

**2000, 2026 and 2038 North Prospect Avenue
Milwaukee, WI 53202**

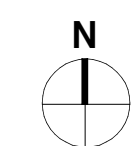
- DPD-1 Cover Sheet, Vicinity Map, Project Team and Sheet Index
- DPD-2 Boundary/Site Survey (Existing)
- DPD-3 Proposed Project Boundary Description
- DPD-4 Proposed Building and Parking Site Plan
- DPD-5 Proposed Site Facade Standards
- DPD-6 Proposed Site Plan
- DPD-7 Proposed Utility Plan
- DPD-8 Proposed Grading Plan
- DPD-9 Proposed Landscape Plan
- DPD-10 Proposed Prospect Avenue Elevation
- DPD-11 Proposed Lafayette Place Elevation
- DPD-12 Proposed Northeast Elevation
- DPD-13 Proposed East Elevation
- DPD-14 3D Perspective from Prospect and Lafayette
- DPD-15 3D Perspective from Lafayette and Summit
- DPD-16 Proposed Commercial Signage and Details
- DPD-17 Temporary Marketing Signage

Architecture:
PAPPAGEORGE/HAYMES Ltd.
814 North Franklin Street, Suite 400
Chicago, Illinois 60610
(312) 337-3344
(312) 337-8009 Fax

Civil Engineering/Landscape Architect:
Graef, Anhalt, Schloemer & Associates, Inc.
One Honey Creek Corporation
125 South 84th Street, Suite 401
Milwaukee, WI 53214
(414) 259-1500
(414) 259-0037 Fax

Surveyor:
Kapur & Associates, Inc.
Milwaukee, WI
(414) 351-6668

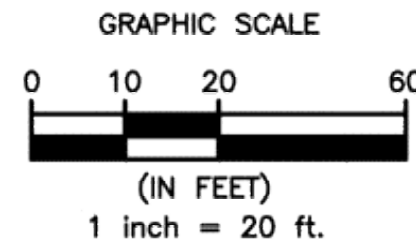
Marketing:
FireStar Communications
211 East Ontario Street
Chicago, Illinois 60611
(312) 649-0900
(312) 649-9128 Fax

DEVELOPER
GROUP, LLC

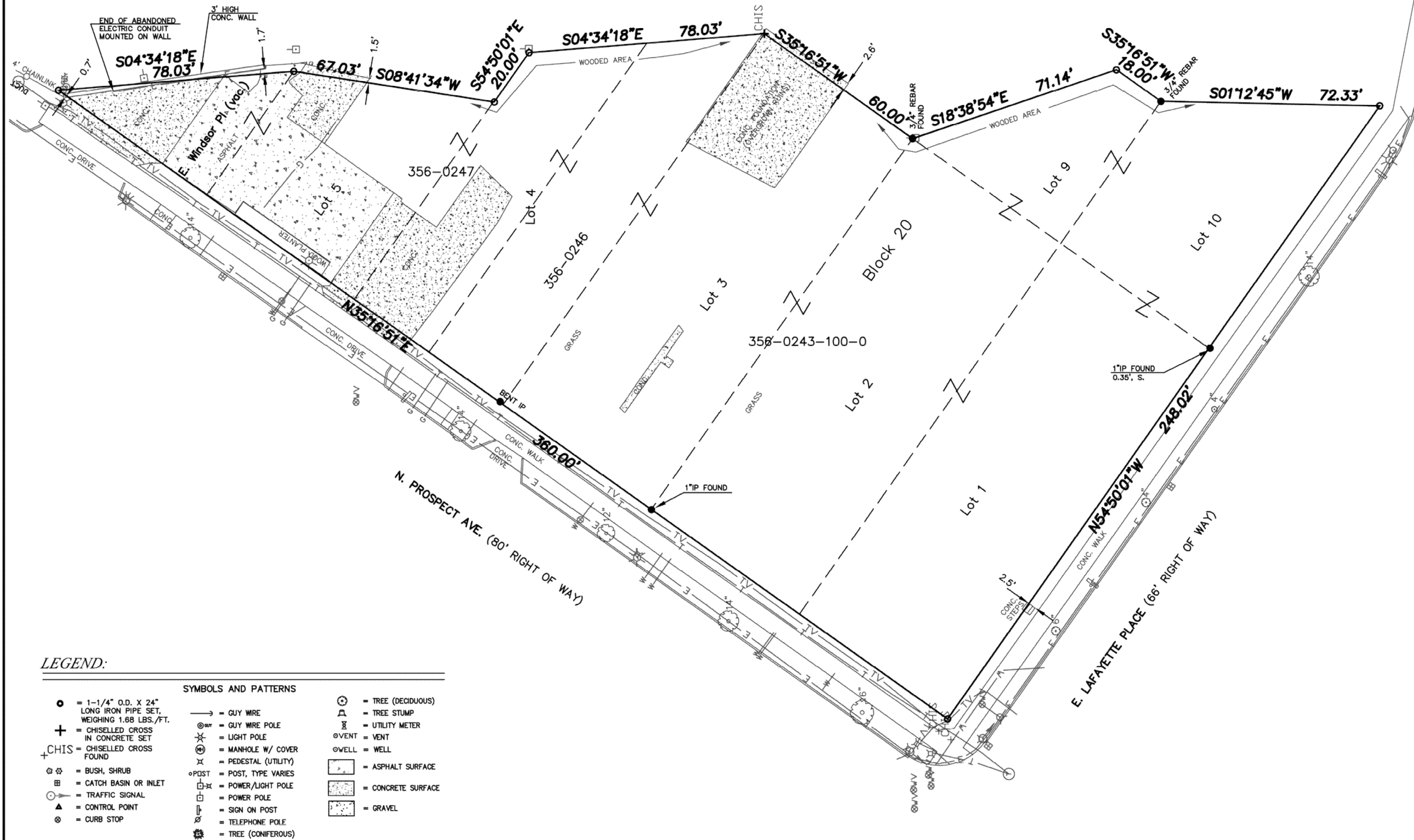
P / H
PAPPAGEORGE/HAYMES Ltd.
ARCHITECTS

BOUNDARY / SITE SURVEY

BEARINGS ARE REFERENCED TO
GRID NORTH OF THE WISCONSIN
COUNTY COORDINATE SYSTEM
(MILWAUKEE ZONE) NAD 83/91



MILWAUKEE CO. PARKLANDS (BIKE PATH)



LEGEND:

SYMBOLS AND PATTERNS	
	= 1-1/4\"/>
	= CHISELLED CROSS IN CONCRETE SET
	= BUSH, SHRUB
	= CATCH BASIN OR INLET
	= TRAFFIC SIGNAL
	= CONTROL POINT
	= CURB STOP
	= GUY WIRE
	= LIGHT POLE
	= MANHOLE W/ COVER
	= PEDESTAL (UTILITY)
	= POST, TYPE VARIES
	= POWER/LIGHT POLE
	= POWER POLE
	= SIGN ON POST
	= TELEPHONE POLE
	= TREE (DECIDUOUS)
	= TREE STUMP
	= UTILITY METER
	= VENT
	= WELL
	= ASPHALT SURFACE
	= CONCRETE SURFACE
	= GRAVEL
LINE STYLES AND DEFINITIONS	
	= OVERHEAD UTILITY LINES
	= STORM SEWER (SIZE) & MANHOLE
	= SANITARY SEWER (SIZE) & MANHOLE
	= UNDERGROUND CABLE TELEVISION
	= UNDERGROUND ELECTRIC CABLE & MANHOLE
	= UNDERGROUND FIBER OPTIC
	= UNDERGROUND NATURAL GAS MAIN & VALVE
	= UNDERGROUND TELEPHONE CABLE & MANHOLE
	= WATER MAIN, HYDRANT & VALVE
	= CURB
	= FENCE (GENERIC)
	= CHAINLINK FENCE
	= GUARD RAIL
	= WOODED AREA
	= HEDGE

The location of existing underground utilities as shown on this Survey have been determined from information available from the records of the parent utility companies, municipalities, or from actual field surveys. Kapur & Associates, Inc. does not assume responsibility for the possibility that during construction utilities other than those shown may be encountered or that actual locations may be different from those shown on this survey.

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 258-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com
REGISTER'S HOTLINE TICKETS:
2005 3306580, 2005 3306609, 2005 3306634

LEGAL DESCRIPTION

For: State of Wisconsin—Department of Transportation (per Reel 5028, Image 896,

For: Renaissance Development Group, LLC (per Chicago Title Insurance Company Commitment No. 1202305, effective date June 22, 2005)

Parcel A:
Lots 1, 2 and 3 in Block 20, in Glidden & Lockwood's Addition of Lots 1 and 2 of Fractional Section 22, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.
ALSO that part of Lots 9 and 10 in Block 20, in Glidden & Lockwood's Addition of Lots 1 and 2 of Fractional Section 22, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follows:
Beginning at a point in the Southwesterly line of Lot 10 which is 97.50 feet Southeastly from the Southwesterly corner of said Lot; running thence Northeast in a straight line to a point in the Northeastly line of said Lot which is 57.50 feet Southeastly from the Northwesterly corner of Lot 10; running thence Northeastly and parallel to the East line of North Prospect Avenue 19.00 feet to a point; running thence Northwest in a straight line to the Northwest corner of Lot 9 in said Block; thence Southwesterly along the Westerly line of Lots 9 and 10 aforesaid 120.00 feet to the Southwest corner of Lot 10; running thence Southeastly along the Southwesterly line of Lot 10 aforesaid 97.50 feet to the point of beginning.

Tax Key No. 356-0243-100-0

Address: 2000 N. Prospect Avenue

Parcel B:
The Southwesterly 1/2 of Lot 4 in Block 20 in Glidden & Lockwood's Addition in the Northwest 1/4 of Section 22, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, excepting that part of Lot 4 conveyed to the Chicago and Northwestern Railway Company by Deed recorded June 5, 1903 in Volume 471 of Deeds on Page 450, as Document No. 468977.

