

DETAILED PLAN PROJECT DESCRIPTION AND OWNER'S STATEMENT OF INTENT

As described in the Historic Designation Study Report, this collection of buildings has provided housing for Milwaukee's senior population since the late 19th Century. In Section VIII of the report, which describes the buildings history, it is noted that the original proscripton methodology for residency had changed during the institution's first century of existence as follows:

"In the Twentieth Century, most of these proscriptions fell by the wayside for the few institutions, which survived after the advent of the modern commercial nursing or retirement home and the Social Security and Medicare systems."

With the beginning of the 21st Century, even greater expectations have developed in the ever-evolving business of senior living. Successful ventures in today's senior marketplace are commonly called Continuing Care Retirement Communities. Such facilities include accommodations for residents to live independently in generous apartments with modern conveniences; or in smaller apartments where some assistance is provided in daily living; or in residential feeling environments that provide 24-hour care for those suffering with memory impairments or for those who require 24-hour nursing care. Typically, all these elements are tied together with a common area that provides social activity and dining spaces that both create and enhance a feeling of community and security.

The Milwaukee Protestant Home Campus is one such institution that is in the process of repositioning itself as a Continuing Care Retirement Community. Step One was taken two years ago with the renaming of the campus as Eastcastle Place and the opening of Watertower Assisted Living. Step Two will be a major renovation of the balance of the campus.

EXISTING vs. NEW: SCOPE OF REPOSITIONING

The existing campus today includes a 96 unit, 4-story historic building built in the late 1800's and early 1900's along Downer Avenue. The units are dormitory style with showers down the hall from the units. Some units have toilets; some do not. This building is proposed to be gutted and renovated into 23 new one and two bedroom units. Existing features such as fireplaces and other built-ins will remain in place.

To the south is Watertower Assisted Living. This addition wrapped around the old Mabett Addition from the 1970's and contains a state-of-the-art 4-story, 52 unit, Assisted Living facility. 12 underground parking spaces were added at that time at the basement level as well as a fitness center.

Another building remaining on site is called Bradford Terrace. This 5-story building currently houses 36 one and two bedroom apartments and 54 skilled nursing beds; 16 are

double occupancy rooms. Under the new development, the building will have 22 apartments remaining. The third floor will be remodeled from apartments into a new 18 unit CBRF for Memory Support. The 4th and 5th floors, Skilled Nursing, will be renovated into a 40-bed facility with all private rooms including new accessible rooms. A portion of the first floor will be remodeled into office space to support the campus.

The last remaining building at the center of the site is currently a 3-story building called Yale. It currently houses a temporary CBRF on the second floor where a 47 bed Skilled Nursing Facility was located. The SNF beds were transferred to the Owner's new Mequon campus. There are also 28 units in that building of which 20 do not have bathing facilities. Yale will be torn down and replaced with a state-of-the-art Independent Living apartment building for the elderly. The new 4-story will house 59 one and two bedroom units and a 17,800 s.f. Commons area for resident activities and dining. Offices and other support areas such as the kitchen will also be located in the Commons. The new structure will contain a basement area providing 38 cars of parking, a new laundry facility and other employee service areas.

The new building will bring a front door to the community. Currently, the historic building, Bradford Terrace and Watertower, all have separate entrances. Watertower will keep its separate entrance, Bradford Terrace, the new structure, and the Historic building will share a new entrance with porte cochere on Bradford Avenue, directly opposite from Summit Avenue. Bradford Avenue will become the front of the building in lieu of a service drive for the loading dock and trash service. Currently, the existing setback on Bradford Avenue at Bradford Terrace is 14'-2". We plan to maintain this setback with our new construction at 15'-0".

The existing parking structure along Prospect Avenue and Bradford Avenue will remain. Currently there are 64 spaces on the top of the deck (at grade) and 62 spaces below. There are 13 additional parking spaces on the south end of the site. This area will become the new service entrance (in lieu of being on Bradford Avenue as now exists). Five new spaces are proposed at the new entry.

SIGNAGE

Existing signage on Downer Avenue, Lake Drive and Watertower will remain in place and new matching signs will be located at the new entrance; see sign photo sheet in the enclosed package and site plan for new sign location. Signs will be lighted with spotlights similar to existing signage as shown in the photos.

EXHIBIT A

File No. 031238

ZND/CC

ALTA / ACSM LAND TITLE SURVEY

KNOWN AS 2449 NORTH DOWNER AVENUE, CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN

PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION; THENCE SOUTH 00°08'00" WEST ALONG THE EAST LINE OF SAID 1/4 SECTION 40.00 FEET TO A POINT; THENCE SOUTH 89°44'00" WEST 40.00 FEET TO A POINT ON THE WEST LINE OF NORTH DOWNER AVENUE AND THE POINT OF BEGINNING OF THE LANDS TO BE DESCRIBED; THENCE SOUTH 00°08'00" WEST ALONG SAID WEST LINE 425.18 FEET TO A POINT ON THE NORTHWESTERLY LINE OF NORTH LAKE DRIVE; THENCE SOUTH 34°36'00" WEST ALONG SAID NORTHWESTERLY LINE 144.84 FEET TO A POINT; THENCE NORTH 55°15'00" WEST 664.24 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF NORTH PROSPECT AVENUE; THENCE NORTH 34°36'00" EAST ALONG SAID SOUTHEASTERLY LINE 158.55 FEET TO A POINT; THENCE NORTH 62°27'12" EAST 38.81 FEET TO A POINT; THENCE NORTH 76°01'48" EAST 38.81 FEET TO A POINT ON THE SOUTH LINE OF EAST BRADFORD AVENUE; THENCE NORTH 89°44'00" EAST ALONG SAID SOUTH LINE 475.37 FEET TO THE POINT OF BEGINNING.

SEPTEMBER 30, 2003

EASTCASTLE PLACE

SURVEY NO. 128271-WN

NOTES:

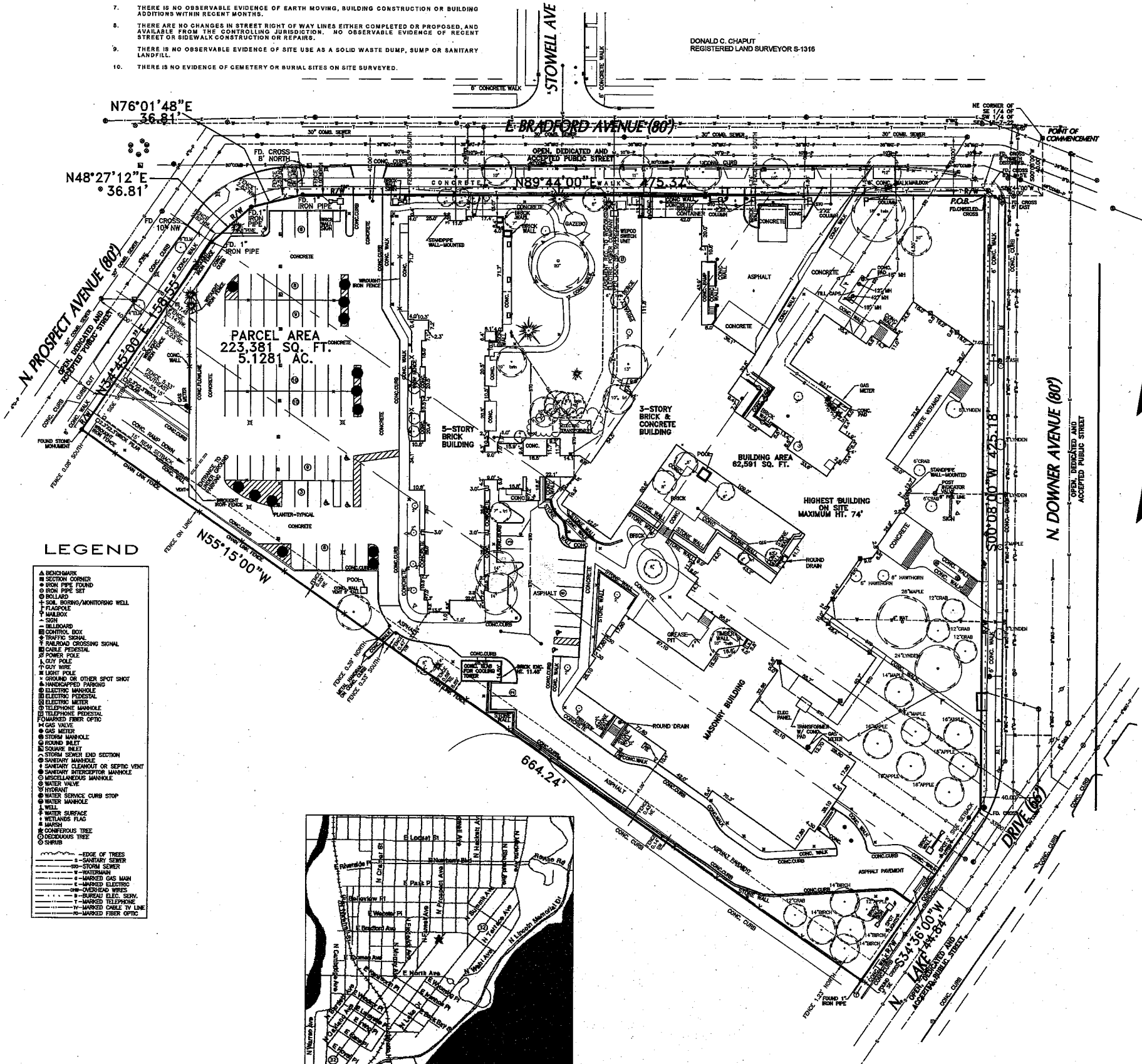
- BEARINGS ARE BASED ON THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 15 WHICH IS ASSUMED TO BEAR SOUTH 00°08'00" WEST
- THIS SURVEY WAS PREPARED BASED ON FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT NO. LP 4715973, EFFECTIVE DATE OF OCTOBER 21, 1999, WHICH LISTS THE FOLLOWING EASEMENTS AND/OR RESTRICTIONS:
 - RESOLUTION DESIGNATING THE MILWAUKEE PROTESTANT HOME AS A HISTORIC STRUCTURE RECORDED ON APRIL 28, 1964 IN REEL 1033, IMAGE 1056, AS DOCUMENT NO. 8711489. USE RESTRICTION - CANNOT BE PLOTTED
 - EASEMENT RECORDED ON APRIL 16, 1987 IN REEL 2072, IMAGE 102, AS DOCUMENT NO. 8044629. AFFECTS SITE BY LOCATION - SHOWN
 - EASEMENT RECORDED ON AUGUST 10, 1982 IN REEL 5, IMAGE 353, AS DOCUMENT NO. 3997489. SAID EASEMENT WAS RELEASED BY THE WISCONSIN ELECTRIC POWER COMPANY BY A RELEASE RECORDED ON SEPTEMBER 29, 1997 IN REEL 2145, IMAGE 1748, AS DOCUMENT NO. 8109702. DOES NOT AFFECT SITE BY LOCATION - GENERAL IN NATURE, CANNOT BE PLOTTED
- ACCORDING TO FLOOD INSURANCE RATE MAP OF THE CITY OF MILWAUKEE, COMMUNITY PANEL NO. 850278 0048, EFFECTIVE DATE OF MARCH 1, 1982, THIS SITE FALLS IN ZONE C (AREAS OF MINIMAL FLOODING)
- ELEVATIONS REFER TO THE CITY OF MILWAUKEE DATUM
- THERE ARE 72 REGULAR AND 5 HANDICAPPED SURFACE PARKING SPACES MARKED ON THIS SITE. SITE IS ALSO SERVED BY UNDERGROUND PARKING GARAGE
- THE BASIC ZONING INFORMATION LISTED BELOW IS TAKEN FROM MUNICIPAL CODES AND DOES NOT REFLECT ALL REGULATIONS THAT MAY APPLY - SITE IS ZONED TL
FRONT SETBACK - AVERAGE OF ADJOINING STRUCTURES
SIDEYARD SETBACK - 3'
REAR YARD SETBACK - 15'
MAXIMUM HEIGHT - 85'
- THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- THERE ARE NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- THERE IS NO EVIDENCE OF CEMETERY OR BURIAL SITES ON SITE SURVEYED.

SURVEYOR'S CERTIFICATE

TO: WELLS FARGO BANK WISCONSIN, NATIONAL ASSOCIATION AS MASTER TRUSTEE, ITS SUCCESSORS AND ASSIGNS AS WELL AS LASALLE BANK NATIONAL ASSOCIATION, FIRST AMERICAN TITLE INSURANCE COMPANY AND EASTCASTLE PLACE.

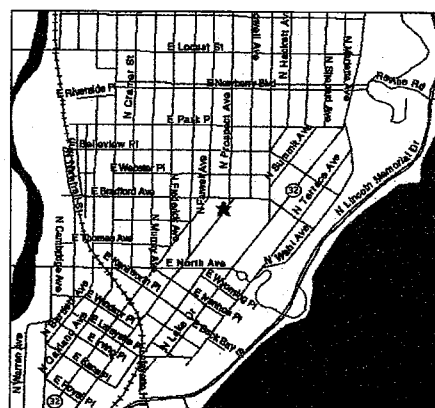
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1996, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(A)(B)(C), 8, 9, 10, 11(A), 13, 14, 15, AND 16 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

DONALD C. CHAPUT
REGISTERED LAND SURVEYOR S-1316

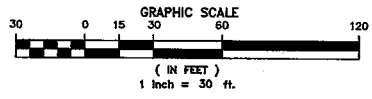


LEGEND

- ▲ BENCHMARK
- SECTION CORNER
- IRON PIPE FOUND
- IRON PIPE SET
- BOLLARD
- SIGN
- SIGN MONITORING WELL
- FLAGPOLE
- MAILBOX
- SIGN
- BILLBOARD
- CONTROL BOX
- TRAFFIC SIGNAL
- RAILROAD CROSSING SIGNAL
- CABLE PEDestal
- POWER POLE
- CITY POLE
- CITY WIRE
- LIGHT POLE
- GROUND OR OTHER SPOT SHOT
- HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDestal
- FORWARD FIBER OPTIC
- GAS VALVE
- GAS METER
- STORM MANHOLE
- ROUND INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- S-SANITARY SEWER
- SW-STORM SEWER
- W-WATER
- M-MARKED GAS MAIN
- E-ELECTRIC
- O-OVERHEAD WIRE
- T-TURNED TELEPHONE
- T-MARKED TELEPHONE
- M-MARKED CABLE BY LINE
- F-MARKED FIBER OPTIC



VICINITY MAP (N.T.S.)



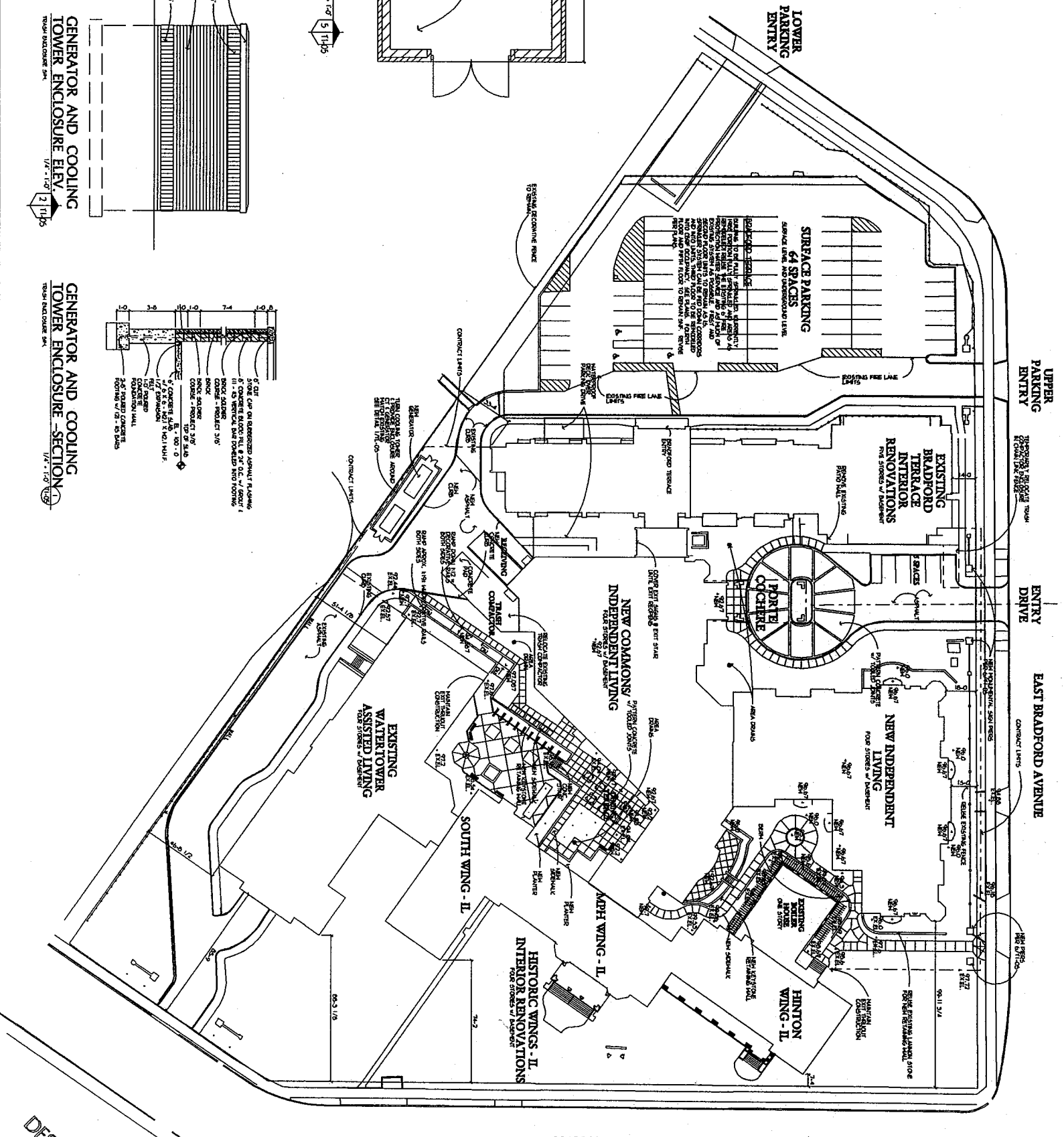
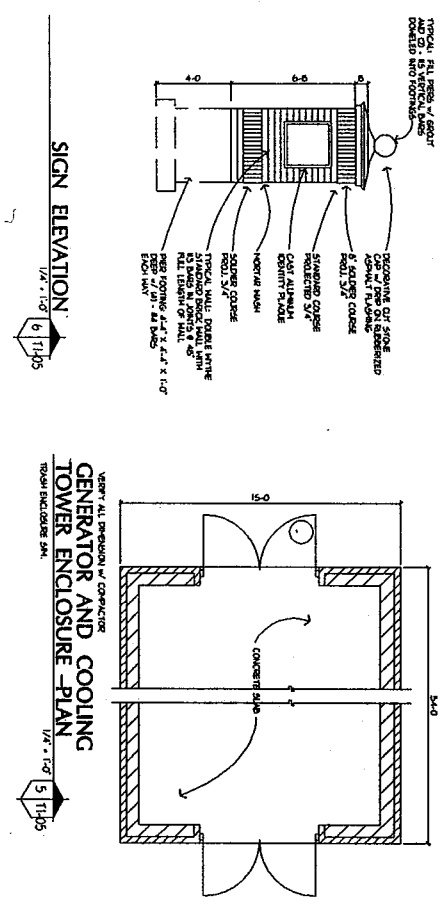
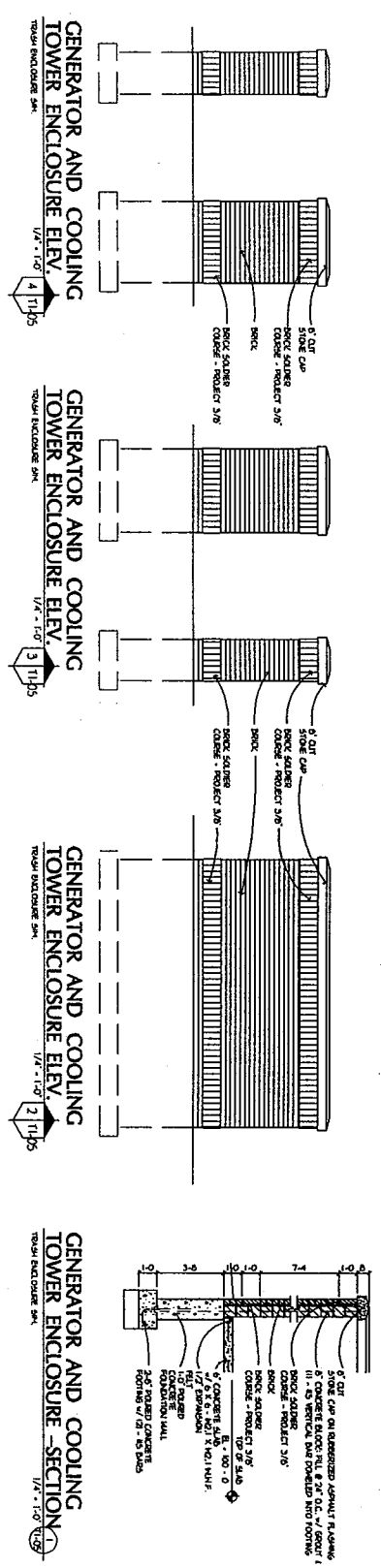
THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

National Survey & Engineering

Telephone 262-781-1000
Facsimile 262-797-7373
16745 W. Bluemound Road
Suite 200
Brookfield, WI 53005-6938
WWW.NSEI.COM

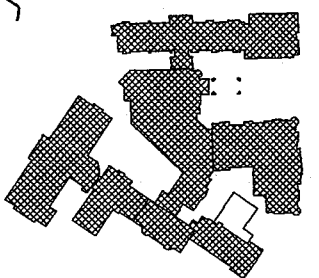


National Survey & Engineering



DESIGN DEVELOPMENT
NOT FOR
CONSTRUCTION

Sheet No. **11-05**
 Drawing Date **27 FEBRUARY 2004**
EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
 2409 N. DOWNER AVE
 MILWAUKEE, WISCONSIN
 AG Project No. **020401**
 Sheet Title **1" = 30'-0" NEW**
SITE PLAN

