



DEPARTMENT OF  
**NEIGHBORHOOD  
SERVICES**

**Air or Subterranean Space  
Lease Petition**

**Permit & Development Center**  
809 N. Broadway, Milwaukee, WI 53202 | (414) 286-8211 | milwaukee.gov/permits | DevelopmentCenterInfo@milwaukee.gov

Submit this application with \$200 application fee to **Milwaukee Development Center**.  
Make check payable to **City of Milwaukee**.  
Application fee is non-refundable.

Date: 4 December 2023

TO THE HONORABLE, THE COMMON COUNCIL OF THE CITY OF MILWAUKEE:

The undersigned NORTHWESTERN MUTUAL

*(state whether petitioner is an individual, co-partnership, Wisconsin or foreign corporation)*

respectfully petitions the Common Council of the City of Milwaukee, according to the provisions of Section 66.048(3) and (4) of the Wisconsin Statutes, that the following space lease be granted:

Projections of exterior Mason Entrance Canopy beyond the north Property Line along East Wisconsin Avenue.

of which building plans, plot plans and descriptive data showing the elevations, locations, height and size of the proposed structure and its relationship to adjoining buildings are herewith submitted.

The petitioners are the owners in fee of the following described real property:

Lot 1, Certified Survey Map No. 8638, recorded as document no. 10412247, being part of the Southeast 1/4 of the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

also known by street and number as East Wisconsin Ave. and 720  
which property is located on both sides of that portion of the (street, alley or                     ) to be so leased.

This petition is subject to such terms and conditions as may be agreed up on between the City of Milwaukee and the petitioner, which terms and conditions shall be set forth in a written lease pursuant to Section 66.048(3) and (4), Wisconsin Statutes. The leasing of such space shall be subject to a determination by the Common Council of the City of Milwaukee that such space is not needed for street, alley or other public purpose and that the public interest will be served by such leasing, and upon such determination as shall be authorized by ordinance duly passed by the City of Milwaukee.

Signature Tracy M. Dutton

Address 720 E. Wisconsin Avenue, Milwaukee, WI 53202

Phone 414-665-5078

Corporation, firm or society Northwestern Mutual

Address 720 E. Wisconsin Avenue, Milwaukee, WI 53202

Title or office held in same Assistant Director Construction Management



CREATIVITY BEYOND ENGINEERING

R.A. Smith, Inc.  
16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000 | [rasmith.com](http://rasmith.com)

## Mason Street Canopy Air Space

### Bike Rack Canopy (East Canopy)

That part of East Mason Street adjoining Lot 1, Certified Survey Map No. 8638, being a part of the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the Northeast corner of said Lot 1, said point being the Southwest corner of the intersection of East Mason Street and North Prospect Avenue; thence South  $84^{\circ}28'04''$  West (recorded as  $S90^{\circ}00'00''W$ ) along the North line of East Mason Street 331.97 feet to the point of beginning of an Air Space Envelope, (Ground elevation 45.0 feet, top of Envelope elevation 62.5 feet); thence continuing South  $84^{\circ}28'04''$  West 12.00 feet to a point, (Ground elevation 45.0 feet, top of Envelope elevation 62.5 feet); thence North  $05^{\circ}31'56''$  West 4.41 feet (Ground elevation 45.0 feet, top of Envelope elevation 62.5 feet); thence North  $84^{\circ}28'04''$  East 12.00 feet to a point, (Ground elevation 45.0 feet, top of Envelope elevation 62.5 feet); thence South  $05^{\circ}31'56''$  East 4.41 feet to the point of beginning. Elevations refer to City of Milwaukee Datum.

### Mason Street Canopy (West Canopy)

That part of East Mason Street adjoining Lot 1, Certified Survey Map No. 8638, being a part of the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the Northeast corner of said Lot 1, said point being the Southwest corner of the intersection of East Mason Street and North Prospect Avenue; thence South  $84^{\circ}28'04''$  West (recorded as  $S90^{\circ}00'00''W$ ) along the North line of East Mason Street 513.89 feet to the point of beginning of an Air Space Envelope, (Ground elevation 46.5 feet, top of Envelope elevation 62.5 feet); thence continuing South  $84^{\circ}28'04''$  West 48.17 feet to a point, (Ground elevation 45.5 feet, top of Envelope elevation 62.5 feet); thence North  $05^{\circ}31'56''$  West 20.50 feet (Ground elevation 45.5 feet, top of Envelope elevation 62.5 feet); thence North  $84^{\circ}28'04''$  East 48.17 feet to a point, (Ground elevation 45.5 feet, top of Envelope elevation 62.5 feet); thence South  $05^{\circ}31'56''$  East 20.50 feet to the point of beginning. Elevations refer to City of Milwaukee Datum.

Date: November 15, 2023  
Prepared by: John P. Casucci, PLS  
Project No.: 168984

RECORDED CERTIFIED SURVEY MAP

Date Recorded: November 14, 2014  
 CSM No.: 8638  
 Document No. 10412247

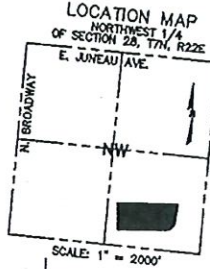
DCD # 2995

CERTIFIED SURVEY MAP NO. 8638

A division of Lots 1 thru 12 and vacated alley in Block 88, Lots 1 thru 12 and vacated alley in Block 97, Lots 1 thru 5 and part of Lot 6 in Block 100 and vacated North Cass Street and vacated North Marshall Street adjacent to said Blocks, all in Plat of Milwaukee also part of Lots 1 thru 6 in Block 100 in Diederich's Subdivision, in the Southeast 1/4 of the Northwest 1/4 of Section 28, Township 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

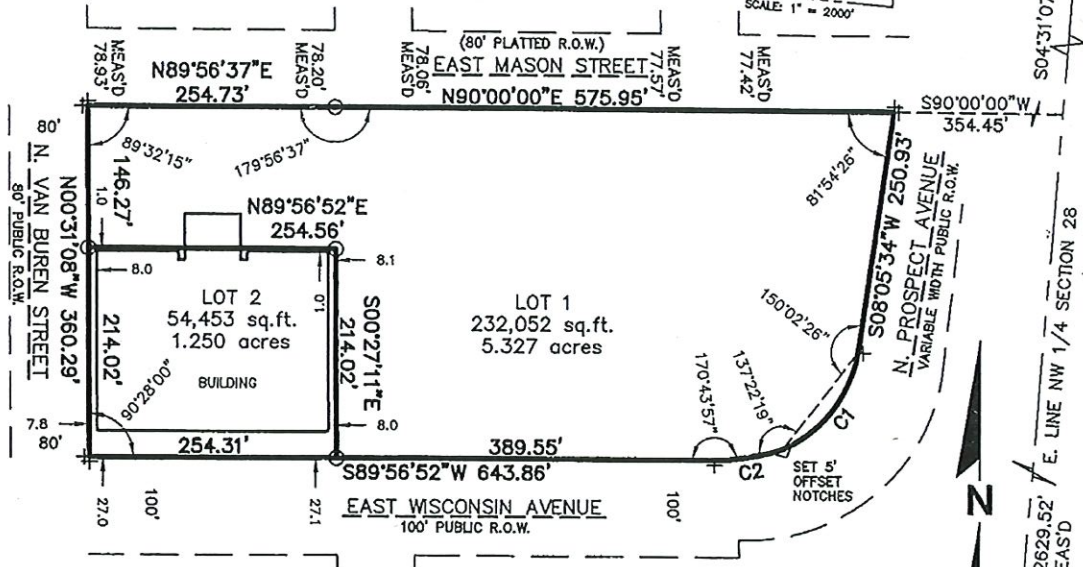
- + INDICATES SET 5' CHISELED OFFSET CROSS
- O INDICATES SET 1.315" O.D. IRON PIPE AT LEAST 18" IN LENGTH, 1.68 LBS. PER LINEAL FOOT. 5' CHISELED OFFSET CROSS

ZONED: C9F(A)  
 TAX KEY #S:  
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 3921656112  
 3921656113

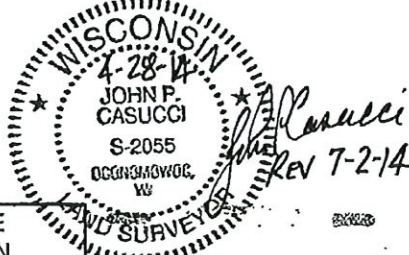
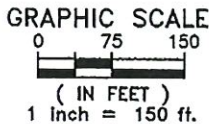


NE COR OF  
 NW 1/4 OF  
 SEC 28-7-22  
 FD. BRASS CAP  
 MONUMENT

ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.  
 ALL BEARINGS ARE REFERENCED TO THE E. LINE OF NW 1/4 OF SECTION 28-7-22, WHICH IS ASSUMED TO BEAR S04°31'07"W.



Curve #	Length	Radius	Chord Bearing	Chord	Tangent In	Tangent Out	Delta	Delta/2
C1	132.18	136.00	S38°03'08"W	127.04	S10°12'32.5"W	S65°53'43.5"W	55°41'11"	27°50'35.5"
C2	71.17	220.00	S80°40'49"W	70.86	S71°24'46"W	S89°56'52"W	18°32'06"	09°16'03"



R.A. Smith National, Inc.

Beyond Surveying  
 and Engineering

16745 W. Bluemound Road, Brookfield WI 53005  
 262-781-1000 Fax 262-797-7373 www.rasmithnational.com  
 Appleton, WI Orange County, CA Pittsburgh, PA

S45165610.DWG  
 CS1011159.dwg SHEET 1  
 SHEET 1 OF 4 SHEETS

INFRASTRUCTURE SERVICES DIVISION

CENTRAL DRAFTING & RECORDS MANAGER

ENGR. IN CHARGE ENVIRON. ENGR.