Tax Key No. 356-0246-0

Address: 2026 N. Prospect Avenue

Parcel C:
The Northeastly 1/2 of Lot 4 in Block 20 in Glidden & Lockwood's Addition in the Northwest 1/4 of Section 22, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, except that part of said Lot 4 conveyed to the Chicago and Northwestern Railway Company by Deed recorded June 5, 1903 in Volume 483 of Deeds on Page 344, as Document No. 469680.

ALSO;

All that part of Lot 5 in Block 20 in Glidden & Lockwood's Addition in the Northwest 1/4 of Section 22, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin and all that part of vacated Windsor Place in said City lying North of and adjoining said Lot 5, all bounded and described as follows:
Commencing at the Southwest corner of said Lot 5, running thence North along the West line of said Lot and said West line produced North to and across said vacated Windsor Place 110 feet; thence Southeastly parallel with the Southwesterly line of said vacated street 3 feet; thence Southerly to a point in the Northeastly line of said Lot 5, 55 feet Southeastly from the most Northerly corner of said Lot; thence Southerly to a point in the Southwesterly line of said Lot, 80 feet Southeastly from the Westerly corner thereof; thence Northwestly along the Southwesterly line of said Lot, 80 feet to the place of beginning.

Tax Key No. 356-0247-6

Address: 2038 N. Prospect Avenue

More fully described as follows:

Lots 1, 2 and 3 and parts of Lots 4, 5, 9 and 10 and part of vacated E. Windsor Place, Block 20, Glidden & Lockwood's Addition in the NW 1/4 of Section 22, Town 7 North, Range 22 East, City of Milwaukee, Milwaukee County, Wisconsin, described as follows:

Beginning at the Southerly corner of said Lot 1; thence North 35° 16' 51" East along the west line of said Block 20 and being the east right of way line of N. Prospect Avenue, 360.00 feet; thence South 04° 34' 18" East 78.03 feet; thence South 08° 41' 34" West 87.03 feet; thence South 54° 50' 01" East 20.00 feet; thence South 04° 34' 18" East 78.03 feet; thence South 35° 16' 51" West 60.00 feet; thence South 18° 38' 54" East 71.14 feet; thence South 35° 16' 51" West 18.00 feet; thence South 01° 12' 45" West 72.33 feet to the southwesterly line of said Block 20 and the northeasterly right of way line of E. Lafayette Place; thence North 54° 50' 01" West 248.02 feet to the point of beginning, containing 46,810 square feet or 1.07 acres

STATE OF WISCONSIN)
MILWAUKEE COUNTY)

I, hereby certify that I have made a survey of the land shown and described hereon and that this plat of survey is a correct representation of the boundaries of the land surveyed, and the location of structures, buildings, visible utilities and underground utility marks (by Digger's Hotline contractors per Digger's Hotline ticket numbers: 20053306580, 20053306609 & 20053306634) on said land.

Dated this ___ day of _____, 20__.

Charles A. Formoe S-1876

Basis:
Chicago Title Insurance Co. Commitment No. 1202305 (6-22-05)

Note: Item 10 of Sched. B II cites ease, to Wis. Tele. Co. Vol. 954, Pg. 198 Doc. 1184597 rec. Dec. 30, 1922 - no copy provided to K&A.

Surveyor:
Charles A. Formoe
Kapur & Associates, Inc.
7711 N. Port Washington Rd.
Milwaukee, WI 53217

PARK LAFAYETTE

Corner of Prospect & Lafayette
Milwaukee, WI

Detailed Plan Development

Boundary / Site Survey
DPD-2

DEVELOPER
RENAISSANCE DEVELOPMENT GROUP, LLC

ARCHITECTS

PAPPAGEORGE/HAYMES Ltd.
ARCHITECTS

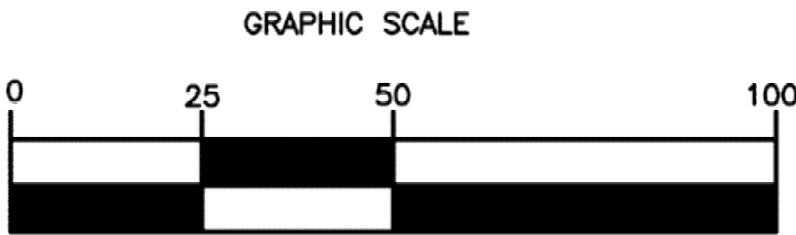
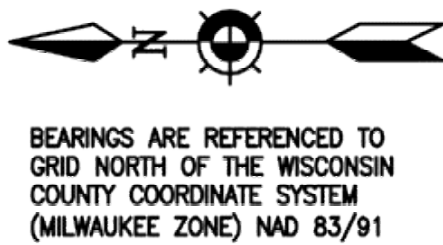
October 24, 2005
P/H No. 051624

BOUNDARY / SITE SURVEY
PART OF BLOCK 20, GLIDDEN & LOCKWOOD'S ADD.,
IN THE NW 1/4, SEC. 22, T7N, R22E,
CITY OF MILWAUKEE, MILWAUKEE CO., WISCONSIN.

KAPUR & ASSOCIATES, INC.
CONSULTING ENGINEERS
MILWAUKEE, WISCONSIN
414.351.6668

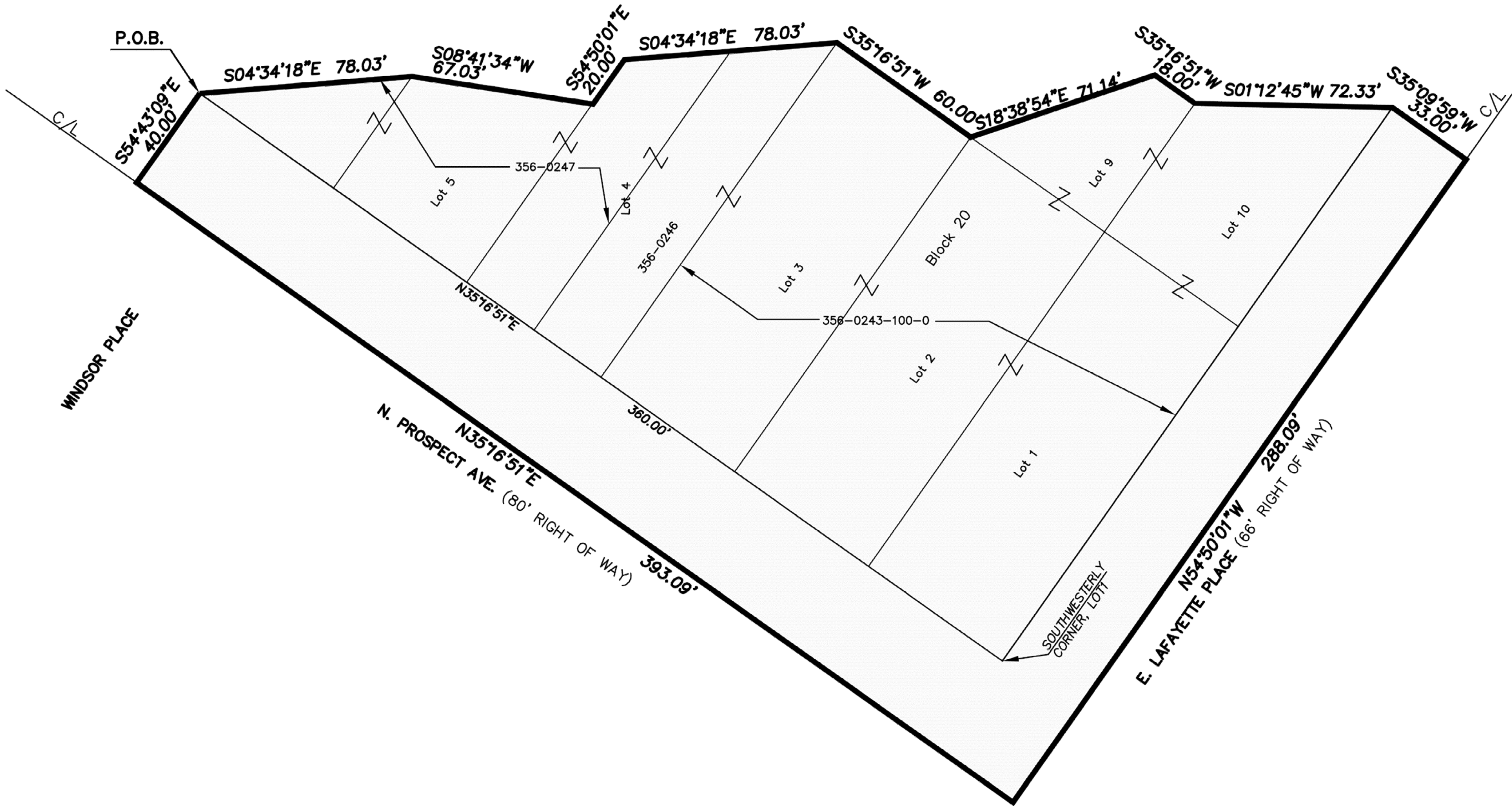
VERIFY SCALES	DESIGNED BY: CAF	NO.	REVISIONS	DATE
BAR ON ORIGINAL DRAWING IS ONE INCH	DRAWN BY: RKK			
0 1 IF NOT ONE INCH ADJUST SCALES ACCORDINGLY	CHECKED BY: KK			
	APPROVED BY:			
	DATE: 8/26/2005			
	SCALE: 1"=20'			

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(IN FEET)
1 inch = 50 ft.

MILWAUKEE CO. PARKLANDS (BIKE PATH)



LEGAL DESCRIPTION

For: Renaissance Development Group, LLC (per Chicago Title Insurance Company Commitment No. 1202305, effective date June 22, 2005)

Parcel A:
Lots 1, 2 and 3 in Block 20, in Glidden & Lockwood's Addition of Lots 1 and 2 of Fractional Section 22, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.
ALSO that part of Lots 9 and 10 in Block 20, in Glidden & Lockwood's Addition of Lots 1 and 2 of Fractional Section 22, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follows:
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Tax Key No. 356-0243-100-0

Address: 2000 N. Prospect Avenue

Parcel B:
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Tax Key No. 356-0246-0

Address: 2026 N. Prospect Avenue

Parcel C:
The Northeastly 1/2 of Lot 4 in Block 20 in Glidden & Lockwood's Addition in the Northwest 1/4 of Section 22, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, except that part of said Lot 4 conveyed to the Chicago and Northwestern Railway Company by Deed recorded June 5, 1903 in Volume 483 of Deeds on Page 344, as Document No. 468680.

