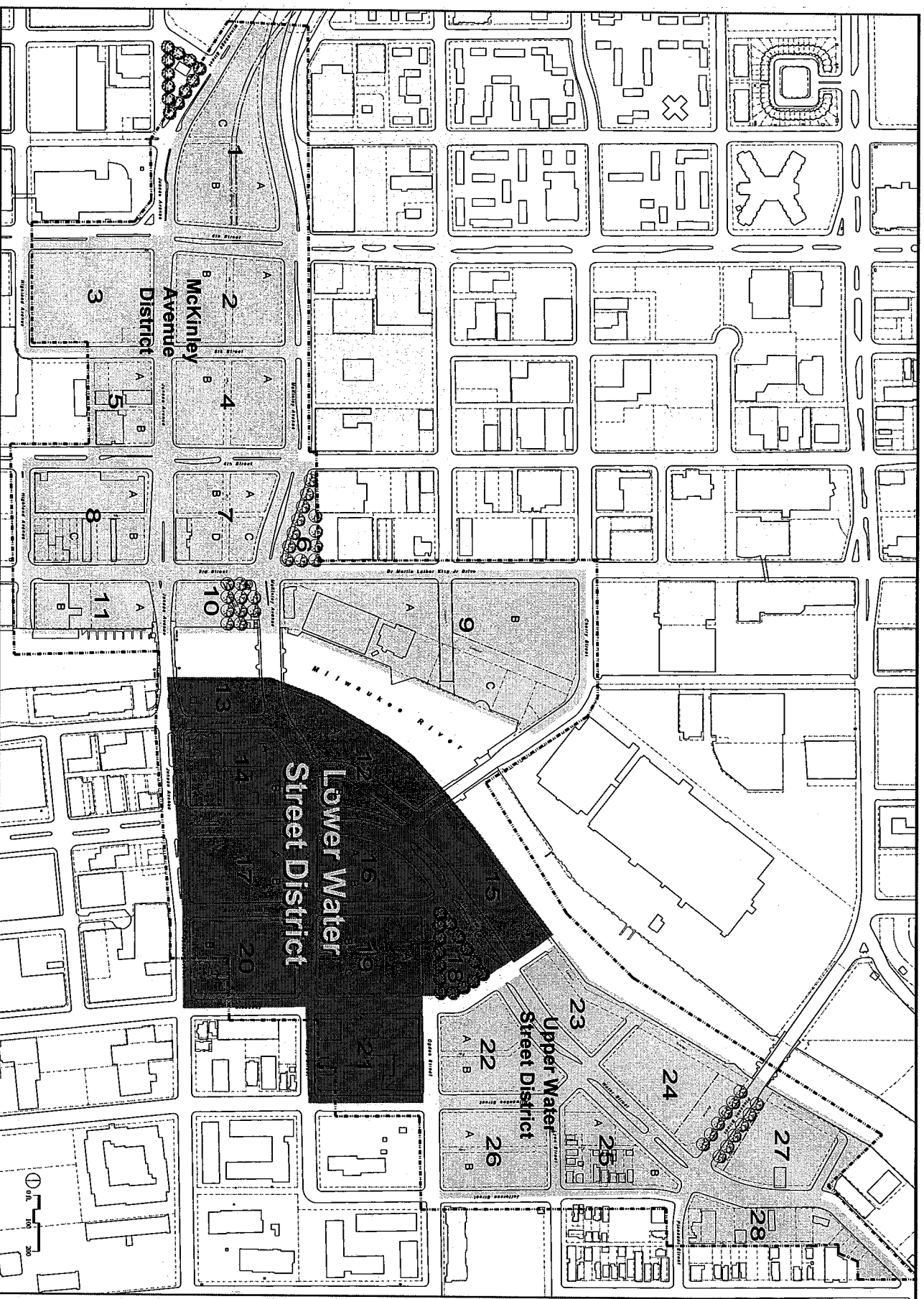
## Block Development Standards / Lower Water Street District

### Building Form and Build-To Lines

All Blocks in this area can use building forms consisting of Slab and/or Core Buildings. Rowhouses are not considered compatible with the character and function of the building intended for this District or the immediate context and therefore cannot be used.