CITY ENGINEER

APPROVED

DEPARTMENT OF CITY DEVELOPMENT  
 CITY OF MILWAUKEE

JUN 04, 2014

STAFF APPROVED

RECORDED CERTIFIED SURVEY MAP

Date Recorded: November 14, 2014  
 CSM No.: 8638  
 Document No. 10412247  
 City of Milwaukee - Dept. of City Development  
 809 N. Broadway, Milwaukee, WI 53202

CERTIFIED SURVEY MAP NO. 8638

A division of Lots 1 thru 12 and vacated alley in Block 88, Lots 1 thru 12 and vacated alley in Block 97, Lots 1 thru 5 and part of Lot 6 in Block 100 and vacated North Cass Street and vacated North Marshall Street adjacent to said Blocks, all in Plat of Milwaukee also part of Lots 1 thru 6 in Block 100 in Diederich's Subdivision, in the Southeast 1/4 of the Northwest 1/4 of Section 28, Township 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN }  
                                  } :SS  
WAUKESHA COUNTY        }

I, JOHN P. CASUCCI, Registered Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped a division of Lots 1 thru 12 and vacated alley in Block 88, Lots 1 thru 12 and vacated alley in Block 97, Lots 1 thru 5 and part of Lot 6 in Block 100 and vacated North Cass Street and vacated North Marshall Street adjacent to said Blocks, all in Plat of Milwaukee also part of Lots 1 thru 6 in Block 100 in Diederich's Subdivision, in the Southeast 1/4 of the Northwest 1/4 of Section 28, Township 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin., which is bounded and described as follows:

COMMENCING at the Northeast corner of said 1/4 Section; thence South 04°31'07" West along the East line of said 1/4 Section 1957.13 feet to a point; thence South 90°00'00" West 354.45 feet to a point in the West line of North Prospect Avenue and the point of beginning of lands to be described; thence South 08°05'34" West along said West line 250.93 feet to a point; thence Southwesterly 132.18 feet along said West line and an arc of a curve whose center lies to the Northwest, whose radius is 136.00 feet and whose chord bears South 38°03'08" West 127.04 feet to a point; thence Southwesterly 71.17 feet along said West line and an arc of a curve whose center lies to the Northwest, whose radius is 220.00 feet and whose chord bears South 80°40'49" West 70.86 feet to a point in the North line of East Wisconsin Avenue; thence South 89°56'52" West along said North line 643.86 feet to a point in the East line of North Van Buren Street; thence North 00°31'08" West along said East line 360.29 feet to a point in the South line of East Mason Street; thence North 89°56'37" East along said South line 254.73 feet to a point; thence North 90°00'00" East along said South line 575.95 feet to the point of beginning.

Said lands contain 286,505 square feet or 6.577 acres.

THAT I have made the survey, land division and map by the direction of THE NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY, owner.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with Chapter 236 of the Wisconsin Statutes and Chapter 119 of the Milwaukee Code in surveying, dividing and mapping the same.

DATE April 28, 2014  
REV 7-2-14



*John Casucci* (SEAL)  
JOHN P. CASUCCI  
REGISTERED LAND SURVEYOR S-2055

CERTIFIED SURVEY MAP NO. 8638

A division of Lots 1 thru 12 and vacated alley in Block 88, Lots 1 thru 12 and vacated alley in Block 97, Lots 1 thru 5 and part of Lot 6 in Block 100 and vacated North Cass Street and vacated North Marshall Street adjacent to said Blocks, all in Plat of Milwaukee also part of Lots 1 thru 6 in Block 100 in Diederich's Subdivision, in the Southeast 1/4 of the Northwest 1/4 of Section 28, Township 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

THE NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY, a company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said corporation caused the land described on this map, to be surveyed, divided and mapped as represented on this Certified Survey Map in accordance with the requirements of Chapter 119 of the Milwaukee Code of Ordinances.

IN consideration of the approval of the map by the Common Council of the City of Milwaukee and in accordance with Chapter 119 of the Milwaukee Code, the undersigned agrees:

- A. That all utility lines to provide electric power and telephone service and cable television or communications systems lines or cables to all lots in the Certified Survey Map shall be installed underground in easements provided therefore, where feasible.

THIS agreement shall be binding on the undersigned and assigns.

IN Witness Whereof, THE NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY, has caused these presents to be signed by Steven M Radke its Vice President, This 11<sup>th</sup> day of July, 2014.

The Northwestern Mutual Life Insurance Company

Steven M Radke

STATE OF WISCONSIN }  
MILWAUKEE COUNTY }SS }

PERSONALLY came before me this 11<sup>th</sup> day of July, 2014,

Steven M Radke (name), Vice President (title), to me known as the person

who executed the foregoing instrument and to me known to be the Vice President of the company, and acknowledged that he executed the foregoing instrument as such officer as the deed of the company, by its authority.



Calvin Young (SEAL)  
Notary Public, State of Wisconsin

My commission expires is permanent

CERTIFIED SURVEY MAP NO. 8638

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COMMON COUNCIL CERTIFICATE OF APPROVAL

I certify that this Certified Survey Map was approved under Resolution File No.

140735 adopted by the Common Council of the City of Milwaukee on \_\_\_\_\_  
September 3, 2014

James Owczarski  
JAMES OWCZARSKI, CITY CLERK  
Tom Barrett  
TOM BARRETT, MAYOR

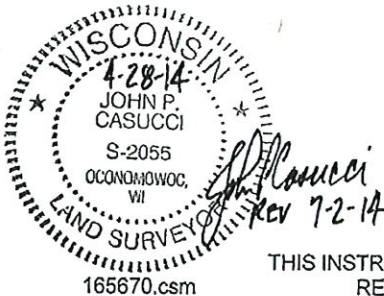
CERTIFICATE OF CITY TREASURER

STATE OF WISCONSIN }  
  :SS  
MILWAUKEE COUNTY }

I, SPENCER COGGS, being the duly elected, qualified and acting City Treasurer of the City of Milwaukee, certify that in accordance with the records in the office of the City Treasurer of the City of Milwaukee there are no unpaid taxes or unpaid special assessments on the land included in this Certified Survey Map.

7-30-14  
DATE

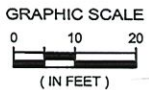
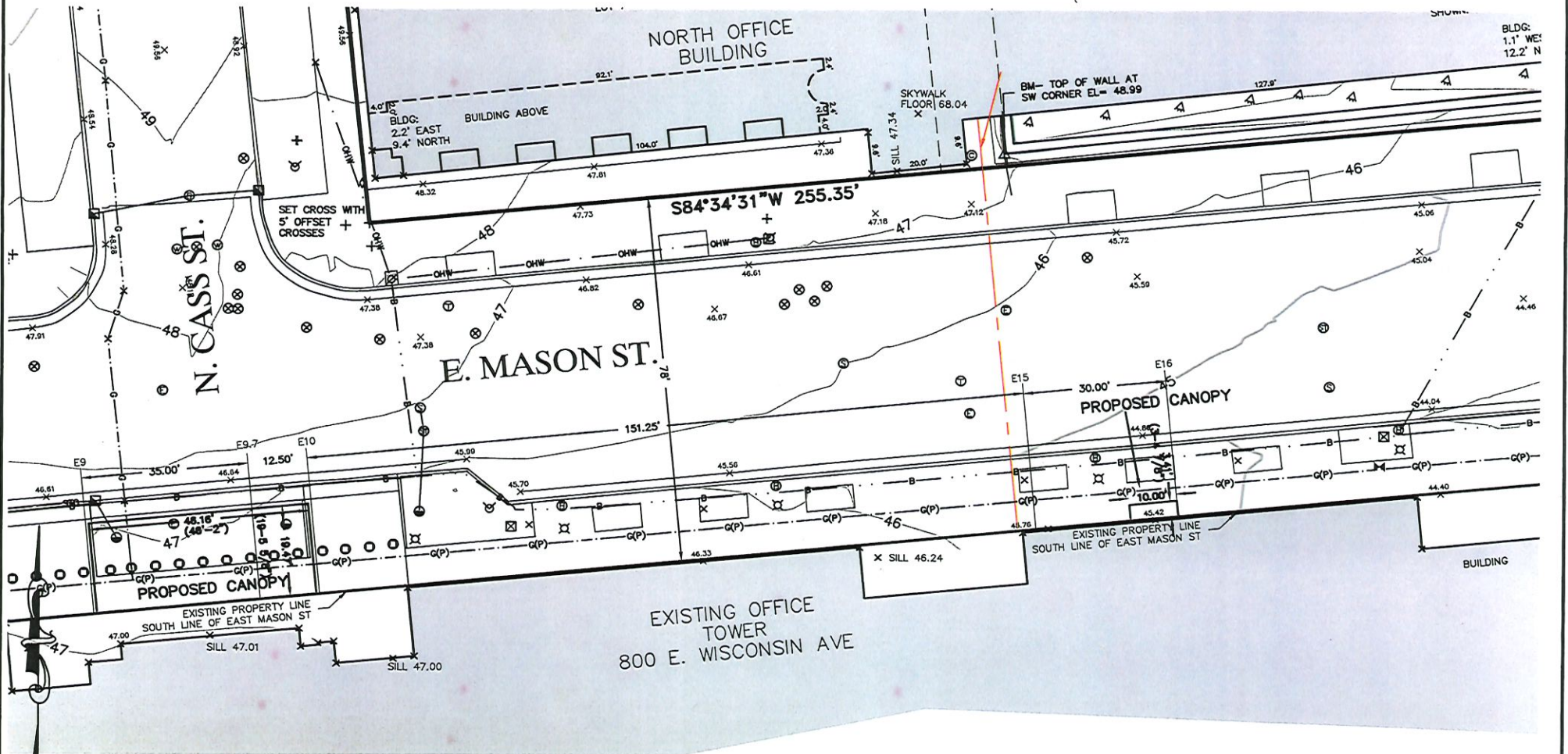
Spencer Coggs  
SPENCER COGGS, CITY TREASURER



THIS INSTRUMENT WAS DRAFTED BY JOHN P. CASUCCI,  
REGISTERED LAND SURVEYOR S-2055

# NORTHWESTERN MUTUAL LIFE INSURANCE CO. TOWER

## PROPOSED CANOPY LEASE - 800 E. WISCONSIN AVE



S:\5168984\Dwg\168984 EX 20-.dwg\11 x 17 (B)

