



180680
RAZE-18-00253

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property

1820 N. 1ST ST. Brewers Hill HD

Description of work

Replace structurally failed masonry four-car garage with a new wood 1-car garage and three surface parking spaces. Demolish said garage (permit issued 7/12/18).

New 22' x 14', one-story, one-car, gable-roofed garage at alley behind residence. It is a simple, rectangular, and appropriate design with a 10/12 roof to be made of composition shingle. Side walls vary in height because of the slope interior space will be over 10' from the slab to the bottom of the truss, so this is acceptable. Wood is required for all windows and trim.

Retaining walls shall be dry-stacked lannon stone or CMU with a stucco finish.

Date issued

9/17/2018

PTS ID 114598 COA: demo garage, new garage, surface parking

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

- 1. Surface parking slab shall be poured concrete**
- 2. All finish wood be smooth and free of knots and painted upon completion.**
- 3. The overhead door design is to be approved separately**
- 4. Siding may be cedar, eastern white pine, red spruce, or other sufficiently durable wood species. Smooth cement board siding (i.e., HardiePlank) may be used, but all trim must be wood. Chip-based products such as LP Smartside are not approved.**

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail hpc@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Milele Coggs, Contractor



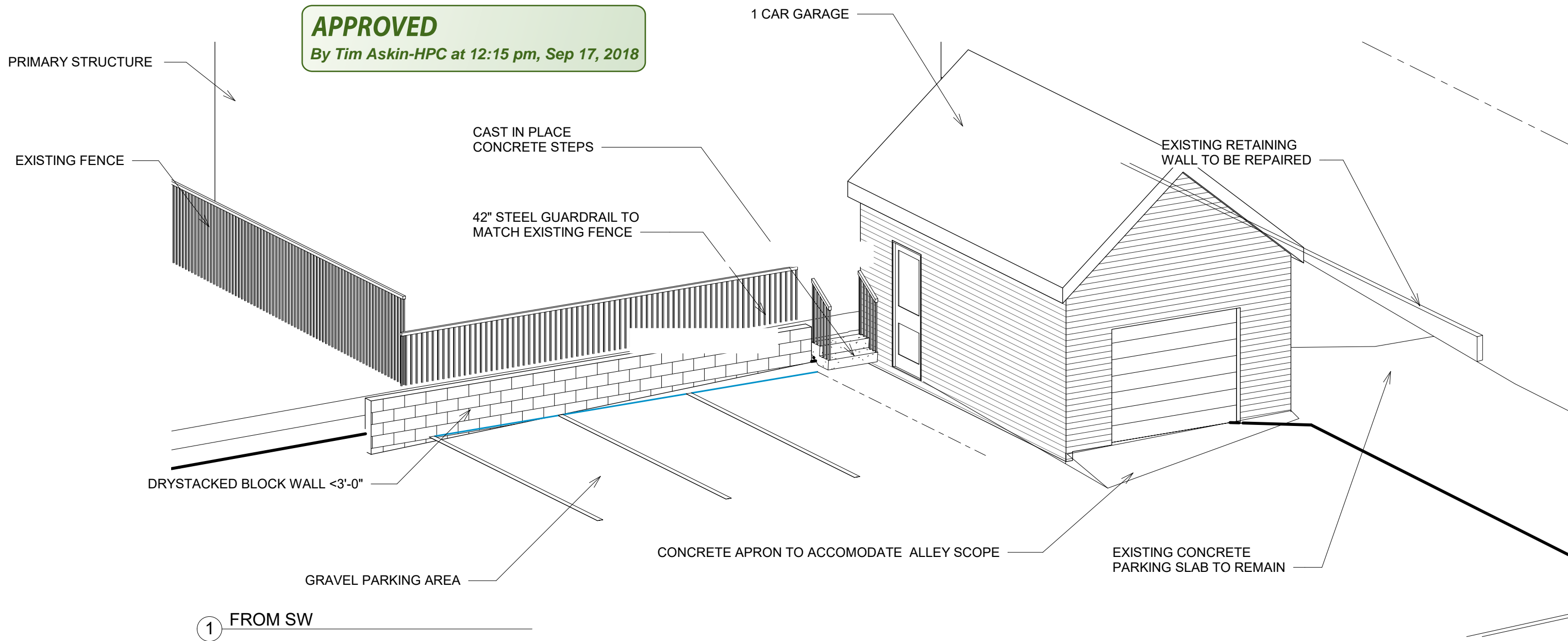
Site conditions showing previous garage.