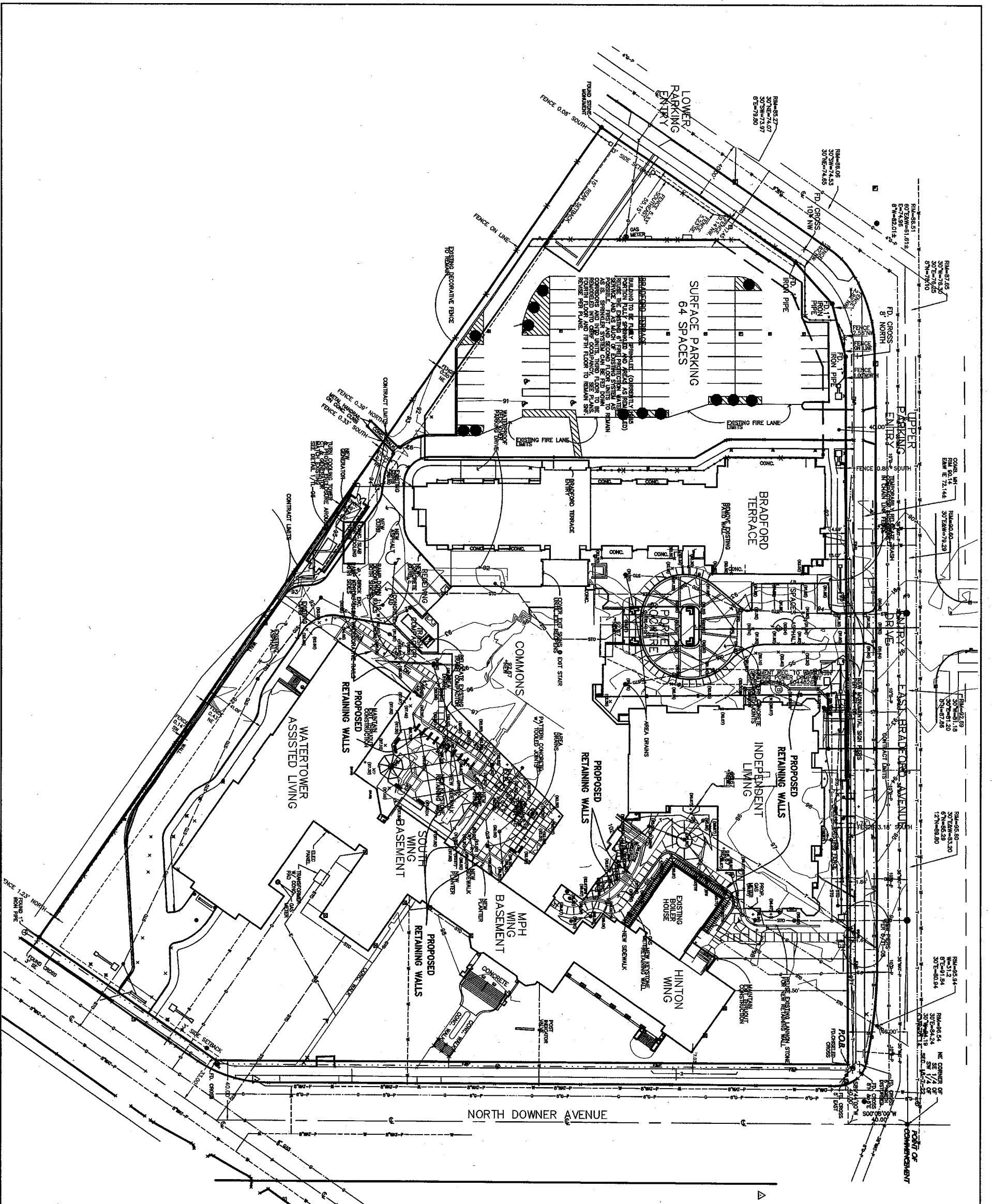


NO	DESCRIPTION	DATE	BY	CHKD
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3	REVISION			
4	REVISION			
5	REVISION			
6	REVISION			
7	REVISION			
8	REVISION			
9	REVISION			
10	REVISION			

Kahler Slater

1111 EAST WISCONSIN AVENUE
 MILWAUKEE, WI 53211
 TEL: 414.224.4400
 FAX: 414.224.4401
 WWW.KSLATER.COM





LEGEND

--- EXISTING CONTOUR LINE

--- PROPOSED CONTOUR LINE

--- (FINISH GRADE)

--- (FINISH GRADE)

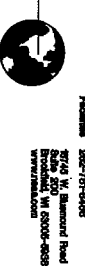
--- PROPOSED SPOT ELEVATION

--- (FINISH GRADE)

FOR REVIEW ONLY

PROJECT MANAGER: JOHN L. FLATT, P.E.
EASTCASTLE PLACE
MILWAUKEE, WISCONSIN
SITE GRADING PLAN

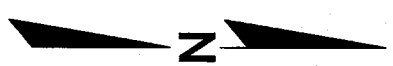
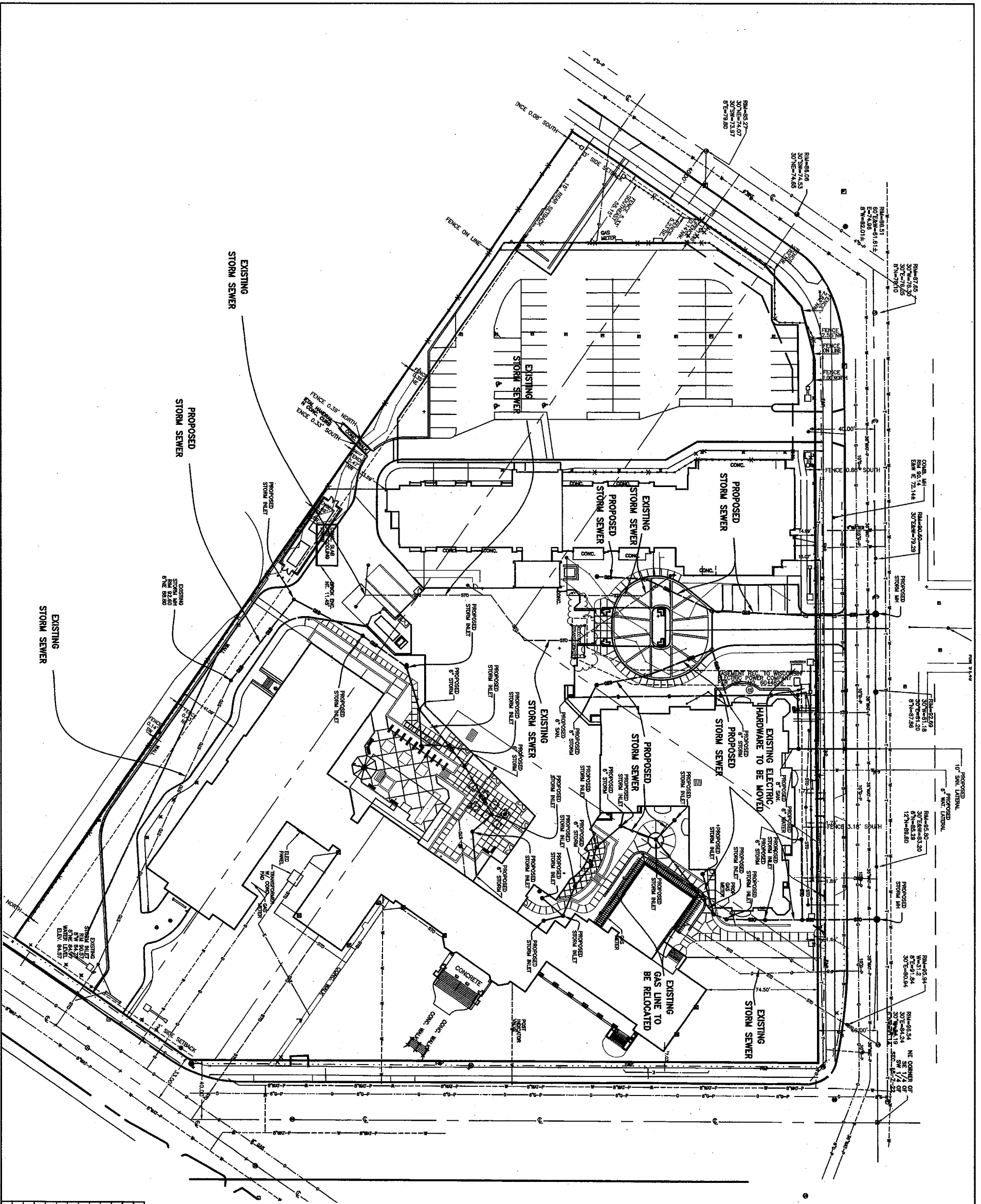
National Survey & Engineering



2745 W. Belmont Road
 Suite 200 W. Milwaukee, WI 53227
 Telephone: 414-379-0200
 Fax: 414-379-0202
 E-mail: ns&e@nsandeng.com

PROJECT NO.: 3030145
 DATE: 07/08/04
 SCALE: SITE GRADING PLAN
 SHEET NO. 1 OF 2

REVISIONS	DATE	BY
	02/17/04	LJ



FOR REVIEW ONLY

PROJECT MANAGER: JOHN L. FLATT, P.E.
EASTCASTLE PLACE
MILWAUKEE, WISCONSIN
UTILITY SYSTEM PLAN

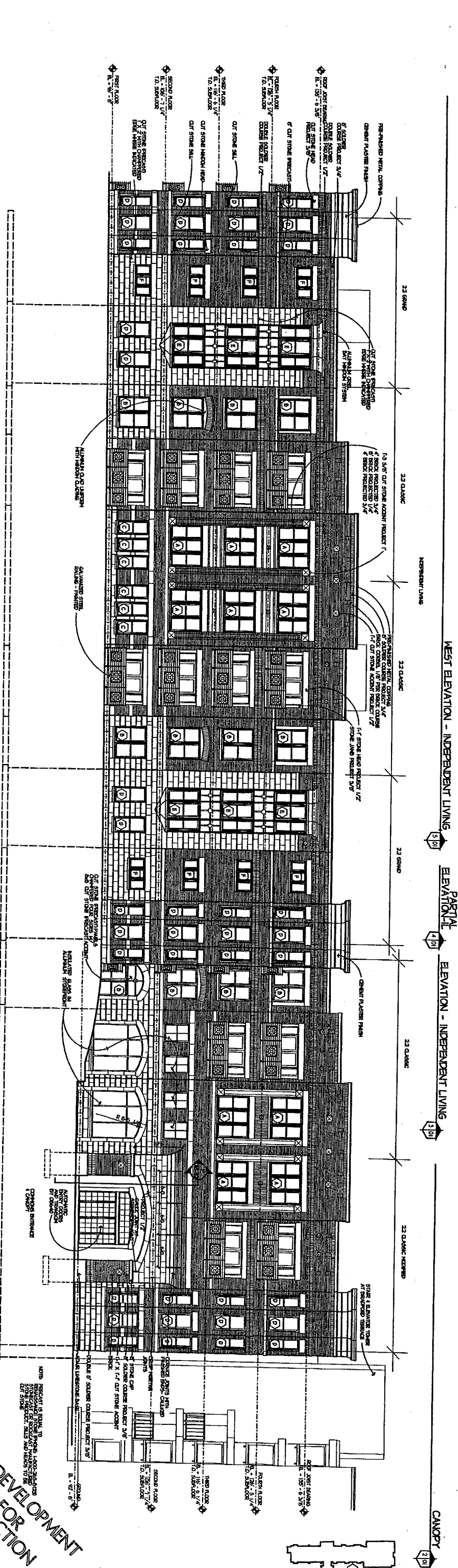
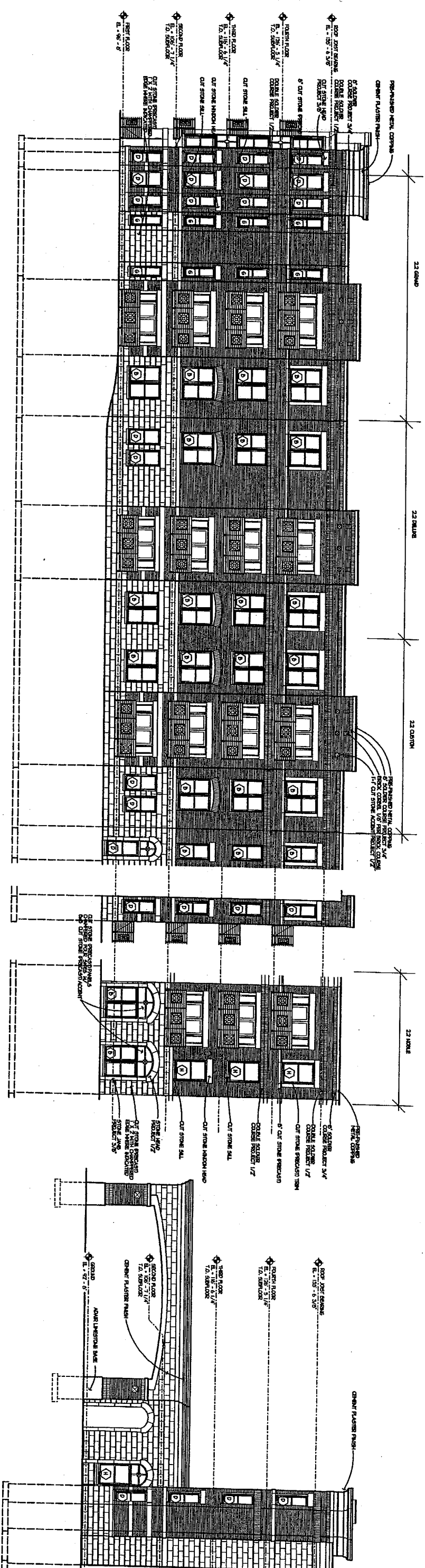
National Survey & Engineering



Telephone: 262-737-4500
 Fax: 262-737-4500
 2714 W. Edmund Road
 Waukegan, WI 53095-0808
 www.nsewi.com

REVISIONS	
DATE	BY

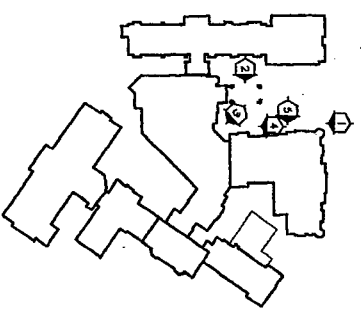
NSE PROJECT NO.: 3030145
 DATE: 01/06/03 SCALE: SITE GRADING PLAN
 SHEET NO. **2 OF 2**



NORTH ELEVATION - BRADFORD STREET

WEST ELEVATION - INDEPENDENT LIVING

DESIGN DEVELOPMENT
NOT FOR
CONSTRUCTION



Drawing Date
5 MARCH 2004

EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
2449 N. DOWNER AVE.
MILWAUKEE, WISCONSIN

AG Project No.
020401

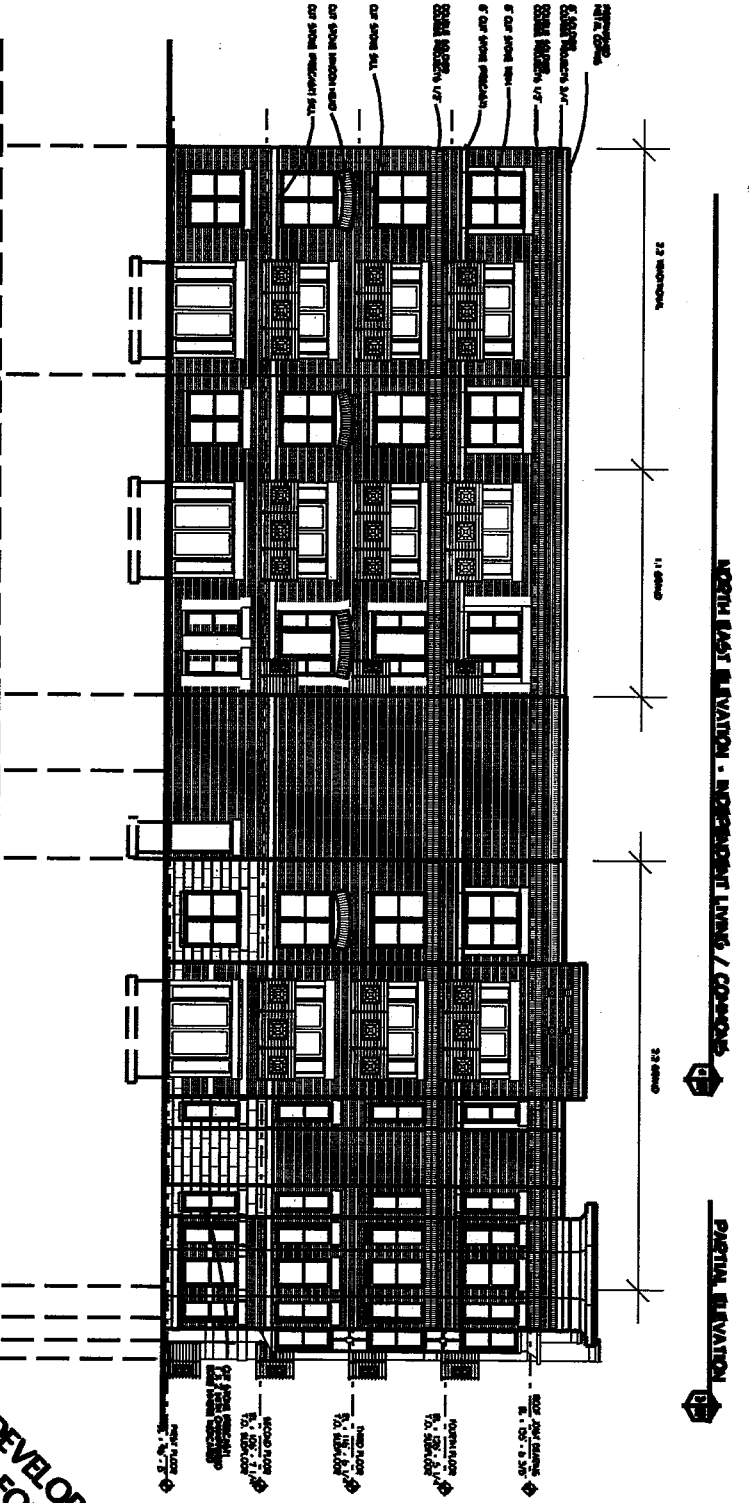
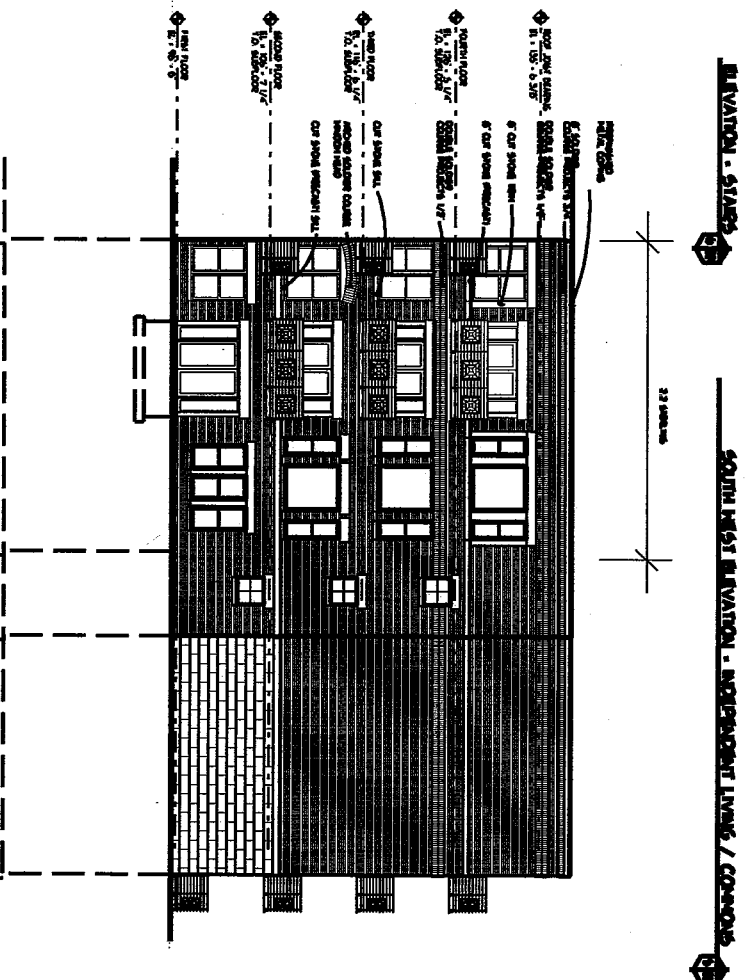
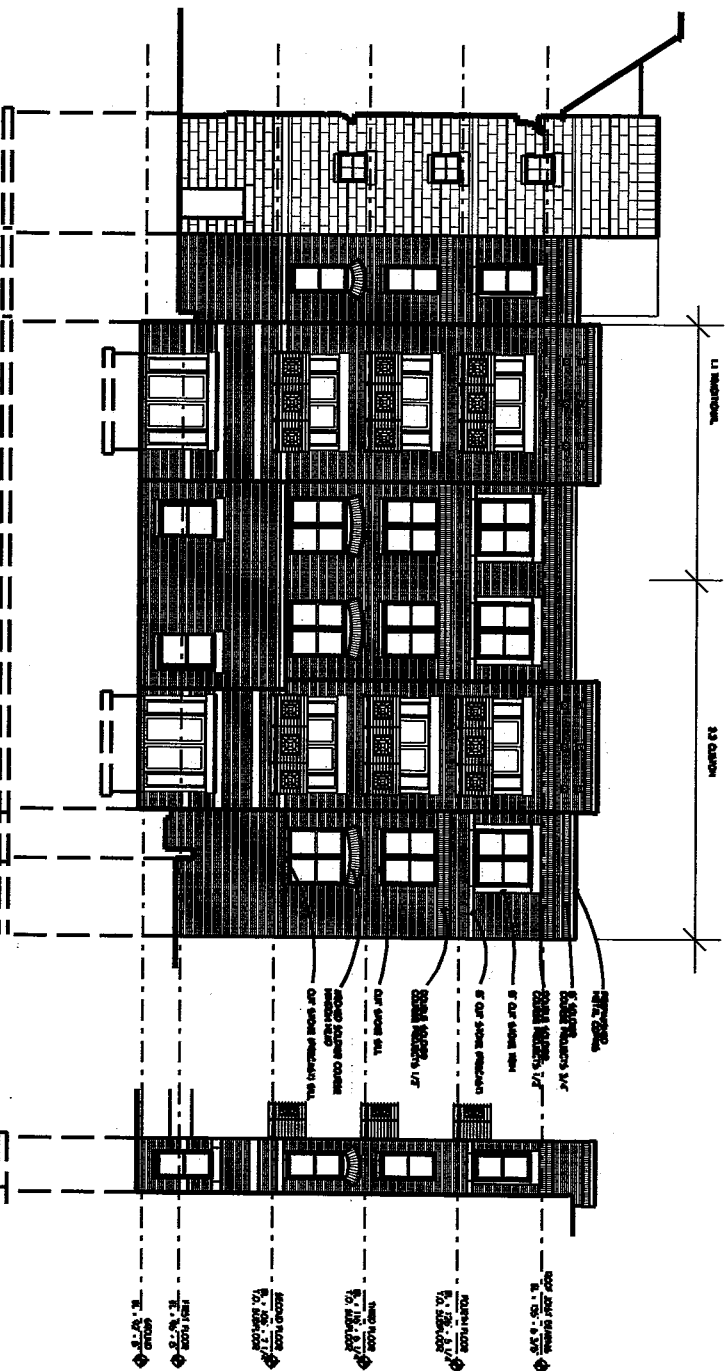
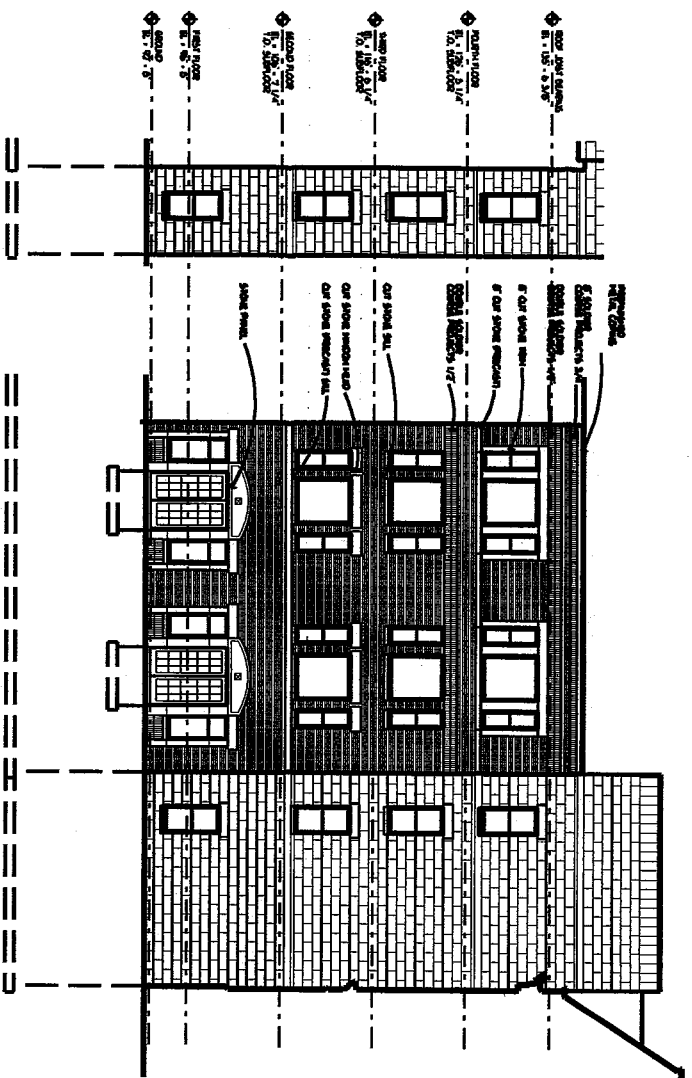
Sheet Title
1/8" EXTERIOR
ELEVATION