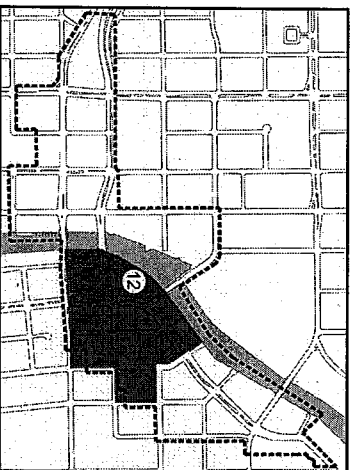
Several Blocks allow Large Venue Buildings. Specifically this building type is allowed on portions of Block 12 and on Blocks 16, 17, and 20 to facilitate continuation of entertainment-related uses in this neighborhood. These buildings are expected to accommodate large places of public assembly on the interior of the block or above street level, with smaller scale uses activating the street frontages.

To maintain the character of the public places and streets, all Blocks have established Build-to Lines. In two cases (Blocks 12 and 16) there are some street frontages with unusual geometries that allow alternative Build-to Lines.

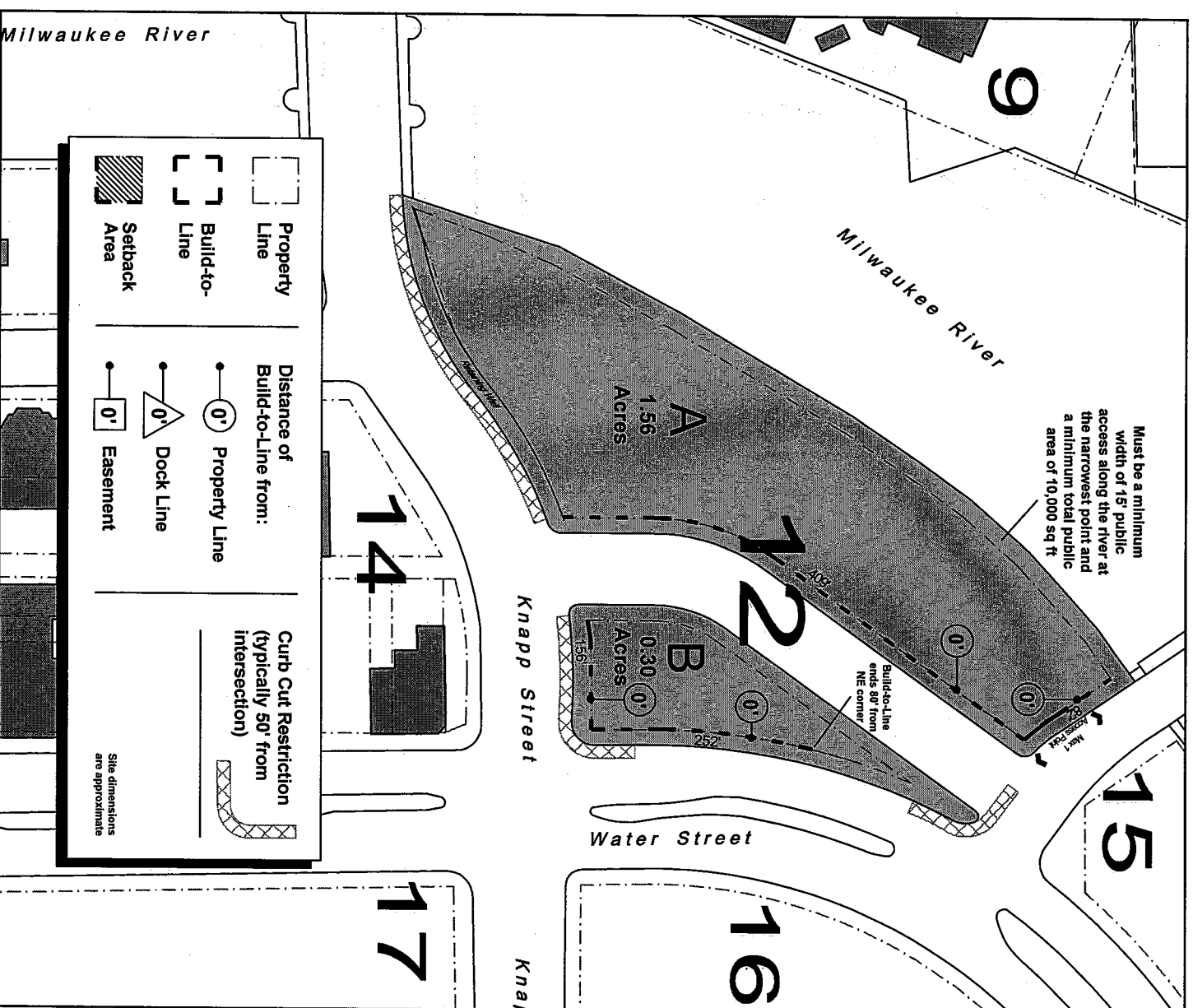


# Block Development Standards / Block 12

Block 12	
Parcel	
A	B
<b>Allowable Building Form Combinations (I: Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse)</b>	
I	I or public greenspace
1.35 acres	0.35 acres
Surface parking and public r.o.w.	Surface parking and public r.o.w.
Current Use	
Allowed Use	See Use Table on page 82
Existing Zoning	C9B(A)
Recommended Zoning	C9B(A)
Known Utilities	Two 36" storm sewers run along old Edison Street.
Known Environmental Conditions	Prior uses of parcels within the block include milling businesses, wood and coal storage yards, machine shop, blacksmith business, cleaning products business and gas station. Potential PECCA sites (VOCs/PAHs>NR 720 RCLs).