- SCOPE:**
- 1 CAR GARAGE
 - 3'-0" RETAINING WALL
 - 42" STEEL GUARDRAIL
 - CAST IN PLACE CONCRETE STEPS W/ STEEL GUADRAIL
 - GRAVEL PARKING AREA
 - REPAIR OF EXISTING RETAINING WALL

Disregard garage overhead door design, retaining wall detail and "gravel parking area" on this page. Retaining walls shall be as specified on cover page (wall at right may be rebuilt per cover page rather than just repaired. Parking slab must be poured concrete.

Trim details shown on following pages must be built and be made of wood.

APPROVED
By Tim Askin-HPC at 12:15 pm, Sep 17, 2018



1 FROM SW

1820 NORTH
1ST STREET

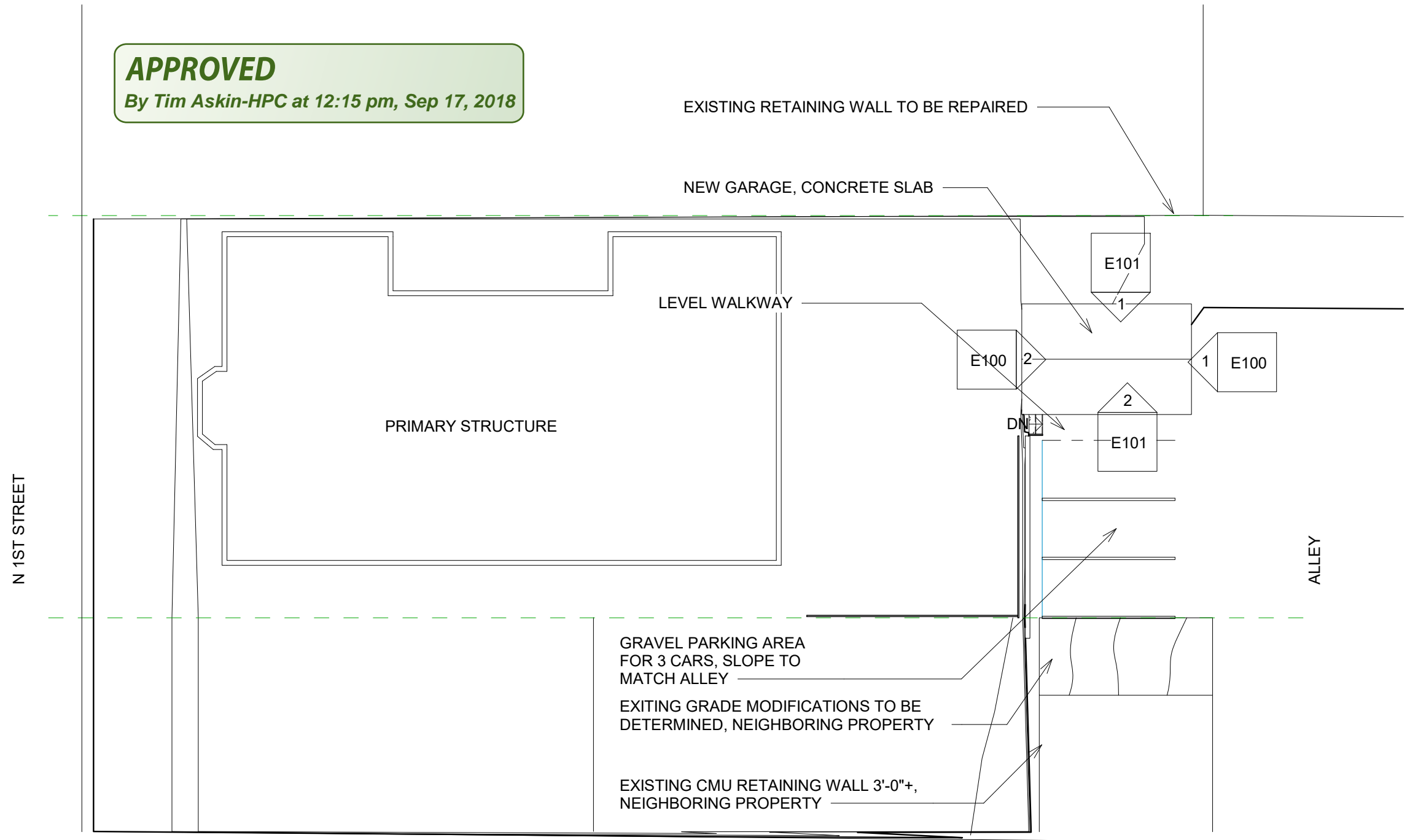
Donald Barnes
New Garage/Parking

No.	Description	Date

AXONOMETRIC		T100
Project number	002	
Date	8/1/2018	
Drawn by	RHS	
Checked by		Scale