ALSO;

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Commencing at the Southwest corner of said Lot 5, running thence North along the West line of said Lot and said West line produced North to, and across said vacated Windsor Place 110 feet; thence Southeasterly parallel with the Southwesterly line of said vacated street 3 feet; thence Southerly to a point in the Northeastly line of said Lot 5, 55 feet Southeasterly from the most Northerly corner of said Lot; thence Southerly to a point in the Southwesterly line of said Lot, 80 feet Southeasterly from the Westerly corner thereof; thence Northwesterly along the Southwesterly line of said Lot, 80 feet to the place of beginning.

Tax Key No. 356-0247-6

Address: 2038 N. Prospect Avenue

More fully described as follows:

Lots 1, 2 and 3 and parts of Lots 4, 5, 9 and 10 and part of vacated E. Windsor Place, Block 20, Glidden & Lockwood's Addition in the NW 1/4 of Section 22, Town 7 North, Range 22 East, City of Milwaukee, Milwaukee County, Wisconsin, described as follows:

Commencing at the Southwesterly corner of said Lot 1; thence North 35° 16' 51" East along the west line of said Block 20 and being the east right of way line of N. Prospect Avenue, 360.00 feet to the point of beginning; thence South 04° 34' 18" East 78.03 feet; thence South 08° 41' 34" West 67.03 feet; thence South 54° 50' 01" East 20.00 feet; thence South 04° 34' 18" East 78.03 feet; thence South 35° 16' 51" West 60.00 feet; thence South 18° 38' 54" East 71.14 feet; thence South 35° 16' 51" West 18.00 feet; thence South 01° 12' 45" West 72.33 feet to the southwesterly line of said Block 20 and the northeasterly right of way line of E. Lafayette Place; thence South 35° 09' 59" West 33.00 feet to the center line of E. Lafayette Place; thence North 54° 50' 01" West 288.09 feet to the center line of N. Prospect Avenue; thence North 35° 16' 51" East along said center line 393.09 feet; thence South 54° 43' 09" East 40.00 feet to the point of beginning, containing 70,718 square feet or 1.623 acres, more or less.

DEVELOPER
RENAISSANT DEVELOPMENT GROUP, LLC



PAPPAGEORGE/HAYMES Ltd.
ARCHITECTS



KAPUR & ASSOCIATES, INC.
CONSULTING ENGINEERS
MILWAUKEE, WISCONSIN
414.351.6668

FOR: RENAISSANT DEVELOPMENT GROUP

DRAWN BY: RK
CHECKED BY: CAF
APPROVED BY: KEK

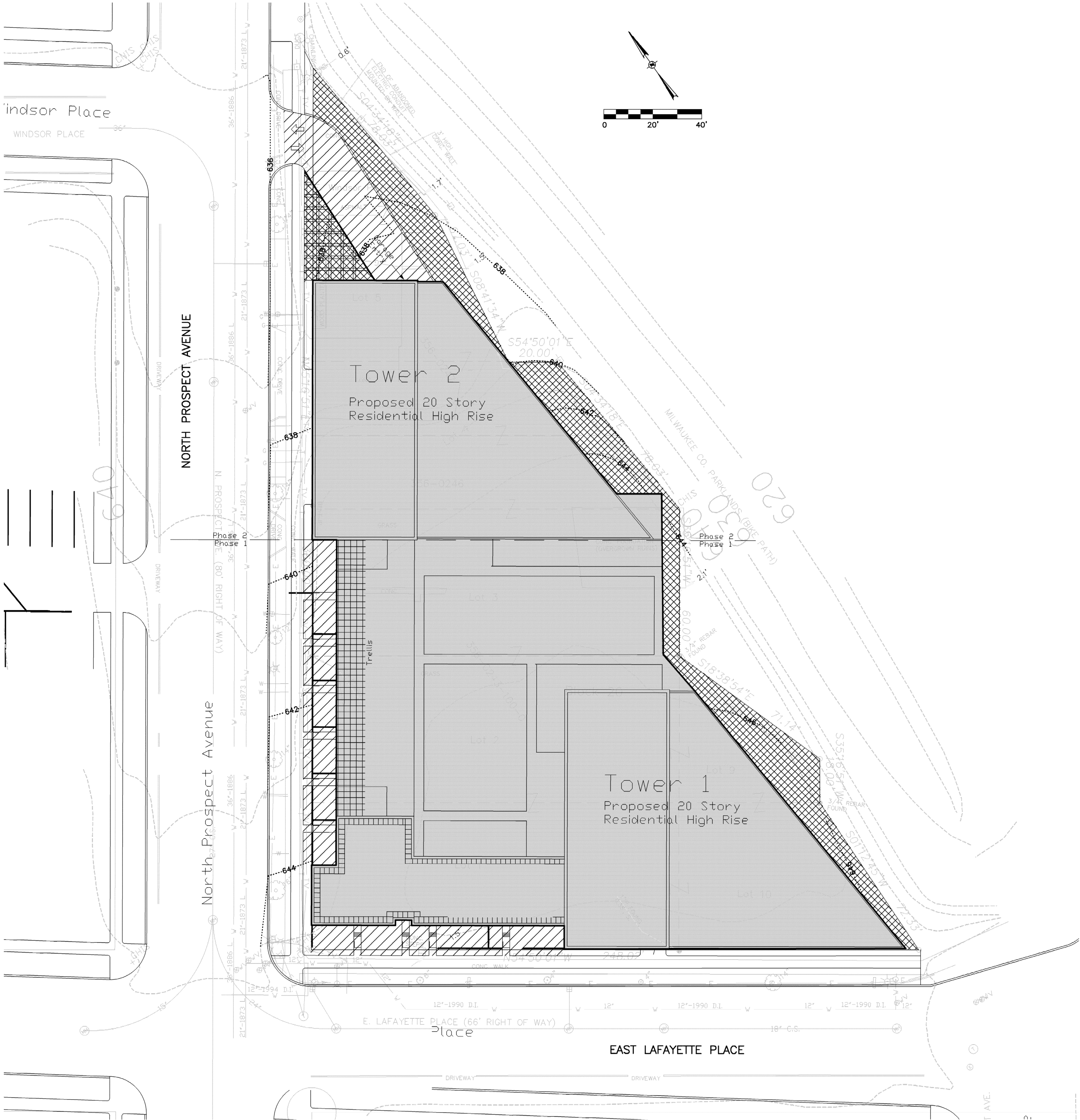
DPD BOUNDARY EXHIBIT — PARK LAFAYETTE
PART OF BLOCK 20, GLIDDEN & LOCKWOOD'S ADD., IN
THE NW 1/4, SEC. 22, T7N, R22E,
CITY OF MILWAUKEE, MILWAUKEE CO., WISCONSIN.

PROJECT NUMBER: 05305
DATE: 10/21/05
REVISED DATE:

Detailed Plan Development
Proposed Building & Parking
Plan
DPD-4

LEGEND

	EXISTING WATER VALVE
	EXISTING LIGHT POLE
	EXISTING GAS
	EXISTING CATCH BASIN
	EXISTING POWER POLE
	EXISTING HYDRANT
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING CONTOUR
	PROPOSED CONTOUR
	RESIDENTIAL & PARKING F/
	CIRCULATION FACILITIES
	OPEN SPACE



DEVELOPER
RENAISSANT DEVELOPMENT GROUP, LLC

P/H
PAPPAGEORGE/HAYMES Ltd.
ARCHITECTS

October 24, 2005
P/H No. 051624

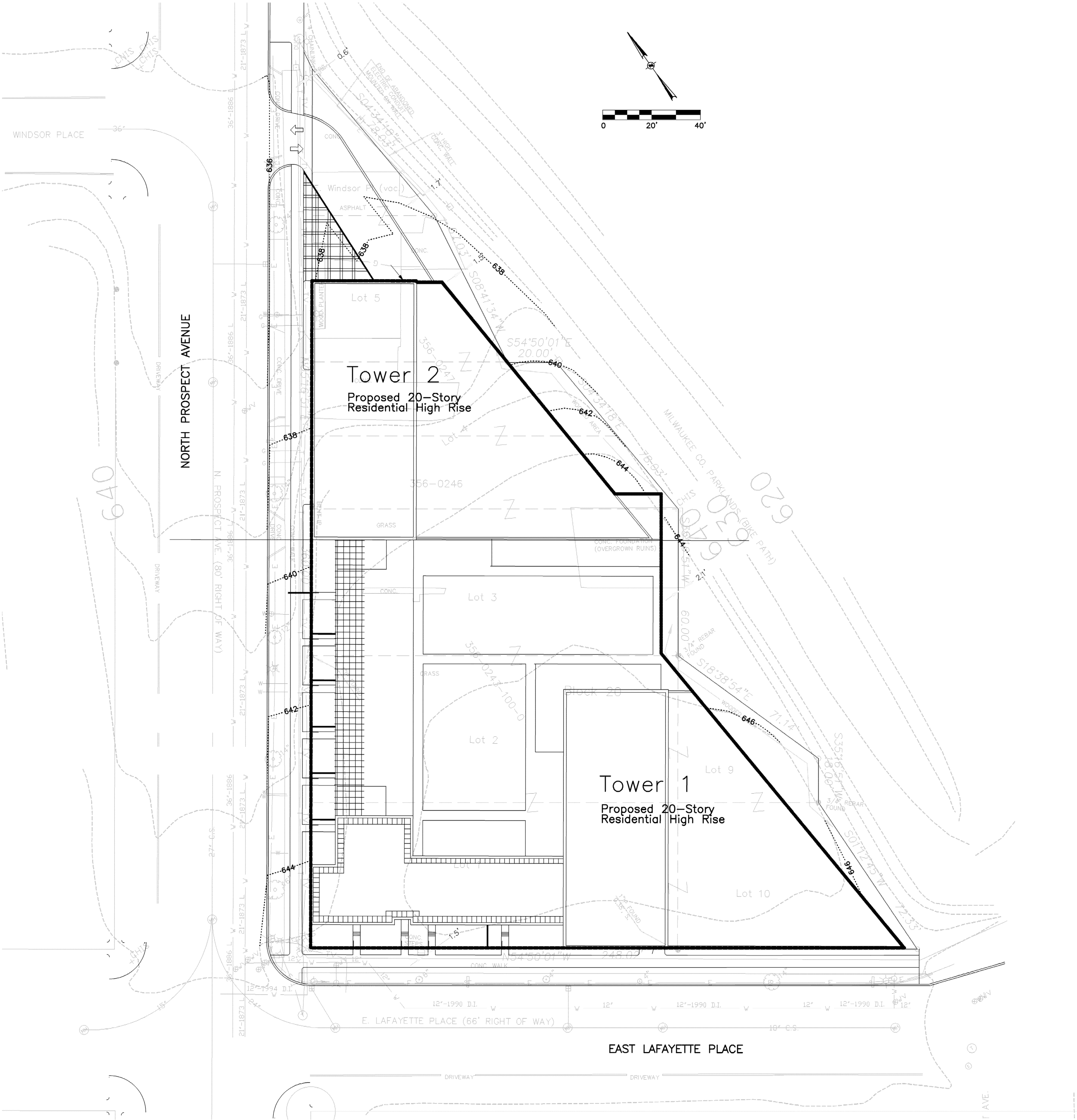
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Detailed Plan Development

