



PETITION FOR A SPECIAL PRIVILEGE

ccl-246 (7/15)

SP 2719

CCF _____

- New application \$250.00 Fee**
- Amendment to add items to Special Privilege # _____ (\$125.00 Fee)**
- Amendment to remove items from Special Privilege # _____ (No fee)**
- Amendment for change of ownership for Special Privilege # _____ (No fee)**

- File petition with the Department of Public Works, Attention: Special Privileges, 841 North Broadway, Room 919, Milwaukee, WI 53202.
- Fee must be submitted with petition. Checks should be made payable to the City of Milwaukee.
- Questions? Call 414-286-2454

To the Honorable, The Common Council of the City of Milwaukee:

The Licensee DoMUS Apartments LLC
(Name of Individual, Partners, Corporation or LLC)

being the owners of the following property known by street address as 495 E Erie Street, Milwaukee, WI 53202
(Street Address and Zip Code)

in the 4th Aldermanic District respectfully petition the Common Council of the City of Milwaukee according to the provisions of Section 66.0425 of the Wisconsin Statutes, that the following privilege be granted:

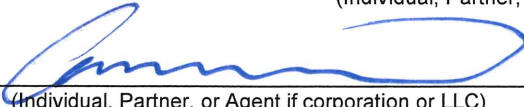
Description of Special Privilege: Allow barrier free access ramp and associated concrete walls to occupy the right of way along Milwaukee Street extension.

Of which a plan or sketch is herewith submitted. Petitioner agrees to comply with all laws and all ordinances of the City of Milwaukee, to abide by any order or resolution of the Common Council affecting this privilege, to be primarily liable for damages to person or property by reason of the granting of such privilege, pay annual compensation as provided by law in the sum to be fixed by the proper city officers, and to file and keep current throughout the existence of the privilege, a certificate of insurance indicating applicant holds a public liability policy in at least the sums of \$25,000.00/\$50,000.00 bodily injury, and \$10,000.00 property damage, insuring the city against any liability that might arise by reason of the privilege.

Petitioner further agrees to remove said privilege whenever public necessity so requires when so ordered upon resolution adopted by the Common Council or other legislative body.

Should this special privilege be discontinued for any reason whatsoever, petitioner agrees to remove all construction work executed pursuant to this special privilege, to restore to its former condition and to the approval of the Commissioner of Public Works, any curb, pavement, or other public improvement which was removed, changed or disturbed by reason of the granting of this special privilege. Petitioner further agrees not to contest the validity of Section 66.0425 of the Wisconsin Statutes, or the legality of this special privilege in any way.

Name (Please Print): Andy Wiegman
(Individual, Partner, or Agent if corporation or LLC as shown above)

Signature:  Date: 11/9/15
(Individual, Partner, or Agent if corporation or LLC)

Corporation or LLC Name: DoMUS Apartments LLC
(If applicable, as shown above)

Mailing Address (If different than property address above): c/o Mandel Group Inc., 301 E Erie St., Milwaukee WI 53202

(OVER)

City: Milwaukee State: WI Zip: 53202

Telephone: 414.614.6780 E-Mail: awiegman@mandelgroup.com

Architect/Engineer/Contractor (If Applicable)

Name: N/A

Address: _____

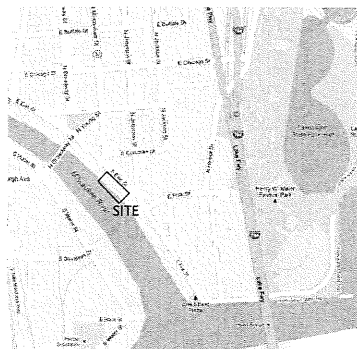
City: _____ State: _____ Zip: _____

Telephone: _____ E-Mail: _____

IMPORTANT NOTICE FOR CUSTOMERS PAYING BY CHECK

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account or to process the payment as a check transaction.