**raSmith**  
CREATIVITY BEYOND ENGINEERING  
10745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com







CAMPUS CONNECTION  
T&C IMPROVEMENT  
Milwaukee, Wisconsin

NORTHWESTERN MUTUAL  
Owner

HINES  
Development Manager

PICKARD CHILTON ARCHITECTS, INC.  
Design Architect

KENDALL HEATON ASSOCIATES, INC.  
Architect of Record

EPFSTEIN UHLEN ARCHITECTS  
Interior Architect

MAGNUSSON KLENZENC ASSOCIATES  
Structural Engineer

ALVINE & ASSOCIATES  
ME/PE/EE Engineer

THE OFFICE OF JAMES BURNETT  
Landscape Architect

GRAEF USA, INC.  
Civil Engineer

READ JONES CHRISTOFFERSON LTD.  
Building Enclosure Consultant

AFFILIATED ENGINEERS, INC.  
Security Consultant

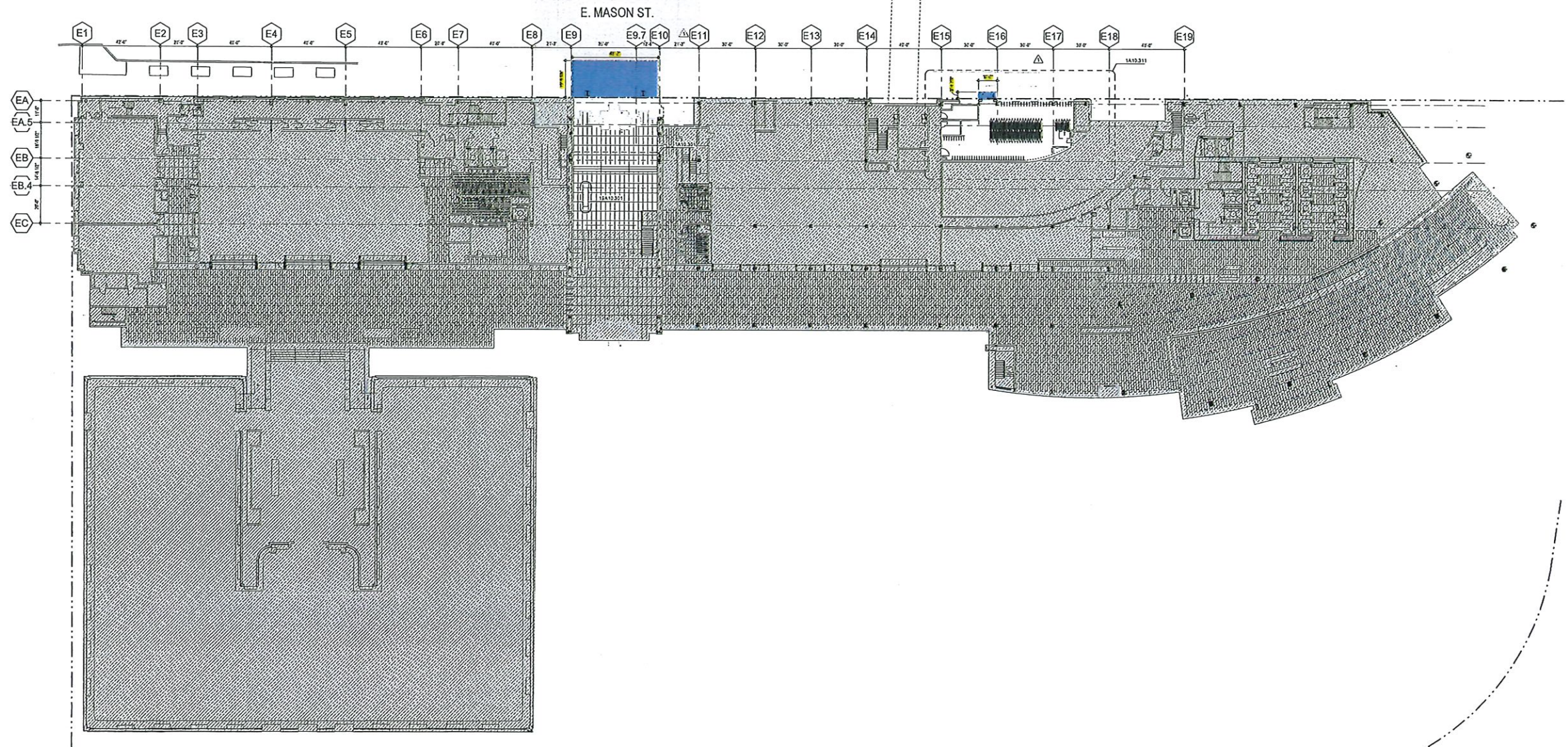
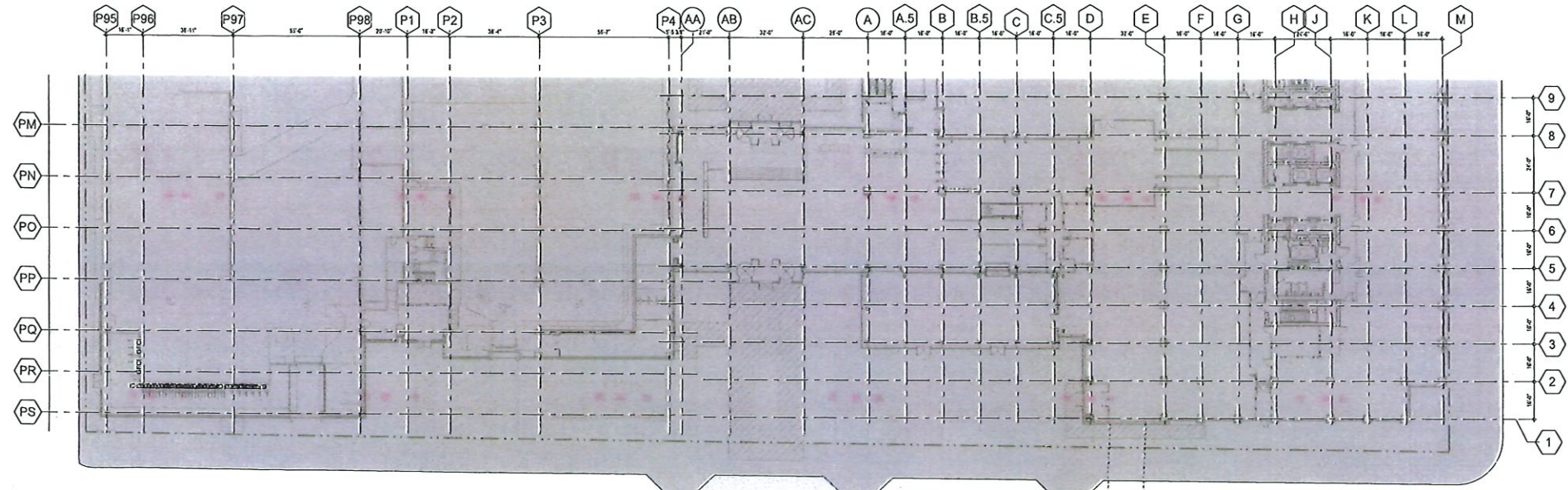
PRELIMINARY

This document is prepared for design development only. It is not to be used for regulatory approval, permit, or construction purposes.

NO.	DATE	ISSUE
1	10/23/13	T&C WORK DEVELOPMENT
2	11/13/13	ISSUE

**T&C  
ENHANCEMENT -  
SITE PLAN**

DATE: 10/23/13  
DRAWING NUMBER: A10.201



- NOTES:**
1. REFER TO A310 FOR DRAWING CONVENTIONS
  2. REFER TO A310 FOR TYPICAL WATERPROOFING DETAILS
  3. INDICATES PARTITION TYPE RE: A310-A313
  4. ALL PARTITIONS ARE TYPE 2E UNLESS INDICATED
  5. INDICATES FINISH TYPE RE: A311 FOR FINISH SCHEDULE
  6. INDICATES DOOR AND WINDOW NUMBER RE: A311 FOR DOOR SCHEDULE RE: A311 FOR WINDOW SCHEDULE
  7. RE: A310 FOR REFLECTED CEILING PLANS
  8. RE: A310 FOR FLOOR PLANS, RE: A310 FOR ELEVATION SECTIONS
  9. RE: A310 FOR ELEVATOR SECTIONS
  10. ADDITIONAL FREE STANDING COLUMNS ARE LOCATED AS PER INTERIOR DRAWINGS
  11. RE: A310 FOR TYPICAL INTERIOR COLUMN DETAILS
  12. REFER TO A310 FOR TYPICAL LAMPING & FIXTURE SCHEDULES
  13. REFER TO A311 FOR TYPICAL LIGHTING DETAILS
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DATEPLOT 11/14/13 AM

SITE PLAN

1" = 20'-0"

# PLAT OF SURVEY

Known as 800 East Wisconsin Avenue, in the City of Milwaukee, Milwaukee County, Wisconsin.