Sheet No.
AA-01

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1515 N. MICHIGAN AVE.
SUITE 200
MILWAUKEE, WI 53233
TEL: 414.224.1111 FAX: 414.224.1112
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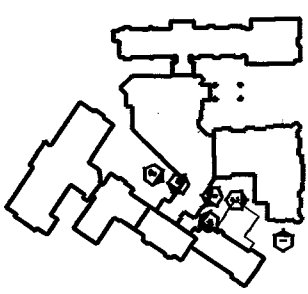


**DESIGN DEVELOPMENT
NOT FOR
CONSTRUCTION**

Sheet No.
A4-02

7/8" EXTERIOR
ELEVATION

AC Project No.
020401
Sheet Title
7/8" EXTERIOR
ELEVATION

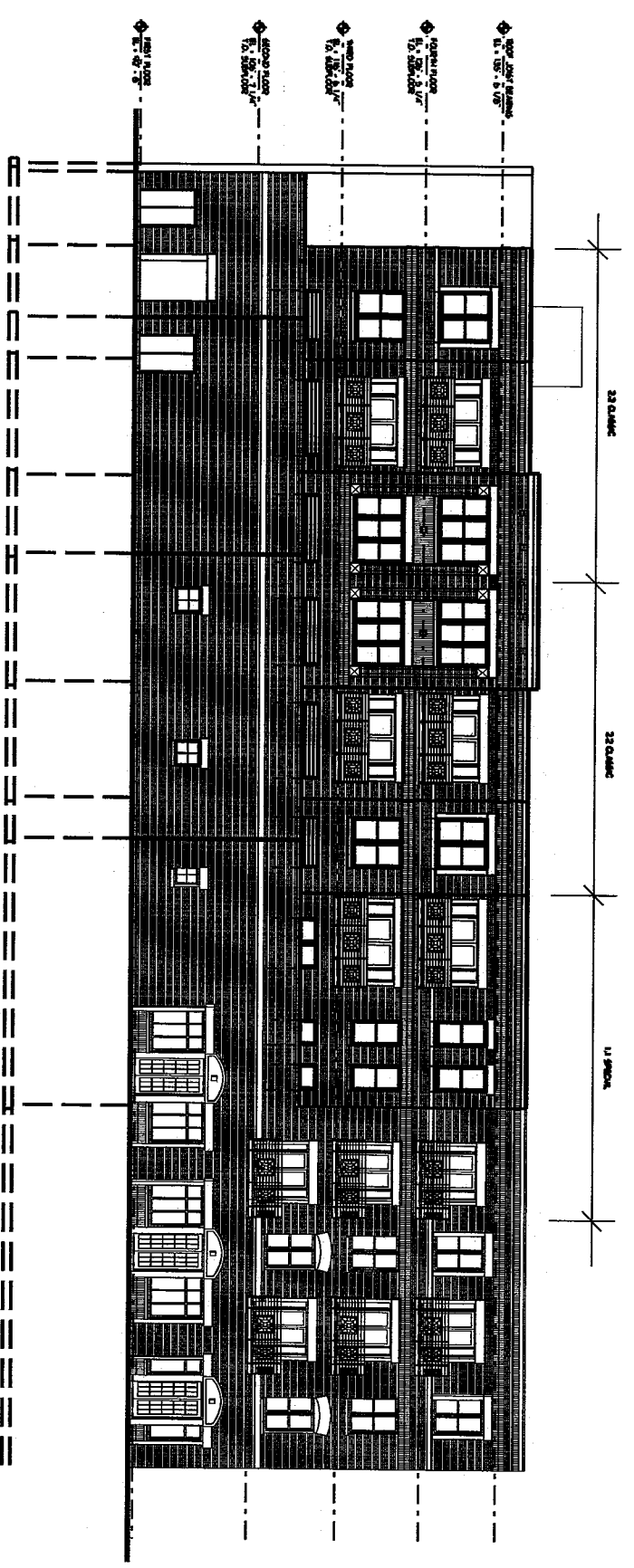


FLOOR	ROOM	NO.	DESCRIPTION	DATE
1ST FLOOR	101	REAR PORCH	REAR PORCH	2/27/04
	102	FRONT PORCH	FRONT PORCH	2/27/04
2ND FLOOR	201	REAR PORCH	REAR PORCH	2/27/04
	202	FRONT PORCH	FRONT PORCH	2/27/04
3RD FLOOR	301	REAR PORCH	REAR PORCH	2/27/04
	302	FRONT PORCH	FRONT PORCH	2/27/04

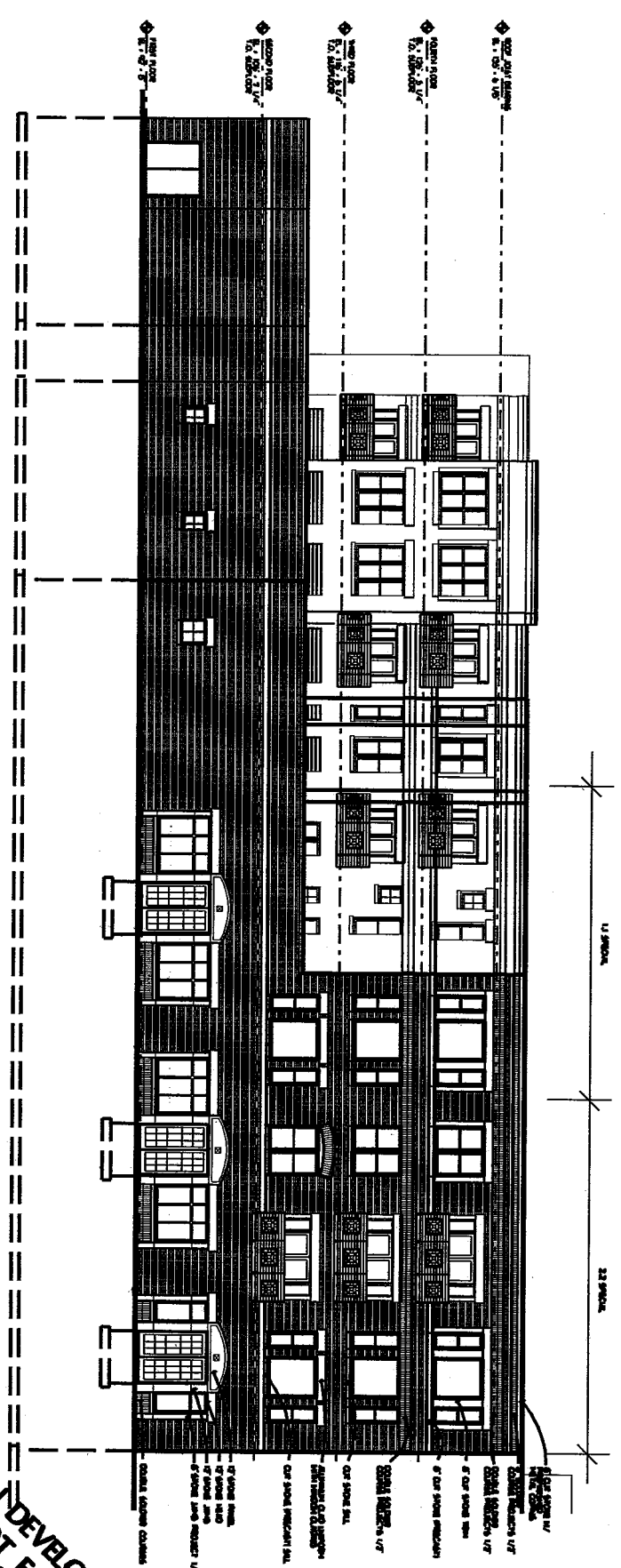
Kahler-Slater

1414 HARRISON AVE.
MILWAUKEE, WI 53233
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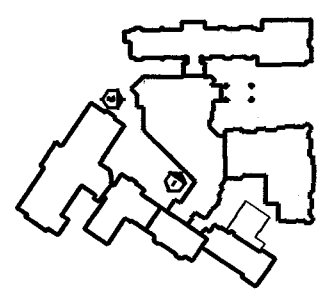


SOUTH ELEVATION - INDEPENDENT LIVING / COMMONS



SOUTH EAST ELEVATION - INDEPENDENT LIVING / COMMONS

DESIGN DEVELOPMENT
NOT FOR
CONSTRUCTION



Drawing Date
27 FEBRUARY 2004

Project Title
EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
2449 N. DOWNER AVE.
MILWAUKEE, WISCONSIN

AC Project No.
020401

Sheet Title
1st EXTERIOR
ELEVATIONS

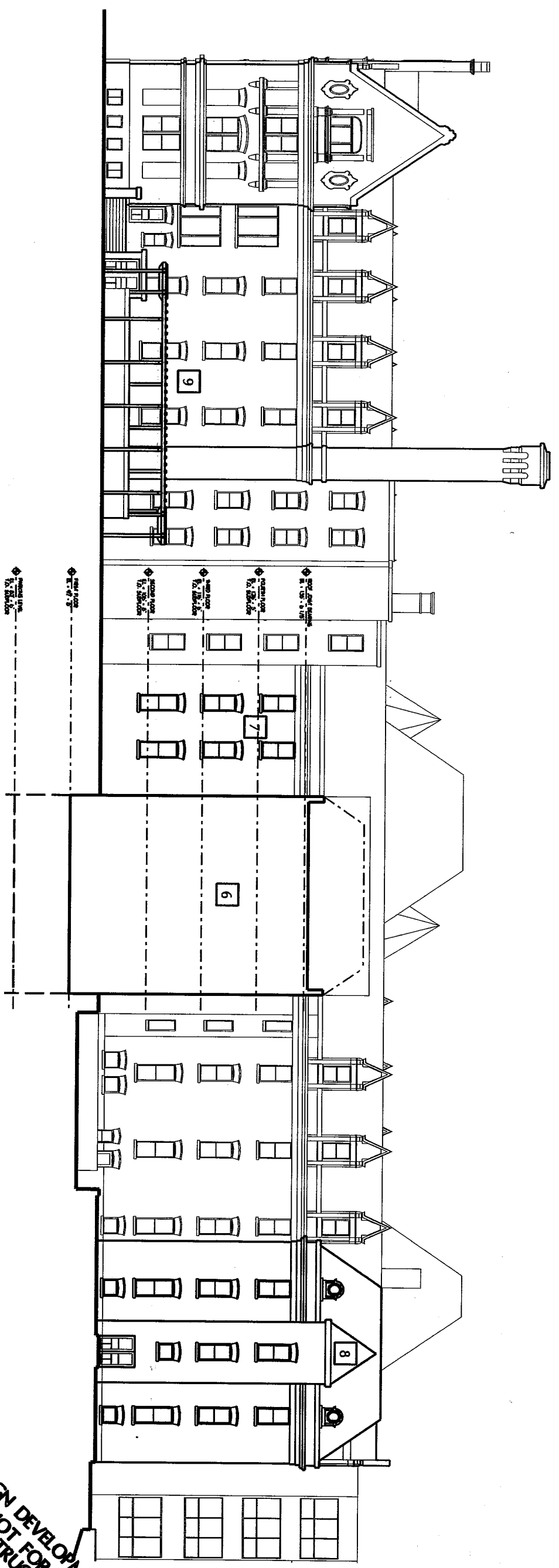
Sheet No.
A4-03

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1000 UNIVERSITY AVENUE
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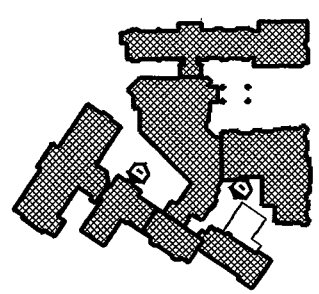


- 6 EXTENT OF NEW CONSTRUCTION INTERFACE WITH EXISTING EAST CASTLE PLACE
- 7 NEW FACADE CONSTRUCTED. USE EXISTING TERRA COTTA & COPPER GUTTERS & STONE BANDING RECLAIMED FROM SOUTH WING. SLATE ROOF MANSARD TO MATCH EXISTING
- 8 PROPOSED SOUTH WING FACADE USING RECLAIMED MATERIALS FROM THE SOUTH WING DEMOLITION, TO MATCH EXISTING
- 9 NEW TRELLIS AT THE PERIMETER OF EXISTING BOILER ROOM



PROPOSED WEST BALCONY

DESIGN DEVELOPMENT
NOT FOR
CONSTRUCTION



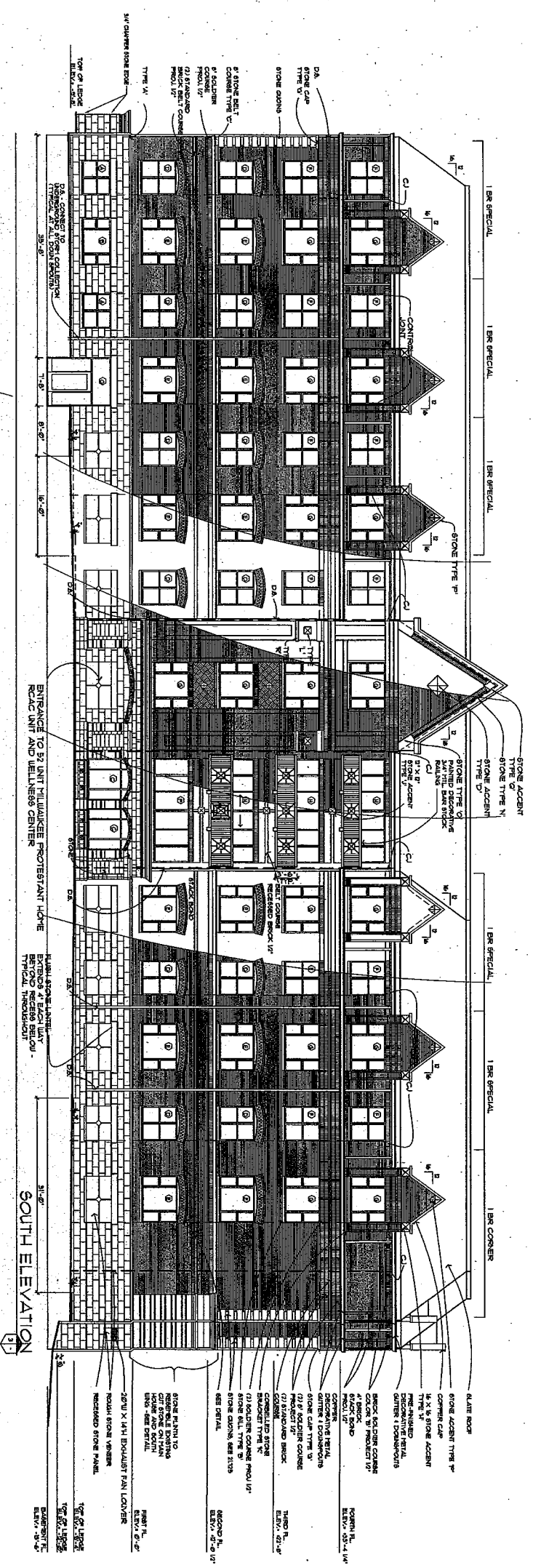
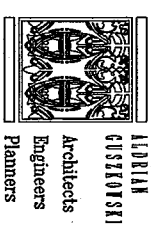
Drawing Date
27 FEBRUARY 2004
EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
249 N. DOWNER AVE.
MILWAUKEE, WISCONSIN

KS Project No.
020401

Sheet Title
1/8" HISTORIC
ELEVATION

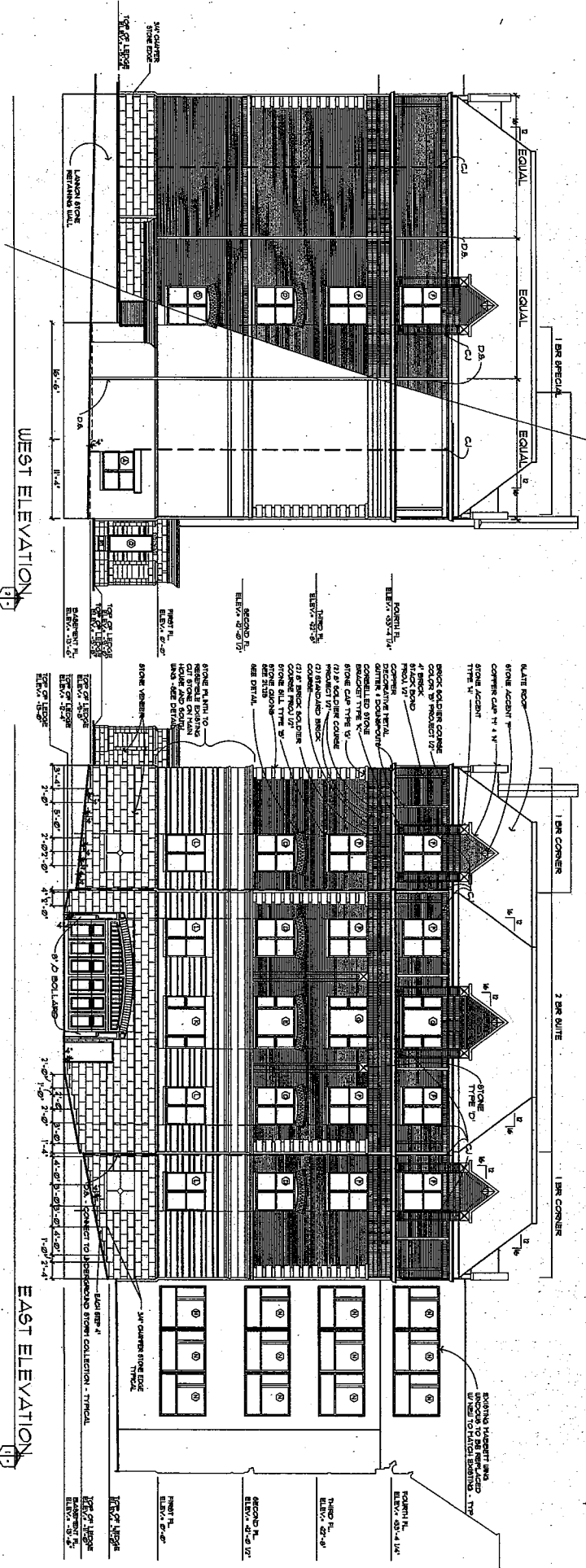
Sheet No.
A4-52

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ENTRANCE TO ST. JAMES PROTESTANT HOME
BEYOND RECEIVED BELOW
TYPICAL THRESHOLD

SOUTH ELEVATION

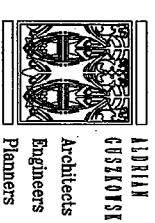


WEST ELEVATION

EAST ELEVATION

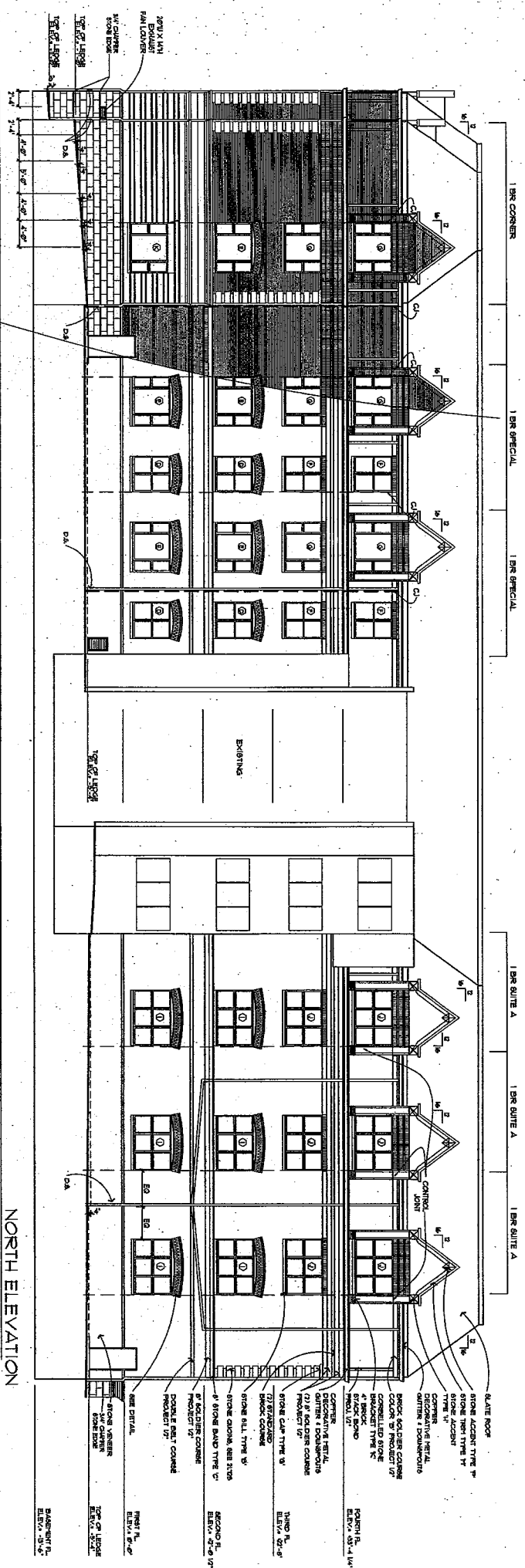
21 BUILDING ELEVATIONS

MAILED FOR CONSTRUCTION - REGULAR 4, 2000
 Drawing Date
 NOVEMBER 22, 1999
RCAC ADDITION
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
 2449 N. DOWNER AVE.
 MILWAUKEE, WISCONSIN
 Project No.
 99024
 Sheet Title
BUILDING
ELEVATIONS
 Sheet No.
 A41