VICINITY MAP



LEGEND

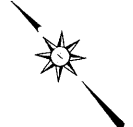
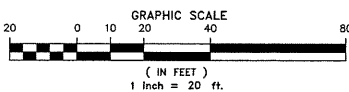
● INDICATES FOUND 1" IRON PIPE	○ WALL INDICATOR VALVE	▲ WETLANDS FLAG
○ INDICATES SET 1" IRON PIPE	⌘ POST INDICATOR VALVE	▲ MARSH
⊕ INDICATES FOUND CHEESED CROSS	⌘ LIGHT POLE	▲ FLAGPOLE
○ SANITARY MANHOLE	● SPOT/YARD LIGHT	▲ PARKING METER
⊕ SANITARY CLEANOUT OR VENT	⌘ UTILITY POLE	▲ SIGN
● U.S. MANHOLE	⌘ GUY WIRE	▲ MAILBOX
○ UNKNOWN MANHOLE	⌘ ELECTRIC MANHOLE	▲ RAILROAD CROSSING SIGNAL
○ STORM MANHOLE	⌘ ELECTRIC PEDESTAL	▲ HANDICAP SPACE
○ INLET (ROUND)	⌘ ELECTRIC METER	▲ CONIFEROUS TREE
⊕ INLET (SQUARE)	⌘ TELEPHONE MANHOLE	○ DECIDUOUS TREE
⊕ CURB INLET	⌘ TELEPHONE PEDESTAL	
○ STORM SEWER END SECTION	⌘ CABLE PEDESTAL	○ SANITARY SEWER
▲ GAS VALVE	⌘ CONTROL BOX	○ WADLINE
○ GAS METER	⌘ FIBER OPTIC SIGN	○ MARKED GAS MAIN
○ WATER VALVE	⌘ TRAFFIC LIGHT	○ MARKED ELECTRIC OVERHEAD WIRE
⌘ HYDRANT	⌘ COMMUNICATION MANHOLE	○ MARKED TELEPHONE
○ WATER MANHOLE	⌘ BOLLARD	○ MARKED CABLE TV LINE
○ WATER SERVICE CURB STOP	⌘ WELL HEAD	○ MARKED FIBER OPTIC
⌘ WELL HEAD	⌘ STAND PIPE	○ FENCE

I Certify that I have surveyed the above described property (Property), and the above map is correct to the best of my professional knowledge and belief and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements and roadways and visible encroachments, if any. This survey is made for the exclusive use of the present owners of the Property, and also those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

Date: March 20, 2014
 Revised: September 18, 2014
 Revised: January 14, 2015
 Revised: February 4, 2015
 Revised: May 21, 2015



Donald C. Chaput
 Donald C. Chaput
 Registered Land Surveyor
 Registration Number S-1316



PLAT OF SURVEY

CLIENT: Mandel Riverfront Holdings III LLC
 SITE ADDRESS: 401 East Erie Street, City of Milwaukee, Milwaukee County, Wisconsin.

LEGAL DESCRIPTION: Lots 1 to 10 inclusive, together with the East 1/2 of vacated North Milwaukee Street adjoining Lot 1 on the West, in Block 106 in Survey and Subdivision of Lots 1 and 2 of Section 33, Town 7 North, Range 22 East, City of Milwaukee, County of Milwaukee, State of Wisconsin.

Excepting therefrom proposed North Milwaukee Street dedication.
 BASIS OF BEARINGS: Bearings are referenced to the South line of East Erie Street, which is assumed to bear South 48°16'44" East.