Lot 1 in Certified Survey Map No. 8638, being in the Southeast 1/4 of the Northwest 1/4 of Section 28, Township 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

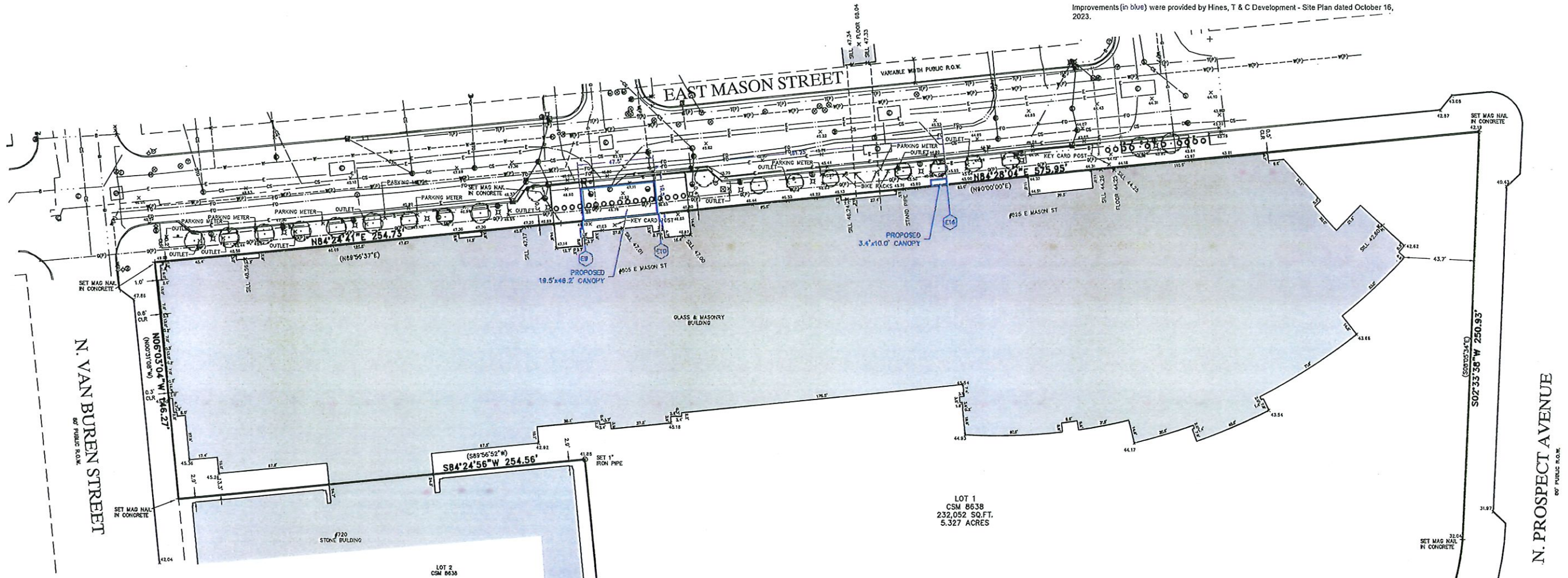
Prepared for: Northwestern Mutual Life Insurance Company  
Survey No. 168984-RMK

**NOTE:**

Elevations refer to the City of Milwaukee Datum. Starting benchmark is City of Milwaukee Benchmark No. 77-15 which is a brass cap located at the Southwest corner of East Wells Street and North Prospect Avenue, 167' South and 12' West of Curbs, with an elevation of 53.76'.

Bearings are based on the North line of the Northwest 1/4 of Section 28-7-22, which bears North 89°07'37" East, Wisconsin State Plane Coordinate System, South Zone (NAD27).

Improvements (in blue) were provided by Hines, T & C Development - Site Plan dated October 16, 2023.



I CERTIFY, that this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter A-E 7 of the Wisconsin Administrative Code.

Date: November 13, 2023

*John P. Casucci*  
JOHN P. CASUCCI  
WISCONSIN PROFESSIONAL LAND SURVEYOR S-2055



## LEGEND

○ BOLLARD	○ SANITARY MANHOLE
⊕ SOIL BORING/MONITORING WELL	⊕ SANITARY CLEANOUT OR SEPTIC VENT
⊕ FLAGPOLE	⊕ SANITARY INTERCEPTOR MANHOLE
⊕ MAILBOX	⊕ MISCELLANEOUS MANHOLE
⊕ SIGN	⊕ WATER VALVE
⊕ AIR CONDITIONER	⊕ HYDRANT
⊕ CONTROL BOX	⊕ WATER SERVICE CURB STOP
⊕ TRAFFIC SIGNAL	⊕ WATER MANHOLE
⊕ IRRIGATION CONTROL BOX	⊕ WELL
⊕ CABLE PEDESTAL	⊕ WATER SURFACE
⊕ POWER POLE	⊕ WETLANDS FLAG
⊕ GUY POLE	⊕ MARSH
⊕ LIGHT POLE	⊕ CONIFEROUS TREE
⊕ SPOT/YARD/PEDESTAL LIGHT	⊕ DECIDUOUS TREE
⊕ HANDICAPPED PARKING	⊕ SHRUB
⊕ FULL BOX	— EDGE OF TREES
⊕ ELECTRIC MANHOLE	— 3" - SANITARY SEWER
⊕ ELECTRIC PEDESTAL	— 6" - STORM SEWER
⊕ ELECTRIC METER	— W - WATER MAIN
⊕ ELECTRIC TRANSFORMER	— 2" - MARKED GAS MAIN
⊕ TELEPHONE MANHOLE	— 2" - MARKED ELECTRIC
⊕ TELEPHONE PEDESTAL	— 48" - OVERHEAD WIRES
⊕ UTILITY VAULT	— B - BUREAU ELEC. SERV.
⊕ GAS VALVE	— T - MARKED TELEPHONE
⊕ GAS METER	— TV - MARKED CABLE TV LINE
⊕ GAS WARNING SIGN	— F - MARKED FIBER OPTIC
⊕ STORM MANHOLE	— (P) - UTILITY PER PLAN
⊕ SQUARE INLET	— — — — — INDICATES EXISTING
⊕ STORM SEWER END SECTION	— — — — — INDICATES EXISTING
	— — — — — SPOT ELEVATION

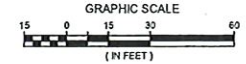
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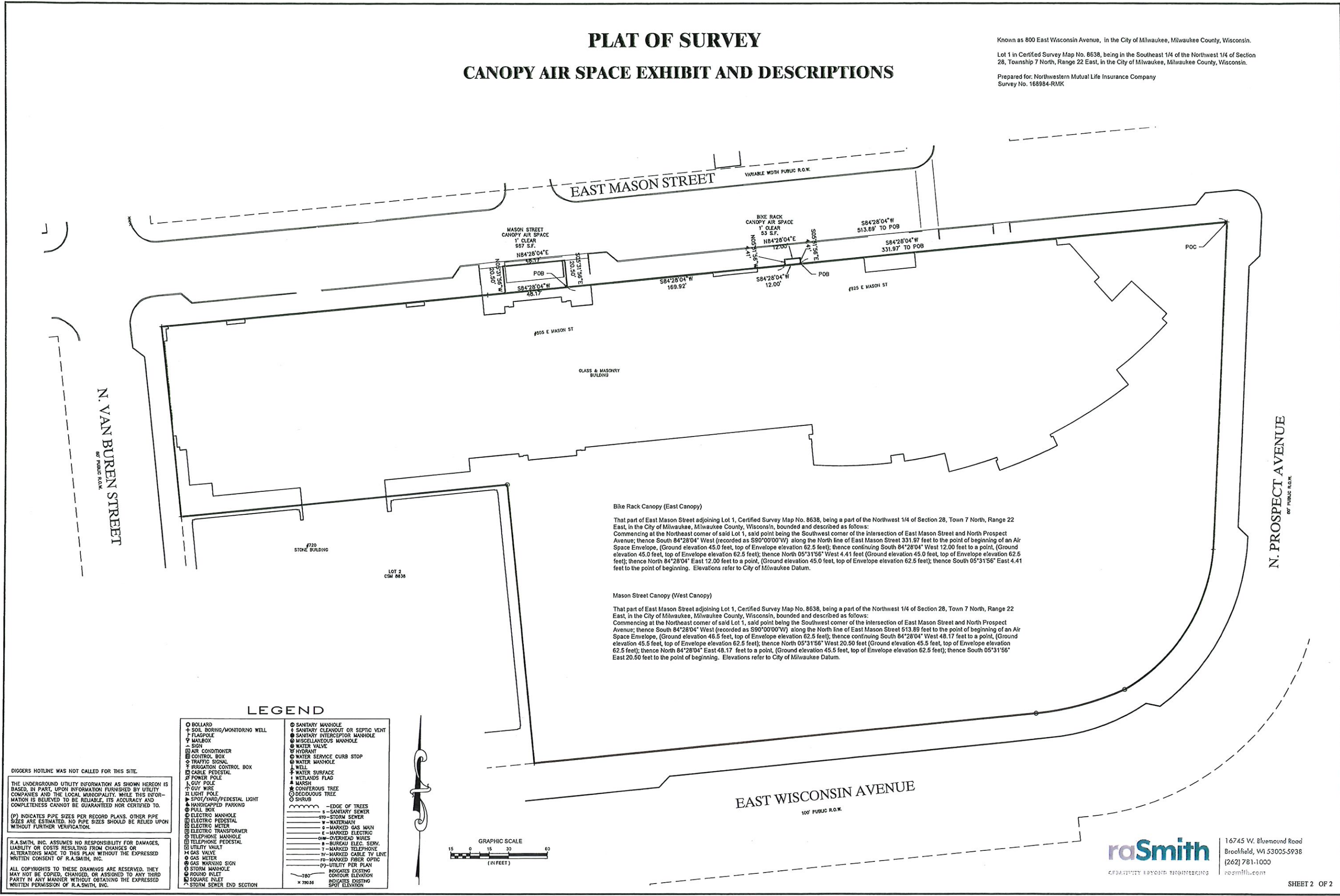
**raSmith**  
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

# PLAT OF SURVEY

## CANOPY AIR SPACE EXHIBIT AND DESCRIPTIONS

Known as 800 East Wisconsin Avenue, in the City of Milwaukee, Milwaukee County, Wisconsin.  
 Lot 1 in Certified Survey Map No. 8638, being in the Southeast 1/4 of the Northwest 1/4 of Section 28, Township 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.  
 Prepared for: Northwestern Mutual Life Insurance Company  
 Survey No. 168984-RMK

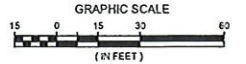


**Bike Rack Canopy (East Canopy)**  
 That part of East Mason Street adjoining Lot 1, Certified Survey Map No. 8638, being a part of the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin, bounded and described as follows:  
 Commencing at the Northeast corner of said Lot 1, said point being the Southwest corner of the intersection of East Mason Street and North Prospect Avenue; thence South 84°28'04" West (recorded as S90°00'00"W) along the North line of East Mason Street 331.97 feet to the point of beginning of an Air Space Envelope, (Ground elevation 45.0 feet, top of Envelope elevation 62.5 feet); thence continuing South 84°28'04" West 12.00 feet to a point, (Ground elevation 45.0 feet, top of Envelope elevation 62.5 feet); thence North 05°31'56" West 4.41 feet (Ground elevation 45.0 feet, top of Envelope elevation 62.5 feet); thence North 84°28'04" East 12.00 feet to a point, (Ground elevation 45.0 feet, top of Envelope elevation 62.5 feet); thence South 05°31'56" East 4.41 feet to the point of beginning. Elevations refer to City of Milwaukee Datum.