Proposed Site Facade
Standards
DPD-5

LEGEND

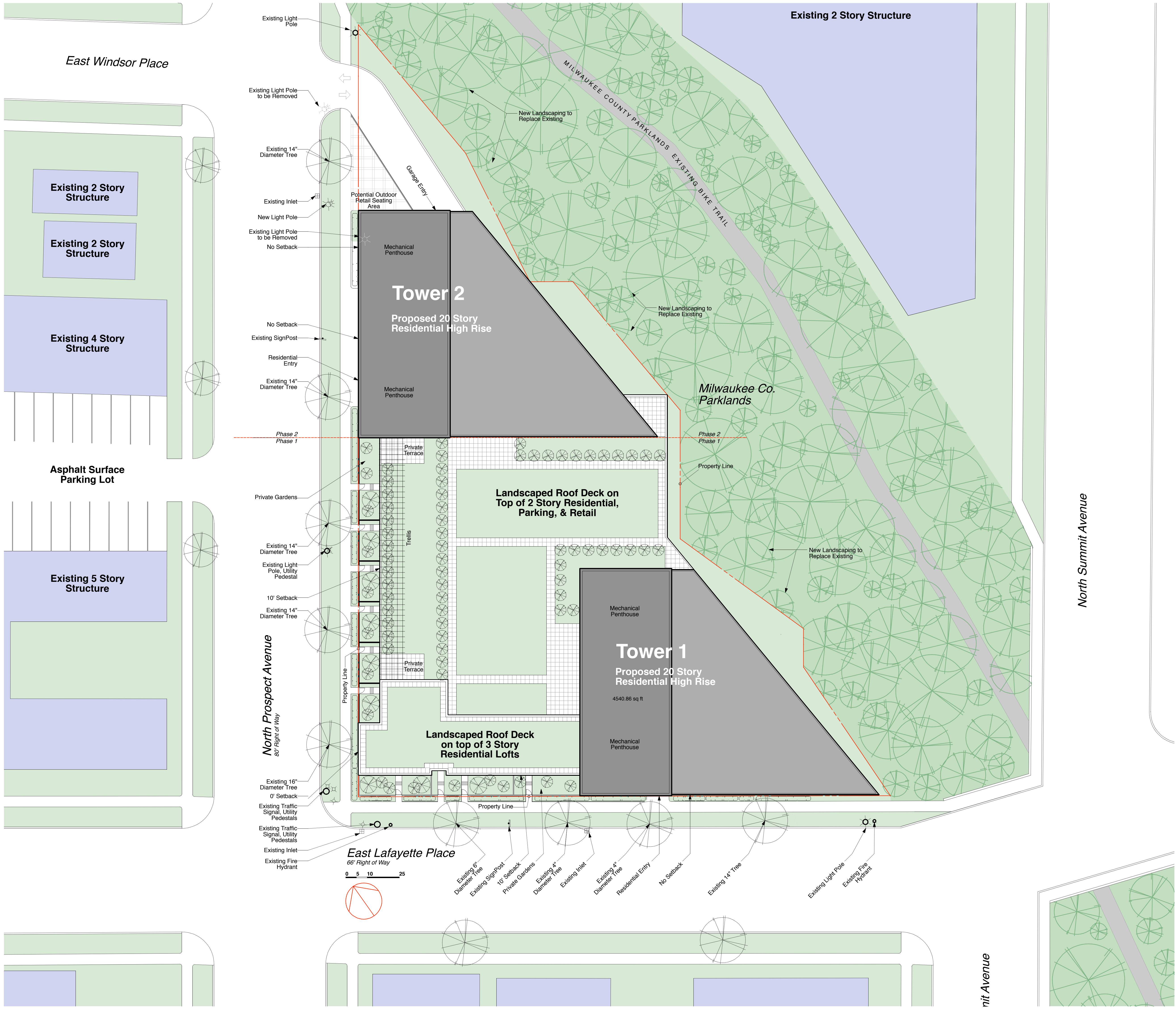
- EXISTING WATER VALVE
- EXISTING LIGHT POLE
- EXISTING GAS
- EXISTING CATCH BASIN
- EXISTING POWER POLE
- EXISTING HYDRANT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PRINCIPAL FACADE
- SECONDARY FACADE



DEVELOPER
RENAISSANT DEVELOPMENT GROUP, LLC

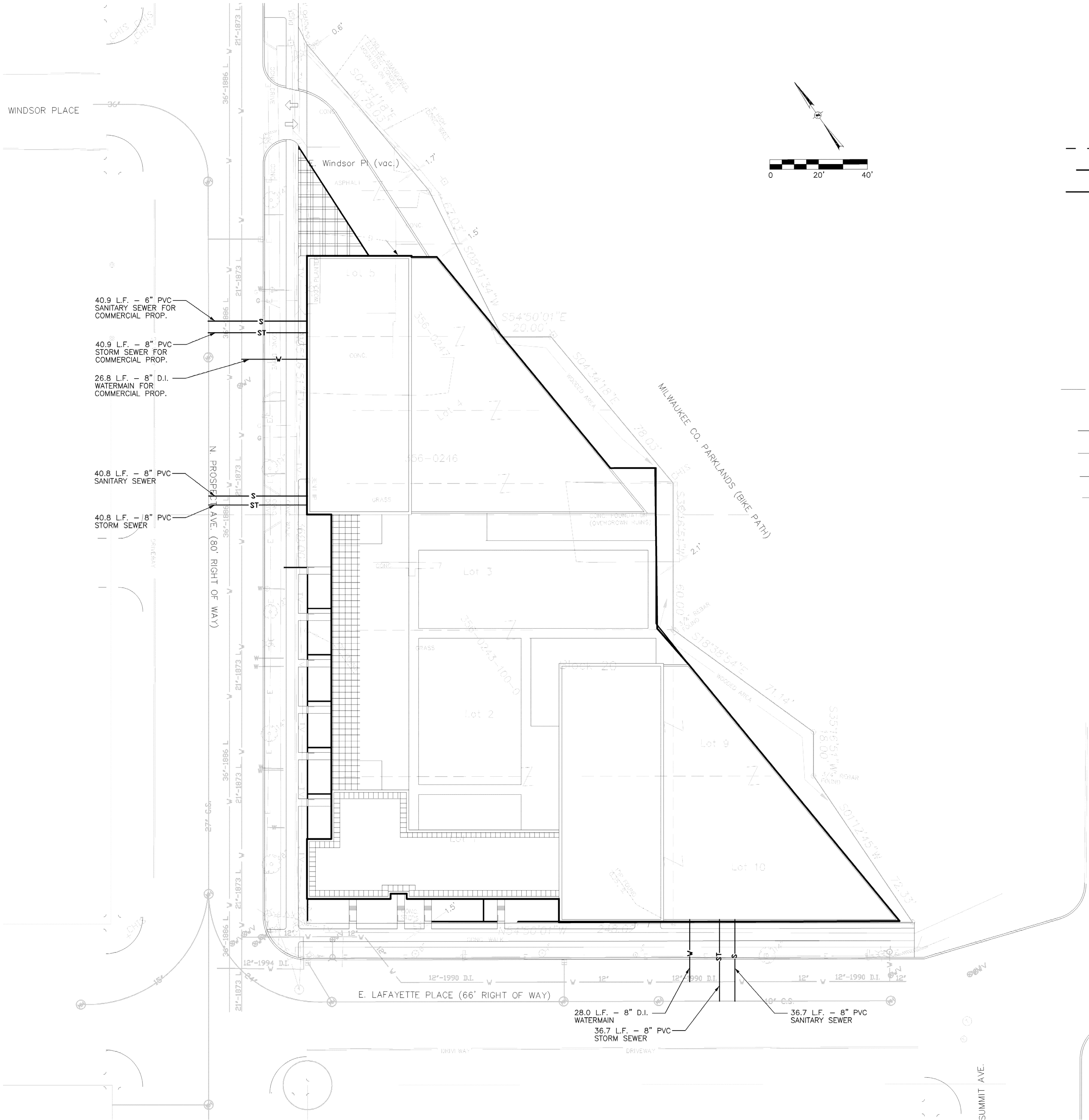


PAPPAGEORGE/HAYMES Ltd.
ARCHITECTS



LEGEND

- W — PROPOSED WATER MAIN
- S — PROPOSED SANITARY SEWER
- ST — PROPOSED STORM SEWER
- STORM INLET
- MANHOLE
- LIGHT POLE
- POWER POLE
- TRAFFIC SIGNAL
- SIGN
- FIRE HYDRANT
- WV WATER VALVE
- 8" W - WATER MAIN
- 27" C.S. COMBINED SEWER
- E BURIED ELECTRIC
- TV BURIED CABLE T.V.
- T BURIED TELEPHONE
- G BURIED GAS