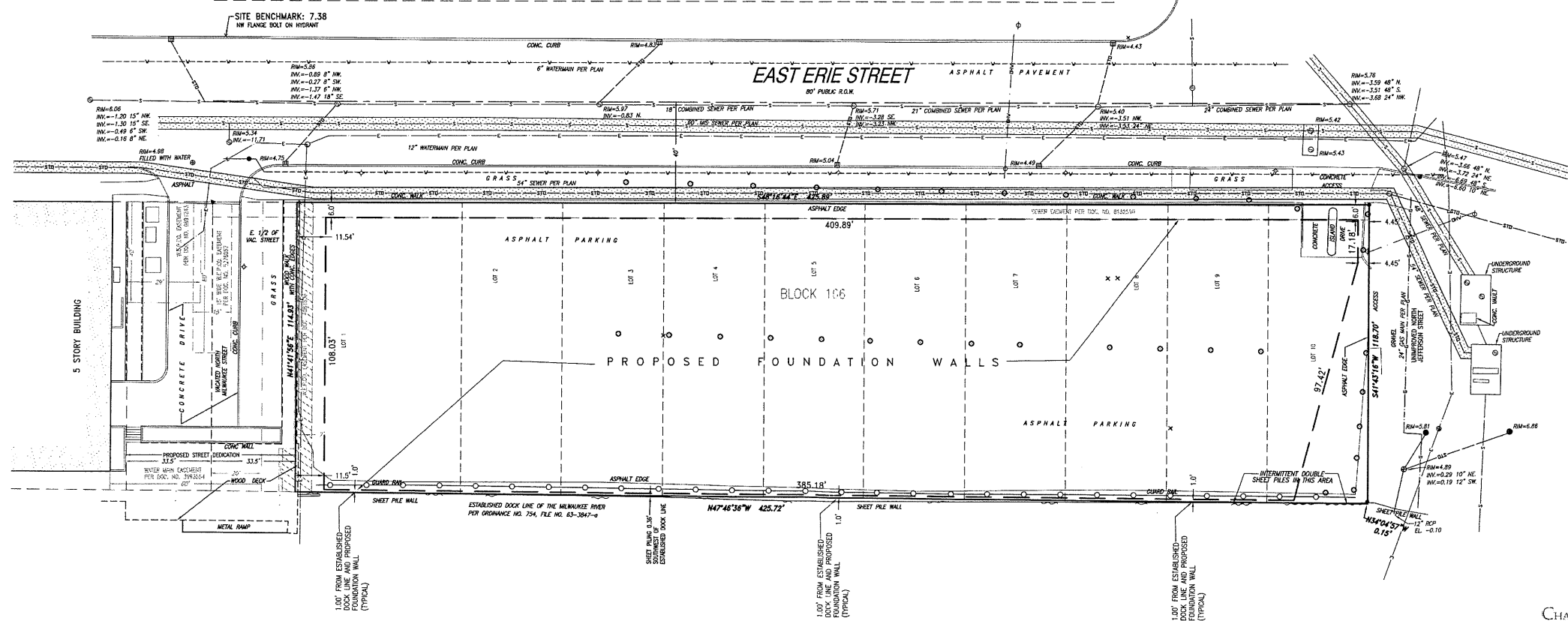
PARKING SPACES: There are 149 regular parking spaces and 0 handicap space marked on this site.

FLOOD NOTE: According to the flood insurance rate map of the County of Milwaukee, Community Panel No. 55079C0094E, effective date of September 26, 2008, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