APPROVED

By Tim Askin-HPC at 12:15 pm, Sep 17, 2018



① Site
1/16" = 1'-0"

1820 NORTH
1ST STREET

Donald Barnes
New Garage/Parking

No.	Description	Date

SITE PLAN

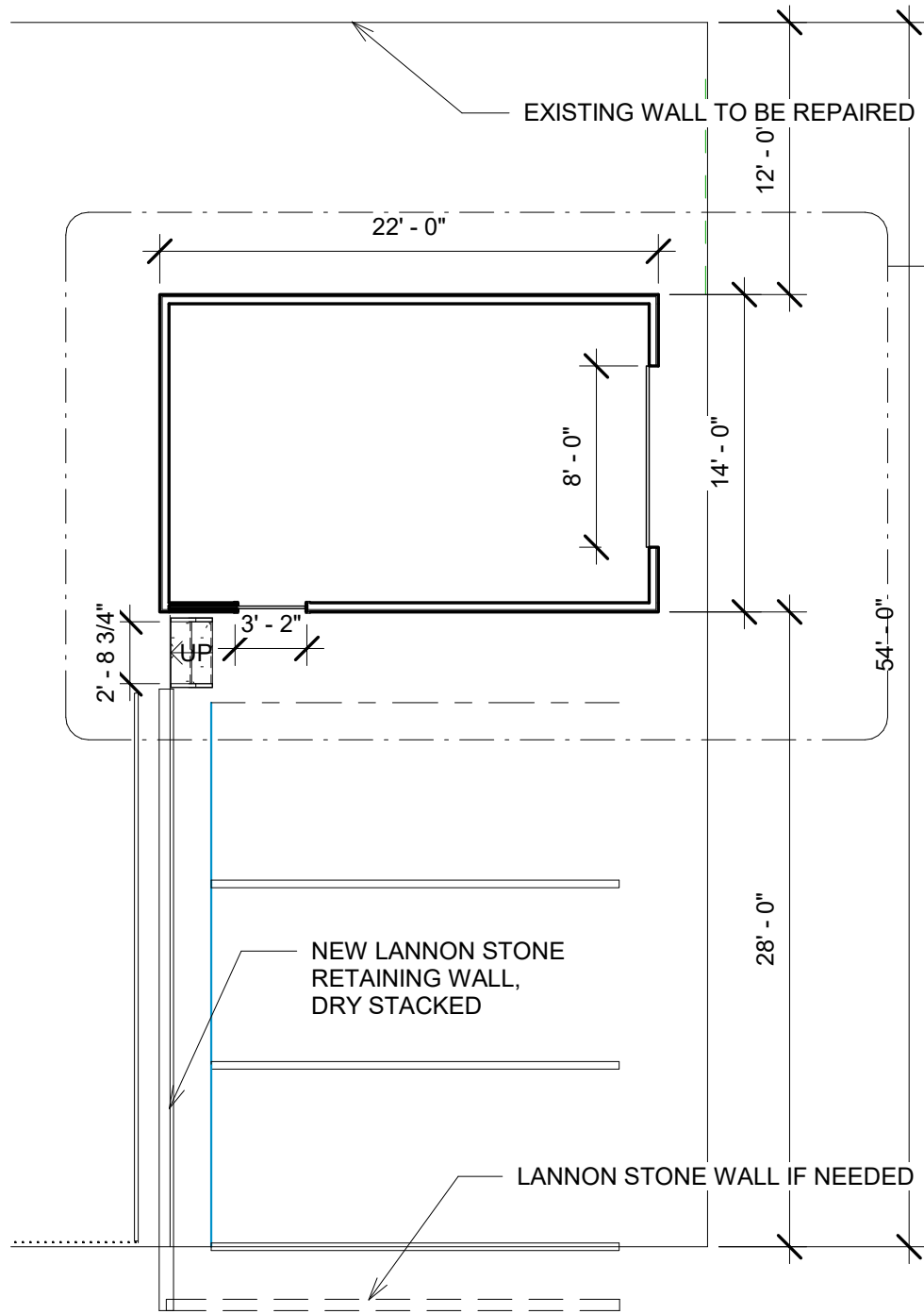
Project number 002
Date 8/1/2018
Drawn by RHS
Checked by