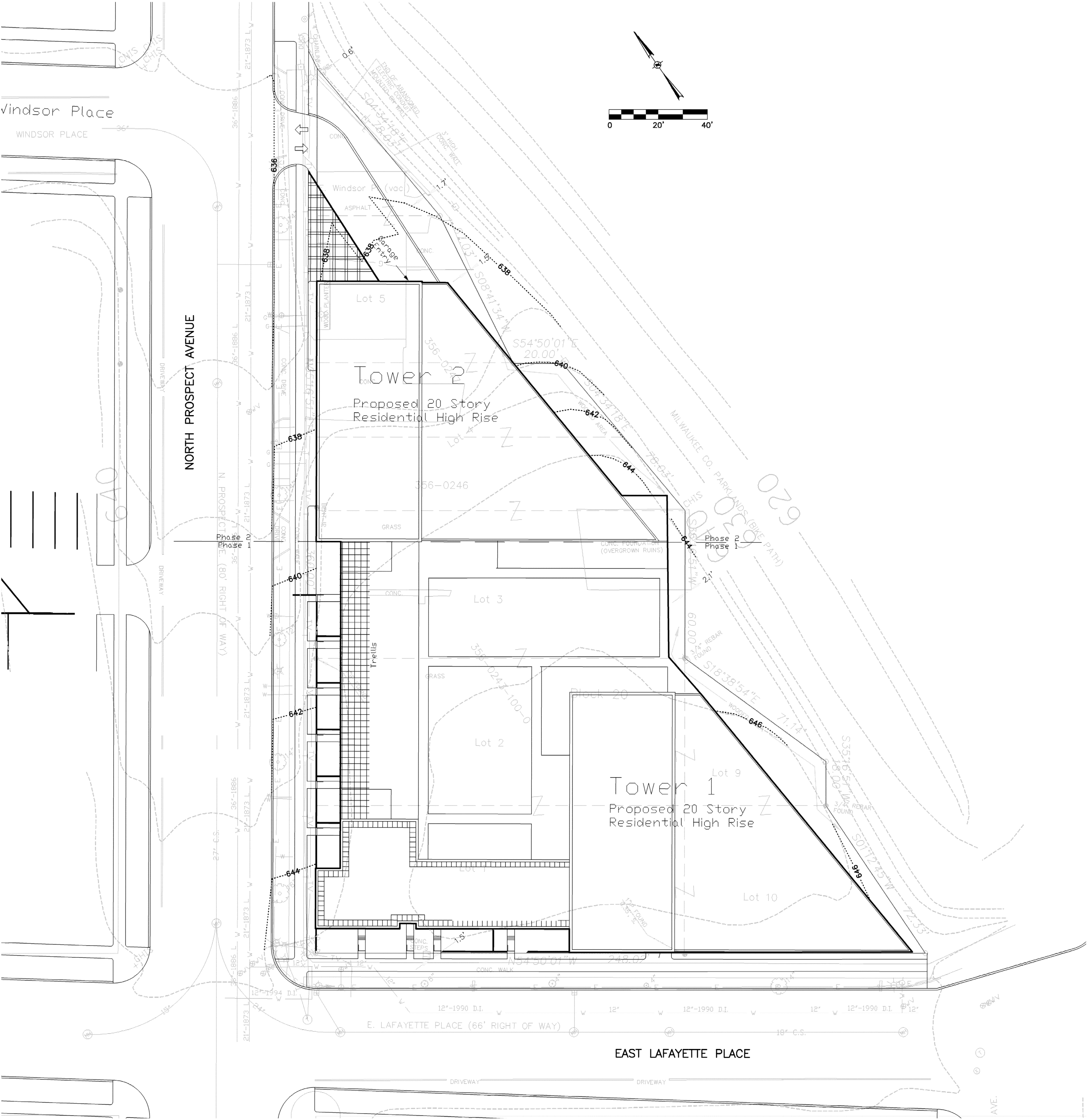


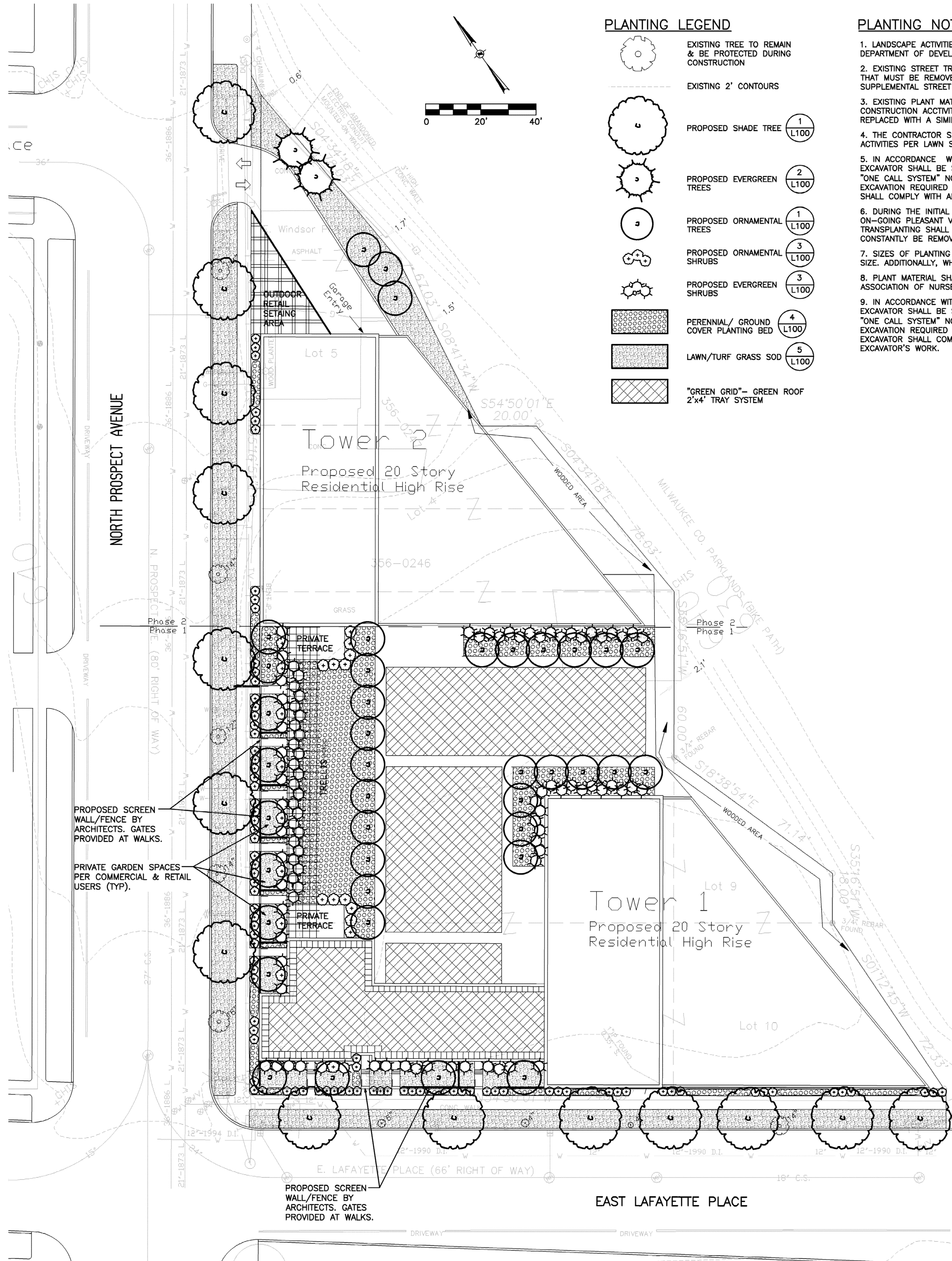
LEGEND

- EXISTING WATER VALVE
- EXISTING LIGHT POLE
- EXISTING GAS
- EXISTING CATCH BASIN
- EXISTING POWER POLE
- EXISTING HYDRANT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TOP OF CURB ELEVATION
- FLANGE ELEVATION
- PROPOSED SPOT ELEVATION

NOTES

CURRENT CONTOUR ELEVATIONS ARE IN USGS DATUM 1929 AND GVD. TO CONVERT TO CITY OF MILWAUKEE DATUM, SUBTRACT 580.6. (FINAL GRADING PLAN WILL BE IN THE CITY OF MILWAUKEE DATUM)





PLANTING LEGEND

- EXISTING TREE TO REMAIN & BE PROTECTED DURING CONSTRUCTION
- EXISTING 2' CONTOURS
- PROPOSED SHADE TREE (1 L100)
- PROPOSED EVERGREEN TREES (2 L100)
- PROPOSED ORNAMENTAL TREES (1 L100)
- PROPOSED ORNAMENTAL SHRUBS (3 L100)
- PROPOSED EVERGREEN SHRUBS (3 L100)
- PERENNIAL/ GROUND COVER PLANTING BED (4 L100)
- LAWN/TURF GRASS SOD (5 L100)
- "GREEN GRID"- GREEN ROOF 2'x4' TRAY SYSTEM

- PLANTING NOTES**
- LANDSCAPE ACTIVITIES & PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE CITY OF MILWAUKEE, DEPARTMENT OF DEVELOPMENT – ZONING CODE, LANDSCAPE DESIGN GUIDELINES.
 - EXISTING STREET TREES SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITIES. ANY TREES THAT MUST BE REMOVED OR ARE DAMAGED WILL BE REPLACED WITH A SIMILAR SPECIES. SUPPLEMENTAL STREET TREES PROPOSED AS INDICATED ON THE PLAN.
 - EXISTING PLANT MATERIAL ALONG THE COUNTY PARK BOUNDARY SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITIES. ANY TREES THAT MUST BE REMOVED OR ARE DAMAGED WILL BE REPLACED WITH A SIMILAR SPECIES.
 - THE CONTRACTOR SHALL RESTORE ALL LAWN AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES PER LAWN SOD DETAIL 5/L100.
 - IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
 - DURING THE INITIAL 'MAINTENANCE PERIOD' LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AN ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING SHALL IMMEDIATELY BE REPLACED, LAWNS SHALL BE REPAIRED & WEEDS MUST CONSTANTLY BE REMOVED- NO EXCEPTIONS WILL BE GRANTED.
 - SIZES OF PLANTING STOCK LISTED IN THE PLANT MATERIAL SCHEDULE ARE MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, WHEN EXCESSIVE PRUNING REDUCES CROWN, PLANT SHALL BE REPLACED.
 - PLANT MATERIAL SHALL BE OF A QUALITY CONSISTENT WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (ANSI 260.1).
 - IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF HIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

GROUND COVER/ORN. GRASS/ PERENNIAL PLANTING DETAIL

NOT TO SCALE

LANDSCAPE CONTRACTOR SHALL IMPORT 6" (MIN) PLANTING SOIL THRU-OUT GROUND COVER/PERENNIAL/ORNAMENTAL GRASS BED. GRID & INSET PLANT MATERIAL @ SPACING AS SHOWN PER PLANT MATERIALS SCHEDULE. HAND BROADCAST UNIFORM 3" HARDWOOD MULCH THRU-OUT GROUND COVER/PERENNIAL/ORNAMENTAL GRASS BED. FLOOD IMMEDIATELY & WATER FREQUENTLY PER WRITTEN SPECIFICATIONS. PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE.