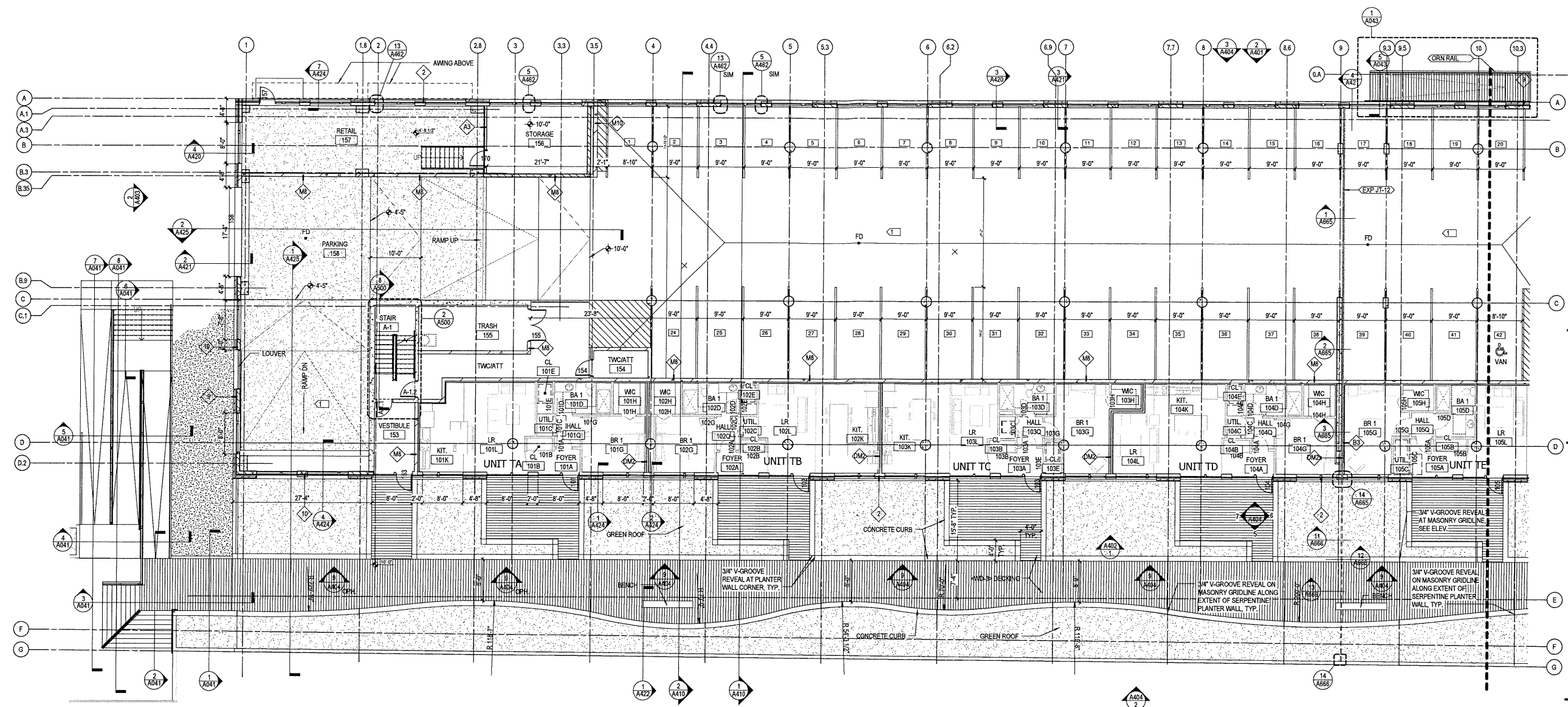
MUNICIPAL ZONING: Site is zoned IM (Mixed District).
 Front setback: 0 feet Side setback: 0 feet Rear setback: 0 feet Maximum building height: 85 feet

LAND AREA: The Land Area of the subject property is 53,585 square feet or 1.23 acres.

NOTES: Elevations are City of Milwaukee Datum. Conversion from NGVD = 580.60
 1% chance flood elevation per FEMA Flood Insurance Study is 3.7 City of Milwaukee Datum



CHAPUT LAND SURVEYS LLC
 204 W. FLORIDA STREET
 MILWAUKEE, WI 53204
 414-251-8068
 www.chaputland.com
 Drawing No. 1256-tjn/gbh



1 FIRST LEVEL FLOOR PLAN
 1/8" = 1'-0"

DoMUS
 401 E. ERIE STREET
 MILWAUKEE, WI

NOT FOR
 CONSTRUCTION

- FLOOR PLAN KEY NOTES
- 1 PROVIDE TRAFFIC MEMBRANE <TBM-1>
 - 2 PROVIDE PEDESTRIAN TRAFFIC WATERPROOFING <TBM-2>

- FLOOR PLAN GENERAL NOTES
- A. ALL INTERIOR PARTITIONS SHALL BE "A3", UNO.
 - B. REFER TO SHEET A013 FOR DETAIL OF TYPICAL DOOR JAMB AT ABUTTING WALLS OR PARTITIONS.
 - C. ALL DIMENSIONS ARE CLEAR FROM THE FACE OF FINISHED WALL/PARTITION EXCEPT @ DEMISING WALL WHERE THEY ARE MEASURED FROM CENTER OF WALL.
 - D. ALL PIPING, CONDUITS AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN DRYWALL FURRING AS REQUIRED IN FINISHED AREAS WHETHER SHOWN ON DRAWINGS OR NOT, UNO.
 - E. SEE SHEET A011 FOR ALL DEMISING WALL TYPES. SEE SHEET S003 FOR SHEAR WALL REQUIREMENTS.
 - F. ALL MECHANICAL EQUIPMENT PADS TO BE 4" HIGH UNO. LENGTH AND WIDTH PADS TO BE VERIFIED BY CONTRACTOR.
 - G. SEE SHEETS A220-A236 FOR ENLARGED UNIT PLANS. (3) UNITS TO BE ANSI TYPE "A" UNITS. ALL OTHER UNITS TO BE ANSI TYPE "B".