**Mason Street Canopy (West Canopy)**  
 That part of East Mason Street adjoining Lot 1, Certified Survey Map No. 8638, being a part of the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin, bounded and described as follows:  
 Commencing at the Northeast corner of said Lot 1, said point being the Southwest corner of the intersection of East Mason Street and North Prospect Avenue; thence South 84°28'04" West (recorded as S90°00'00"W) along the North line of East Mason Street 513.89 feet to the point of beginning of an Air Space Envelope, (Ground elevation 45.5 feet, top of Envelope elevation 62.5 feet); thence continuing South 84°28'04" West 48.17 feet to a point, (Ground elevation 45.5 feet, top of Envelope elevation 62.5 feet); thence North 05°31'56" West 20.50 feet (Ground elevation 45.5 feet, top of Envelope elevation 62.5 feet); thence North 84°28'04" East 48.17 feet to a point, (Ground elevation 45.5 feet, top of Envelope elevation 62.5 feet); thence South 05°31'56" East 20.50 feet to the point of beginning. Elevations refer to City of Milwaukee Datum.

### LEGEND

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>○ BOLLARD</li> <li>⊕ SOL BORING/MONITORING WELL</li> <li>⌈ FLAGPOLE</li> <li>⌈ MAILBOX</li> <li>- SIGN</li> <li>⊠ AIR CONDITIONER</li> <li>⊠ CONTROL BOX</li> <li>⊠ TRAFFIC SIGNAL</li> <li>⌈ IRRIGATION CONTROL BOX</li> <li>⊠ CABLE PEDESTAL</li> <li>⌈ POWER POLE</li> <li>⌈ GUY POLE</li> <li>⌈ LIGHT POLE</li> <li>⌈ SPOT/YARD/PEDESTAL LIGHT</li> <li>⌈ HANDICAPPED PARKING</li> <li>⊠ PULL BOX</li> <li>⊠ ELECTRIC MANHOLE</li> <li>⊠ ELECTRIC PEDESTAL</li> <li>⊠ ELECTRIC METER</li> <li>⊠ ELECTRIC TRANSFORMER</li> <li>⊠ TELEPHONE MANHOLE</li> <li>⊠ TELEPHONE PEDESTAL</li> <li>⊠ UTILITY VAULT</li> <li>⊠ GAS VALVE</li> <li>⊠ GAS METER</li> <li>⊠ GAS WARNING SIGN</li> <li>⊠ STORM MANHOLE</li> <li>⊠ ROUND INLET</li> <li>⊠ SQUARE INLET</li> <li>⌈ STORM SEWER END SECTION</li> </ul> | <ul style="list-style-type: none"> <li>⊕ SANITARY MANHOLE</li> <li>⊕ SANITARY CLEANOUT OR SEPTIC VENT</li> <li>⊕ SANITARY INTERCEPTOR MANHOLE</li> <li>⊕ MISCELLANEOUS MANHOLE</li> <li>⊕ WATER VALVE</li> <li>⊕ HYDRANT</li> <li>⊕ WATER SERVICE CURB STOP</li> <li>⊕ WATER MANHOLE</li> <li>⌈ WELL</li> <li>⌈ WATER SURFACE</li> <li>⌈ WETLANDS FLAG</li> <li>⌈ MARSH</li> <li>⌈ CONIFEROUS TREE</li> <li>⌈ DECAIDUOUS TREE</li> <li>○ SHRUB</li> <li>— — — — — EDGE OF TREES</li> <li>— s — — — — — SANITARY SEWER</li> <li>— st — — — — — STORM SEWER</li> <li>— w — — — — — WATERMAIN</li> <li>— g — — — — — MARKED GAS MAIN</li> <li>— e — — — — — MARKED ELECTRIC</li> <li>— o — — — — — OVERHEAD WIRES</li> <li>— b — — — — — BUREAU ELEC. SERV.</li> <li>— t — — — — — MARKED TELEPHONE</li> <li>— tv — — — — — MARKED CABLE TV LINE</li> <li>— fo — — — — — MARKED FIBER OPTIC</li> <li>— (p) — — — — — UTILITY PER PLAN</li> <li>— — — — — INDICATES EXISTING CONTOUR ELEVATION</li> <li>— — — — — INDICATES EXISTING SPOT ELEVATION</li> </ul> |
|---|--|



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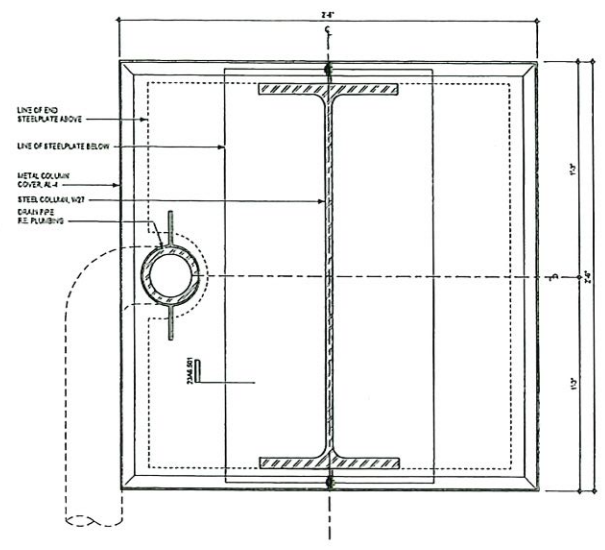
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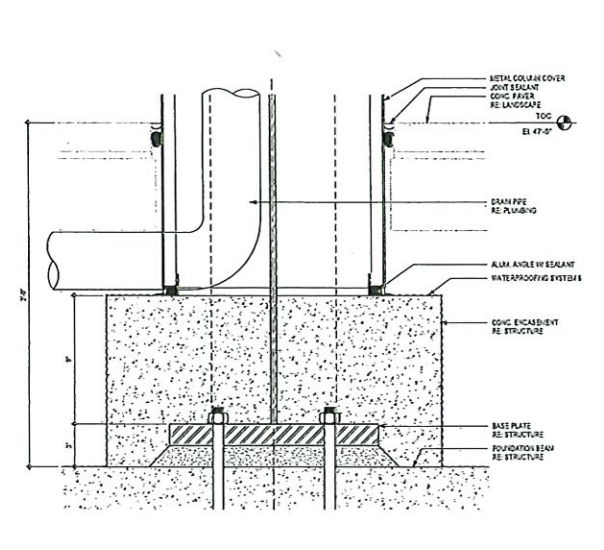
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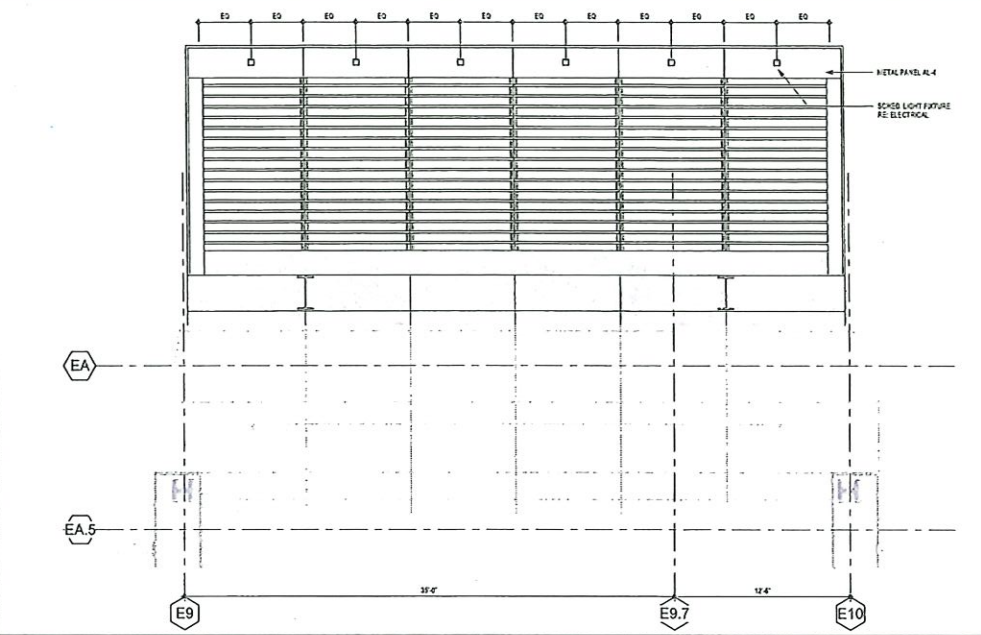
SHEET 2 OF 2



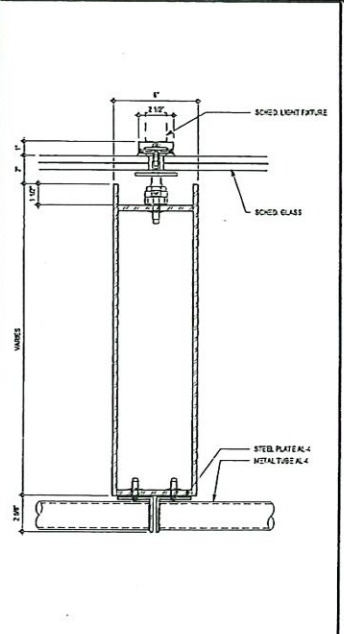
PLAN DETAIL - MASON ST CANOPY 3" = 1'-0" 35