S100

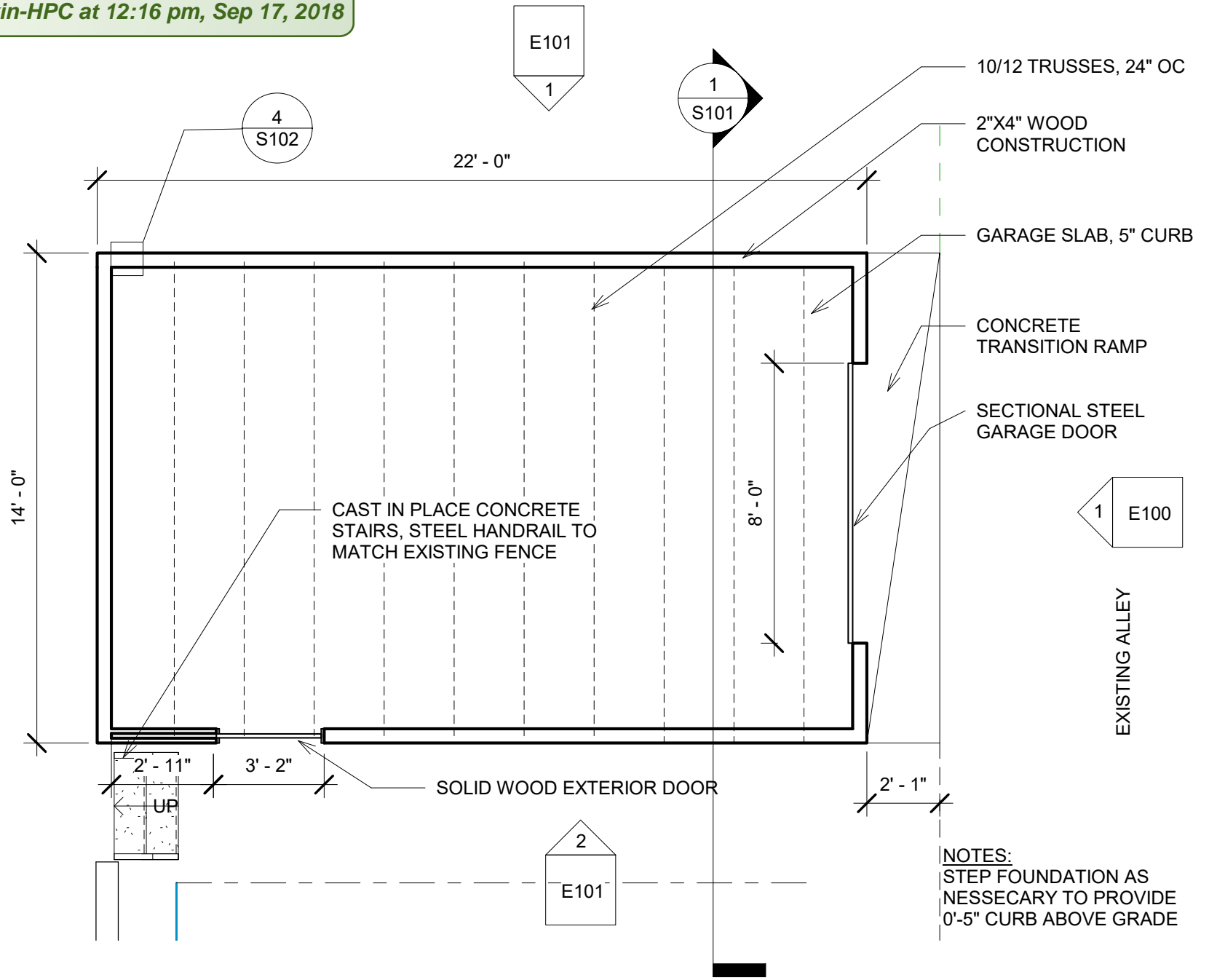
Scale 1/16" = 1'-0"

APPROVED

By Tim Askin-HPC at 12:16 pm, Sep 17, 2018



① Level 1
1/8" = 1'-0"



② Level 1 - Callout 1
1/4" = 1'-0"