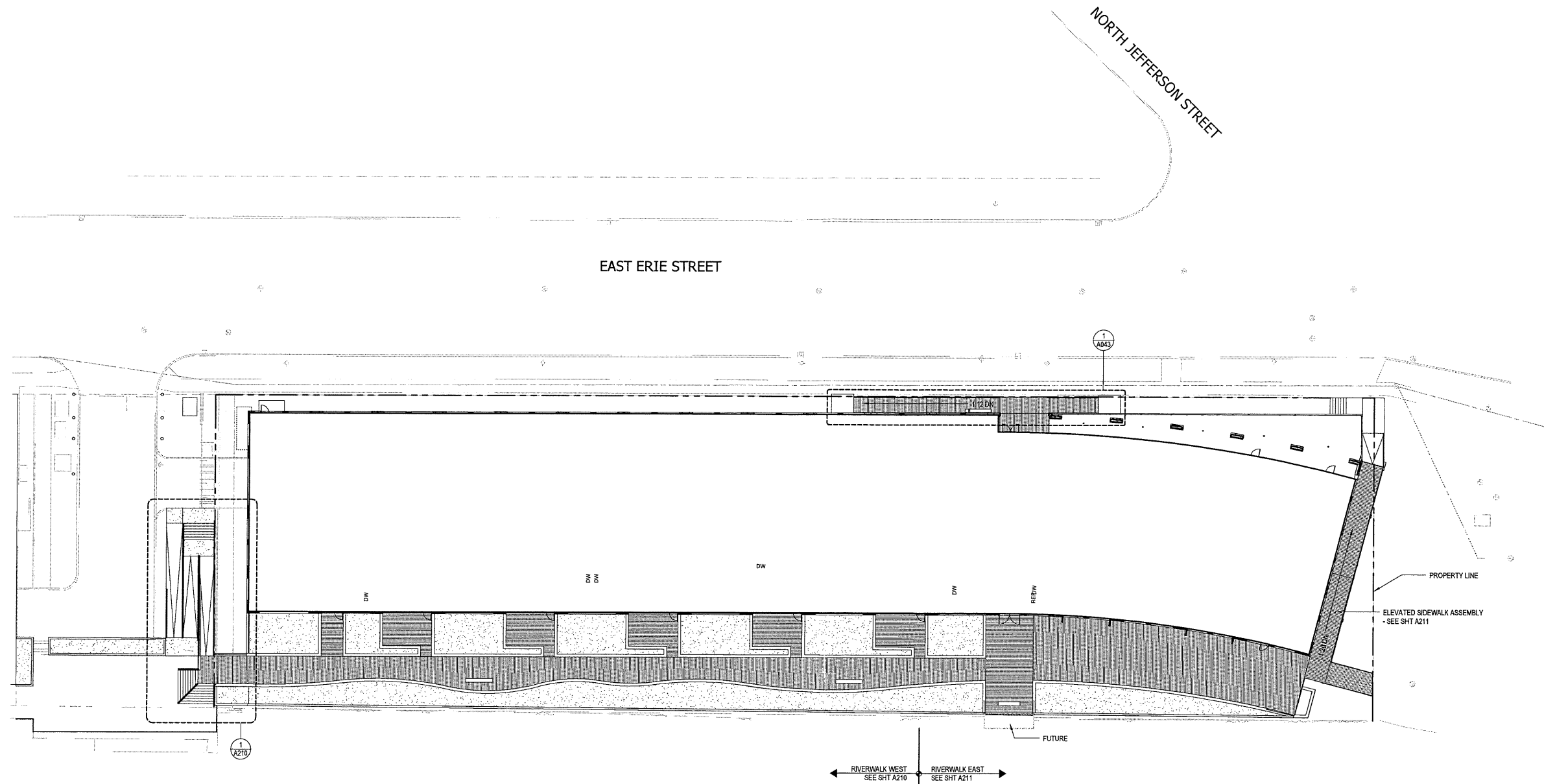
HGA NO: 2588-010-01
 FIRST LEVEL
 FLOOR PLAN
 - WEST