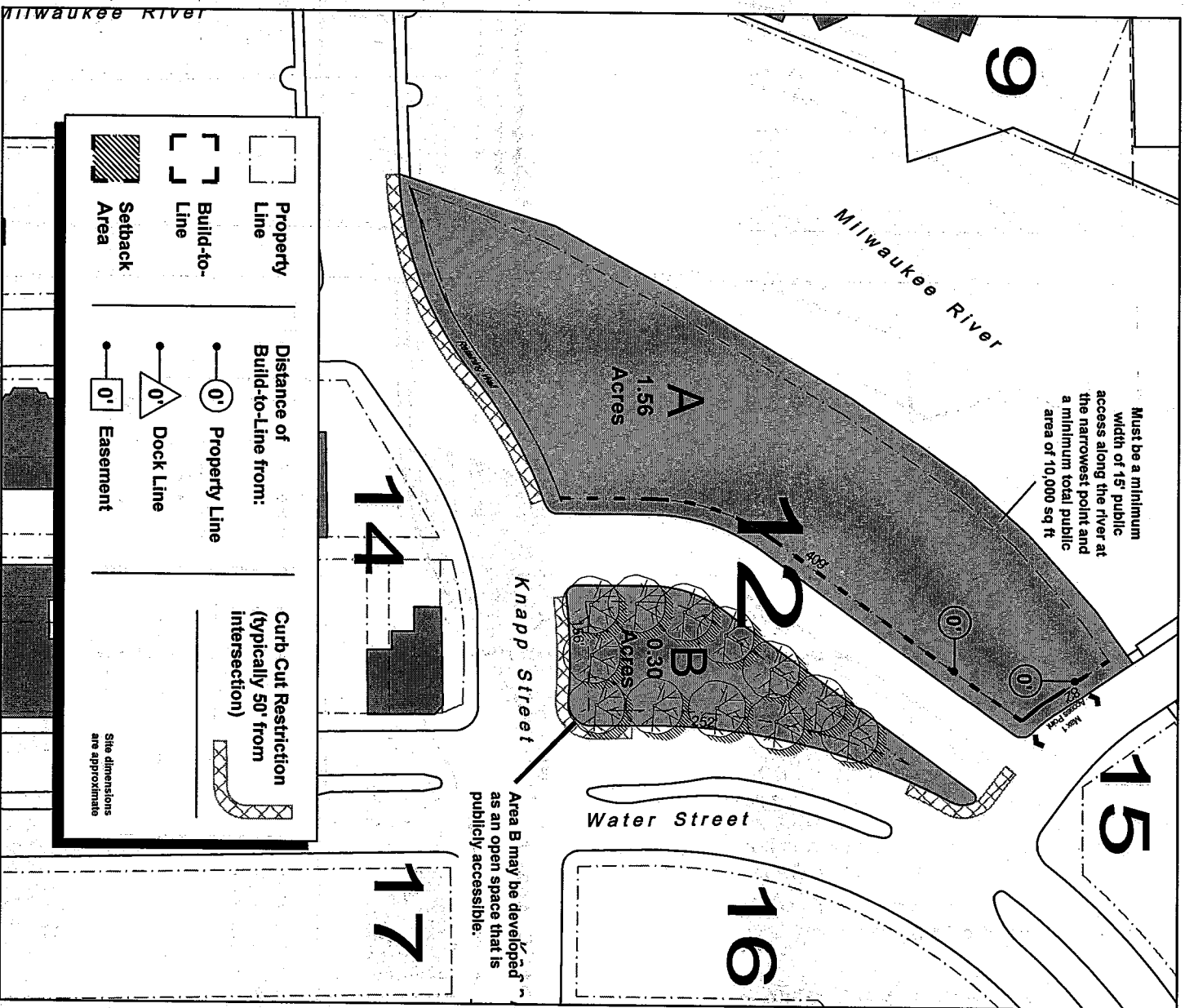


## ALTERNATIVE 1A

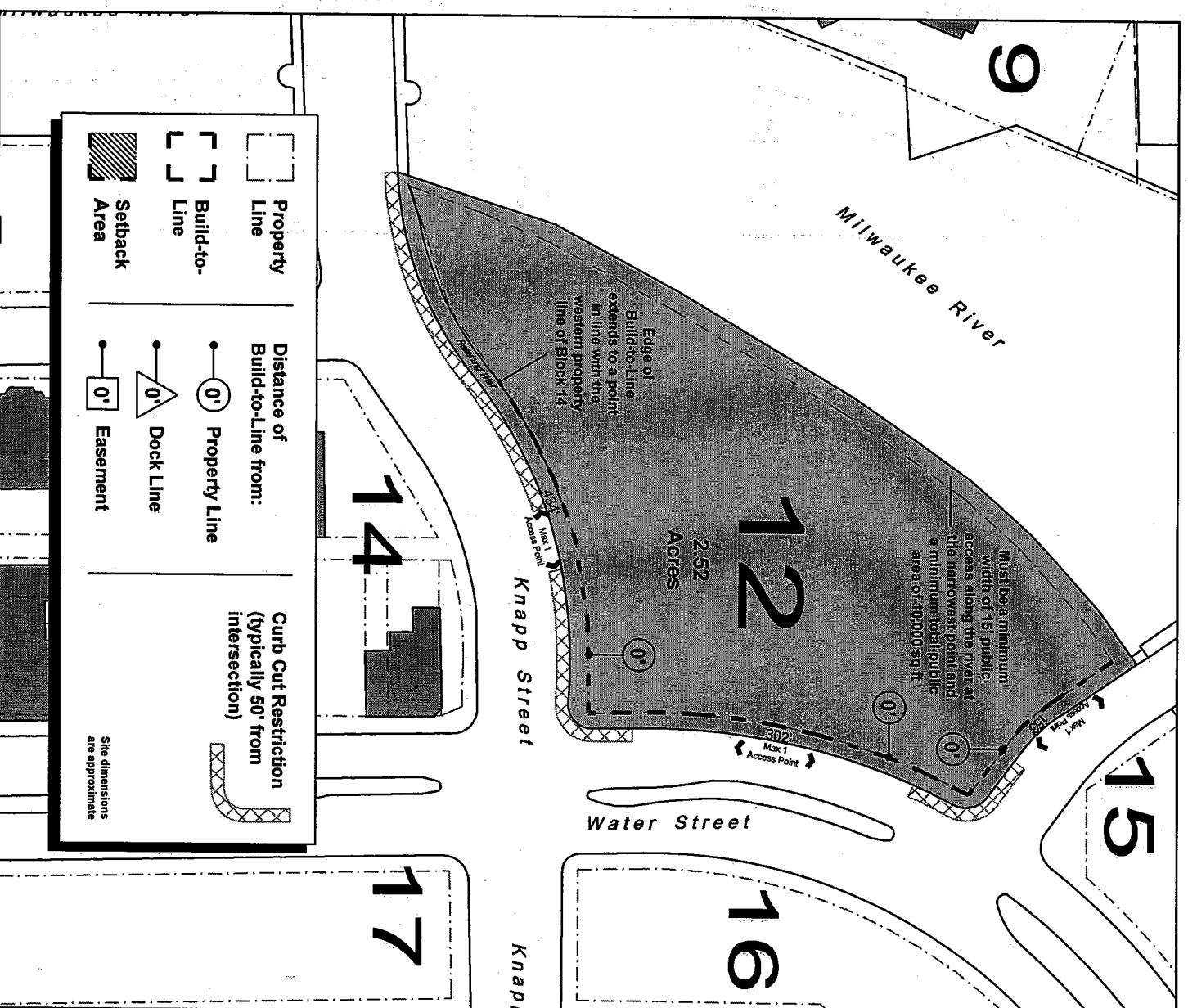