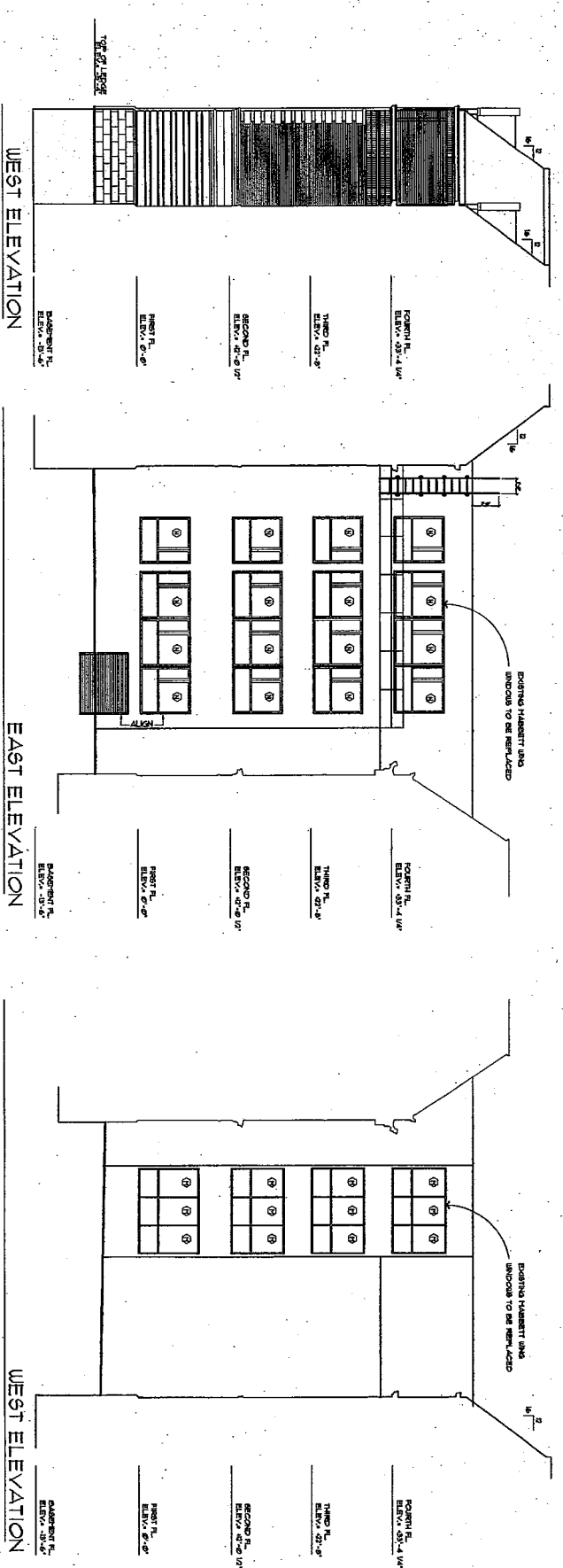


Kähler Slater

Architects
Engineers
Planners



NORTH ELEVATION



WEST ELEVATION

EAST ELEVATION

WEST ELEVATION

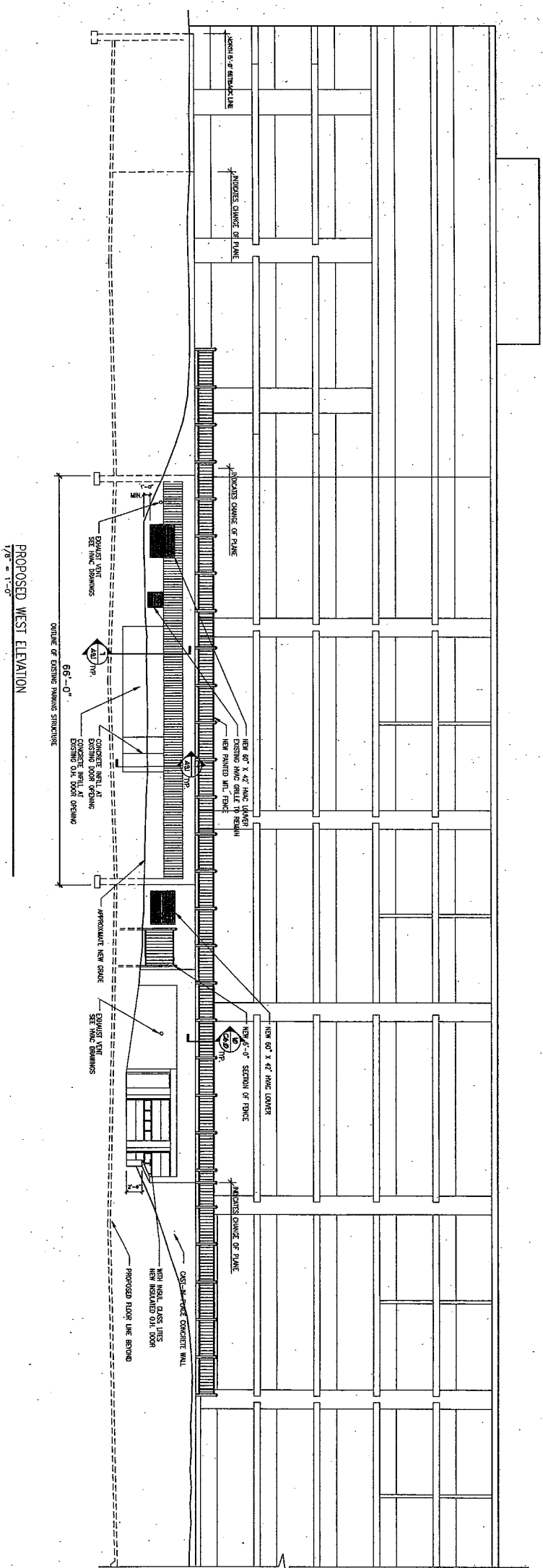
ISSUED FOR CONSTRUCTION - FEBRUARY 4, 2000
Drawing Date
OCTOBER 18, 1999

**FCAC ADDITION
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS**
2449 N. DOWNER AVE.
MILWAUKEE, WISCONSIN

Project No.
99024

Sheet Title
**BUILDING
ELEVATIONS**

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Sheet No.
A4.2



PROPOSED WEST ELEVATION
1/8" = 1'-0"

Drawing Date
AUGUST 16, 2000

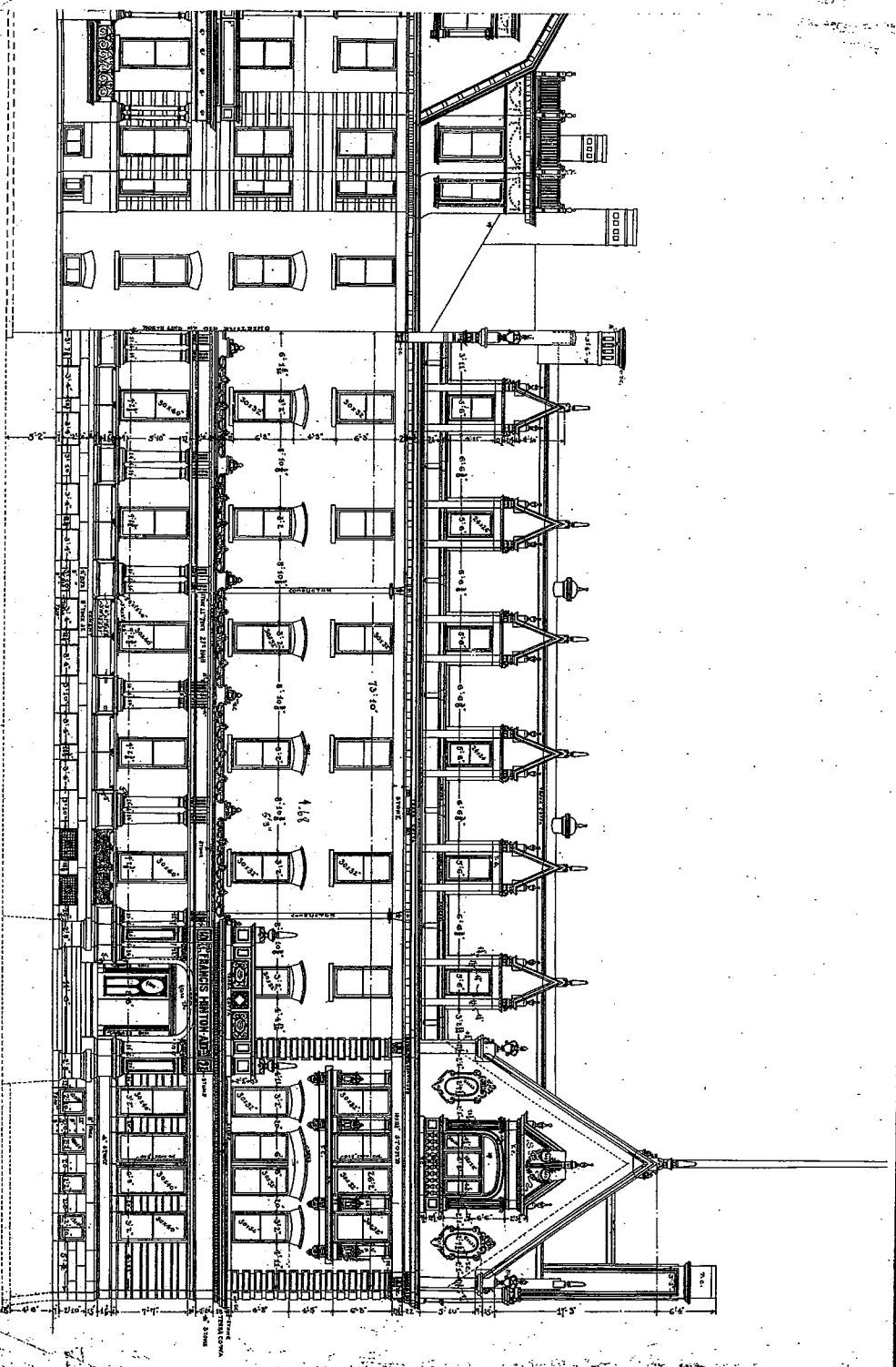
**PARKING GARAGE
MILWAUKEE
PROTESTANT HOME
PROSPECT AVENUE
MILWAUKEE, WI**

Project No.
99101

Sheet Title
**PROPOSED
WEST
ELEVATION**

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www.kahlerslater.com

Sheet No.
A4.0



-EAST FRONT ELEVATION-
SCALE 1/4" = 1'-0"

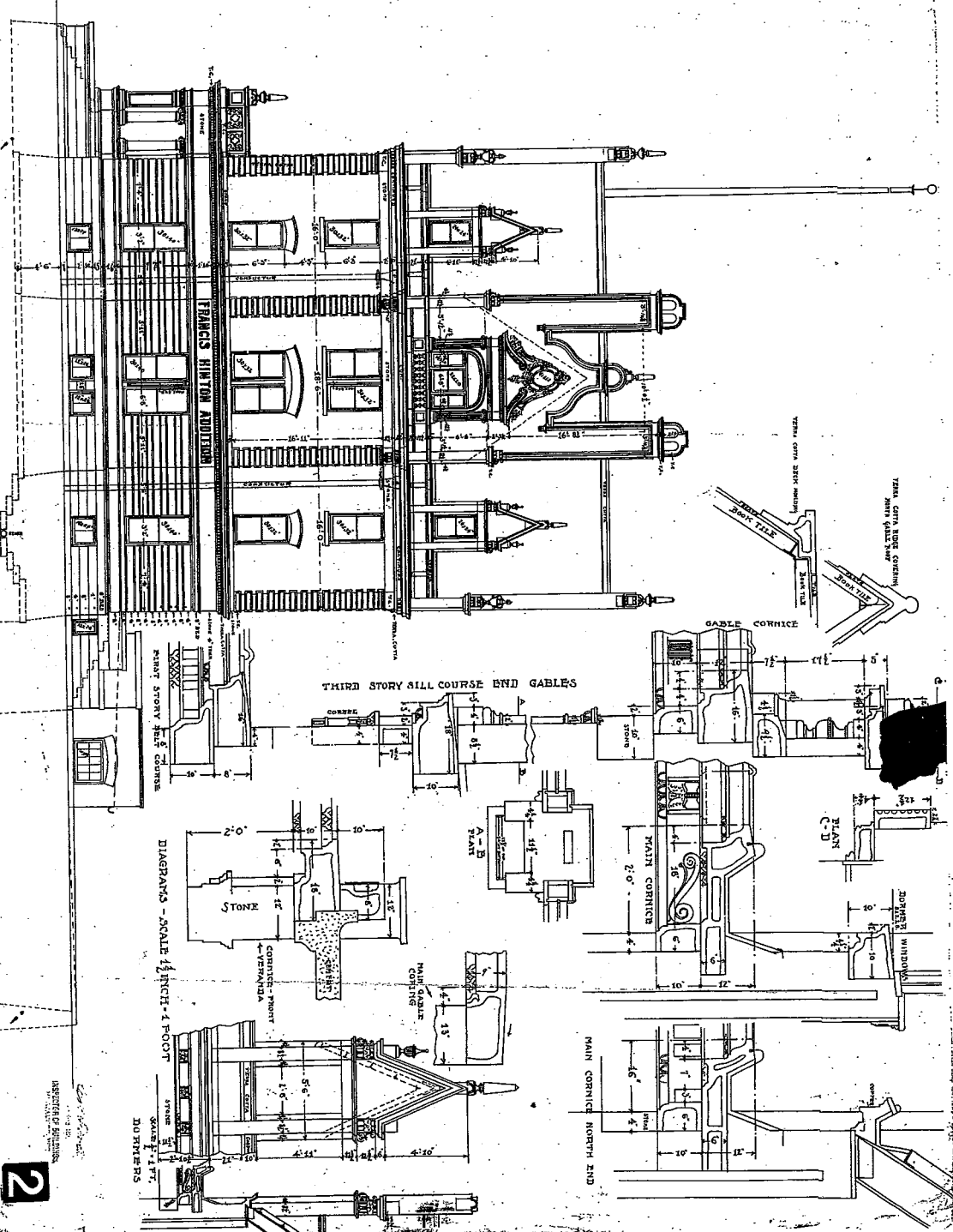
H.C. ROCHER & CO. ARCHTS.

NORTH - END ELEVATION -
SCALE 1/4" = 1'-0"

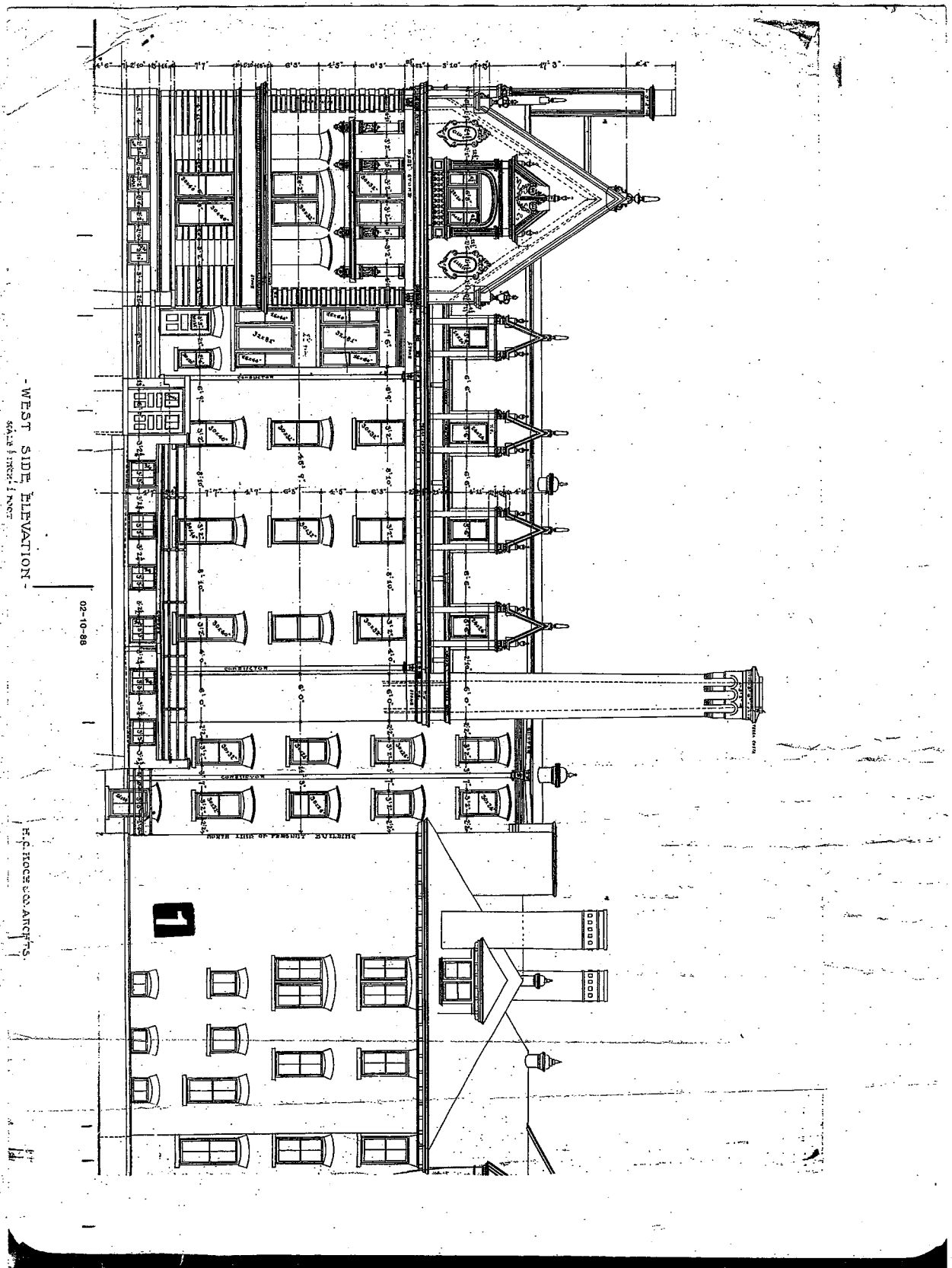
02-10-88

H. KROCK & CO. ARCHTS.
07 3

Drawn by S. J. W.
Checked by H. K.



2



-WEST SIDE ELEVATION-

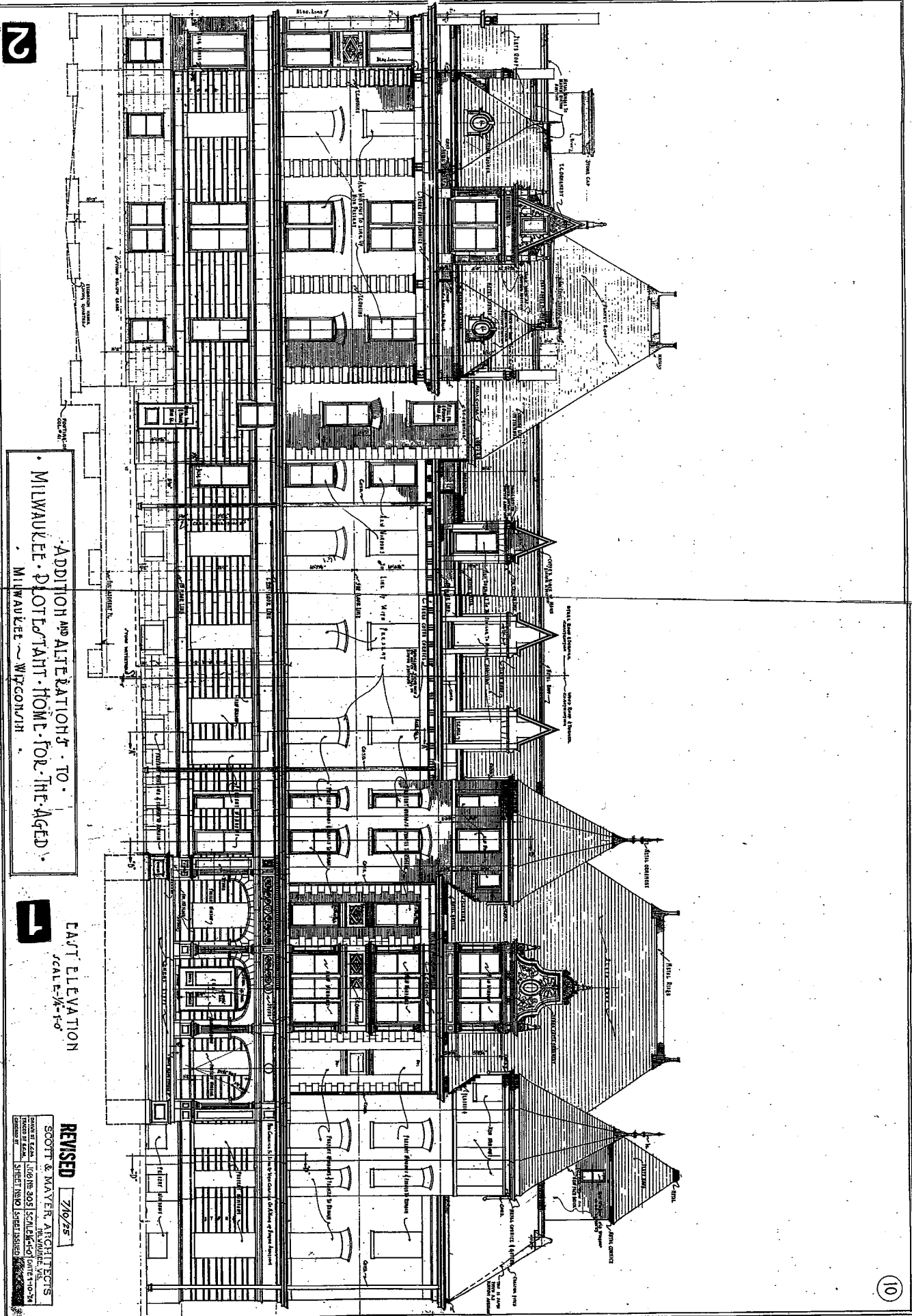
SCALE: 1/8" = 1'-0"

02-10-88

H.C. HOOPER & CO. ARCHTS.