FINAL GMP PACKAGE
 A210

FINAL GMP PACKAGE



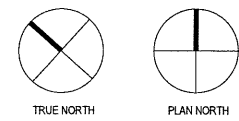
SEPTEMBER 9, 2015



DOMUS
401 E. ERIE STREET
MILWAUKEE, WI

NOT FOR
CONSTRUCTION

MILWAUKEE RIVER



1 SITE PLAN
1/8" = 1'-0"

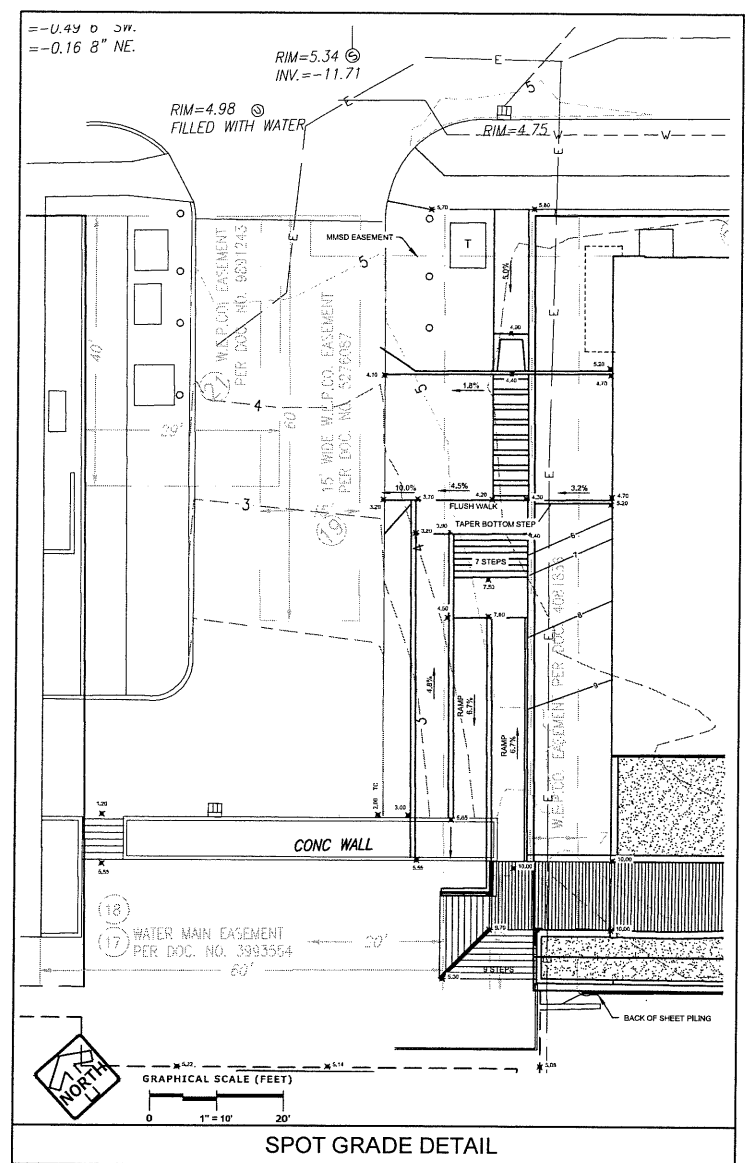
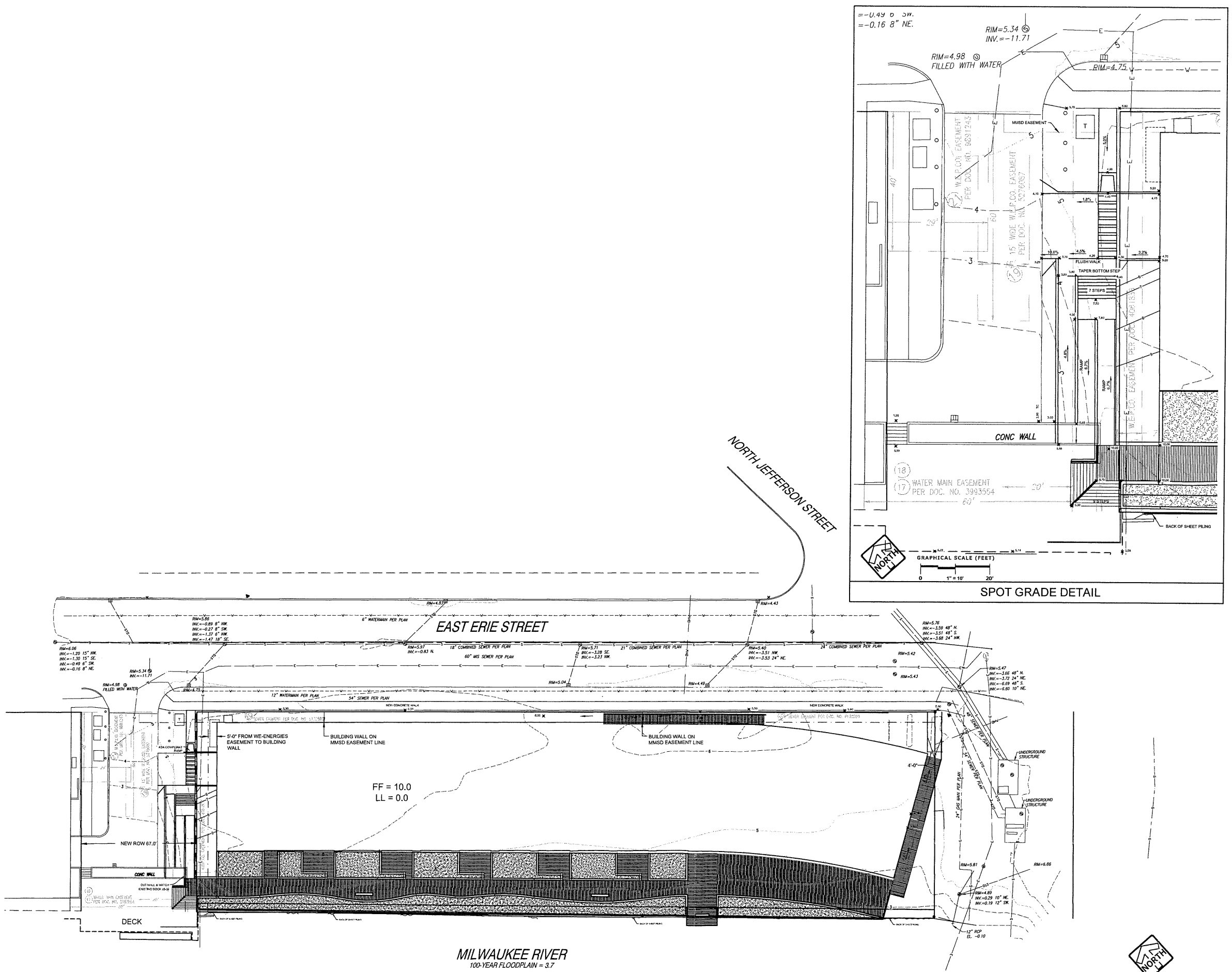
HGA NO: 2588-010-01

ARCHITECTURAL
SITE PLAN

FINAL GMP PACKAGE

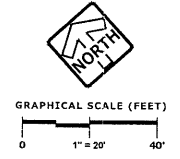
FINAL GMP PACKAGE

A040



MILWAUKEE RIVER
100-YEAR FLOODPLAIN = 3.7

PLAN PREPARED BY:
PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING



SEPTEMBER 9, 2015

DoMUS
401 E. ERIE STREET
MILWAUKEE, WI

NOT FOR
CONSTRUCTION

HGA NO: 2588-010-01
SPOT GRADE
PLAN

FINAL GMP PACKAGE
C101

FINAL GMP PACKAGE