NOTES:
STEP FOUNDATION AS
NESSECARY TO PROVIDE
0'-5" CURB ABOVE GRADE

1820 NORTH
1ST STREET

Donald Barnes
New Garage/Parking

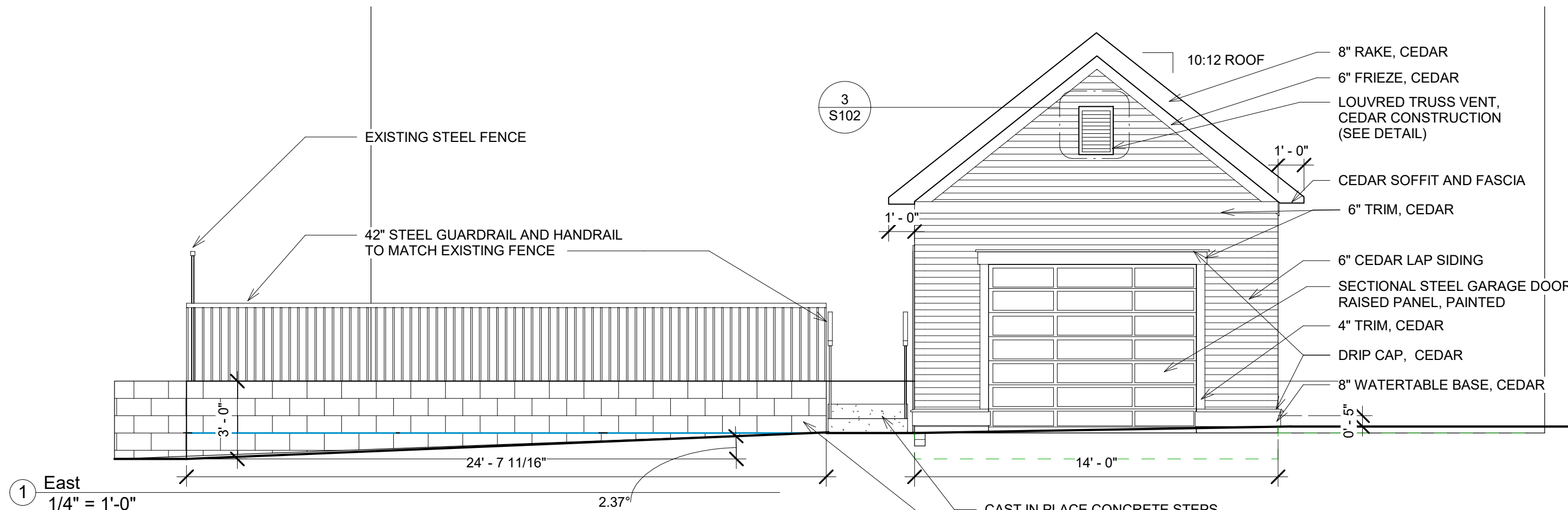
No.	Description	Date

PLANS

Project number 002
Date 8/1/2018
Drawn by RHS
Checked by

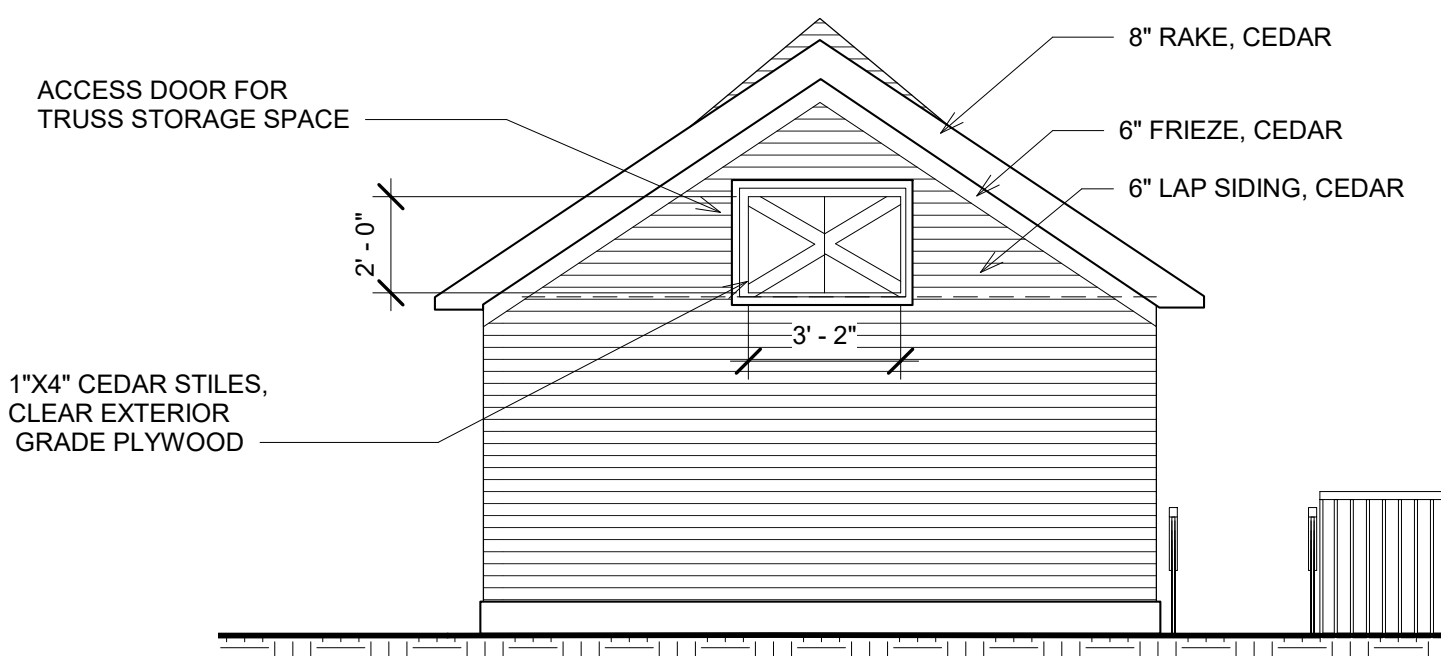
A100

Scale As indicated



Disregard garage overhead door design. It requires separate approval.

APPROVED
By Tim Askin-HPC at 12:16 pm, Sep 17, 2018

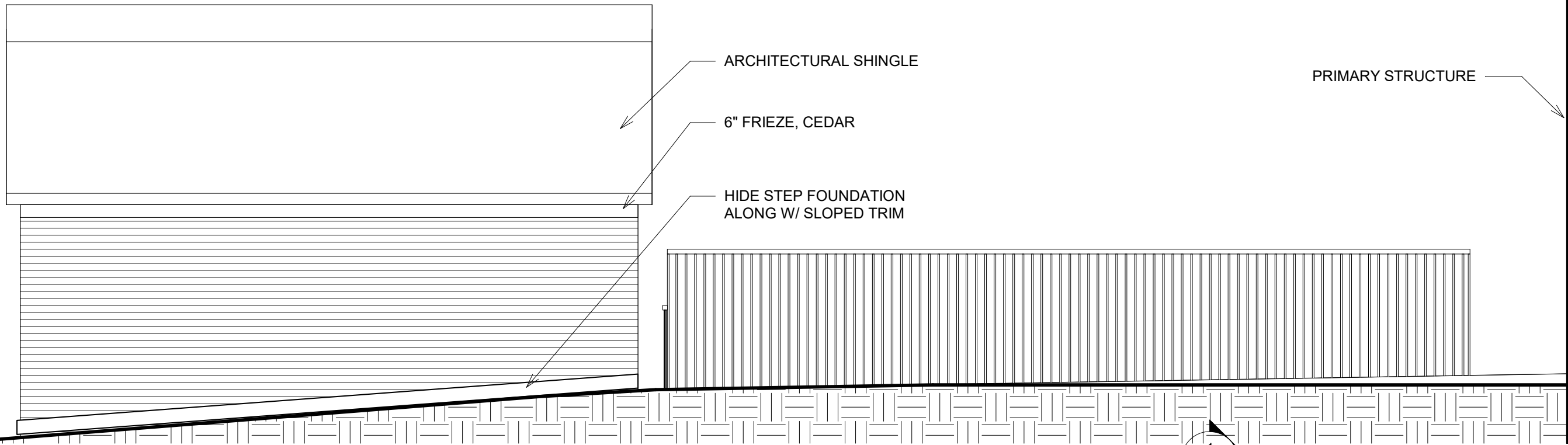


1820 NORTH
1ST STREET

Donald Barnes
New Garage/Parking

No.	Description	Date

ELEVATIONS		E100
Project number	002	
Date	8/1/2018	
Drawn by	RHS	
Checked by	OWNER	
Scale		1/4" = 1'-0"



1 North
1/4" = 1'-0"

1
S101

PRIMARY STRUCTURE, EXISTING

APPROVED
By Tim Askin-HPC at 12:16 pm, Sep 17, 2018

ARCHITECTURAL SHINGLE

6" FRIEZE, CEDAR

2 PANEL WOOD DOOR,
1"X4" JAMBS AND 1"X6"
HEAD (CEDAR)

6" CEDAR LAP SIDING

42" STEEL HANDRAIL/GUARDRAIL TO
MATCH EXISTING FENCE

8" LIMESTONE BLOCK WALL,
DRY STACKED, 3'-0" MAX

10" / 1'-0"