7

03-02-88

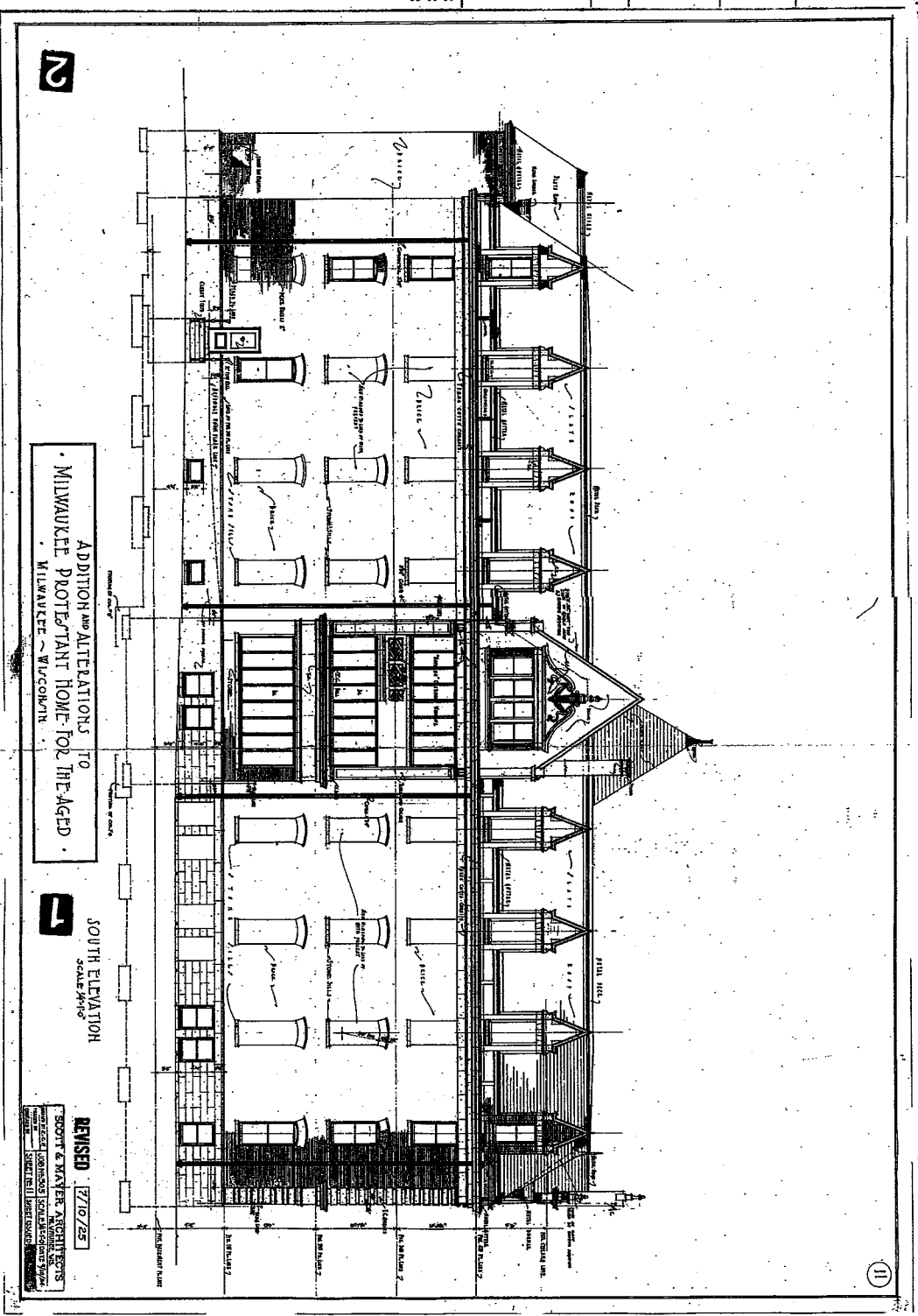


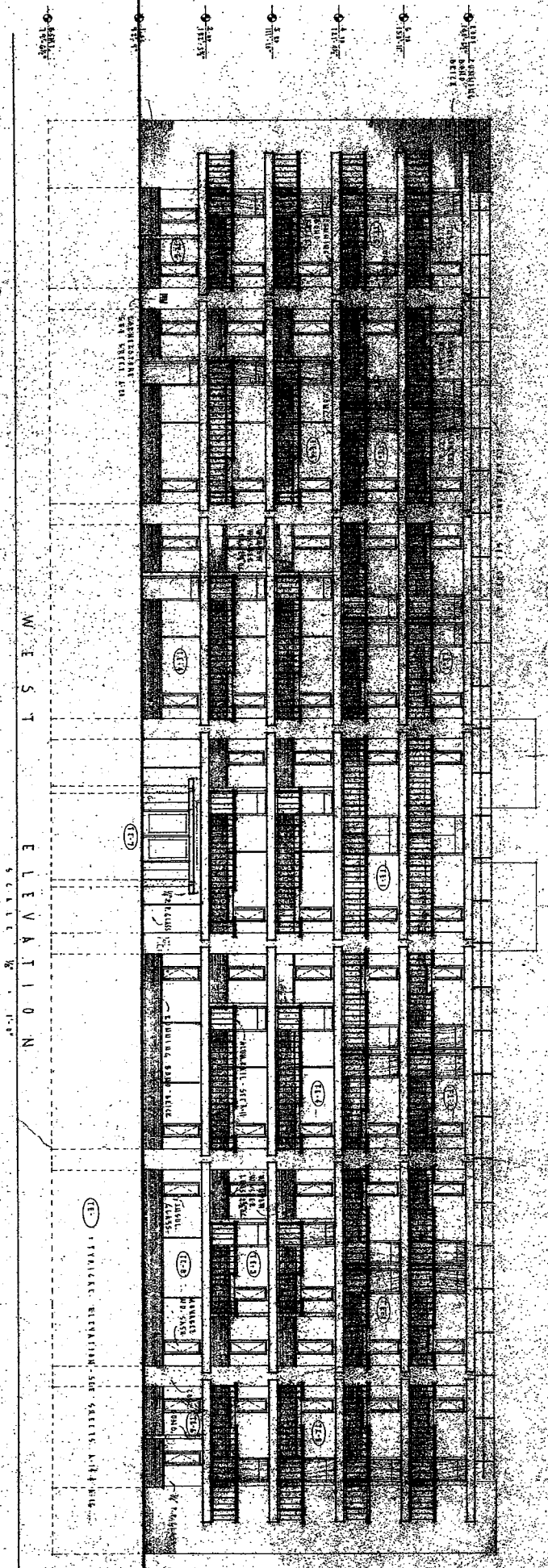
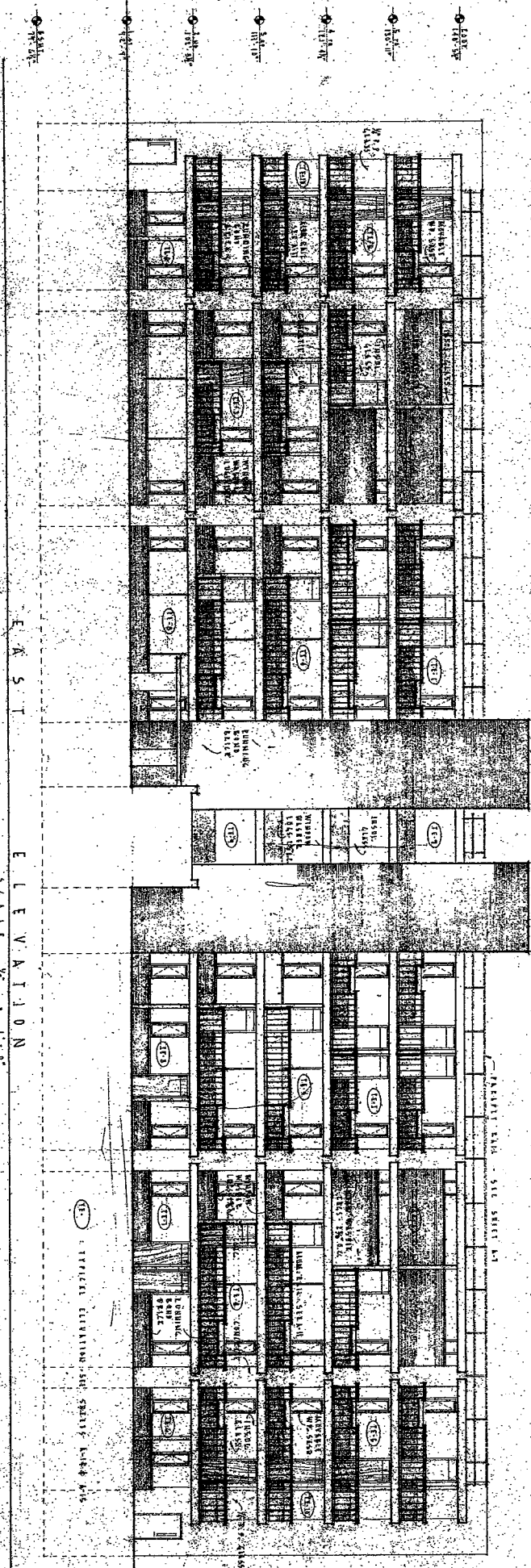
ADDITION AND ALTERATIONS TO
 MILWAUKEE PLANTANT HOME FOR THE AGED
 MILWAUKEE WISCONSIN

FAVY ELEVATION
 SCALE 1/4" = 1'-0"

REVISED 7/10/25
 SCOTT & MAVER ARCHITECTS
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WISCONSIN 53233
 PHONE 442-1111
 FAX 442-1112
 SHEET NO. 1001 (REVISED)

Handwritten marks and scribbles at the bottom of the page.





EAST & WEST ELEVATIONS

WILLIAM P. WENDELL

GRADUATE ENGINEER

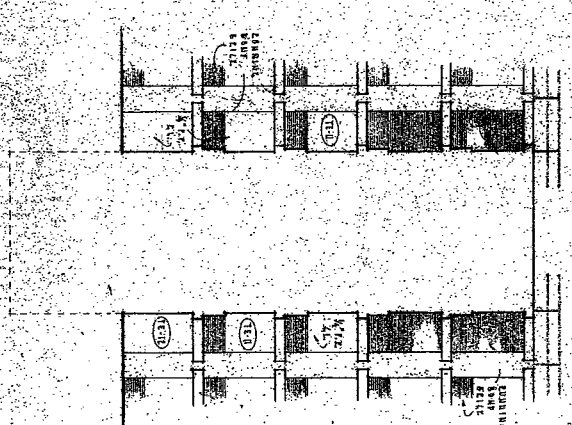


PLANS BY W. P. WENDELL

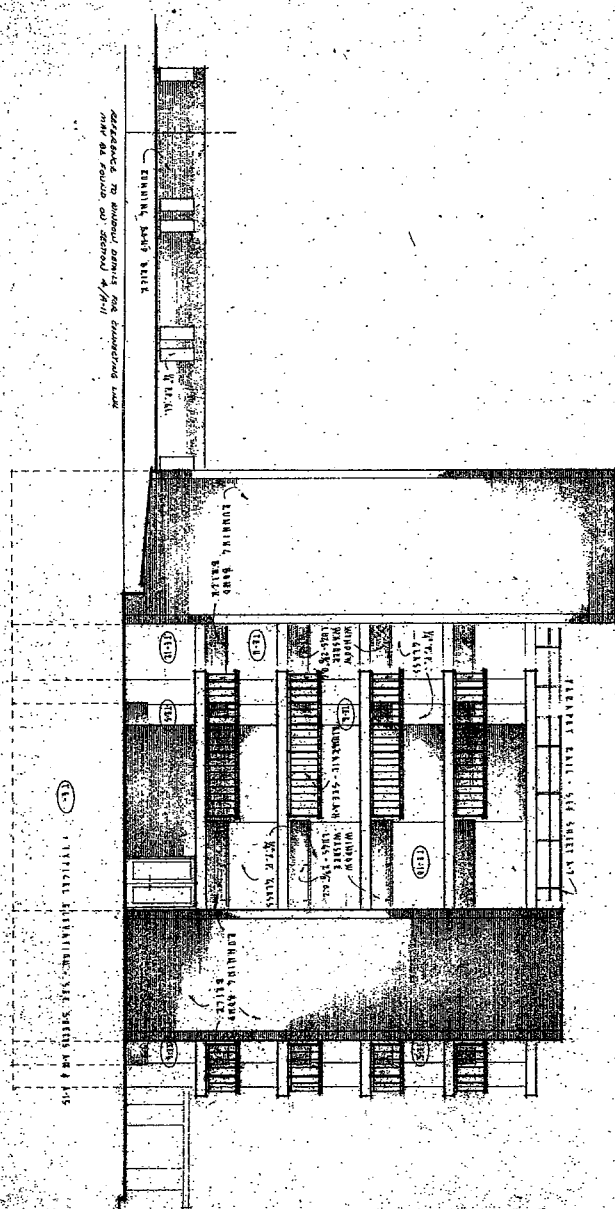
1914

240 WEST 11TH ST. N.Y.C.

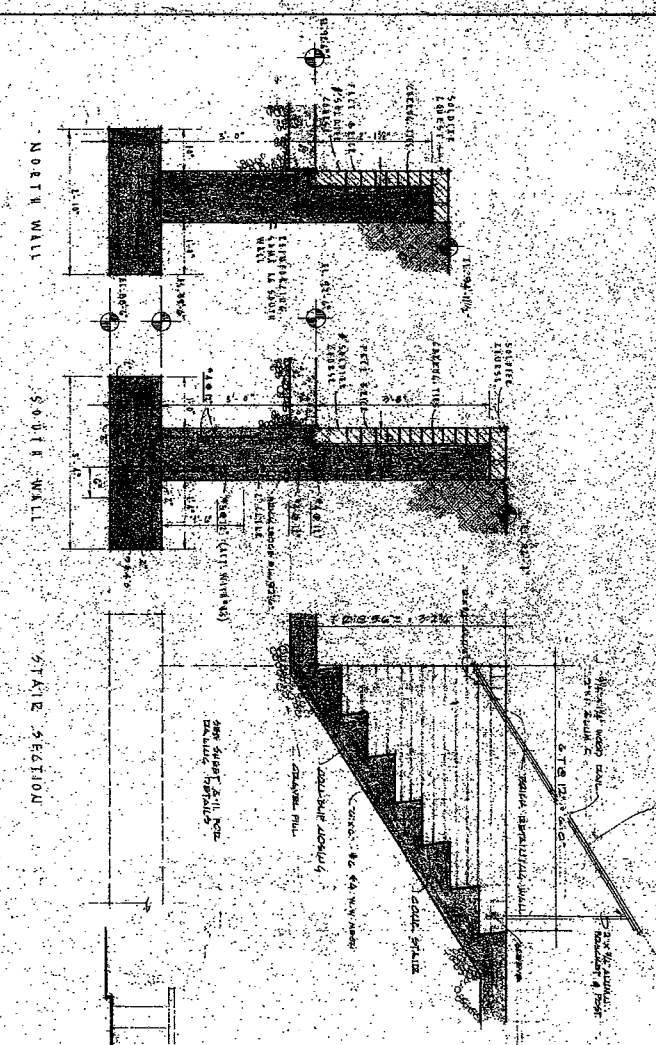
PARTIAL EAST ELEVATION



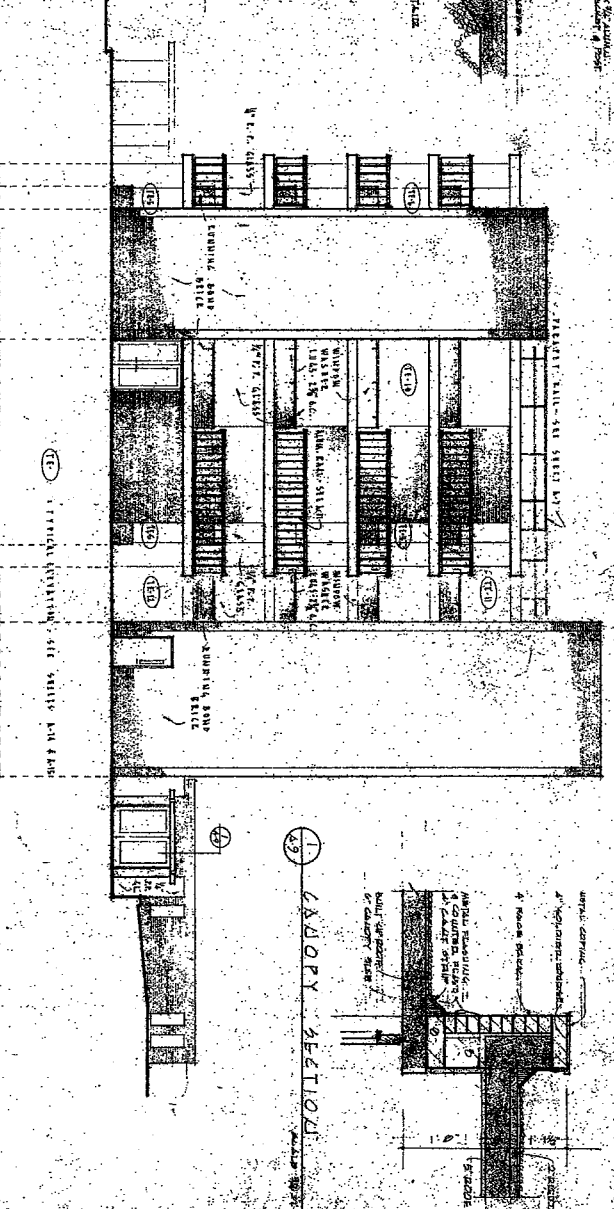
NOETH ELEVATION



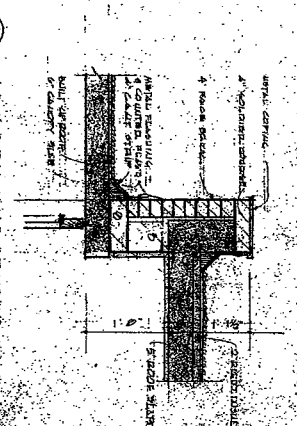
RETAINING WALL SECTIONS



SOUTH ELEVATION



CANOPY SECTION



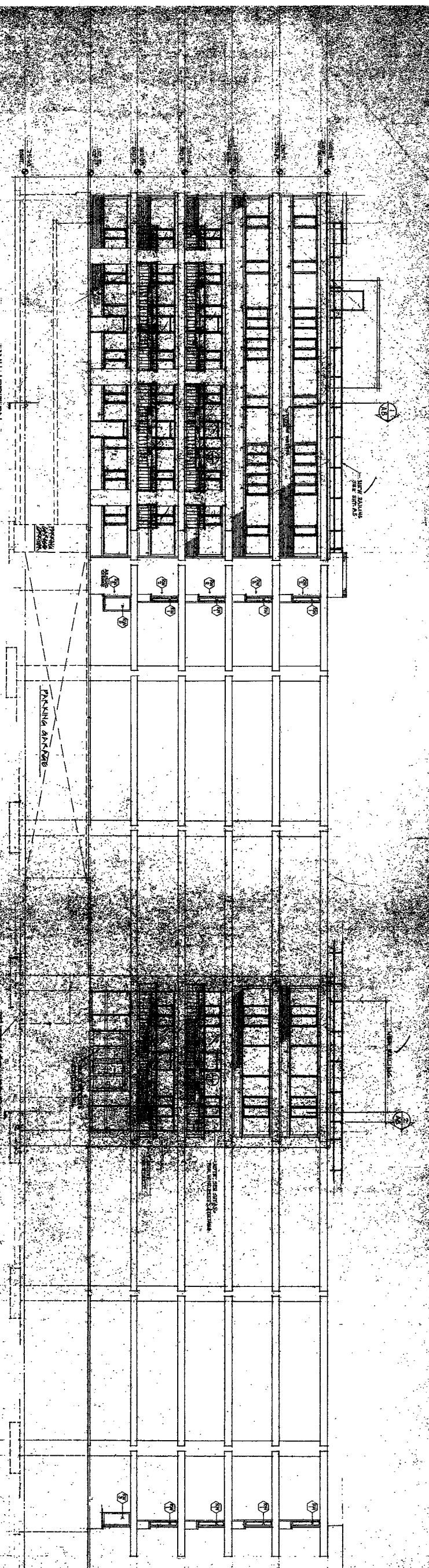
NORTH & SOUTH ELEVATIONS

WILLIAM P. WENTLER

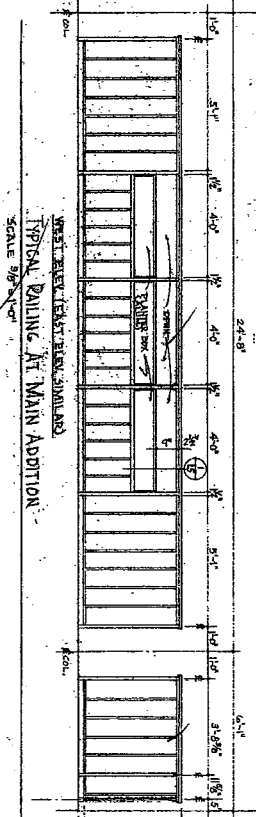


BRADFORD TERRACE

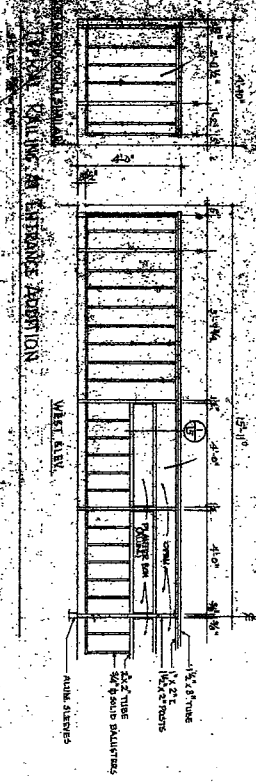
MILWAUKEE PROFESSIONAL SOCIETY



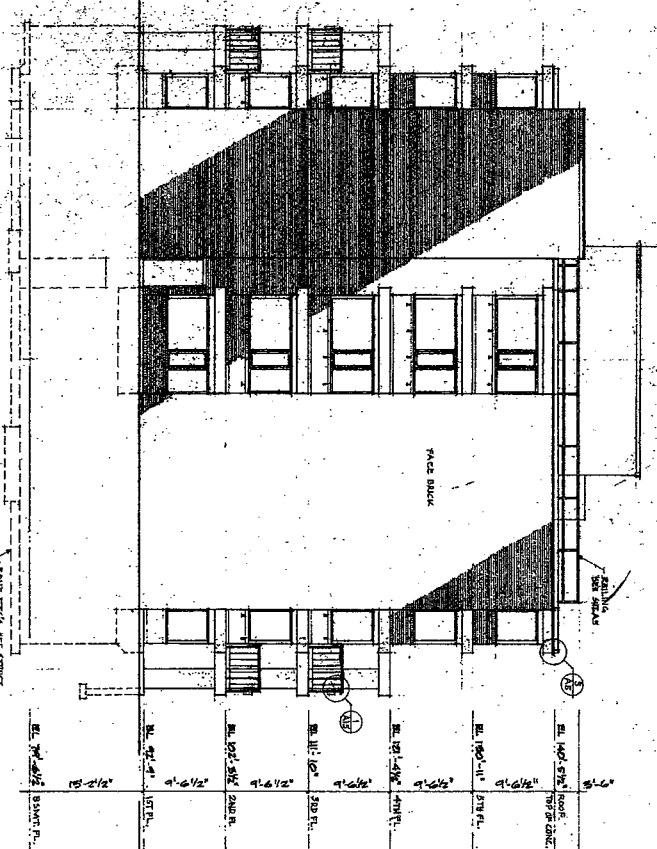
WEST ELEVATION OF TOTAL BUILDING
SCALE 1/8" = 1'-0"



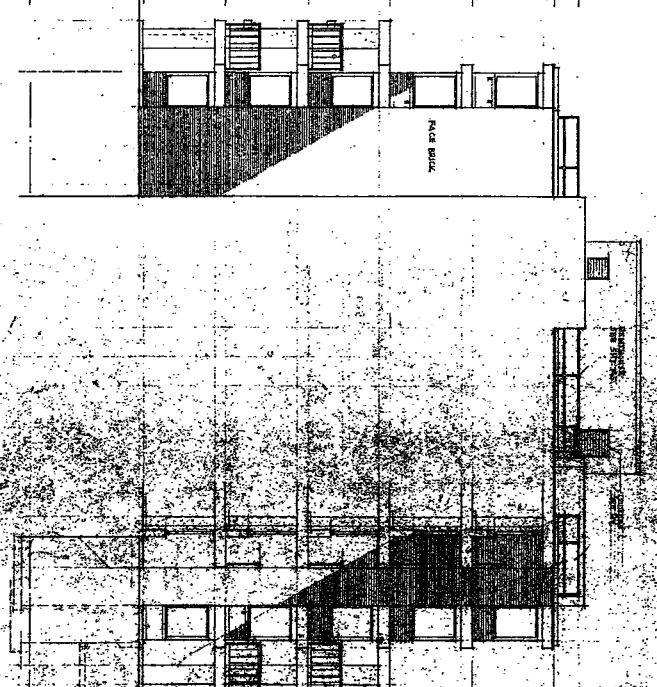
TYPICAL RAILING AT MAIN ADDITION
SCALE 3/8" = 1'-0"



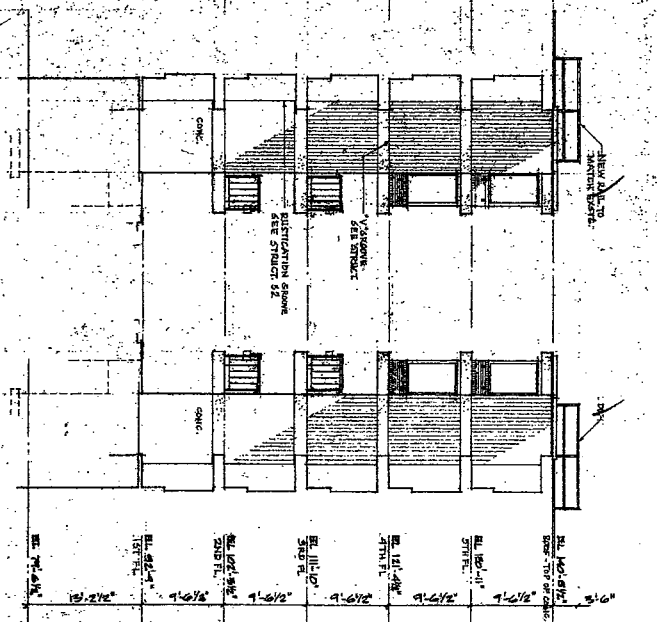
TYPICAL RAILING AT ENTRANCE ADDITION
SCALE 3/8" = 1'-0"



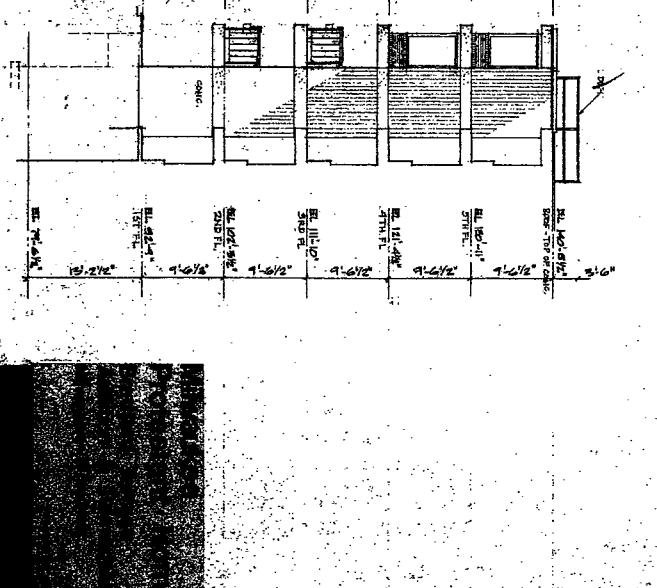
NORTH ELEVATION OF MAIN ADDITION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION OF MAIN ADDITION
SCALE 1/8" = 1'-0"