LAWN SOD PLANTING DETAIL

NOT TO SCALE

LANDSCAPE CONTRACTOR SHALL IMPORT 4" (MIN) PLANTING SOIL PRIOR TO SPREADING, THE LANDSCAPE CONTRACTOR SHALL CLEAN TOPSOIL OF ROOTS/STONES/FOREIGN MATTER & AMEND W/ SPECIFIED PRODUCTS TO ACHIEVE 6.0 TO 7.0 PH ACTIVITY. LANDSCAPE ARCHITECT SHALL APPROVE FINISHED LAWN GRADE @ UNIFORM, NATURAL SLOPES PRIOR TO THE LAYING OF SOD. LAY SOD IN 'RUNNING BOND' FASHION (W/ALTERNATE JOINTS), COMPRESS EACH BUTT JOINT TO REDUCE SHRINKAGE CRACKS. ANCHOR SOD APPLICATIONS ON ALL SLOPES GREATER THAN 1:3 WITH BIO-STAPLES. @ 18" O.C. LANDSCAPE CONTRACTOR SHALL ESTABLISH VIGOROUS GROWTH & MOW & MAINTAIN AS DESCRIBED IN WRITTEN SPECIFICATION.

TREE PLANTING DETAIL

NOT TO SCALE

EXCAVATE PLANTING PIT TWICE THE DIAMETER & 4' GREATER THAN THE HEIGHT OF THE BALL. LOOSEN SUBSOIL W/PICK TO ENSURE POROSITY. PLACE 6" OF PLANTING SOIL IN PLANTING PIT & FOOT TAMP. SELECT BEST VIEWING ANGLE, LIFT STOCK BY BALL & PLACE IN PLANTING PIT. SECURE TREE WITH THREE (3) DOUBLE STRAND 1/2 GA. GALVANIZED WIRE; TWIST TO TIGHTEN. PLACE THREE (3) PIECES OF RUBBER HOSE AROUND WIRE AT TREE. DRIVE THREE (3) WOOD STAKES EQUALLY SPACED AROUND TREE AND SECURE GUY WIRES UNWRAP TOP HALF OF ROOT BALL. BACKFILL TO FINISHED GRADE W/BLACK DIRT TOPSOIL & TAMP. FORM 3" SAUCER AROUND STOCK & FILL WITH 3" SHREDDED HARDWOOD MULCH. FLOOD IMMEDIATELY & WATER FREQUENTLY AS DESCRIBED IN WRITTEN SPECIFICATION. PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE.

EVERGREEN PLANTING DETAIL

NOT TO SCALE

EXCAVATE PLANTING PIT TWICE THE DIAMETER & 4' GREATER THAN THE HEIGHT OF THE BALL. LOOSEN SUBSOIL W/PICK TO ENSURE POROSITY. PLACE 6" OF PLANTING SOIL IN PLANTING PIT & FOOT TAMP. SELECT BEST VIEWING ANGLE, LIFT STOCK BY BALL & PLACE IN PLANTING PIT. DRIVE STAKE TO HEIGHT OF LOWEST BRANCH @ TWO SIDES OF TREE. WHERE GRADES EXCEED A 1:4 SLOPE STAKE TREES PERPENDICULAR TO THE SLOPE. UNWRAP TOP HALF OF ROOT BALL & FOLD DOWN. BACKFILL TO FINISHED GRADE WITH BLACK DIRT TOPSOIL & TAMP. SECURE PLANT MATERIAL TO STAKE WITH RUBBER HOSE & GUY WIRE. FORM 3" SAUCER TO ENCIRCLE STOCK & FILL WITH 3" SHREDDED HARDWOOD MULCH. FLOOD IMMEDIATELY & WATER FREQUENTLY AS DESCRIBED IN WRITTEN SPECIFICATION. PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE.

SHRUB PLANTING DETAIL

NOT TO SCALE

EXCAVATE PLANTING PIT TWICE THE DIAMETER OF BALL & 6" GREATER IN DEPTH. LOOSEN SUBSOIL W/PICK TO ENSURE POROSITY. PLACE 6" PLANTING SOIL IN PLANTING PIT & FOOT TAMP. SELECT BEST VIEWING ANGLE, LIFT STOCK BY BALL & PLACE IN PLANTING PIT. UNWRAP TOP HALF OF ROOT BALL. BACKFILL TO FINISHED GRADE WITH PLANTING SOIL & TAMP. FORM 3" SAUCER TO ENCIRCLE STOCK & FILL WITH 3" SHREDDED PINE MULCH. FLOOD IMMEDIATELY & WATER FREQUENTLY AS DESCRIBED IN WRITTEN SPECIFICATION. PLANT SIZES SPECIFIED (18" CROWN) IS THE MINIMUM ACCEPTABLE - PLANT SHRUBS AT 4' ON CENTER.

		SHADE TREE	ORNAMENTAL TREE	EVERGREEN TREE	ORNAMENTAL SHRUB	EVERGREEN SHRUB	GROUND COVER	FLOWERS	PLANT MATERIAL SCHEDULE				
#	STATIC USE	SCIENTIFIC NAME			COMMON NAME		MIN SIZE	SYMBOL	NOTES:				
X	●	ACER RUBRUM 'FRANKSRED' _____			RED SUNSET MAPLE		3½' CAL	MAP	6' MIN. BRANCH HGT.				
X	●	FRAXINUS AMERICANA 'AUTUMN PURPLE' _____			AUTUMN PURPLE WHITE ASH		3½' CAL	ASH	6' MIN. BRANCH HGT.				
X	●	GLEDTISIA TRICANTHOS 'SKYCOLE' _____			SKYLINE HONEYLOCUST		3½' CAL	LOC	6' MIN. BRANCH HGT.				
X	●	CRATAEGUS CRUS-GALLI VAR. INERMIS _____			THORNLESS COCKSPUR HAWTHORN		1½' CAL	HAW	4' MIN. BRANCH HGT.				
X	●	MALUS 'PRAIRIE FIRE' _____			PRAIRIE FIRE CRABAPPLE		1½' CAL	MAL	4' MIN. BRANCH HGT.				
X	●	PICEA PUNGENS 'GLAUCA' _____			COLORADO BLUE SPRUCE		6' HGT.	BSP	SPACE 10' O.C.				
X	●	PINUS STROBUS _____			EASTERN WHITE PINE		6' HGT.	PIN	SPACE 10' O.C.				
X	●	CORNUS ALBA 'BAILHALO' _____			IVORY HALO DOGWOOD		24' CRN	DOG	SPACE 4' O.C.				
X	●	POTENTILLA FRUTICOSA 'GOLDFINGER' _____			GOLDFINGER BUSH CINQUEFOIL		24' CRN	POT	SPACE 4' O.C.				
X	●	ROSA 'MEIPITAC' _____			CAREFREE WONDER SHRUB ROSE		24' CRN	ROS	SPACE 4' O.C.				
X	●	SYRINGA MEYERI 'PALIBIN' _____			DWARF KOREAN LILAC		24' CRN	LIL	SPACE 4' O.C.				
X	●	JUNIPERUS CHINENSIS 'SEA GREEN' _____			SEA GREEN JUNIPER		24' CRN	JUN	SPACE 4' O.C.				
X	●	TAXUS MEDIA 'NIGRA' _____			NIGRA YEW		24' CRN	YEW	SPACE 4' O.C.				
X	●	THUJA OCCIDENTALIS 'HOLMSTRUP' _____			HOLMSTRUP ARBORVITAE		36' CRN	ARB	SPACE 4' O.C.				
X	●	COREOPSIS GRANDIFLORA 'SUNRAY' _____			SUNRAY COREOPSIS		QT. POT	SUN	SPACE 18" O.C.				
X	●	ECHINACEA PURPUREA _____			PURPLE CONEFLOWER		QT. POT	PUR	SPACE 18" O.C.				
X	●	LIATRIS SPICATA 'KOBOLD' _____			KOBOLD GREYFEATHER		QT. POT	KOB	SPACE 18" O.C.				
X	●	RUDBECKIA FULGIDA 'GOLDSTUM' _____			BLACK EYED SUSAN		QT. POT	BES	SPACE 18" O.C.				
X	●	POA PRATENSIS & FINE-BLADE FESCUE BLEDED MIXTURE _____			LAWN SOD								