Block Development Standards / Block 12

ALTERNATIVE 1B



ALTERNATIVE 2



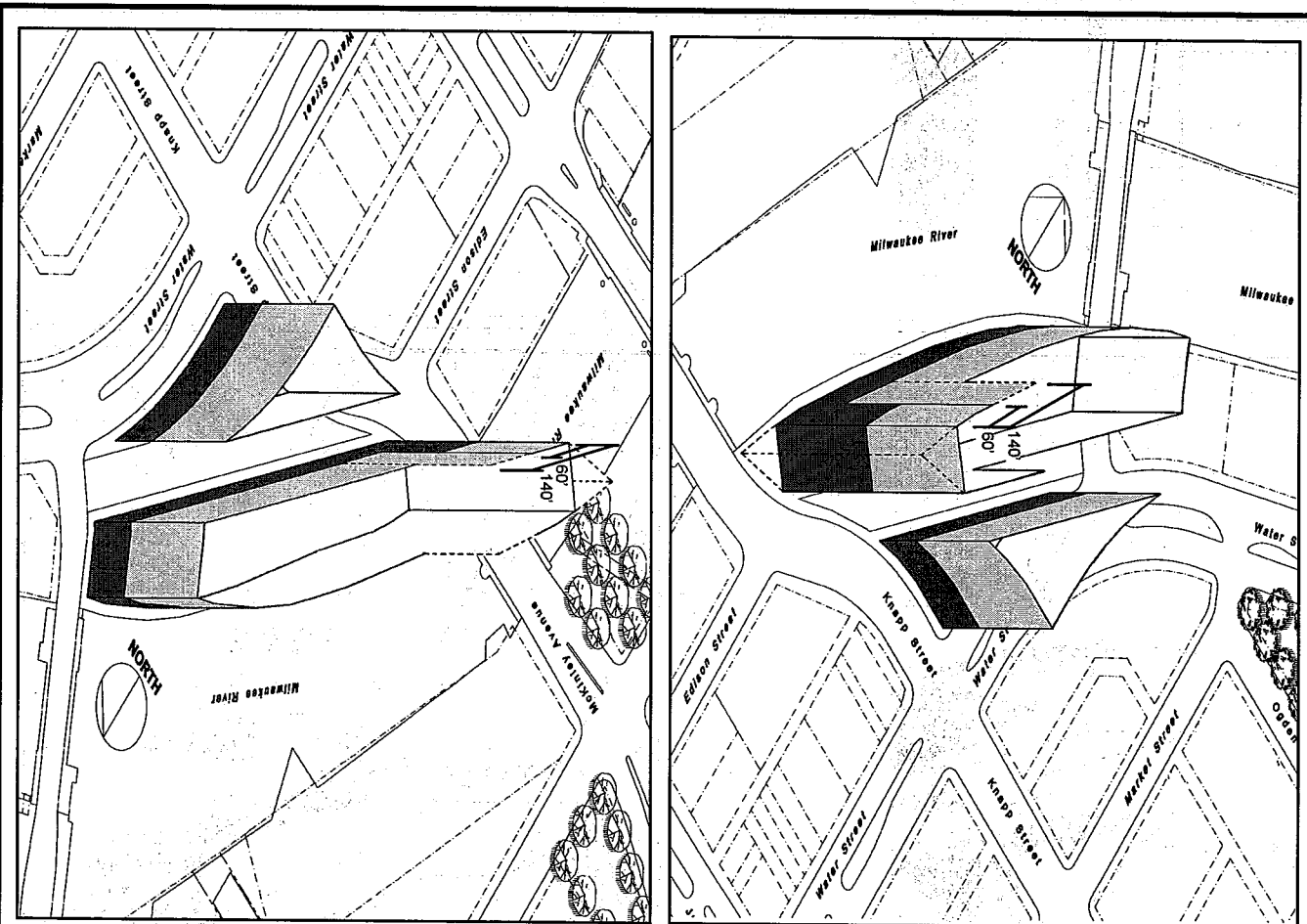
# Block Development Standards / Block 12