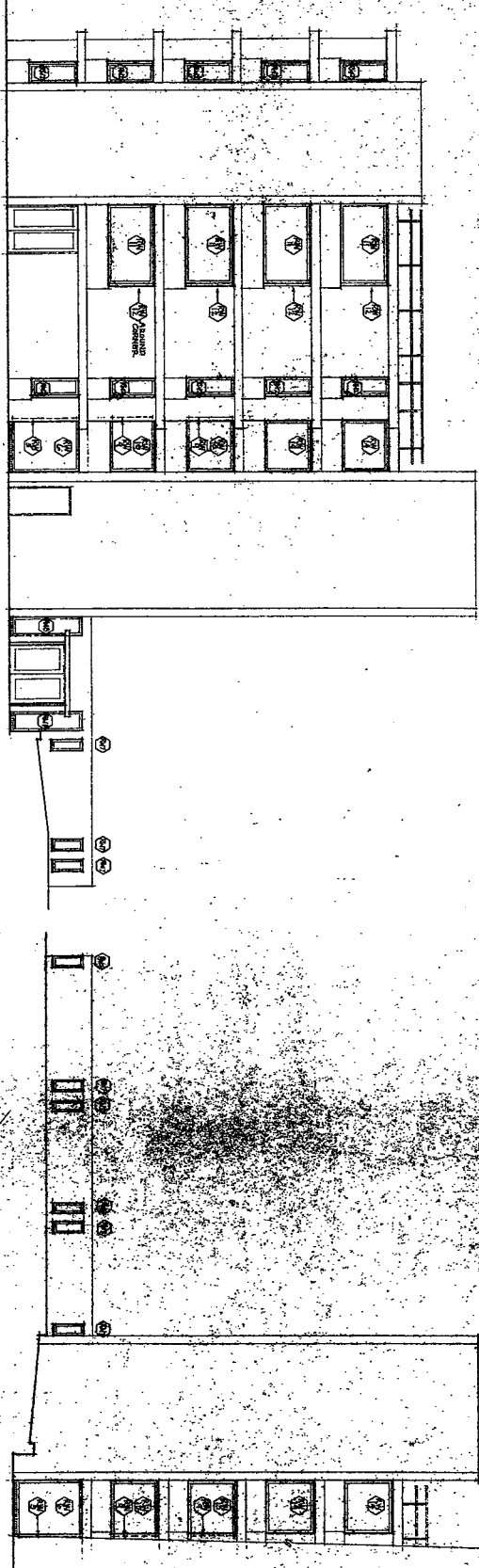
NORTH ELEV. OF ENTRANCE ADDN
SCALE 1/8" = 1'-0"



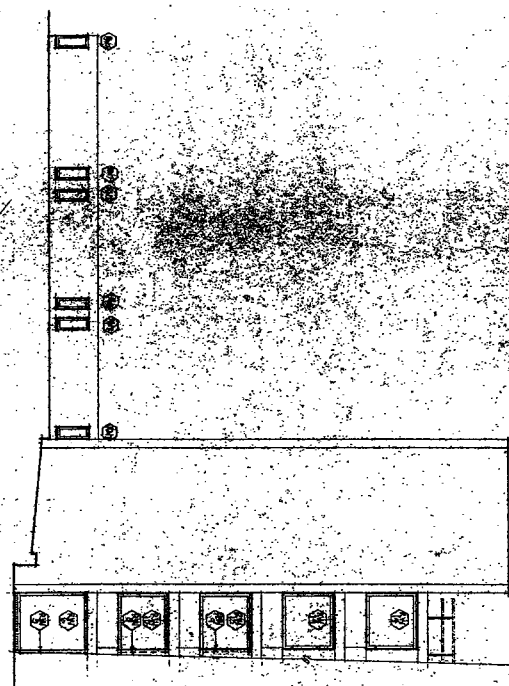
SOUTH ELEV. OF ENTRANCE ADDN
SCALE 1/8" = 1'-0"

NOTE: SEE SITE FOR DIMENSIONS OF MAIN ADDITION & ENTRANCE ADDITION. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

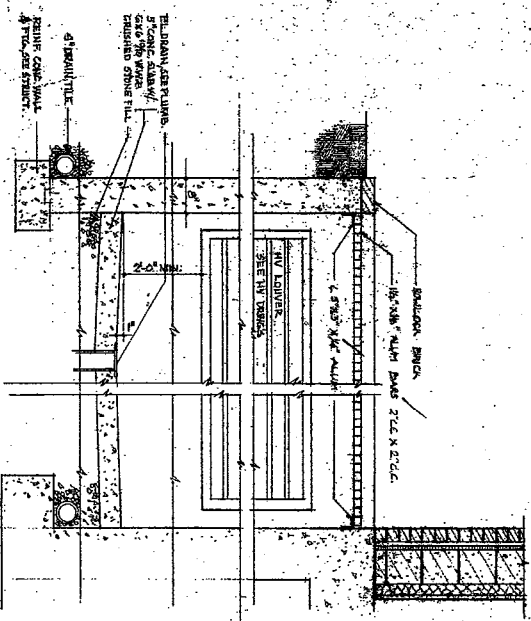
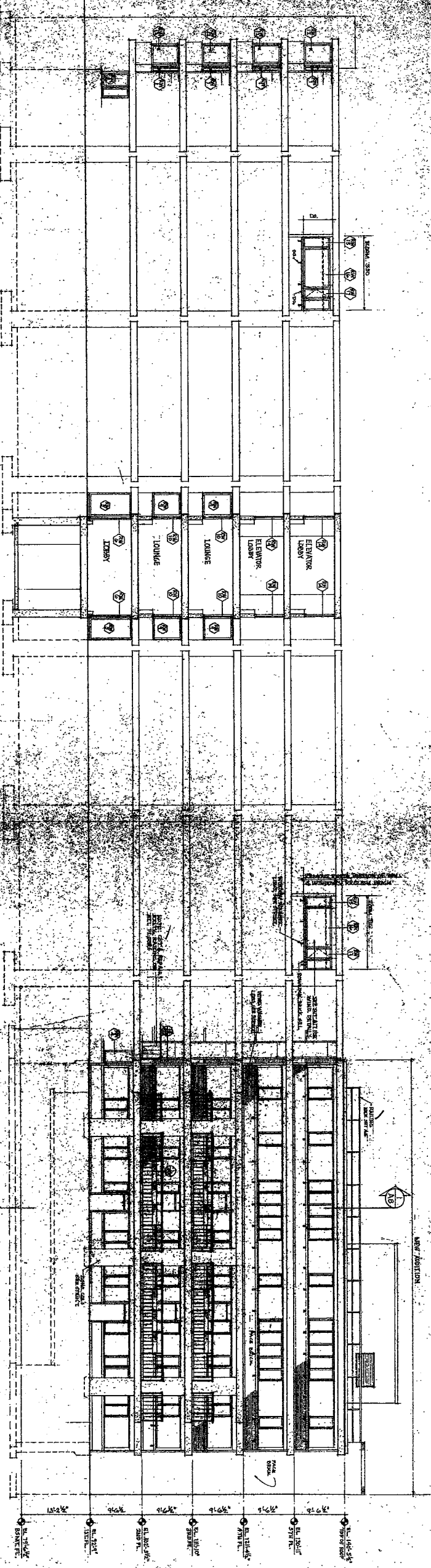
WEST ELEVATION (EXISTING)



NORTH ELEVATION (EXISTING)



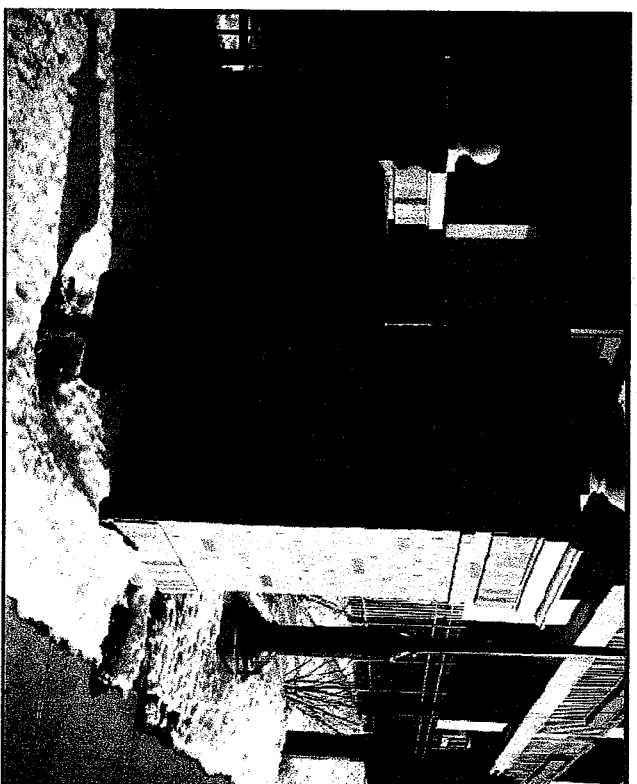
WEST ELEVATION OF TOTAL BUILDING



TYPICAL A-FRAME DETAIL
SCALE: 3/4" = 1'-0"

NOTE: TO BE INSTALLED TO MATCH EXISTING WINDOW FRAME AND GLASS. REFER TO SET DRAWINGS FOR WINDOW FRAME AND GLASS.

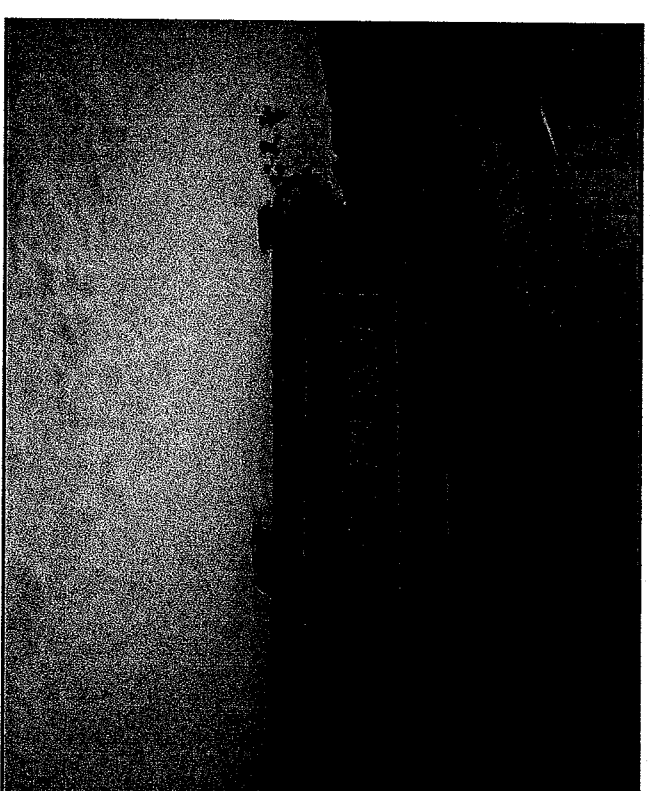
NOTES:
1. SEE SET DRAWINGS FOR WINDOW TYPES, SIZES, AND PLACEMENT.
2. SEE SET DRAWINGS FOR WINDOW FRAME AND GLASS.



3. BRADFORD TERRACE



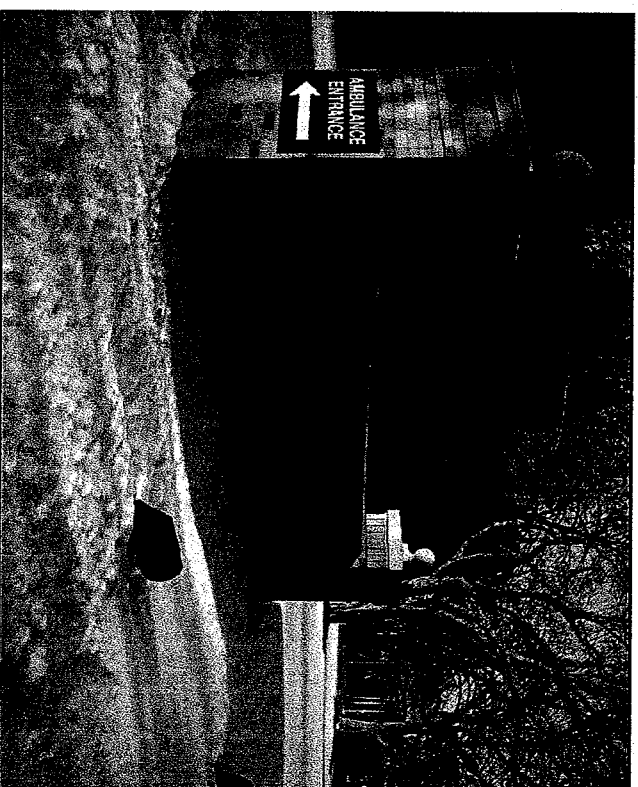
2. BRADFORD TERRACE



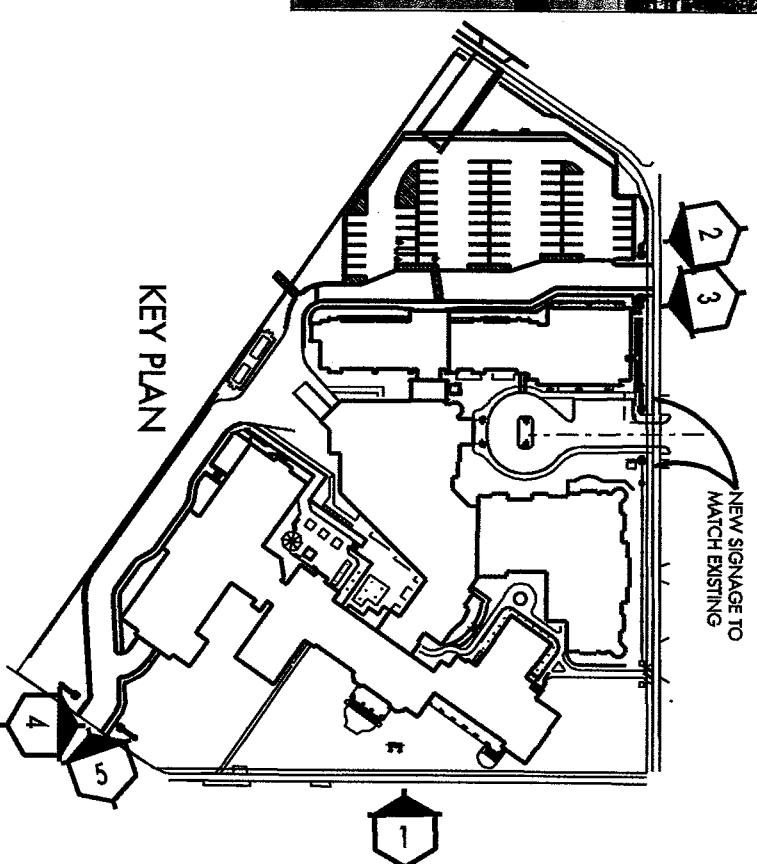
1. MAIN SIGN



5. WATERTOWER



4. WATERTOWER

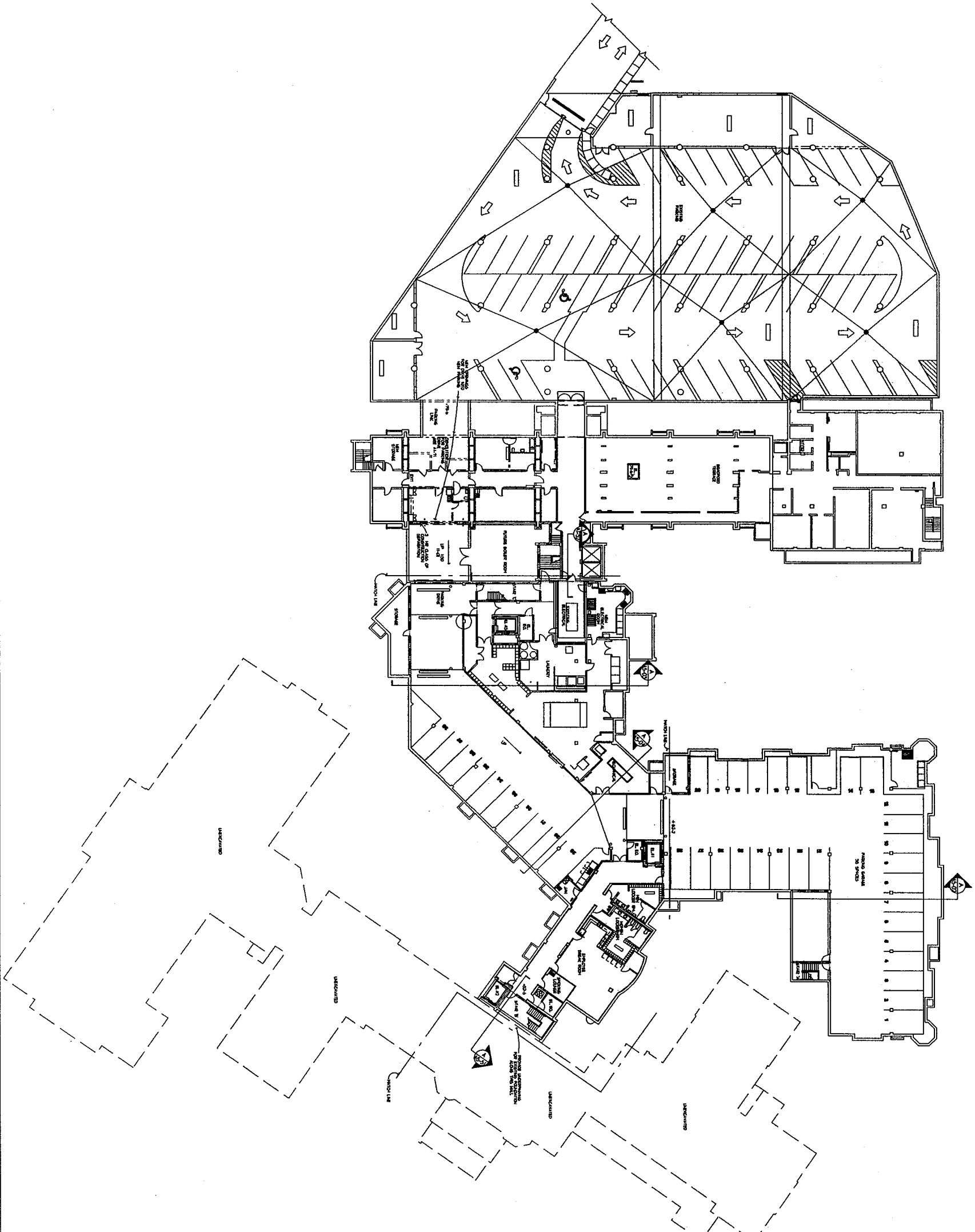


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414.431.0531 FAX

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DRAWN BY MOH TITLE INVENTORY OF EXISTING SITE SIGNAGE SHEET
DATE 02/27/04 PROJECT NO. 020401 PROJECT EASTCASTLE PLACE OF



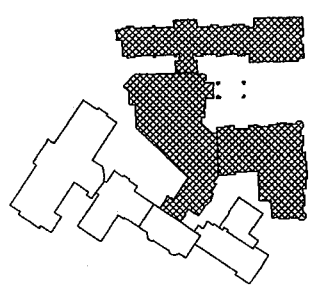
DESIGN DEVELOPMENT
NOT FOR
CONSTRUCTION



Sheet No.
T1-06

1" = 20'-0" OVERALL
BASEMENT/PARKING
LEVEL PLAN

AC Project No. 020401
Drawing Date 27 FEBRUARY 2004
EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
249 N. DOWNER AVE.
MILWAUKEE, WISCONSIN

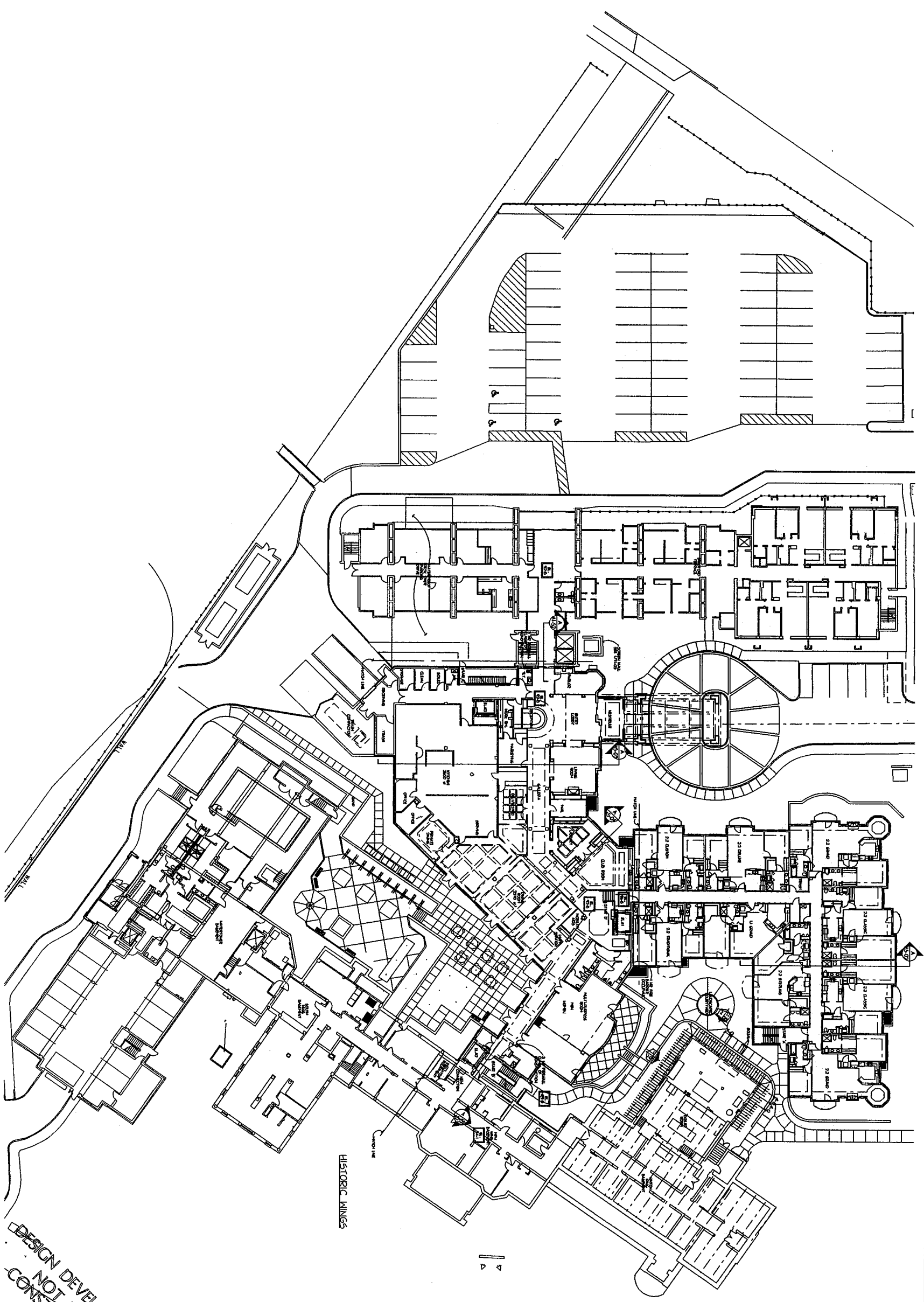


NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	2/18/04	AC
2	ISSUED FOR CONSTRUCTION		
3	ISSUED FOR RECORD		
4	ISSUED FOR AS-BUILT		
5	ISSUED FOR FINAL REVIEW		

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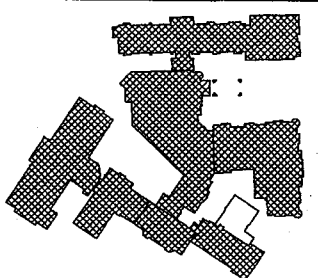
DESIGN DEVELOPMENT
NOT FOR
CONSTRUCTION



Sheet No.
T1-07

Level Title
1' = 20'-0" GROUND
LEVEL PLAN /
HISTORIC
BASEMENT LEVEL

AG Project No.
020401
Street Title
Drawing Date
27 FEBRUARY 2004
EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
2449 N. DOWNER AVE.
MILWAUKEE WISCONSIN