PARK LAFAYETTE

Corner of Prospect & Lafayette
Milwaukee, WI

Detailed Plan Development

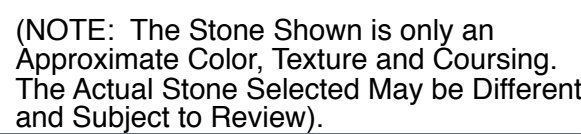
**Landscape Plan
DPD-9**

DEVELOPER
RENAISSANT DEVELOPMENT GROUP, LLC

ARCHITECTS
PAPPAGEORGE/HAYMES Ltd.
ARCHITECTS

October 24, 2005
P/H No. 051624

Prospect Avenue Elevation DPD-10





Lafayette Place Elevation

0 5' 10' 25' Note: Grade Located at Western Corner of Property

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Northeast Elevation

0 5' 10' 25' Note: Grade Located at Western Corner of Property

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East Elevation

0 5' 10' 25' Note: Grade Located at Western Corner of Property

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PARK LAFAYETTE

Corner of Prospect & Lafayette
Milwaukee, WI

Detailed Plan Development

3D Perspective from
Lafayette & Summit
DPD-15

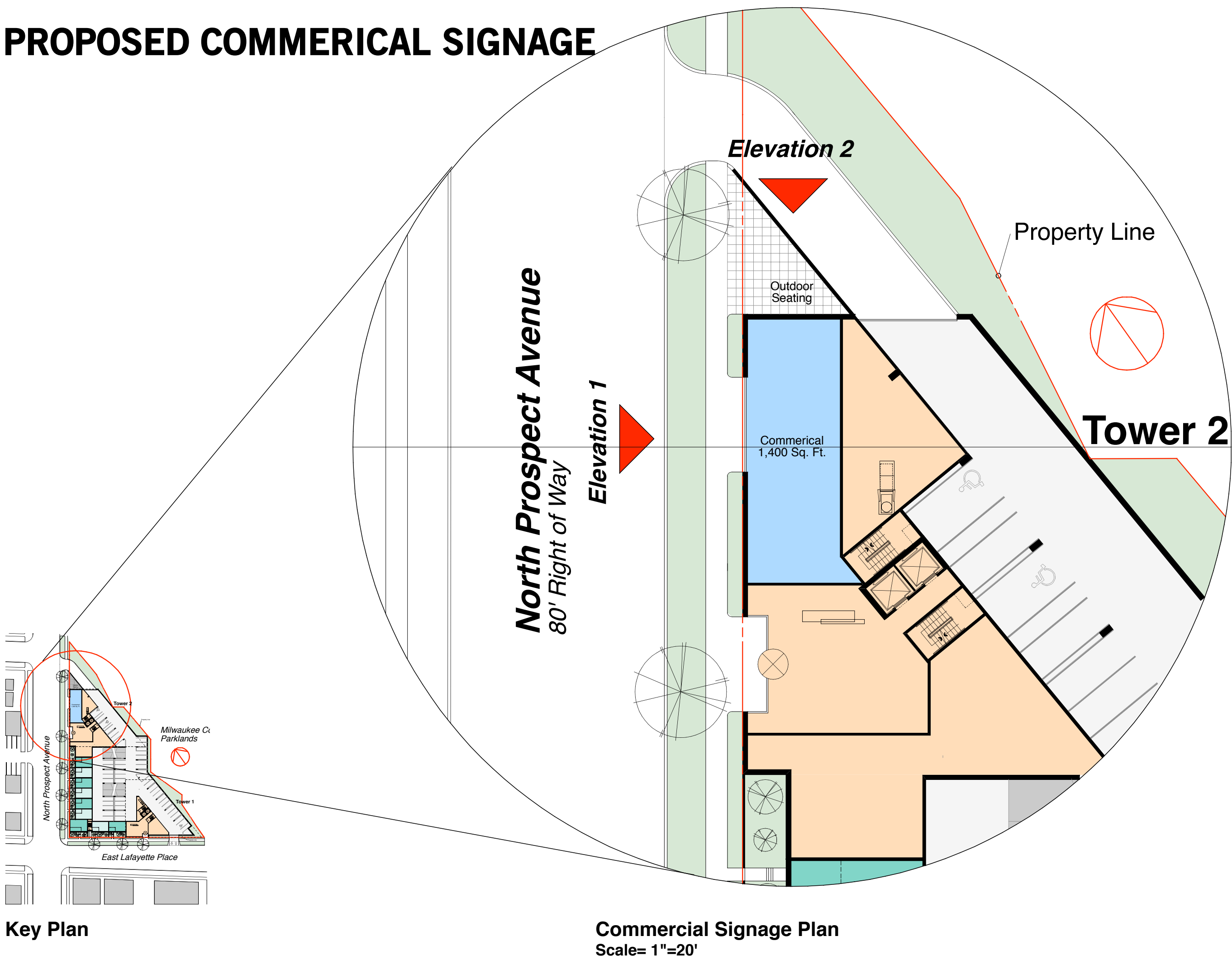


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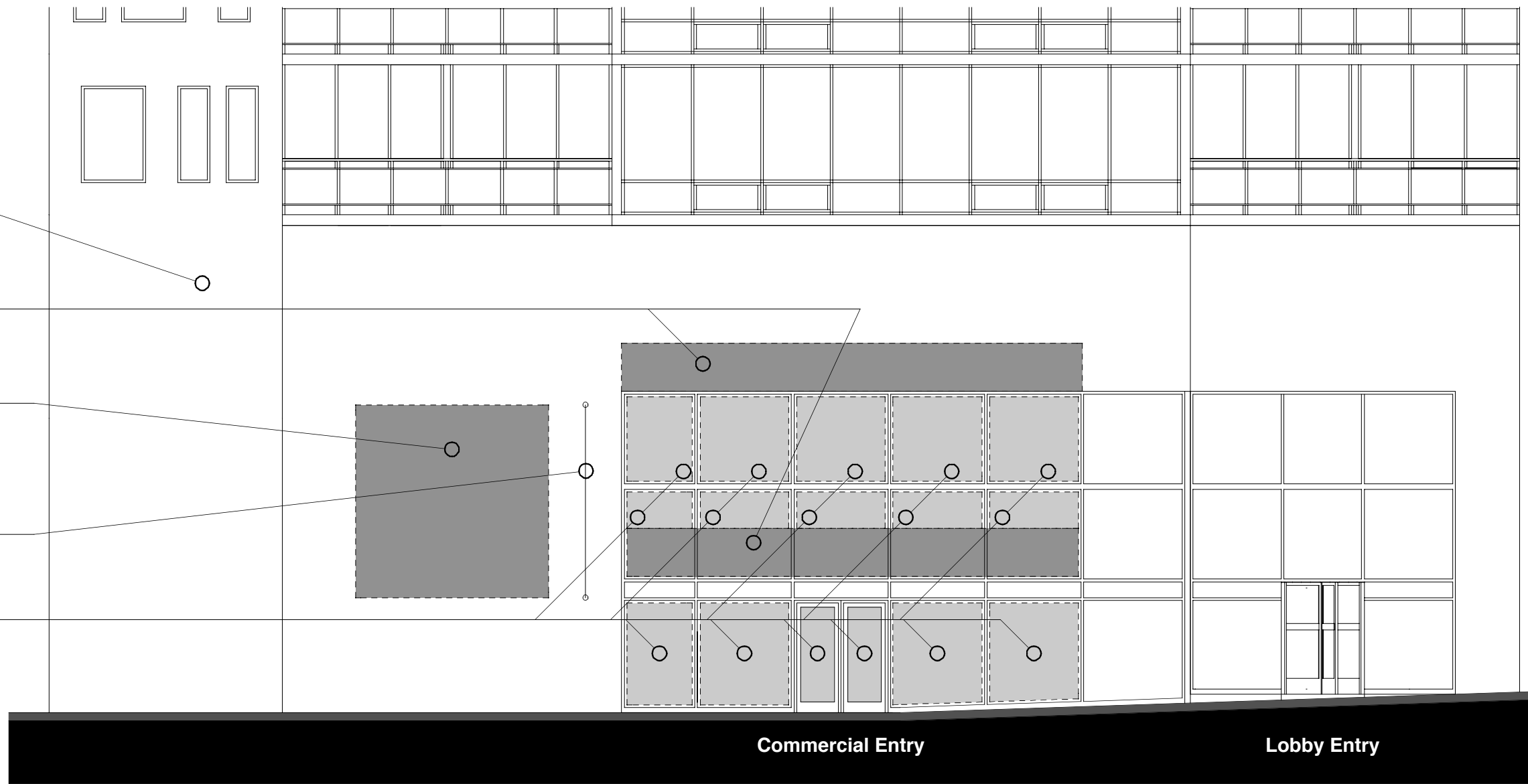
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PROPOSED COMMERCIAL SIGNAGE



Key Plan

Commercial Signage Plan
Scale= 1"=20'



Elevation 1

Primary Commercial Storefront Entry - North Prospect Avenue
Scale: 1/8"=1'-0"



Storefront Signage Examples

Area of Visual Merchandizing Guidelines

The area of visual merchandising runs the full width of the storefront and 5'-0" into the leased premises. It includes all display windows and retail graphics, display fixtures, signs, materials, finishes, color and lighting fixtures within the area.

Sale and temporary event signs should be behind the zone, and no sale and temporary signs shall be taped or suction cupped onto the display windows, or hang from the storefront ceiling.

The use of the following materials is discouraged within the merchandise zone.

- Slatewall or slatwall fixture systems
- Stucco finish (unless approved by Landlord in writing)
- Wood grain plastic laminates
- Metal laminate wallboard
- Plastic laminate
- Simulated brick, stone or wood
- Cork or cork tile
- Plywood paneling or texture 1-11 plywood
- Carpeting on walls
- Pegboard walls and pegboard fixture
- Wood shingles or shakes
- Field painted aluminum
- Metal shelving
- Mirror walls

Cash wrap counters are discouraged in the merchandising zone.

No fluorescent lighting will be permitted within the merchandising zone.

Storefront Lighting Standards

Lighting must be tasteful and designed to enhance your storefront and the retail streetscape.

- Lighting must be appropriate to the building and must complement the architecture.
- Lighting must be stationary and not moving or animated in any form.
- Visible suspended fluorescent tubes will NOT be approved.
- Visible suspended neon tubes are NOT encouraged.