ASPHALT PARKING SLAB

2 South
1/4" = 1'-0"

1820 NORTH
1ST STREET

Donald Barnes
New Garage/Parking

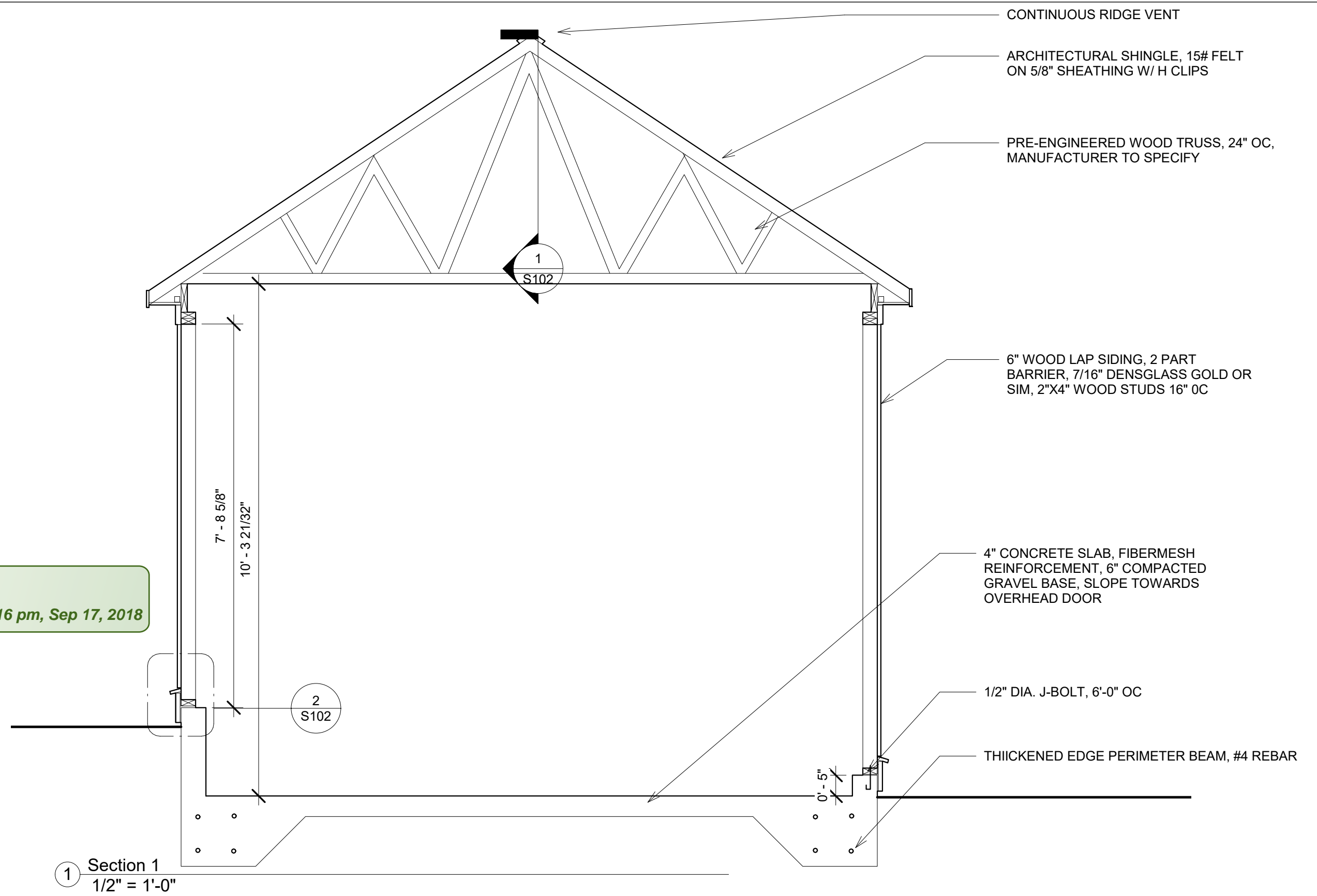
No.	Description	Date

ELEVATIONS

Project number 002
Date 8/1/2018
Drawn by RHS
Checked by

E101

Scale 1/4" = 1'-0"