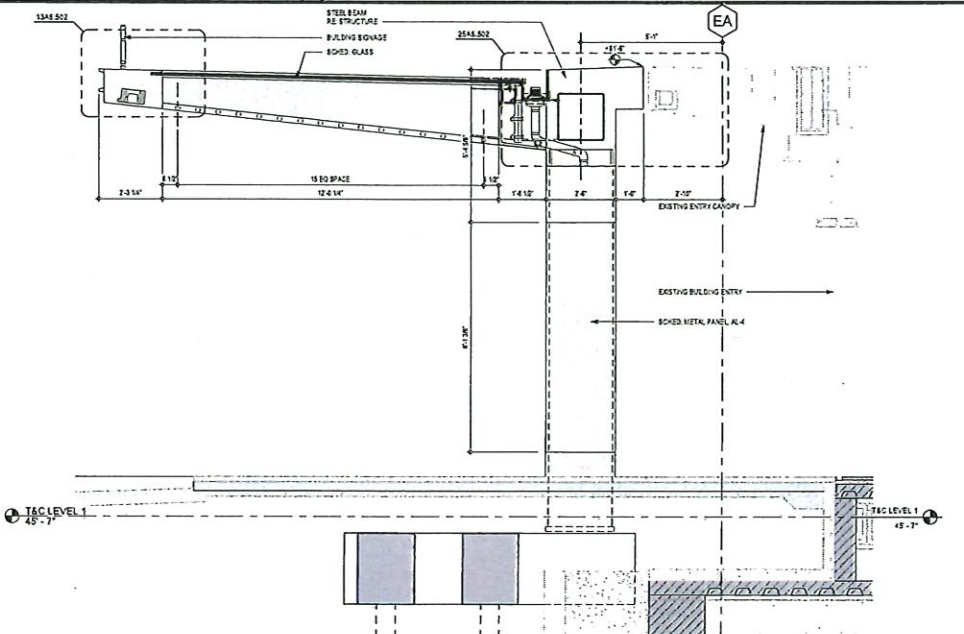
DETAIL - MASON ST CANOPY 3" = 1'-0" 23



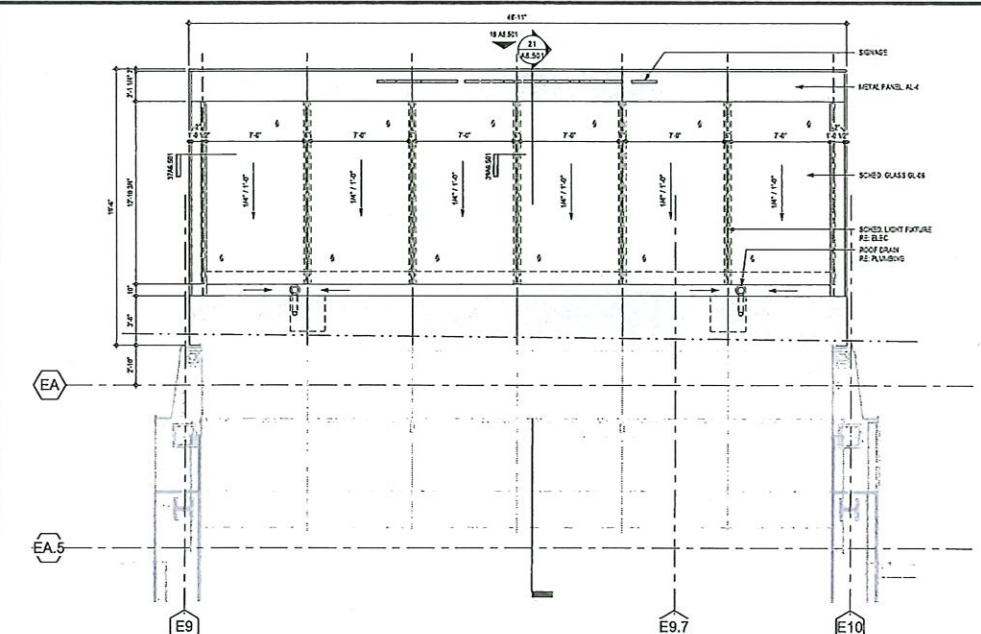
ENLARGED RCP - MASON ST CANOPY 1/4" = 1'-0" 5



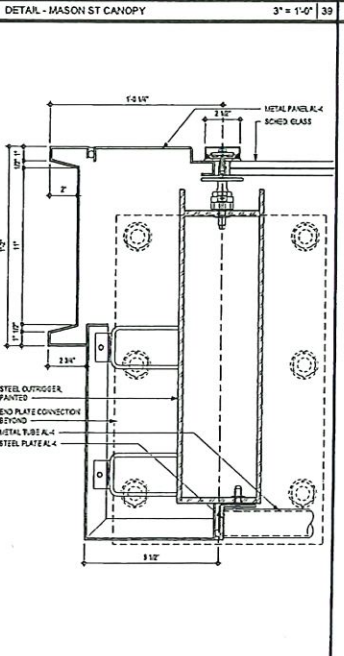
DETAIL - MASON ST CANOPY 3" = 1'-0" 39



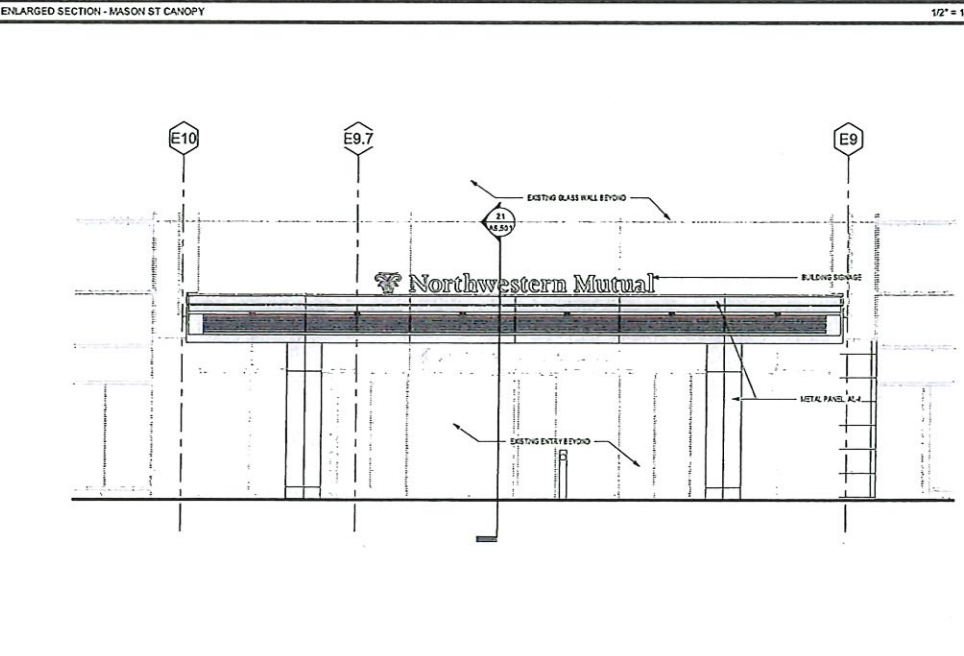
ENLARGED SECTION - MASON ST CANOPY 1/2" = 1'-0" 21



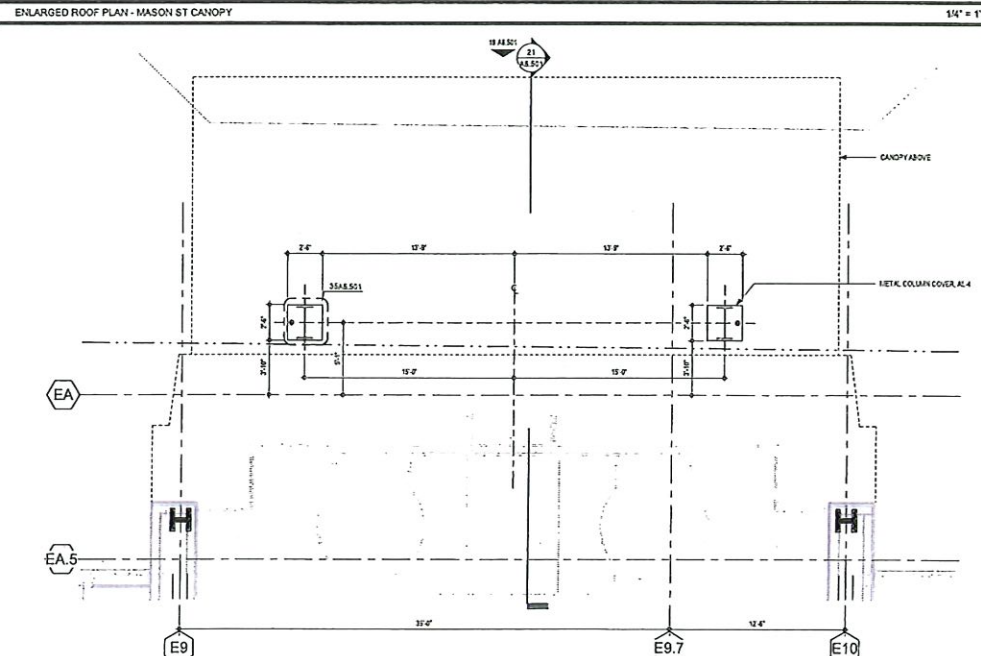
ENLARGED ROOF PLAN - MASON ST CANOPY 1/4" = 1'-0" 1



DETAIL - MASON ST CANOPY 3" = 1'-0" 37



ENLARGED ELEVATION - MASON ST CANOPY 1/4" = 1'-0" 19



FLOOR PLAN - MASON ST CANOPY 1/4" = 1'-0" 1



Northwestern Mutual  
NORTH OFFICE BUILDING  
MODERNIZATION  
Milwaukee, Wisconsin

- NORTHWESTERN MUTUAL  
Owner
- IMES  
Development Manager
- PIKARD CHILTON ARCHITECTS, INC.  
Design Architect
- KENDALL HEATON ASSOCIATES, INC.  
Architect of Record
- EPPSTEIN UHLEN ARCHITECTS  
Interior Architect
- MASNUSSON KLEINZIC ASSOCIATES  
Structural Engineer
- ALVINE & ASSOCIATES  
MEP/FP Engineer
- THE OFFICE OF JAMES BURNETT  
Landscape Architect
- GRAEFUSA, INC.  
Civil Engineer
- PERSONHORN ASSOCIATES, INC.  
Visual Transportation
- HWA PARKING, LLC  
Parking
- BLISS FASMAN, INC.  
Lighting Consultant
- WAVEGUIDE, LLC  
AVIT Consultant
- READ JONES CHRISTOPHERSON LTD.  
Building Enclosure Consultant
- AFFILIATED ENGINEERS, INC.  
Security Consultant
- GILES ENGINEERING ASSOCIATES, INC.  
Grasshopper Consultant
- LONGMAN LINDSEY  
Acoustics Consultant
- CPF WIND ENGINEERING CONSULTANTS  
Wind Simulation/Testing Consultant
- APPLIED TECHNICAL SERVICES, INC.  
Exterior Building Maintenance Consultant
- ISCS SA  
Stone Consultant
- YOUNG CARLOS  
Food Service Consultant
- BRIGHTWORKS SUSTAINABILITY  
Sustainability Design
- HIA CONSULTING, INC.  
Biometrics
- COSENT COMMISSIONING, LLC  
Commissioning



