



PETITION FOR A SPECIAL PRIVILEGE

cci-246 (7/15)

SP 2779
CCF 170653

- New application \$250.00 Fee
- Amendment to add items to Special Privilege # _____ (\$125.00 Fee)
- Amendment to remove items from Special Privilege # _____ (No fee)
- Amendment for change of ownership for Special Privilege # _____ (No fee)

- File petition with the Department of Public Works, Attention: Special Privileges, 841 North Broadway, Room 919, Milwaukee, WI 53202.
- Fee must be submitted with petition. Checks should be made payable to the City of Milwaukee.
- Questions? Call 414-286-2454

To the Honorable, The Common Council of the City of Milwaukee:

The Licensee HISTORIC THIRD WARD DEVELOPMENT, LLC.
(Name of Individual, Partners, Corporation or LLC)

being the owners of the following property known by street address as 325, 327, 329, 331 N. BROADWAY
(Street Address and Zip Code) MILWAUKEE, WI 53202

in the 4TH Aldermanic District respectfully petition the Common Council of the City of Milwaukee according to the provisions of Section 66.0425 of the Wisconsin Statutes, that the following privilege be granted:

Description of Special Privilege: Signage @ 325 Broadway installed @ the historic canopy at Commission Row is at 8'-0" above sidewalk. Existing canopy creates a constraint for the signage location.

Of which a plan or sketch is herewith submitted. Petitioner agrees to comply with all laws and all ordinances of the City of Milwaukee, to abide by any order or resolution of the Common Council affecting this privilege, to be primarily liable for damages to person or property by reason of the granting of such privilege, pay annual compensation as provided by law in the sum to be fixed by the proper city officers, and to file and keep current throughout the existence of the privilege, a certificate of insurance indicating applicant holds a public liability policy in at least the sums of \$25,000.00/\$50,000.00 bodily injury, and \$10,000.00 property damage, insuring the city against any liability that might arise by reason of the privilege.

Petitioner further agrees to remove said privilege whenever public necessity so requires when so ordered upon resolution adopted by the Common Council or other legislative body.

Should this special privilege be discontinued for any reason whatsoever, petitioner agrees to remove all construction work executed pursuant to this special privilege, to restore to its former condition and to the approval of the Commissioner of Public Works, any curb, pavement, or other public improvement which was removed, changed or disturbed by reason of the granting of this special privilege. Petitioner further agrees not to contest the validity of Section 66.0425 of the Wisconsin Statutes, or the legality of this special privilege in any way.

Name (Please Print): LINDSEY S. BOVINET
(Individual, Partner, or Agent if corporation or LLC as shown above)

Signature: [Handwritten Signature] Date: 4/30/17
(Individual, Partner, or Agent if corporation or LLC)

Corporation or LLC Name: HISTORIC THIRD WARD DEVELOPMENT, LLC.
(If applicable, as shown above)

Mailing Address (If different than property address above): MILWAUKEE VIEW, LLC
225 E. ST. PAUL AVE.
SUITE # 200
(OVER)

City: MILWAUKEE State: WI Zip: 53202

Telephone: 920.251.2715 E-Mail: LBOVINET@MKEVIEW.COM

Architect/Engineer/Contractor (If Applicable)

Name: Continuum Architects + Planners - Vaishali Wagh

Address: 207 E. Michigan, Suite 400

City: Milwaukee State: WI Zip: 53204

Telephone: 414 220 9640 E-Mail: vaishali.wagh@continuumarchitects.com

IMPORTANT NOTICE FOR CUSTOMERS PAYING BY CHECK

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account or to process the payment as a check transaction.