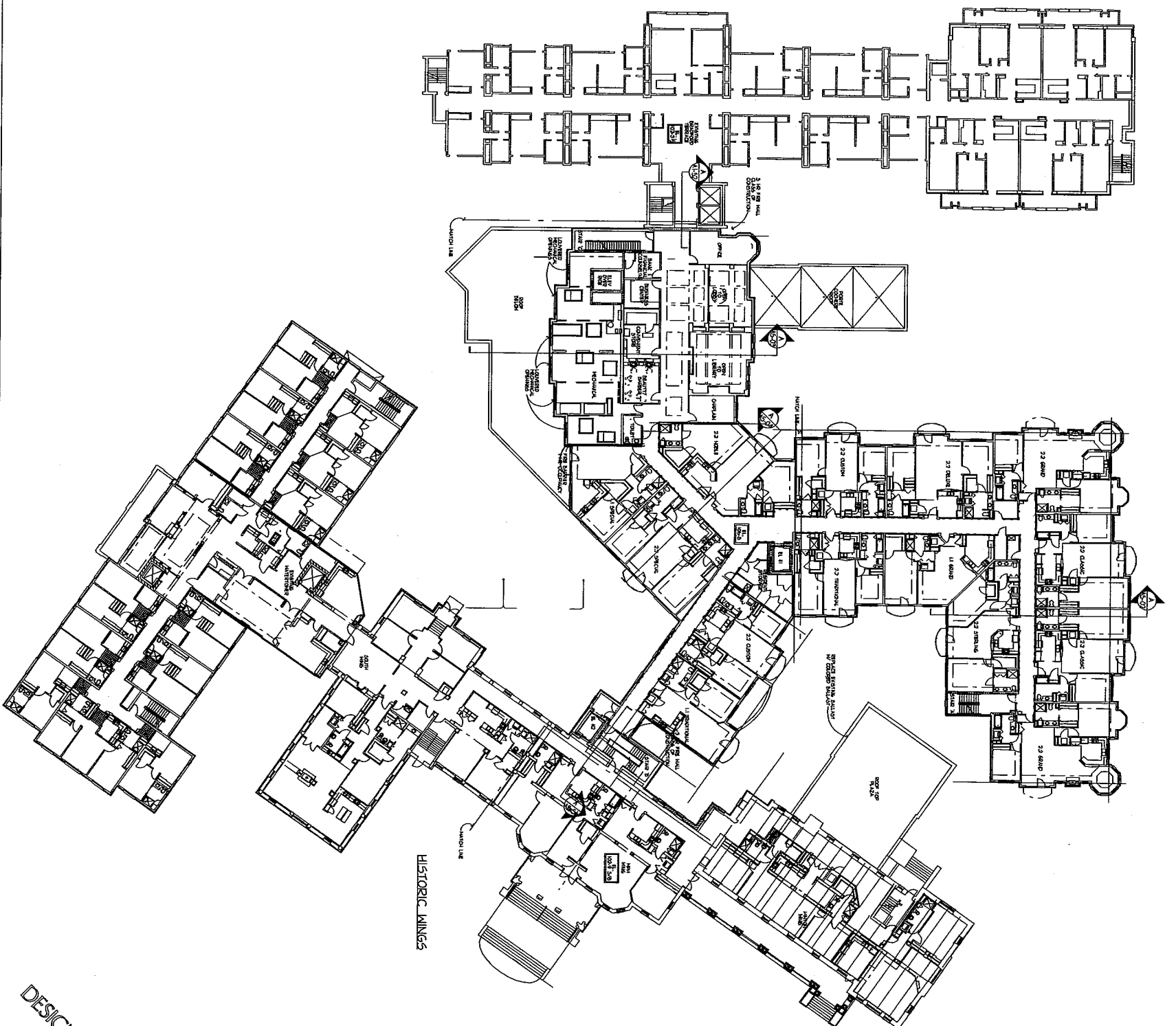
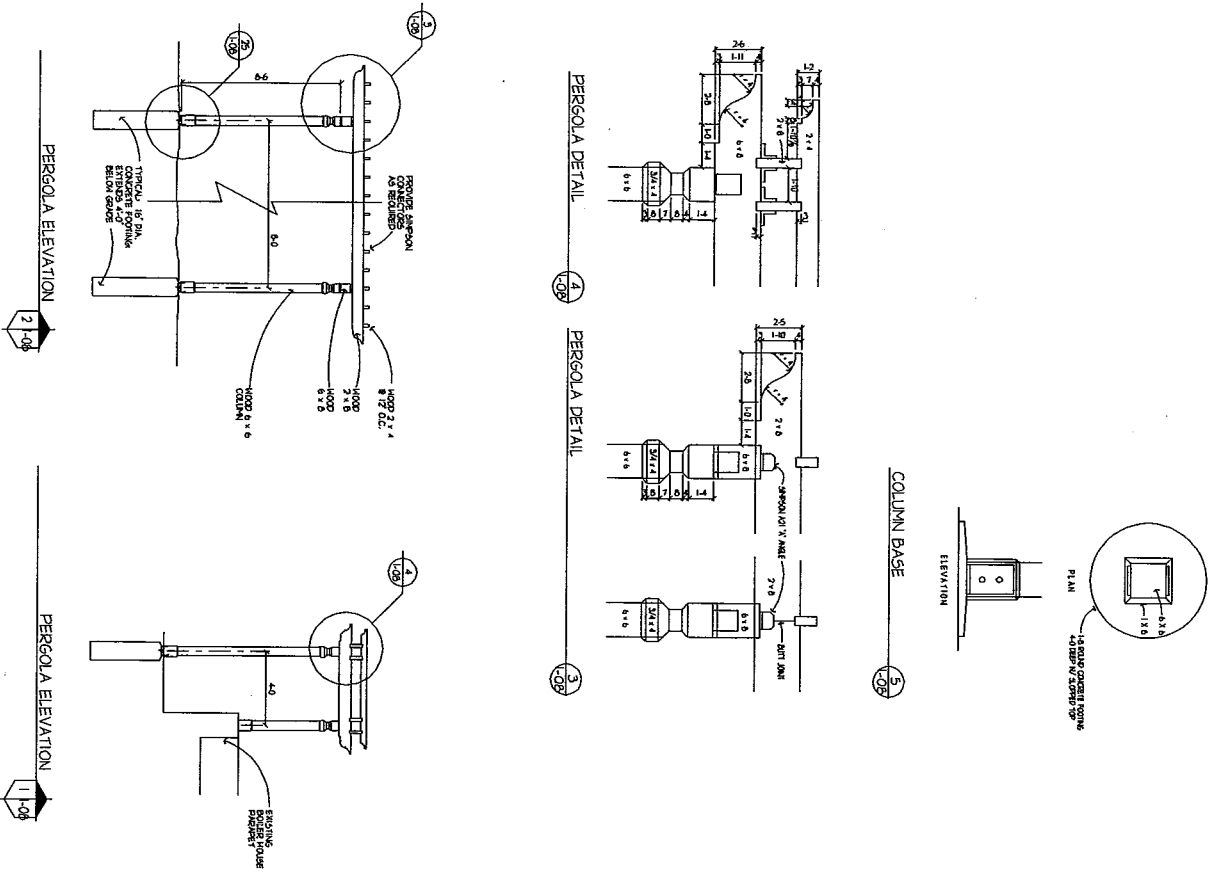


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**DESIGN DEVELOPMENT
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Sheet No. T1-08

1" = 20'-0" LEVEL
TWO PLAN LEVEL
ONE HISTORIC

020401

AG Project No.

MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
2449 N. DOWNER AVE.
MILWAUKEE, WISCONSIN

27 FEBRUARY 2004

Drawing Date

EASTCASTLE PLACE

MILWAUKEE

PROTESTANT HOME

DOWNER CAMPUS

27 FEBRUARY 2004

Drawing Date

EASTCASTLE PLACE

MILWAUKEE

PROTESTANT HOME

DOWNER CAMPUS

27 FEBRUARY 2004

Drawing Date

EASTCASTLE PLACE

MILWAUKEE

PROTESTANT HOME

DOWNER CAMPUS

27 FEBRUARY 2004

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PROTESTANT HOME

DOWNER CAMPUS

27 FEBRUARY 2004

Drawing Date

EASTCASTLE PLACE

MILWAUKEE

PROTESTANT HOME

DOWNER CAMPUS

27 FEBRUARY 2004

Drawing Date

EASTCASTLE PLACE

MILWAUKEE

PROTESTANT HOME

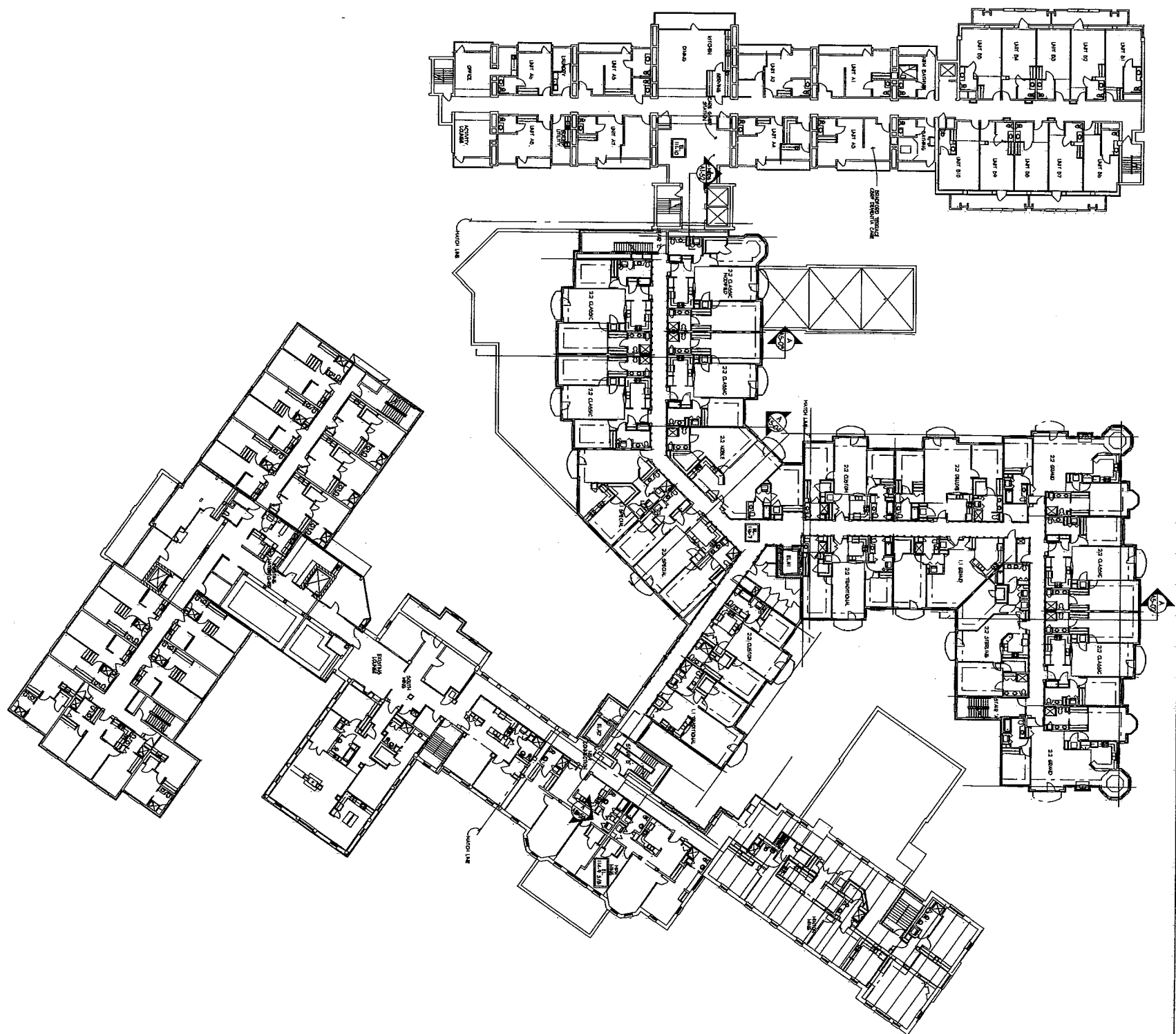
DOWNER CAMPUS

27 FEBRUARY 2004

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1010 HUNTERSBO, AVE.
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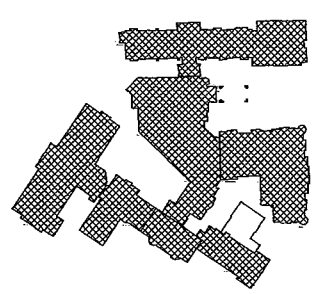
DESIGN DEVELOPMENT
NOT FOR
CONSTRUCTION



Sheet No.
T1-09

Scale: 1/4" = 20'-0"
THREE PLAN /
LEVEL TWO
HISTORIC

AG Project No. 020401
Drawing Date 27 FEBRUARY 2004
EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
2449 N. DOWNER AVE.
MILWAUKEE WISCONSIN

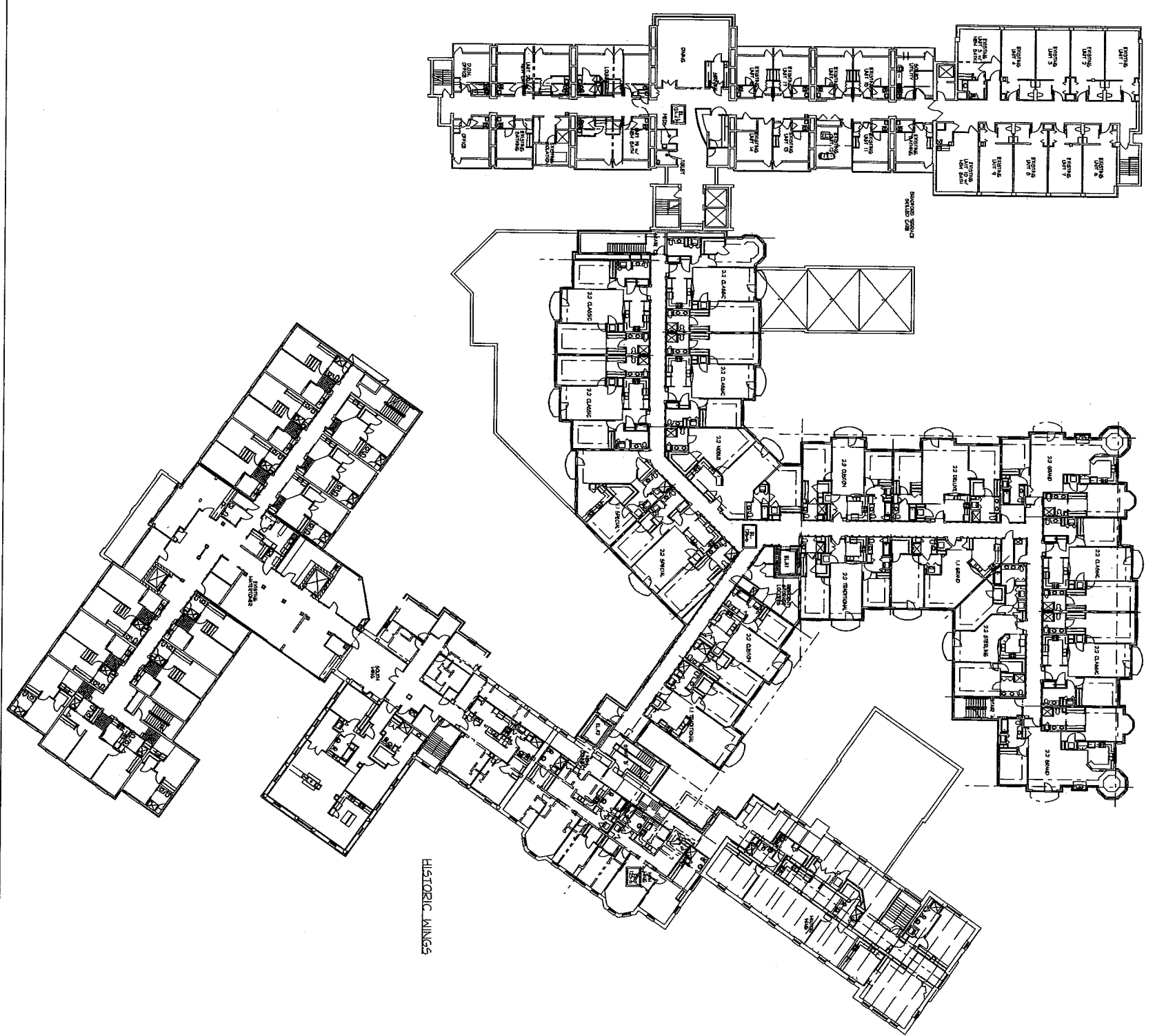


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FOURTH FLOOR	24	1,200	110.7
THIRD FLOOR	25	1,200	110.7
SECOND FLOOR	26	1,200	110.7
FIRST FLOOR	27	1,200	110.7
MECHANICAL	28	1,200	110.7
MECHANICAL	29	1,200	110.7
MECHANICAL	30	1,200	110.7
MECHANICAL	31	1,200	110.7
MECHANICAL	32	1,200	110.7
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MECHANICAL	99	1,200	110.7
MECHANICAL	100	1,200	110.7

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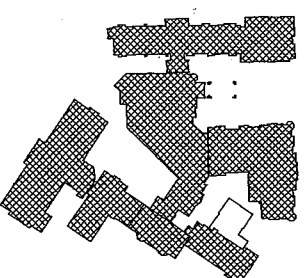
DESIGN DEVELOPMENT
NOT FOR
CONSTRUCTION



Sheet No.
T1-10

1" = 20'-0" LEVEL
FOUR PLAN / LEVEL
THREE HISTORIC

Drawing Date
27 FEBRUARY 2004
EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
2449 N. DOWNER AVE.
MILWAUKEE, WISCONSIN
AG Project No.
020401
Street Title

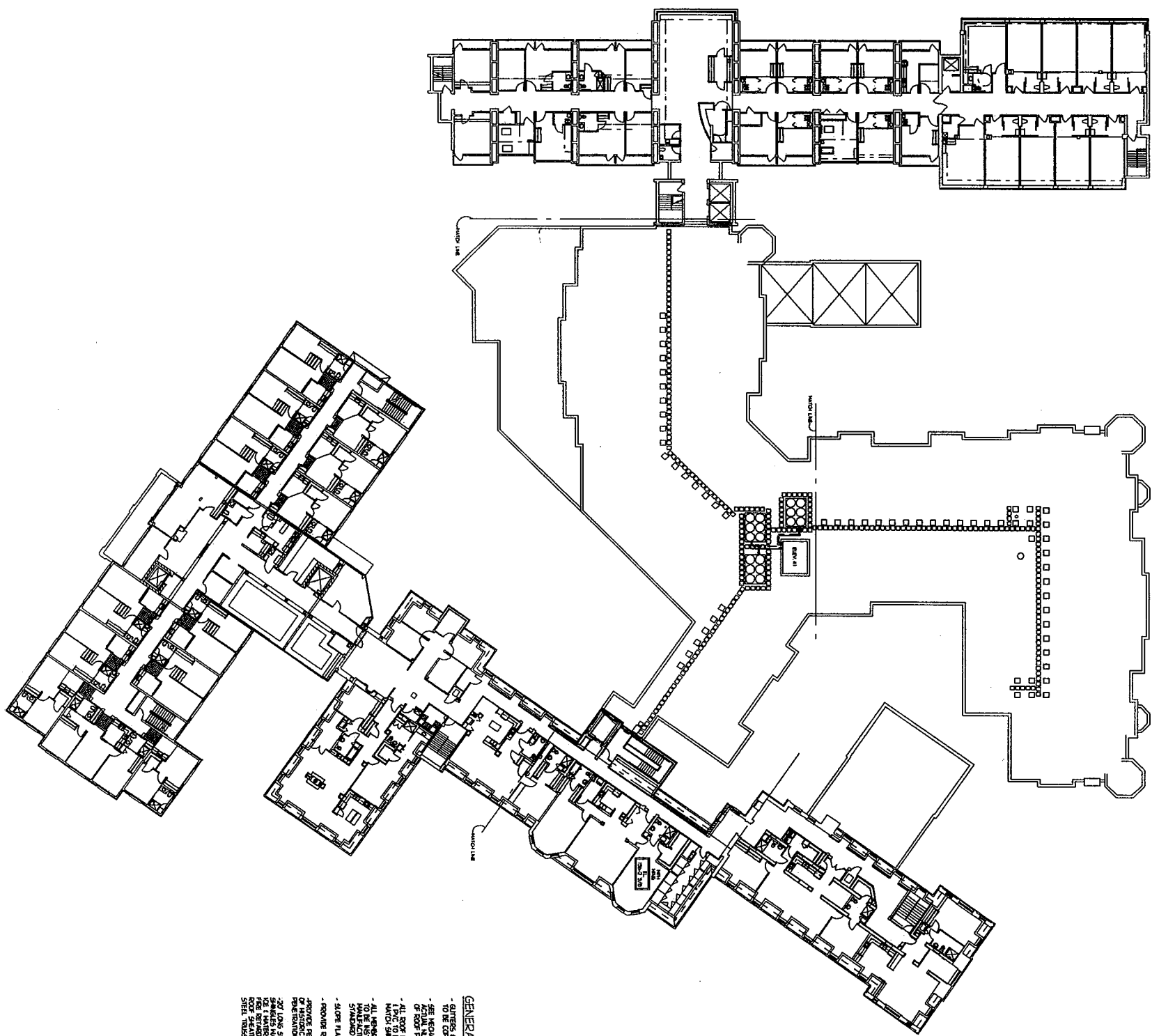


ROOF	ROOF	ROOF
FIRST FLOOR	SECOND FLOOR	THIRD FLOOR
FOURTH FLOOR	FIFTH FLOOR	SIXTH FLOOR
SEVENTH FLOOR	EIGHTH FLOOR	NINTH FLOOR
TENTH FLOOR	ELEVENTH FLOOR	TWELFTH FLOOR
THIRTEENTH FLOOR	FOURTEENTH FLOOR	FIFTEENTH FLOOR
SIXTEENTH FLOOR	SEVENTEENTH FLOOR	EIGHTEENTH FLOOR
NINETEENTH FLOOR	TWENTY FLOOR	UNFINISHED

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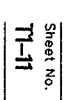




GENERAL NOTES:

- GUTTERS, DOWNSPUTS TO BE COPPER
- SEE MECHANICAL PLANS FOR DUCT SYSTEM LOCATION
- ALL DOOR SQUARES, VENTS TO BE PAINTED TO MATCH SURFACES
- ALL PERSONAL ROOMS SHALL BE FINISHED PER SHOWNED DETAILS
- SLOPE FLOOR ROOF REVISIONS @ 1/4" PER INCH
- REMOVE ROOF VENTS AT ALL ROOFS
- PROVIDE PROTECTION THROUGH ROOF OF HISTORIC BUILDING AS REQUIRED
- PROVIDE PROTECTION THROUGH ROOF REVISIONS PER MANUFACTURERS DETAILS
- 2X12 LOG SHINGLES NEEDED FOR REVISIONS
- SEE MECHANICAL PLANS FOR REVISIONS TO BE MADE ON REVISIONS
- SEE MECHANICAL PLANS FOR REVISIONS TO BE MADE ON REVISIONS

DESIGN DEVELOPMENT
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CONSTRUCTION



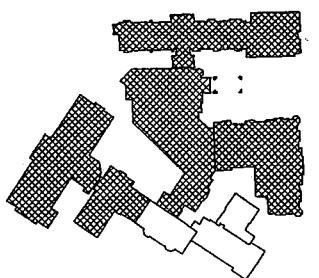
Sheet No. TL-11

1" = 20'-0" LEVEL
FIVE & ROOF PLAN
LEVEL FOUR HISTORIC

Sheet Title
020401
AC Project No.