NO.	DATE	ISSUE
1	10 SEP 23	FOR PERMIT
2	11 AUG 23	ADDENDUM 1
3	11 OCT 23	FOR CONSTRUCTION

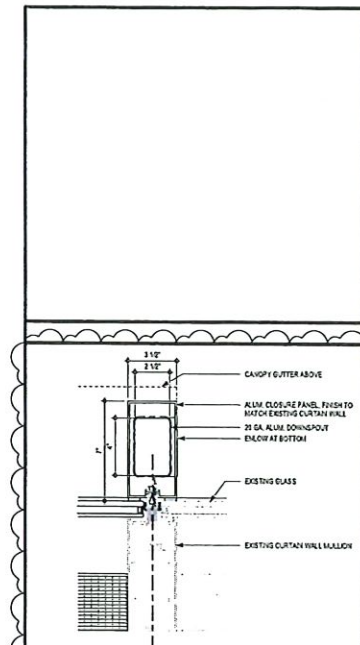
T&C  
ENHANCEMENT

PROJECT NO. 22004  
DRAWING NUMBER A6.501

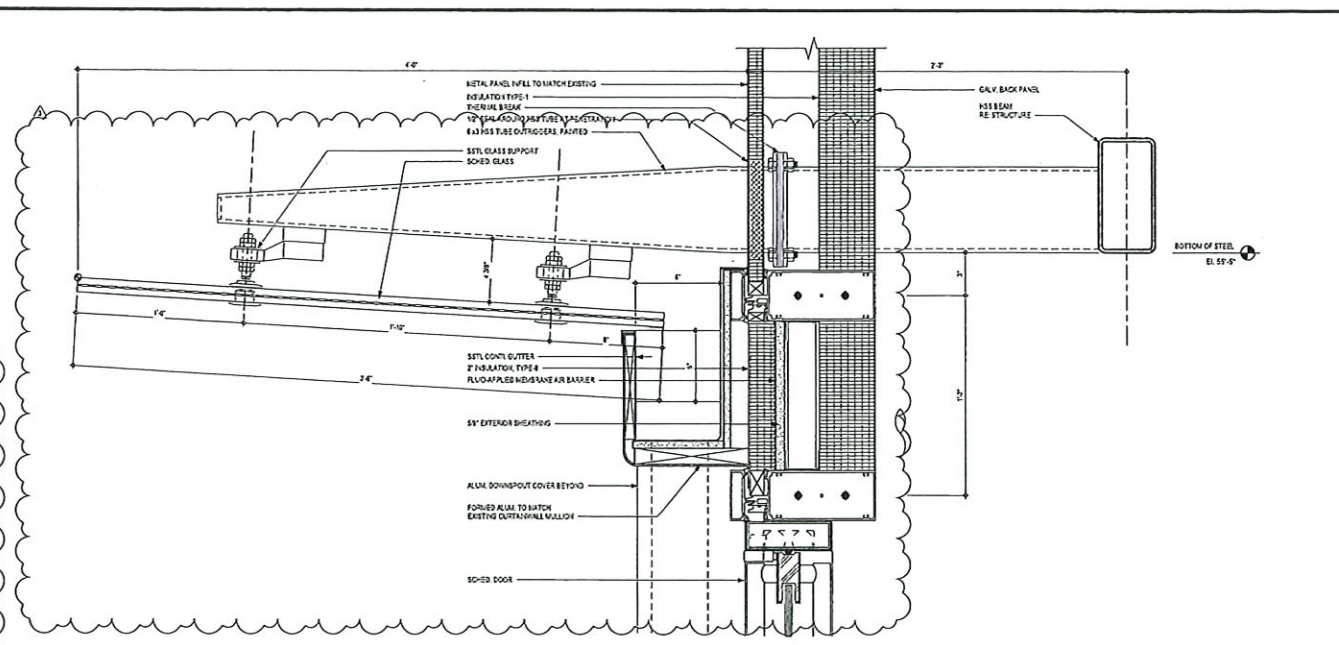


**Northwestern Mutual**  
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MODERNIZATION  
Milwaukee, Wisconsin

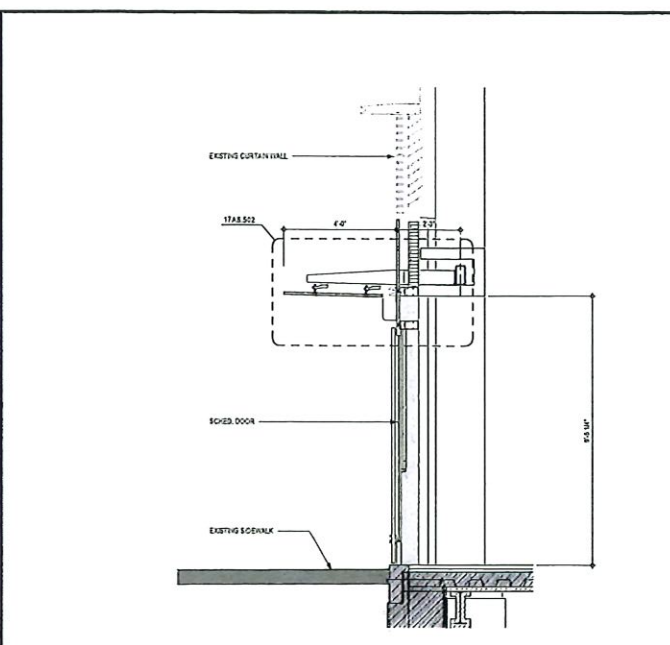
- NORTHWESTERN MUTUAL  
Owner
- HINES  
Development Manager
- PICKARD CHILTON ARCHITECTS, INC.  
Design Architect
- KENDALL HEATHON ASSOCIATES, INC.  
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- EPPSTEIN UHLEN ARCHITECTS  
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- ALVINE & ASSOCIATES  
MEP/FP Engineer
- THE OFFICE OF JAMES BURNETT  
Landscape Architect
- GRAF USA, INC.  
Civil Engineer
- PERSONS HANN ASSOCIATES, INC.  
Vertical Transportation
- HMA PARKING, LLC  
Parking
- BLISS FASHMAN, INC.  
Lighting Consultant
- WAVEGUIDE, LLC  
AV/IT Consultant
- FEAD JONES CHRISTOFFERSON LTD.  
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- AFFILIATED ENGINEERS, INC.  
Security Consultant
- GILES ENGINEERING ASSOCIATES, INC.  
Geotechnical Consultant
- LONGMAN LINDSEY  
Acoustic Consultant
- CPP WIND ENGINEERING CONSULTANTS  
Wind Snow Ice Storm Testing Consultant
- APPLIED TECHNICAL SERVICES INC.  
Exterior Building Maintenance Consultant
- ISOS SA  
Stone Consultant
- YOUNG CARUSO  
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Commissioning



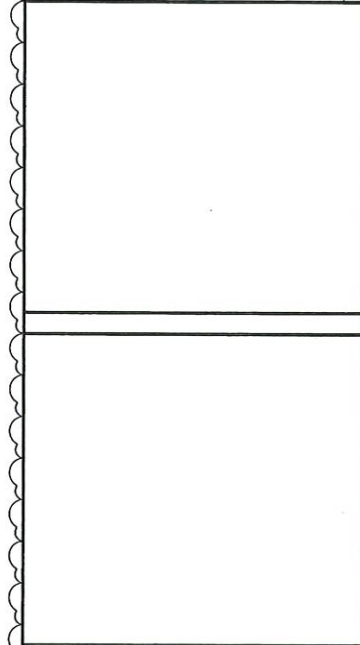
PLAN DETAIL - BIKE RACK CANOPY 3" = 1'-0" 41



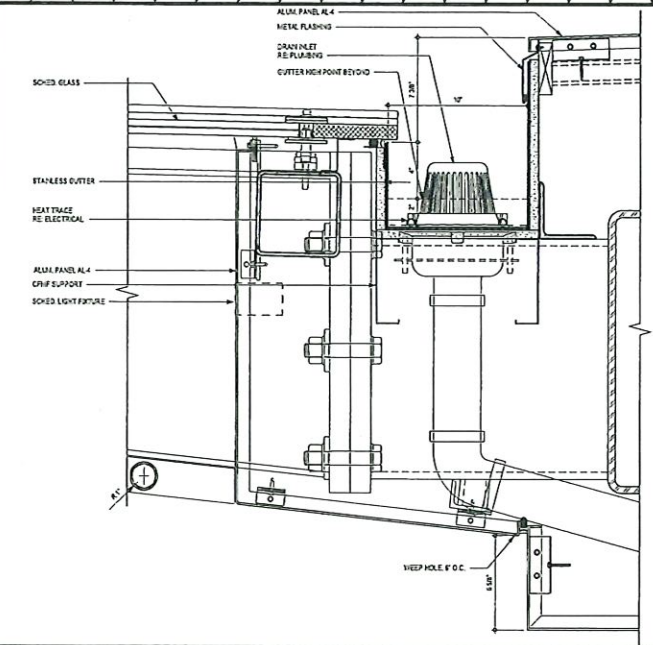
DETAIL - BIKE RACK CANOPY 3" = 1'-0" 42



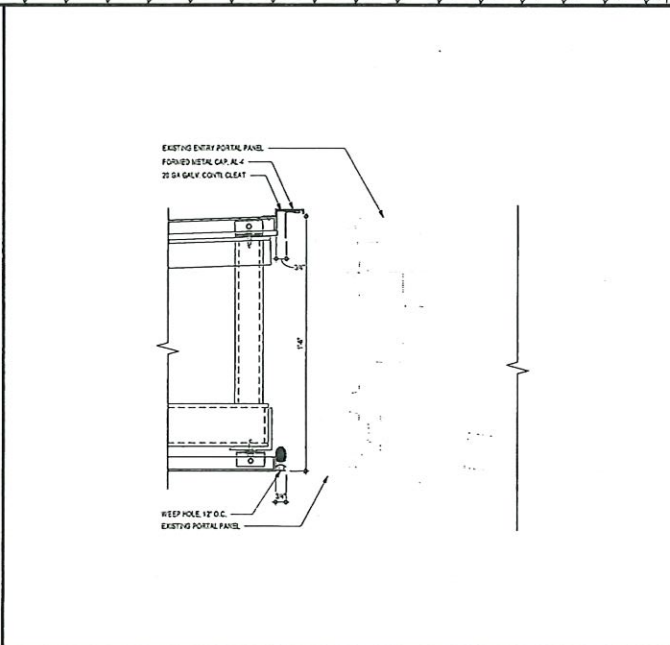
ENLARGED SECTION - BIKE RACK CANOPY 1/2" = 1'-0" 5