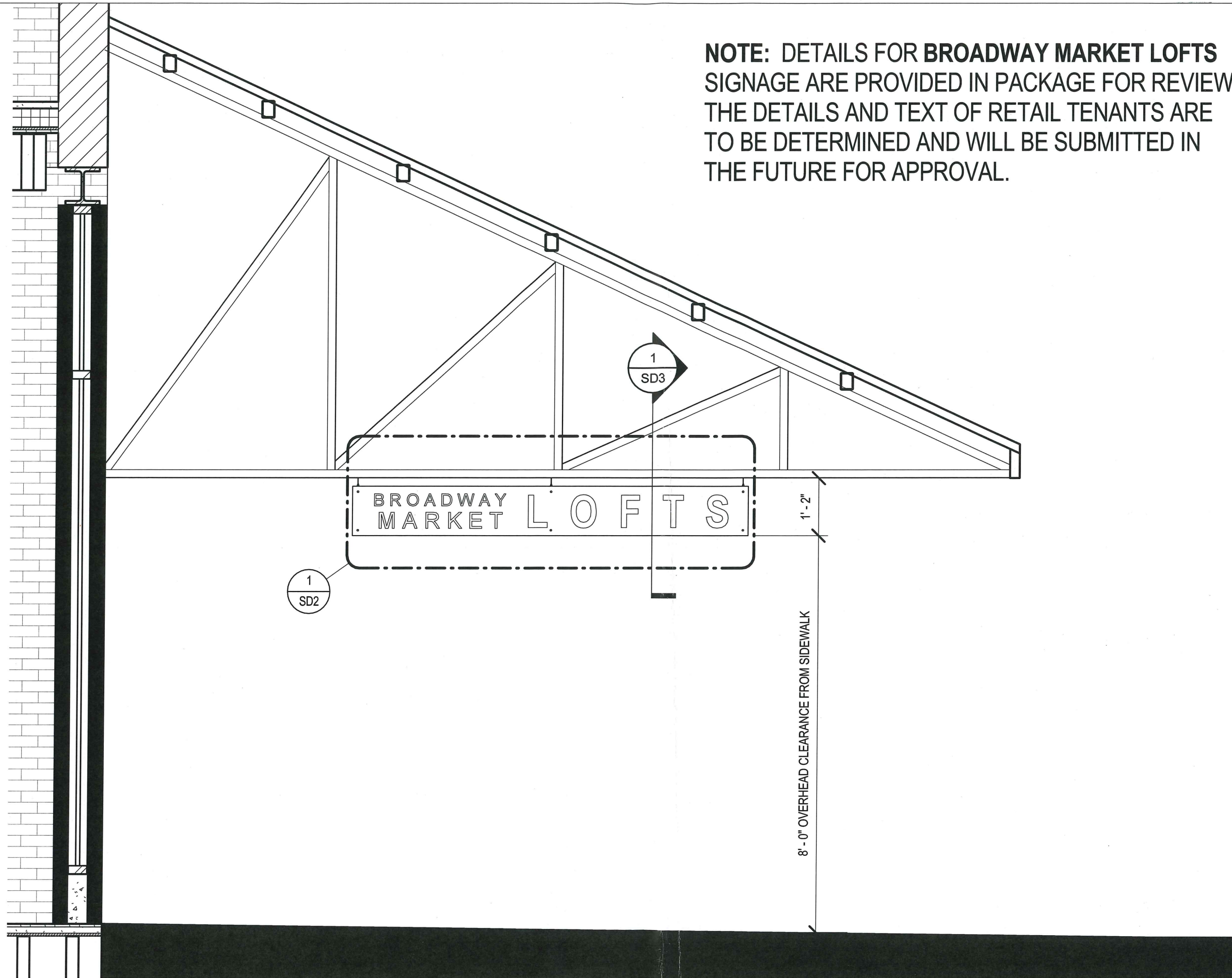
PAID

\$ 250.00 DAS

MAY 02 2017

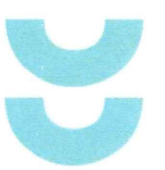
Special Privilege Application
City of Milwaukee
Department of Public Works

N:\A PROJECTS\131206 325 Broadway Lofts\Documents\CA Phase\Signage\BROADWAY LOFTS - SIGNAGE STUDY.MXD
12/15/2016 12:30:04 PM



NOTE: DETAILS FOR BROADWAY MARKET LOFTS SIGNAGE ARE PROVIDED IN PACKAGE FOR REVIEW. THE DETAILS AND TEXT OF RETAIL TENANTS ARE TO BE DETERMINED AND WILL BE SUBMITTED IN THE FUTURE FOR APPROVAL.