## ALTERNATIVE 1A

### BUILDING HEIGHT

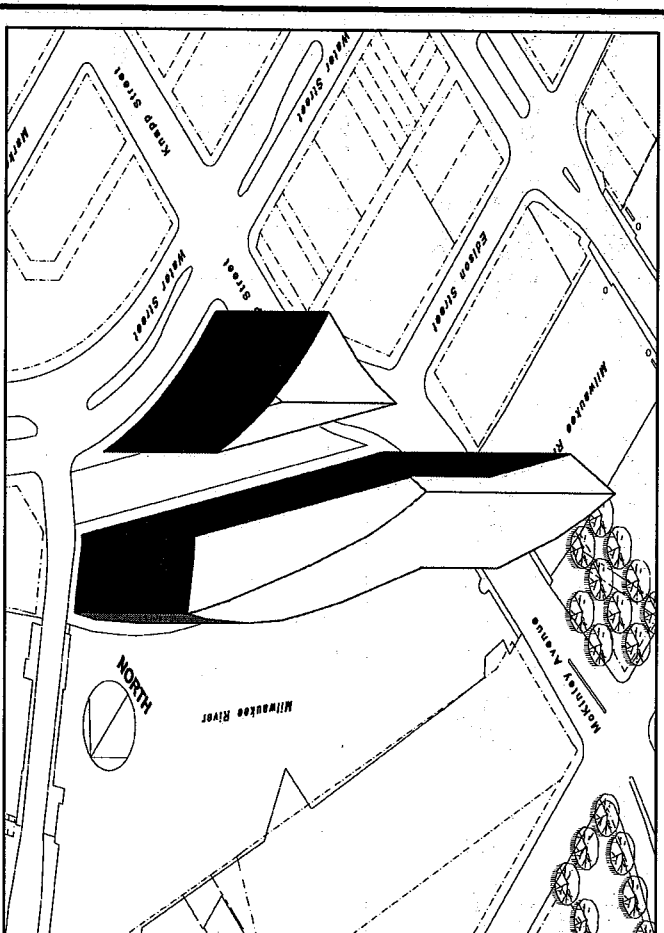
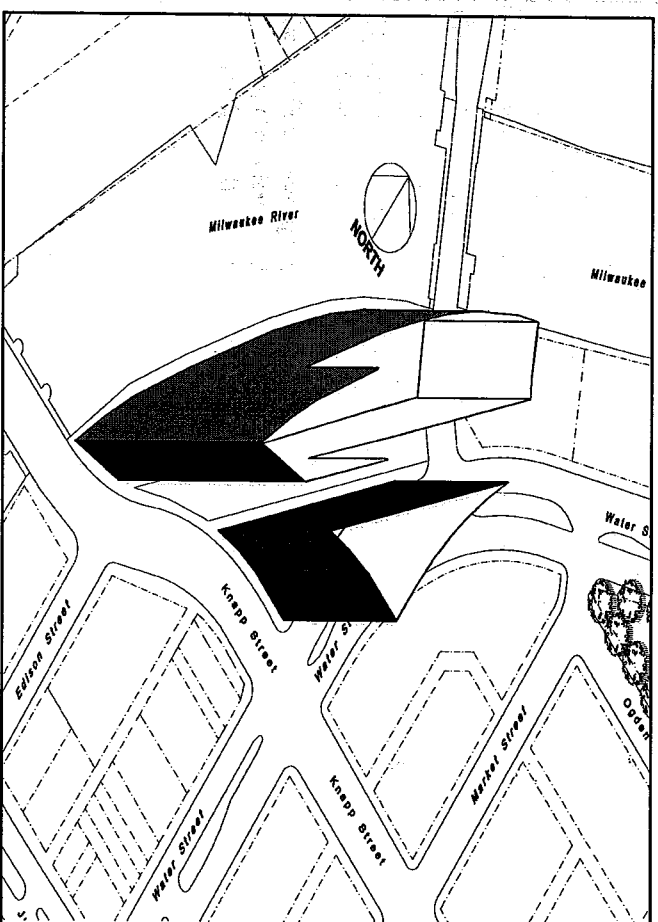
#### LANDMARK BUILDING




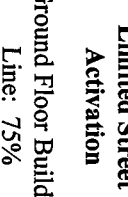
The southwest corner of Block 12 requires a Landmark Building to emphasize the pivotal site location at the bend of the river. This Landmark Building will serve to close the vista looking west along Knapp Street. The minimum dimension of the Landmark Building along the Riverwalk and the southwestern Build-to Line is 60'. The maximum dimension along the Riverwalk and the southwestern Build-to Line is 140'.



-  **Maximum Height**  
12 Stories,  
20 Stories for Landmark Building
-  **Minimum Height**  
4 Stories,  
10 Stories for Landmark Building