Signage Guidelines

Encouraged:

- Cut metal letterforms, freestanding or pin-mounted.
- Cut metal logotypes, applied or pin-mounted.
- Wall mounted metal or porcelain enamel plaques.
- Stencil cut metal, visible from one side.
- Sandblasted metal or glass.
- Metal channel letters with halo illumination.

- Screenprinted logotypes on canvas awnings.
- Screenprinted logotypes on canvas banners.

- Clean, simple, minimally visible attachments.
- Hardware matching adjacent sign finishes, use mounting hardware that will NOT rust.

- Satin finished metals rather than highly polished finishes.

Discouraged:

- Plastic signfaces or signboxes.
- Internally illuminated plastic letters or signfaces.
- Formed or injection molded plastic signs.
- Paper or nylon signs or banners.
- Animated, flashing, blinking, rotating or audible signs.
- Signs with exposed lamps or tubing.
- Advertising pacards, banners, pennants, sale or other temporary signs.
- Signs projecting beyond lease line.

Signage Guidelines Continued

Pin-mounted Letterforms Encouraged:

Pin-mounted letterforms on a colored plaque.

Pin-mounted letterforms freestanding of a satin finished natural metal.

Pin-mounted letterforms or prismatic letterforms mounted off the face of the storefront. Metals for mounting pins that will rust in the Milwaukee weather which will create unsightly streaks on the exterior finish materials of the building are NOT Allowed.

Graphics on Glass:

Graphics on the interior surface of storefront glass should be tasteful and minimal. Signage in this format is pedestrian friendly and smaller graphics frequently draw the viewer closer to a window display thereby engaging them in the merchandising zone.

This may serve as the only storefront identification in subtle form.

May potentially create an interesting play of light and shadows.

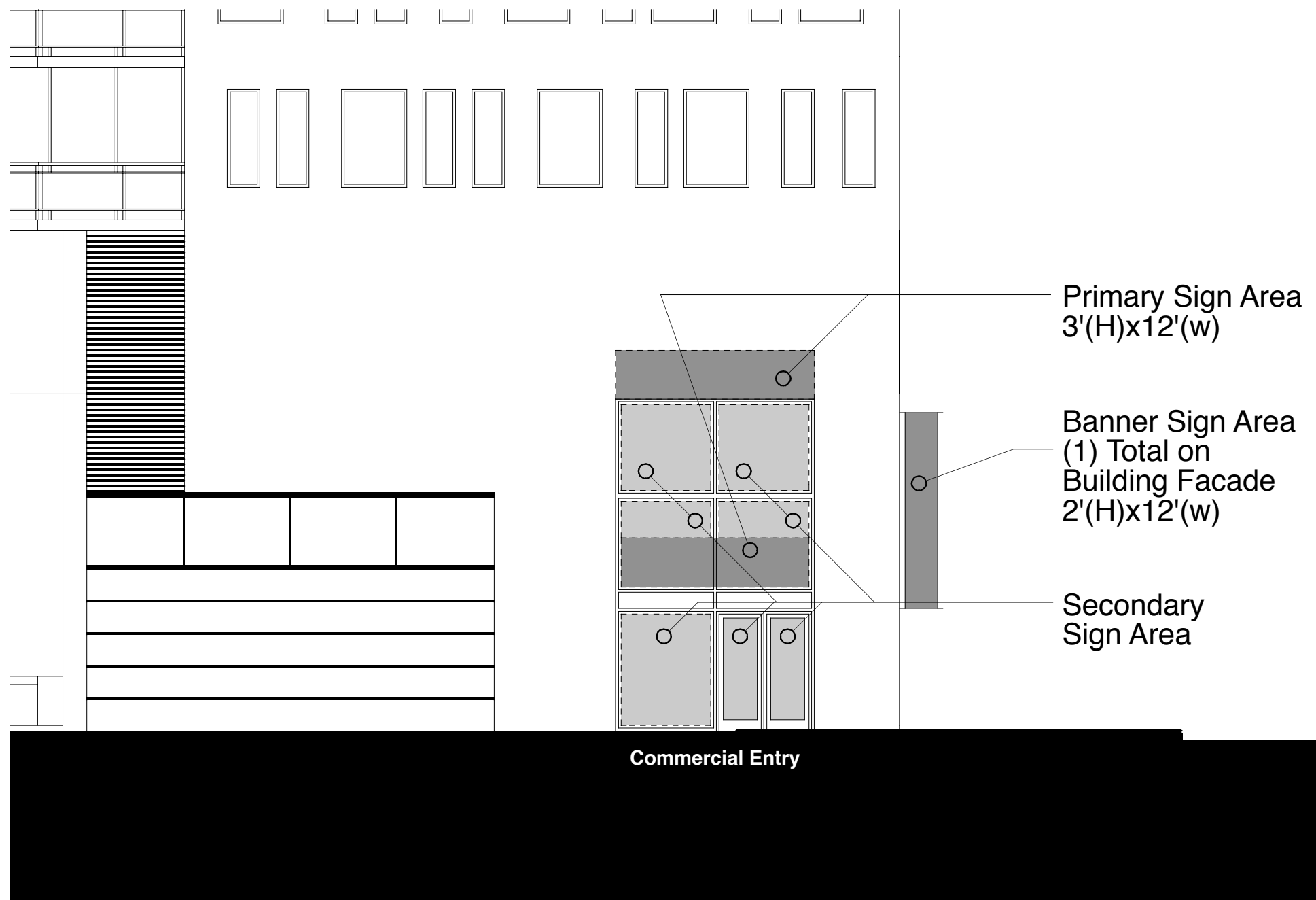
May serve as the only storefront identification in a very visible position on the storefront windows.

The larger scale and repetition of these graphics on glass are discouraged.

Encouraged Signage:

Halo lit letterforms pin-mounted off the building facade. This style of signage may be selectively lit with a secondary light source.

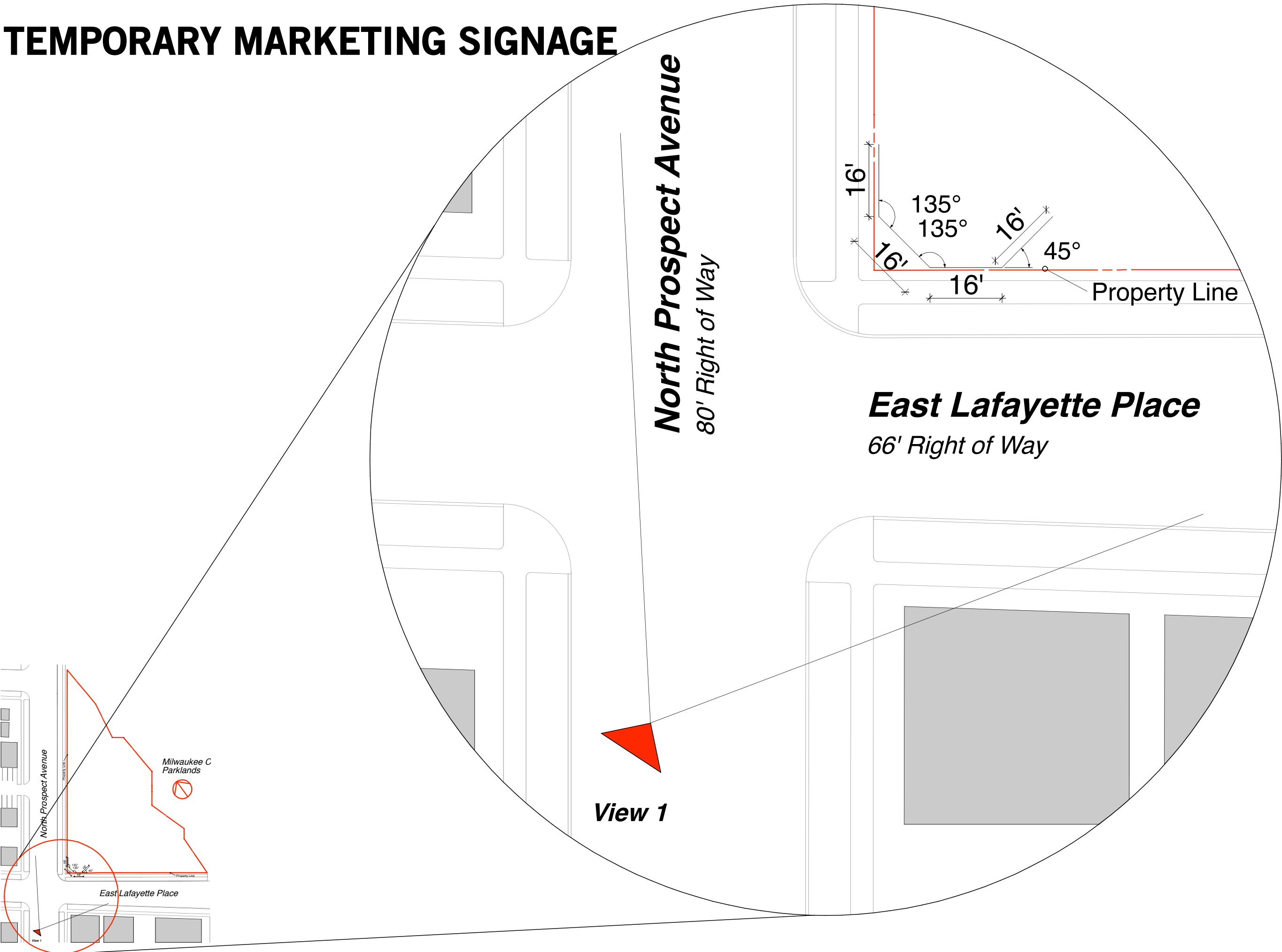
Stencil cut letters or numerals in a metal sign band add a tactile quality to a storefront.



Elevation 2

Secondary Commercial Entry - From North Prospect Avenue
Scale: 1/8"=1'-0"

TEMPORARY MARKETING SIGNAGE



View 1 - Temporary Marketing Signage Perspective

PARK LAFAYETTE

Corner of Prospect & Lafayette
Milwaukee, WI

Detailed Plan Development

Temporary Marketing Signage
DPD-17



Unfolded Temporary Marketing Signage Elevation

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