1 CANOPY SECTION
Scale: 1/2" = 1'-0"



T 414.220.9640
F 414.220.9595
P.O. Box
510663
Milwaukee, WI
53203

CLIENT:
MKE VIEW

BROADWAY MARKET LOFTS

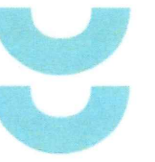
325-327-331 N. BROADWAY ST.
MILWAUKEE, WI

REFERENCED SHEET TITLE:
CANOPY SECTION

REVISIONS:

SCALE	AS NOTED
PROJECT NUMBER	161004
SET TYPE	CD
DATE ISSUED	12/12/16
SHEET NUMBER	SD1

© COPYRIGHT 2016, CONTINUUM ARCHITECTS + PLANNERS, S.C.



T 414.220.9640
F 414.220.9595

P.O. Box
510663
Milwaukee, WI
53203

CLIENT:
MKE VIEW

BROADWAY MARKET LOFTS

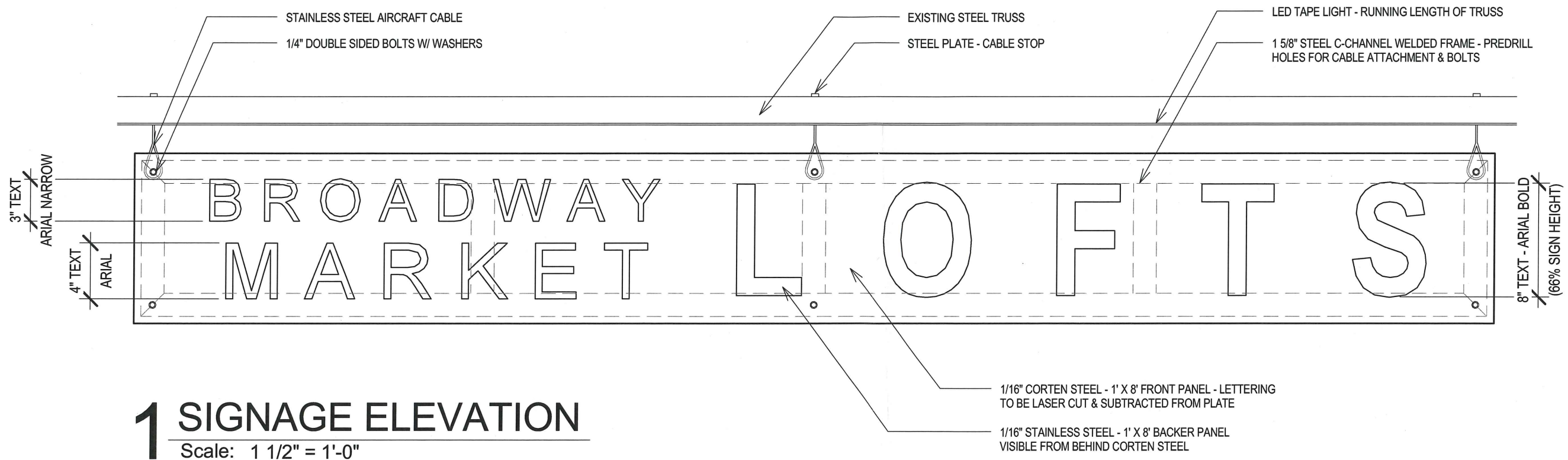
325-327-331 N. BROADWAY ST.
MILWAUKEE, WI