### FACADE REQUIREMENTS

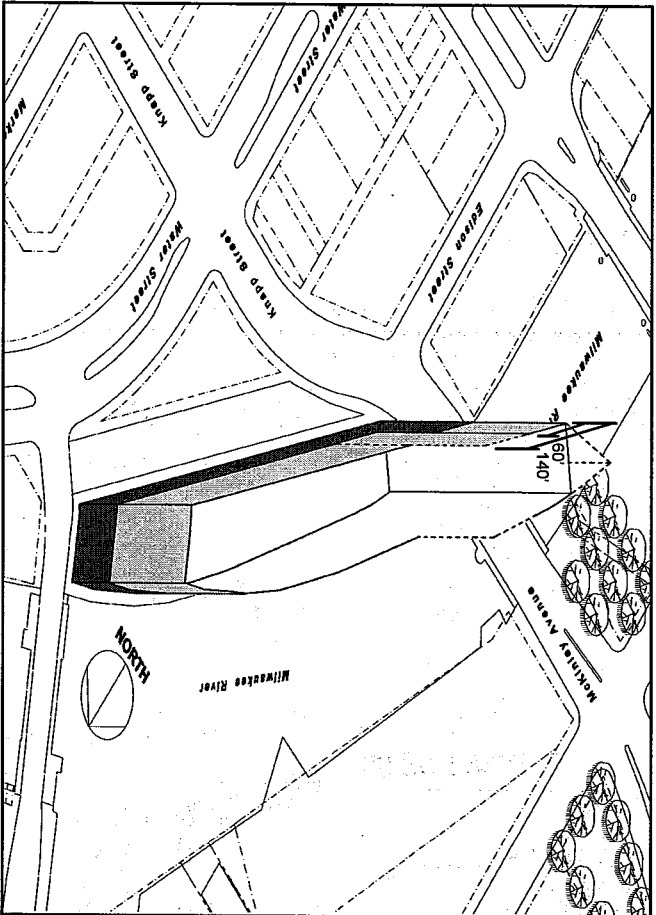
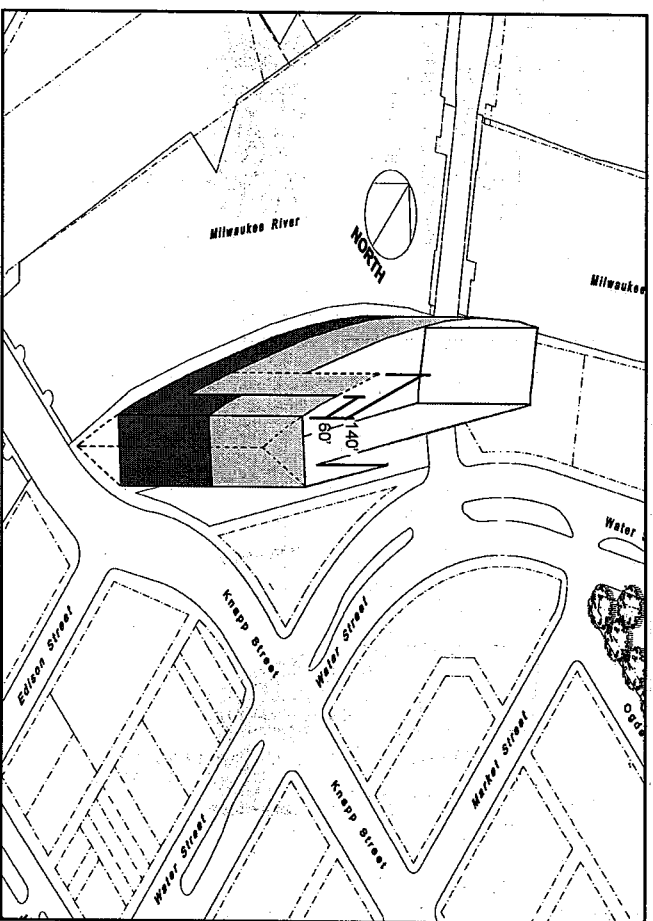




-  **High Street Activation**  
Ground Floor Build-to Line: 90%  
Upper Floor Build-to Line: 60%
-  **Moderate Street Activation**  
Ground Floor Build-to Line: 90%  
Upper Floor Build-to Line: 60%
-  **Limited Street Activation**  
Ground Floor Build-to Line: 75%
-  **Ground Floor Glazing: 50%**