APPROVED
 By Tim Askin-HPC at 12:16 pm, Sep 17, 2018

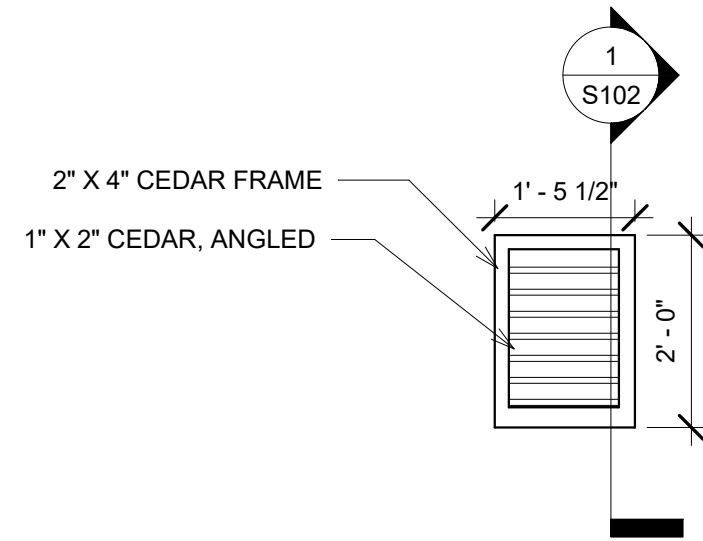
1 Section 1
 1/2" = 1'-0"

1820 NORTH
 1ST STREET

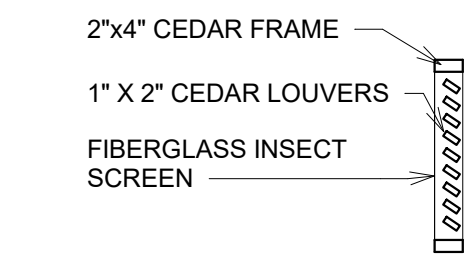
Donald Barnes
 New Garage/Parking

No.	Description	Date

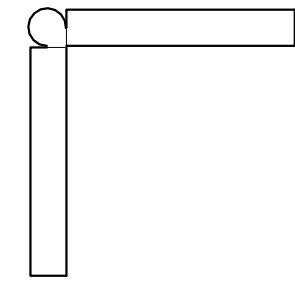
SECTION		
Project number	002	S101
Date	8/1/2018	
Drawn by	Author	
Checked by	Checker	
Scale		1/2" = 1'-0"



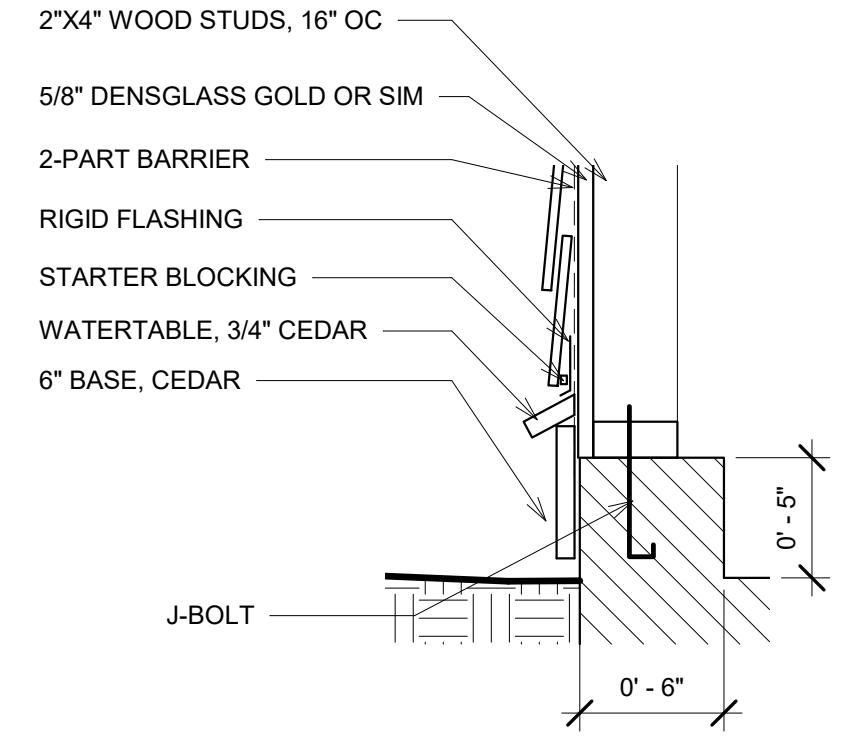
③ Louvered Vent Callout Elevation
1/2" = 1'-0"



① Louvered Vent Callout Section
1/2" = 1'-0"



④ CORNER BOARDS
3" = 1'-0"



② Wall Section @ Base
1 1/2" = 1'-0"

APPROVED
By Tim Askin-HPC at 12:16 pm, Sep 17, 2018

1820 NORTH
1ST STREET

Donald Barnes
New Garage/Parking

No.	Description	Date

DETAILS		S102
Project number	002	
Date	8/1/2018	
Drawn by	Author	
Checked by	Checker	
Scale As indicated		