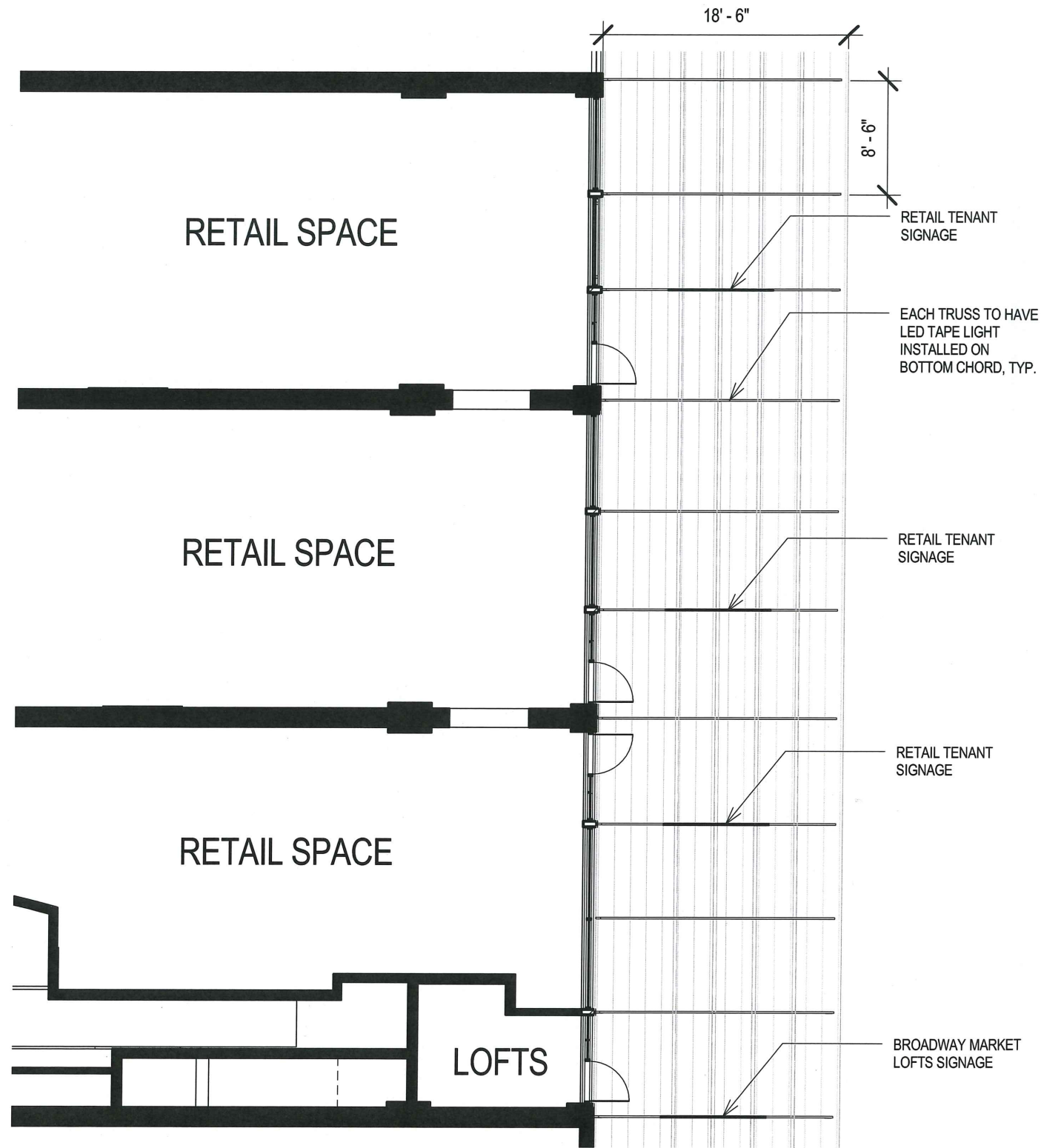
SIGNAGE ELEVATION

REFERENCED
SHEET TITLE:

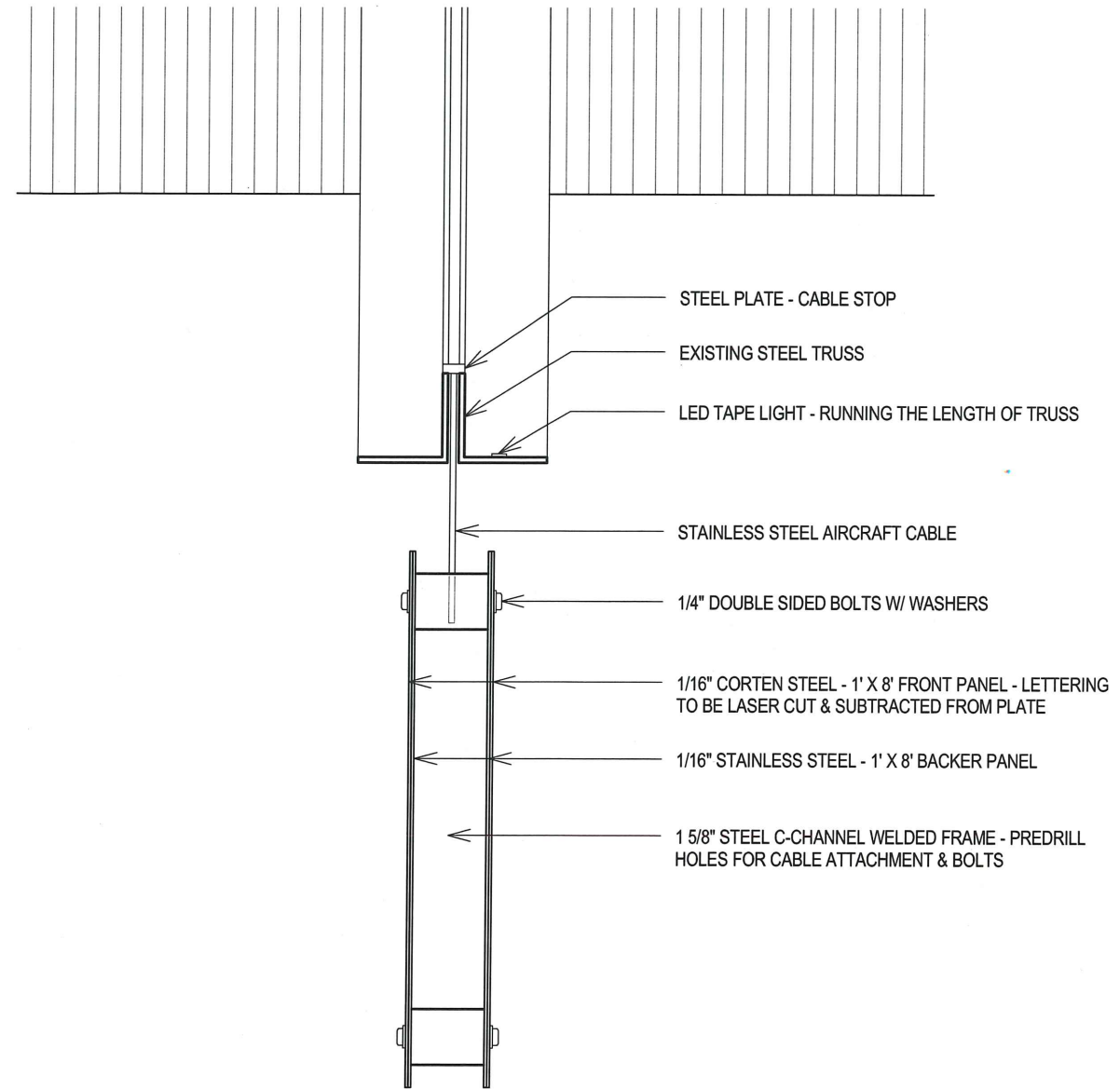
REVISIONS:

SCALE	AS NOTED
PROJECT NUMBER	161004
SET TYPE	CD
DATE ISSUED	12/13/16
SHEET NUMBER	SD2

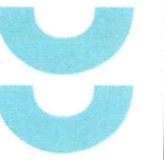




2 LEVEL 01 PLAN
Scale: 3/32" = 1'-0"



1 SIGNAGE SECTION
Scale: 3" = 1'-0"



T 414.220.9640
F 414.220.9595

P.O. Box
510663
Milwaukee, WI
53203

CLIENT:
MKE VIEW

BROADWAY MARKET LOFTS

325-327-331 N. BROADWAY ST.
MILWAUKEE, WI

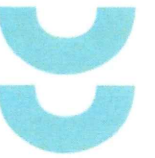
REFERENCED SHEET TITLE:
SIGNAGE SECTION

REVISIONS:

SCALE	AS NOTED
PROJECT NUMBER	161004
SET TYPE	CD
DATE ISSUED	12/15/16
SHEET NUMBER	SD3



N:\A PROJECTS\131206 326 Broadway Lofts\Signage\BROADWAY LOFTS - SIGNAGE STUDY.rvt
12/15/2016 12:30:10 PM



T 414.220.9640
F 414.220.9595

P.O. Box
510663
Milwaukee, WI
53203

CLIENT:
MKE VIEW

BROADWAY MARKET LOFTS

325-327-331 N. BROADWAY ST.
MILWAUKEE, WI

REFERENCED
SHEET TITLE: **SIGNAGE RENDERING**

REVISIONS:

SCALE	AS NOTED
PROJECT NUMBER	161004
SET TYPE	CD
DATE ISSUED	12/15/16
SHEET NUMBER	SD4

© COPYRIGHT 2016, CONTINUUM ARCHITECTS + PLANNERS, S.C.