# Block Development Standards / Block 12

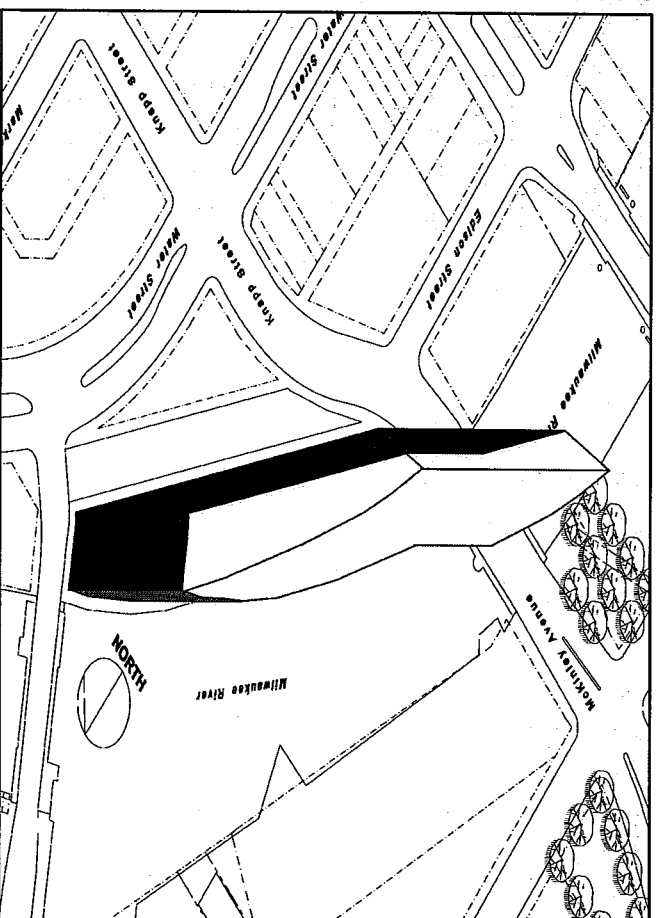
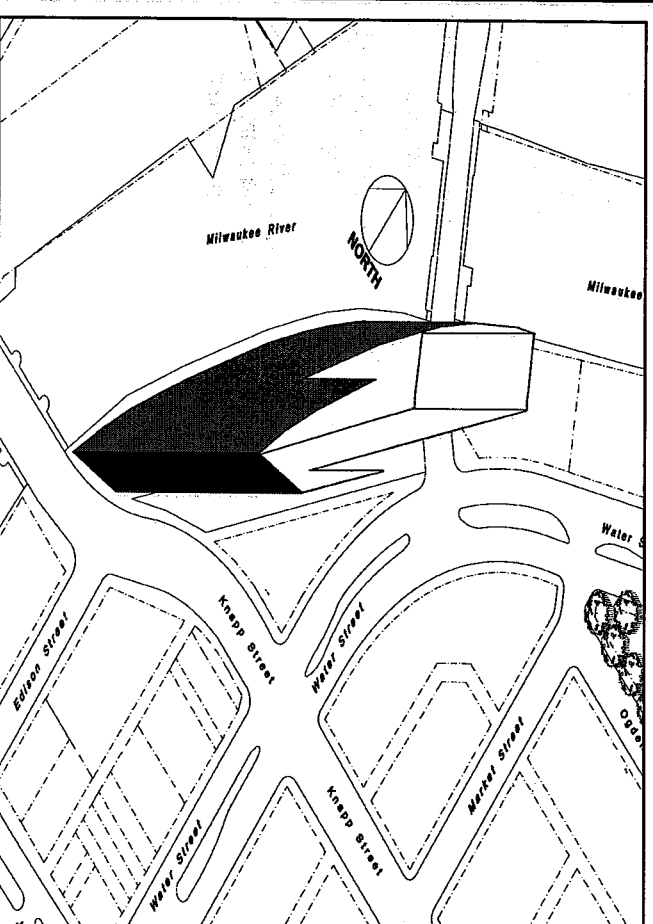
## ALTERNATIVE 1B


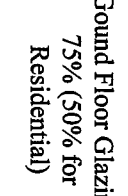


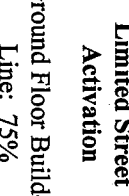
### BUILDING HEIGHT (BASED ON ALTERNATE BUILD-TO LINE)



-  Maximum Height  
12 Stories,  
20 Stories for Landmark  
Building
-  Minimum Height  
4 Stories,  
10 Stories for Landmark  
Building

### FACADE REQUIREMENTS (BASED ON ALTERNATE BUILD-TO LINE)



-  High Street Activation  
Ground Floor Build-to  
Line: 90%  
Upper Floor Build-to  
Line: 60%
-  Ground Floor Glazing:  
75% (50% for  
Residential)
-  Moderate Street  
Activation  
Ground Floor Build-to  
Line: 90%  
Upper Floor Build-to  
Line: 60%
-  Ground Floor Glazing:  
50%
-  Limited Street  
Activation  
Ground Floor Build-to  
Line: 75%

**LANDMARK BUILDING**

The southwest corner of Block 12 requires a Landmark Building to emphasize the pivotal site location at the bend of the river. This Landmark Building will serve to close the vista looking west along Knapp Street. The minimum dimension of the Landmark Building along the Riverwalk and the southwestern Build-to-Line is 60'. The maximum dimension along the Riverwalk and the southwestern Build-to-Line is 140'.