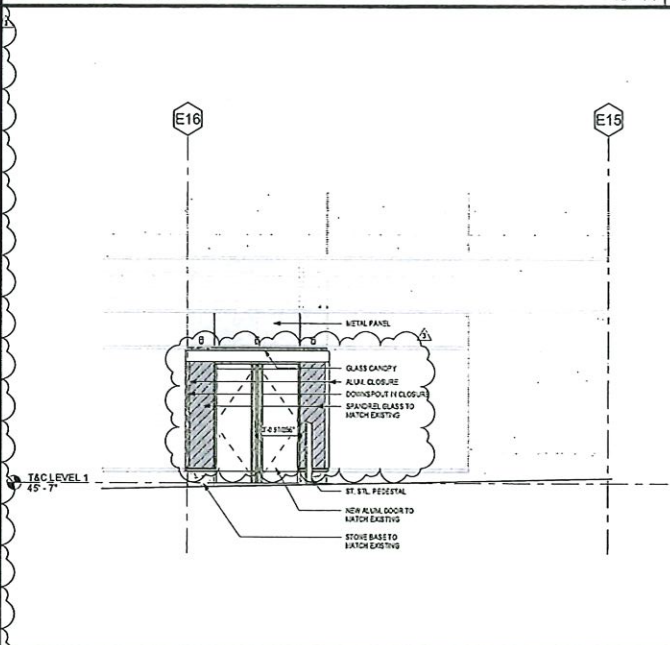
DETAIL - MASON ST CANOPY 3" = 1'-0" 27



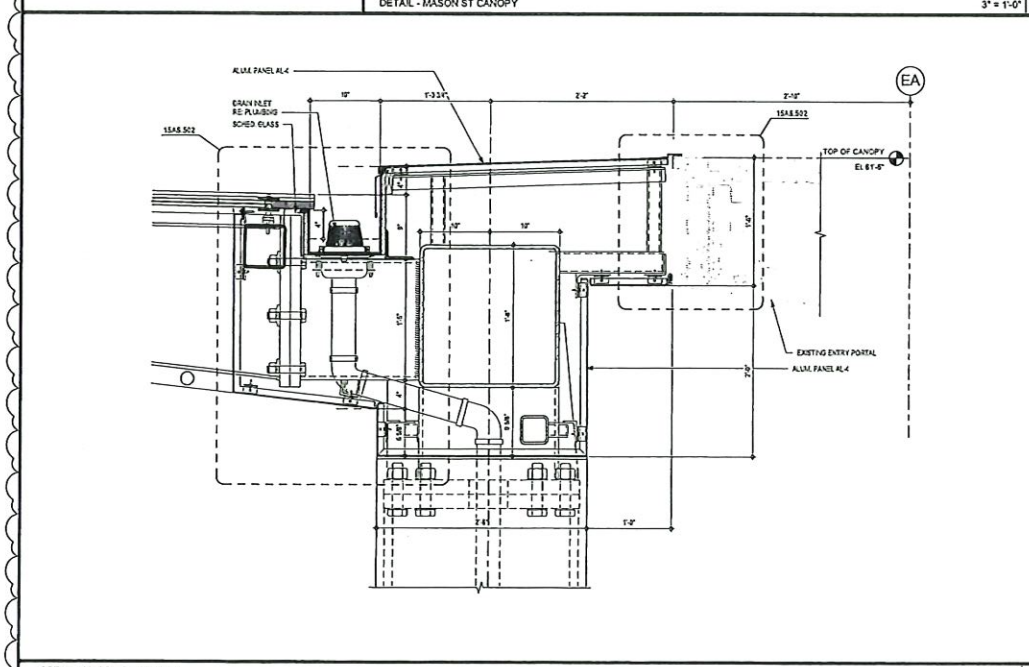
DETAIL - MASON ST CANOPY 3" = 1'-0" 28



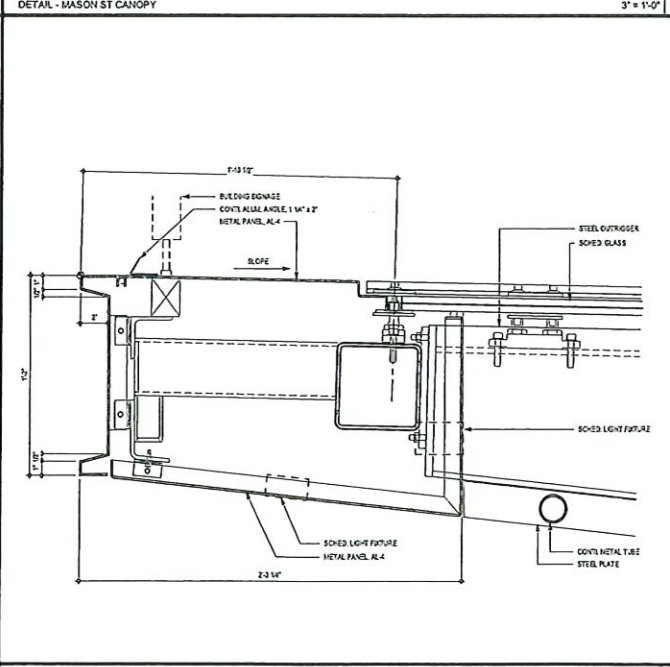
DETAIL - MASON ST CANOPY 3" = 1'-0" 15



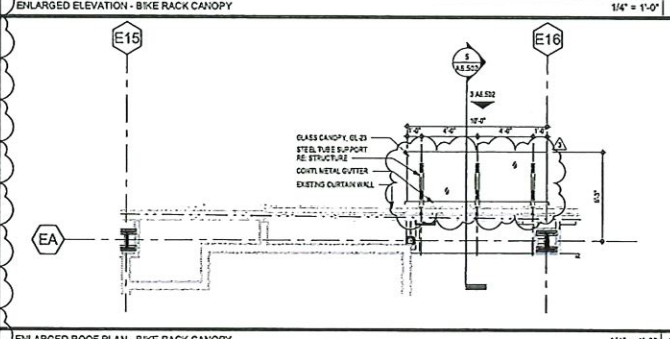
ENLARGED ELEVATION - BIKE RACK CANOPY 1/4" = 1'-0" 3



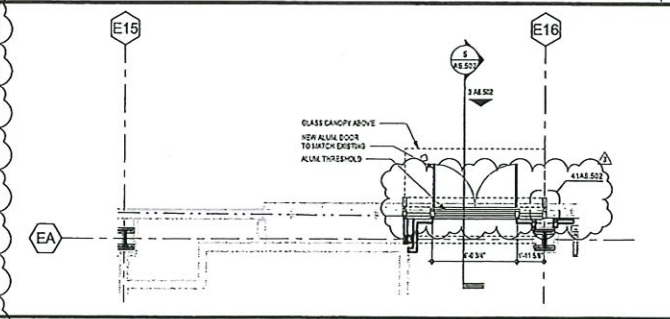
DETAIL - MASON ST CANOPY 1 1/2" = 1'-0" 25



DETAIL - MASON CANOPY 3" = 1'-0" 13



ENLARGED ROOF PLAN - BIKE RACK CANOPY 1/4" = 1'-0" 2



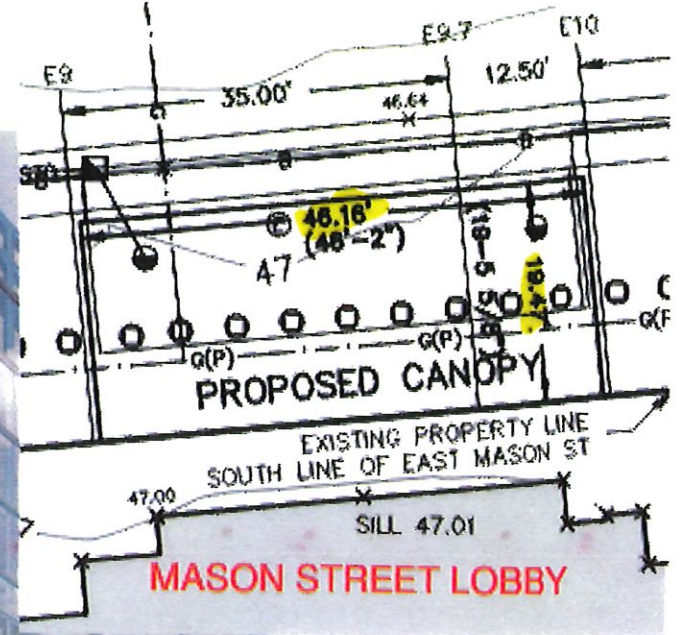
ENLARGED FLOOR PLAN - BIKE RACK CANOPY 1/4" = 1'-0" 1



NO.	DATE	ISSUE
1	11 OCT 23	FOR CONSTRUCTION
2	18 SEP 23	FOR PERMIT
3	11 APR 23	PROPOSED

T&C  
ENHANCEMENT

22004 A6.502



View of Tower & Commons, Mason Street Lobby, from North Building, looking southwest. Emphasizes the main entrance and relates to new North Building entrance.