277 EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
240 N. DOWNER AVE.
MILWAUKEE, WISCONSIN

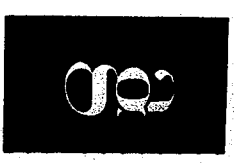
Drawing Date
27 FEBRUARY 2004

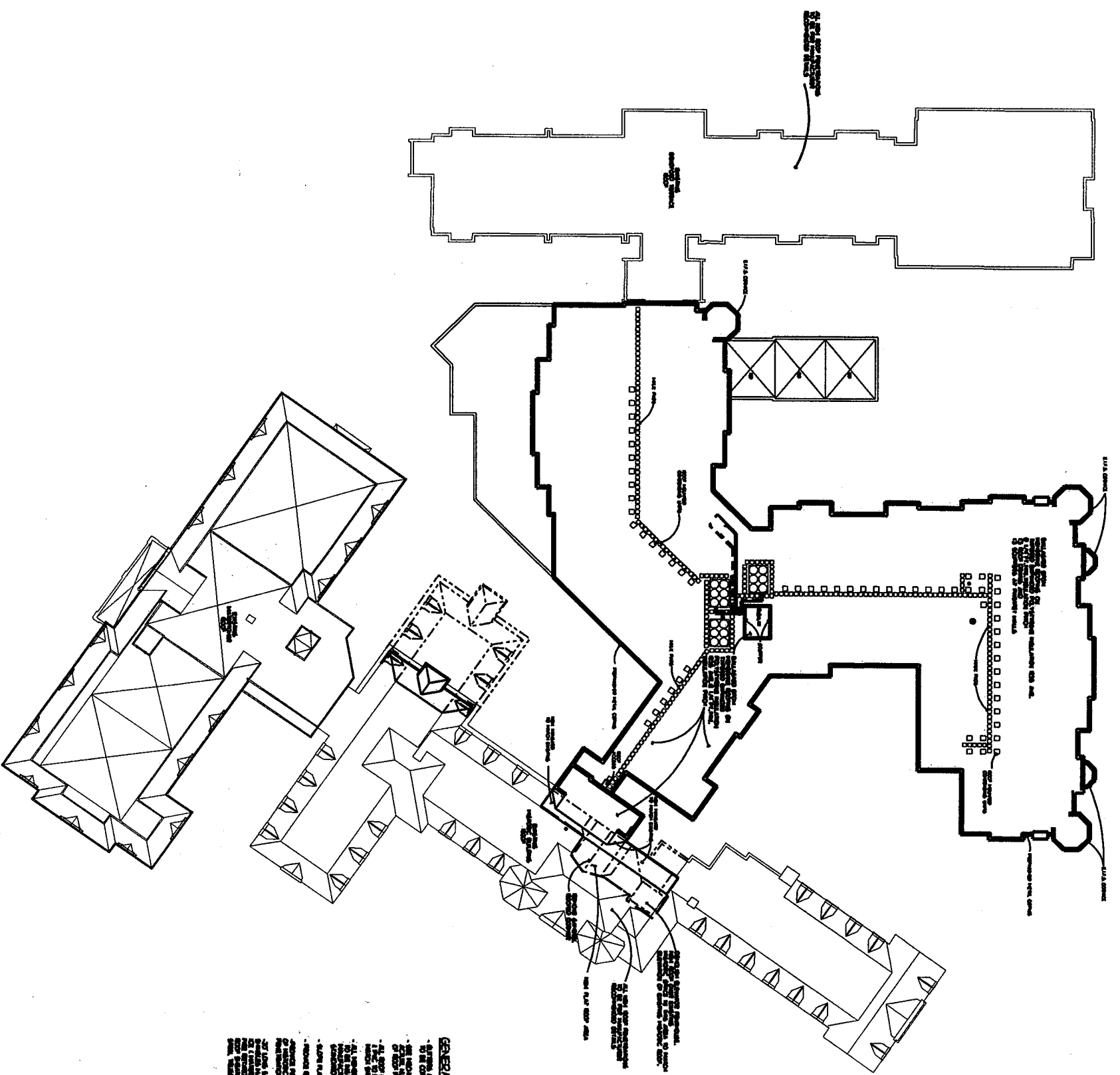


NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMITS	2/18/04	JL	MS
2	ISSUED FOR CONSTRUCTION	2/18/04	JL	MS
3	ISSUED FOR CONSTRUCTION	2/18/04	JL	MS
4	ISSUED FOR CONSTRUCTION	2/18/04	JL	MS
5	ISSUED FOR CONSTRUCTION	2/18/04	JL	MS
6	ISSUED FOR CONSTRUCTION	2/18/04	JL	MS
7	ISSUED FOR CONSTRUCTION	2/18/04	JL	MS
8	ISSUED FOR CONSTRUCTION	2/18/04	JL	MS
9	ISSUED FOR CONSTRUCTION	2/18/04	JL	MS
10	ISSUED FOR CONSTRUCTION	2/18/04	JL	MS

KahlerSlater

300 N. LAKE DRIVE
MILWAUKEE, WI 53233
TEL: 414.224.2200
WWW.KSLATER.COM

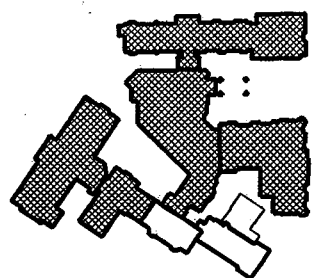




GENERAL NOTE

- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS TO BE SHOWN.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE STATE OF WISCONSIN.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO SUPPORT A MINIMUM LOAD OF 20 PSF.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST WIND UPPULL.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST SEISMIC FORBS.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST AIRBORNE DEBRIS.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST HAIL.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST ICE DAMMING.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST THERMAL MOVEMENT.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST FLOOR SLABS.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST WALLS.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST CEILING.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST FLOOR.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST WALL.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST CEILING.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST FLOOR.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST WALL.
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- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST FLOOR.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST WALL.
- ALL ROOF STRUCTURE SHALL BE DESIGNED TO RESIST CEILING.

NO.	DESCRIPTION	UNIT	QTY
1	ROOFING	SQ. FT.	10,000
2	SKYLIGHTS	SQ. FT.	500
3	FLASHING	LINEAL FT.	1,000
4	INSULATION	CUBIC YD.	500
5	STRUCTURE	SQ. FT.	10,000
6	WATERPROOFING	SQ. FT.	10,000
7	CEILING	SQ. FT.	10,000
8	FLOOR	SQ. FT.	10,000
9	WALL	SQ. FT.	10,000
10	CEILING	SQ. FT.	10,000
11	FLOOR	SQ. FT.	10,000
12	WALL	SQ. FT.	10,000
13	CEILING	SQ. FT.	10,000
14	FLOOR	SQ. FT.	10,000
15	WALL	SQ. FT.	10,000



Drawing Date
27 FEBRUARY 2004

PROJECT
EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
2148 N. DOWNER AVE.
MILWAUKEE WISCONSIN

Project No.
020401

Sheet Title
1" = 20'-0"
ROOF PLAN

KahlerSlater

1010 W. WISCONSIN ST. STE. 400
MILWAUKEE, WI 53233
TEL: 414.224.2200
WWW.KSLATER.COM



GENERAL NOTES:

1. LOCATE ALL PRIVATE AND PUBLIC UTILITIES AND RECORD THEM ON THE PLAN AND PLANTING NOTES.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MILWAUKEE LANDSCAPE ORDINANCE SECTION 22-46 OF THE CITY OF MILWAUKEE ZONING CODE. THEREFORE NO LANDSCAPE CALCULATIONS ARE PROVIDED.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MILWAUKEE LANDSCAPE ORDINANCE SECTION 22-46 OF THE CITY OF MILWAUKEE ZONING CODE. THEREFORE NO LANDSCAPE CALCULATIONS ARE PROVIDED.
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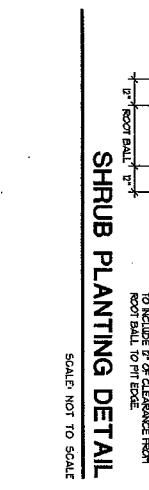
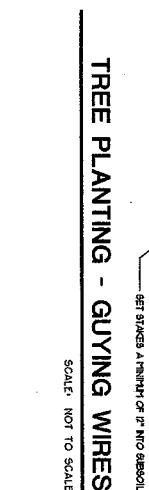
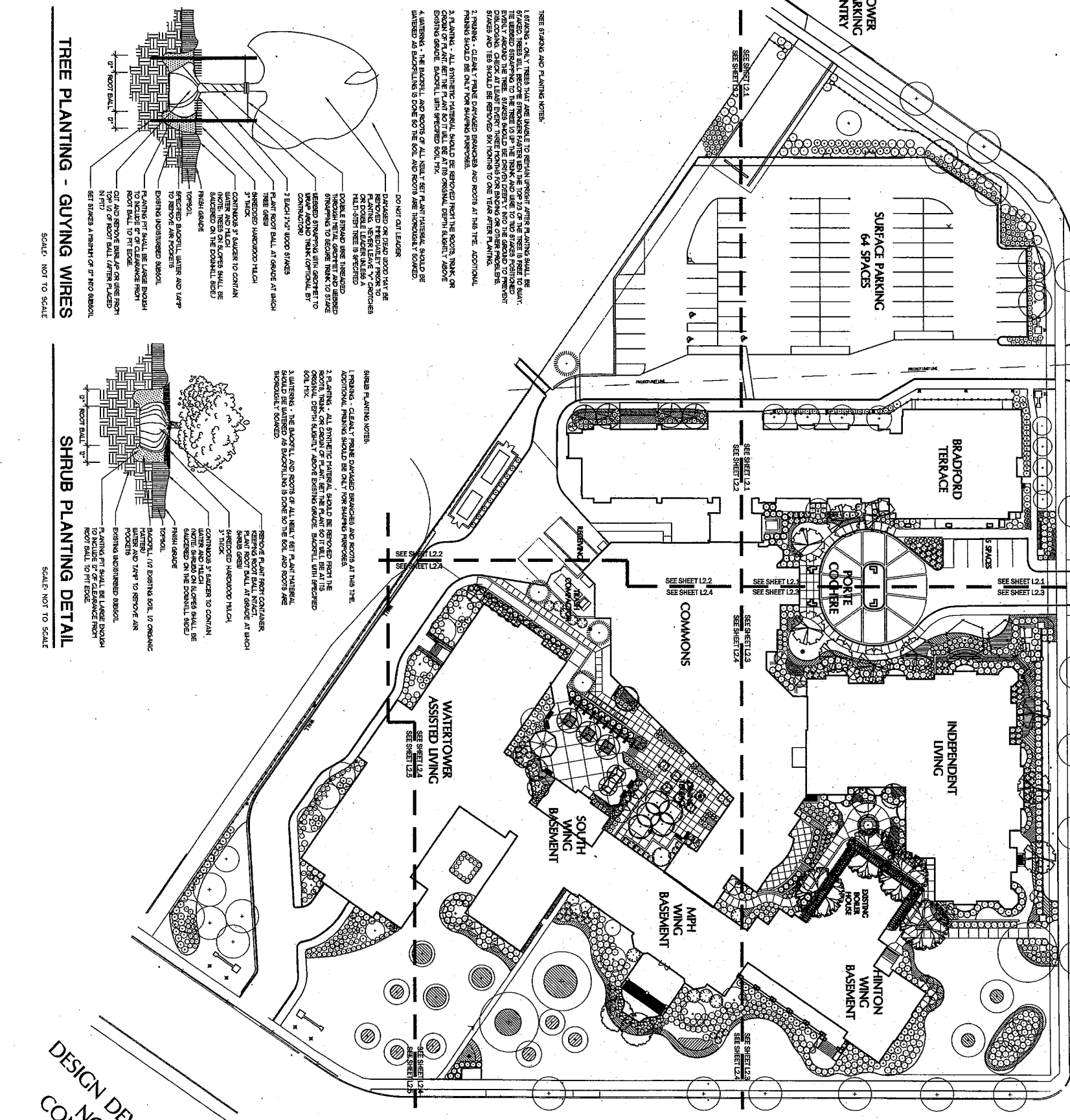
PLANT SCHEDULE

Code Name	Scientific Name	Common Name	Quantity	Planting Size
ACR1	Acer platanoides	Common Fringe	4	3" cal B/B
ACR2	Acer rubrum	Red Maple	2	4" cal B/B
BER1	Betula papyrifera	White Birch	6	3" cal B/B
GLR1	Gleditsia triacanthos	Black Locust	12	2 1/2" cal B/B
PRCA	Prunella americana	Blackberry	12	2 1/2" cal B/B

Code Name	Scientific Name	Common Name	Quantity	Planting Size
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PRCA	Prunella americana	Blackberry	12	2 1/2" cal B/B

LANDSCAPE ORDINANCE NOTE:

1. THE PROJECT IS SUBJECT TO THE CITY OF MILWAUKEE LANDSCAPE ORDINANCE SECTION 22-46 OF THE CITY OF MILWAUKEE ZONING CODE. THEREFORE NO LANDSCAPE CALCULATIONS ARE PROVIDED.



DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

Kahler Slater

PARAGON

3710 W. WISCONSIN AVENUE
MILWAUKEE, WI 53233
TEL: 414.224.1111
WWW.PARAGONDESIGN.COM

AG Project No. 002401

Sheet Title: 18 FEBRUARY 2004

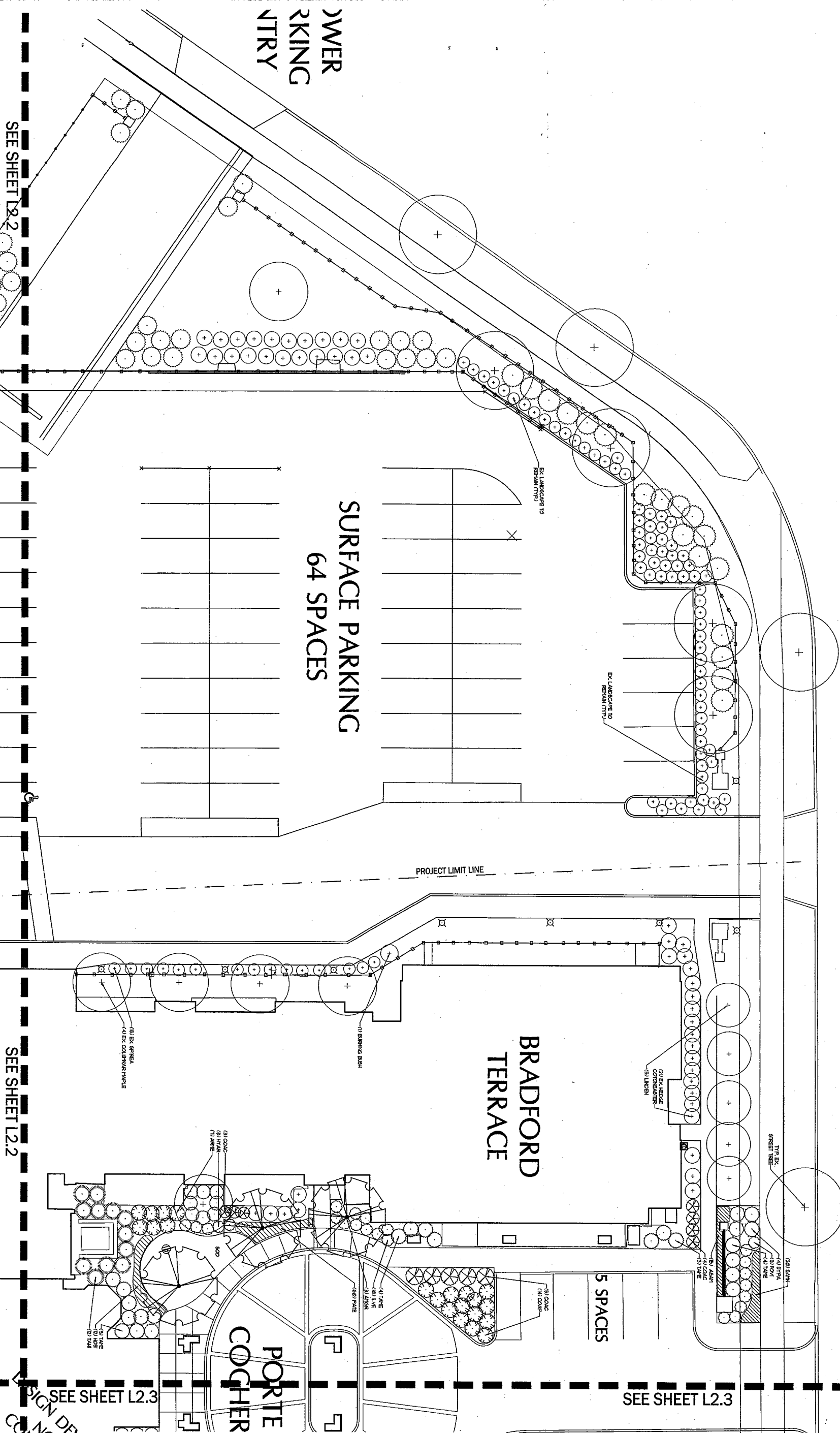
Eastcastle Place
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
2449 N. DOWNER AVE
MILWAUKEE, WISCONSIN

Sheet No. L11

ENTRY

90

DRIVE



SEE SHEET L2.2

SEE SHEET L2.2

SEE SHEET L2.3

SEE SHEET L2.3

NOT FOR CONSTRUCTION

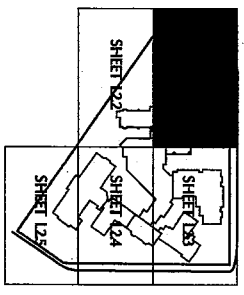


514 SHIRBROOK AVE.
MILWAUKEE, WI 53215
414.312.1111
WWW.EASTCASTLE.COM

Kahler Slater



Site Design
Landscape Architecture
Planning
2777 South Washington
Milwaukee, WI 53212
414.333.8888
www.paracon.com



Drawing Date
18 FEBRUARY 2004

EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
2449 N. DOWNER AVE.
MILWAUKEE, WISCONSIN

AG Project No.
020401

Sheet Title
T=10
DETAIL
LANDSCAPE PLAN

Sheet No.
L21

SHEET L2.1

SEE SHEET L2.1

SEE SHEET L2.3
SEE SHEET L2.4

COMMONS

SEE SHEET L2.4

PROJECT LIMIT LINE

ROOF GARDEN

RECEIVING

TRASH COMPACTOR

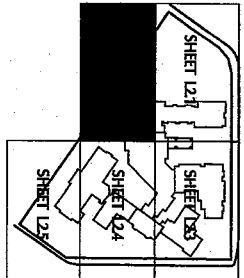
(10) ASPEN
(10) SPRUCE
(10) VILFA
(10) SPRUCE
(10) ASPEN
(10) VILFA

(10) PEUL
(10) LIBT

(10) PAIR

FOR TREES AND
SHRUBS TO BE PLANT
EXISTING TREES AND
SHRUBS TO REMAIN

DESIGN DEVELOPMENT
NOT FOR
CONSTRUCTION



Drawing Date
18 FEBRUARY 2004
EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
2449 N. DOWNER AVE
MILWAUKEE, WISCONSIN

AG Project No.
020401

Sheet Title
1"=10'
DETAIL
LANDSCAPE PLAN

Sheet No.
L22



Site Design
Landscape Architecture
Planning
Site Planning
Urban Design
Historic Preservation
Architectural Interiors
Construction Management

KahlerSlater

154 UNIVERSITY AVE
MILWAUKEE, WI 53233
414.224.1111
WWW.KSLATER.COM



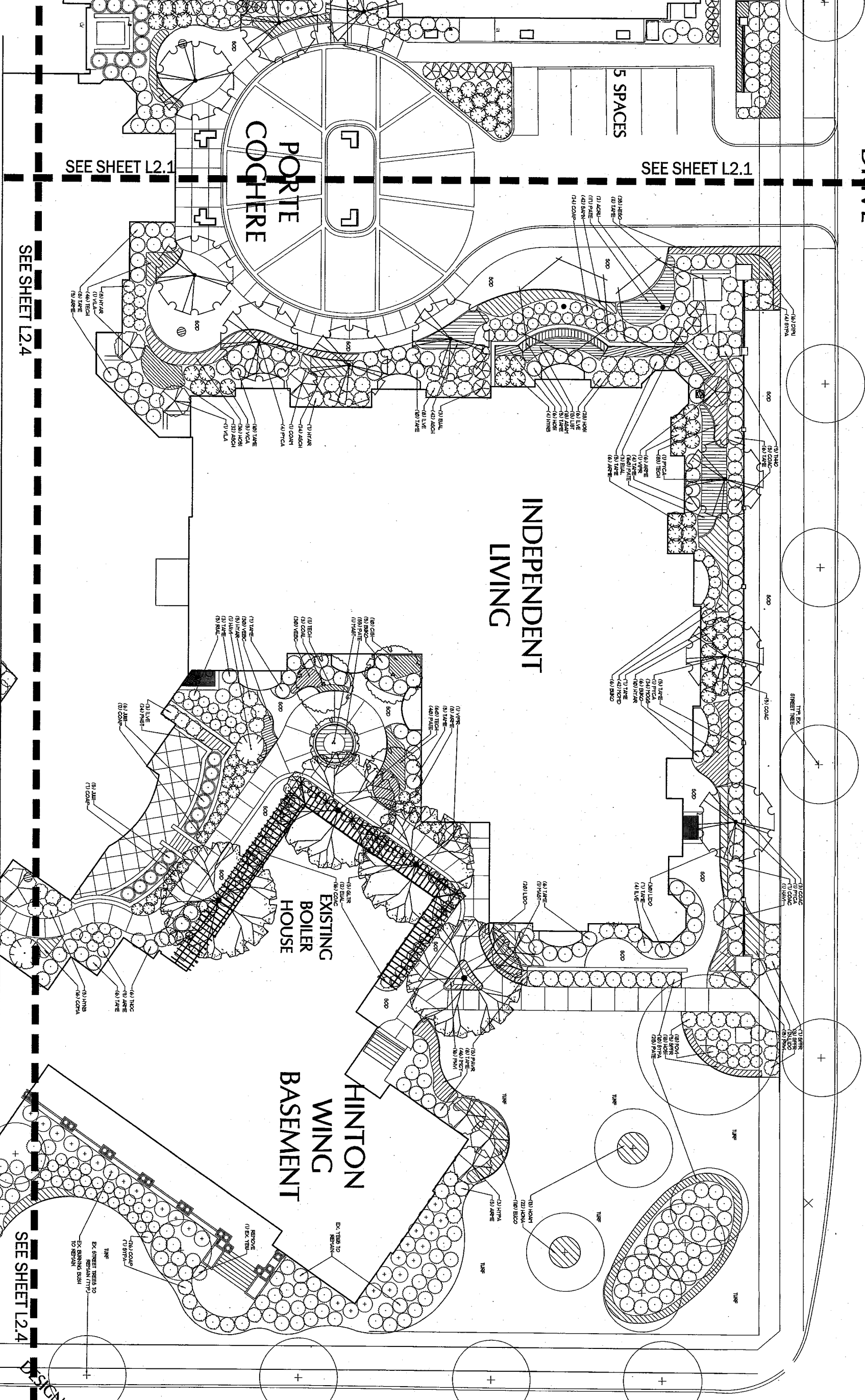
DRIVE

SEE SHEET L2.1

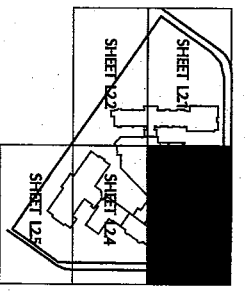
SEE SHEET L2.1

SEE SHEET L2.4

SEE SHEET L2.4



Kahler Slater
ARCHITECTS
1101 N. DOWNER AVE.
MILWAUKEE, WI 53233
TEL: 414.366.1111
WWW.KSARCH.COM



Drawing Date
18 FEBRUARY 2004
EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS
2449 N. DOWNER AVE.
MILWAUKEE, WISCONSIN

AG Project No.
000401
Sheet Title
**1"=10'
DETAIL
LANDSCAPE PLAN**

DESIGN-DEVELOPMENT
NOT FOR
CONSTRUCTION

Sheet No.
L23

SEE SHEET L2.3

SEE SHEET L2.3

COMMONS

SEE SHEET L2.2

ROOF GARDEN

RECEIVING

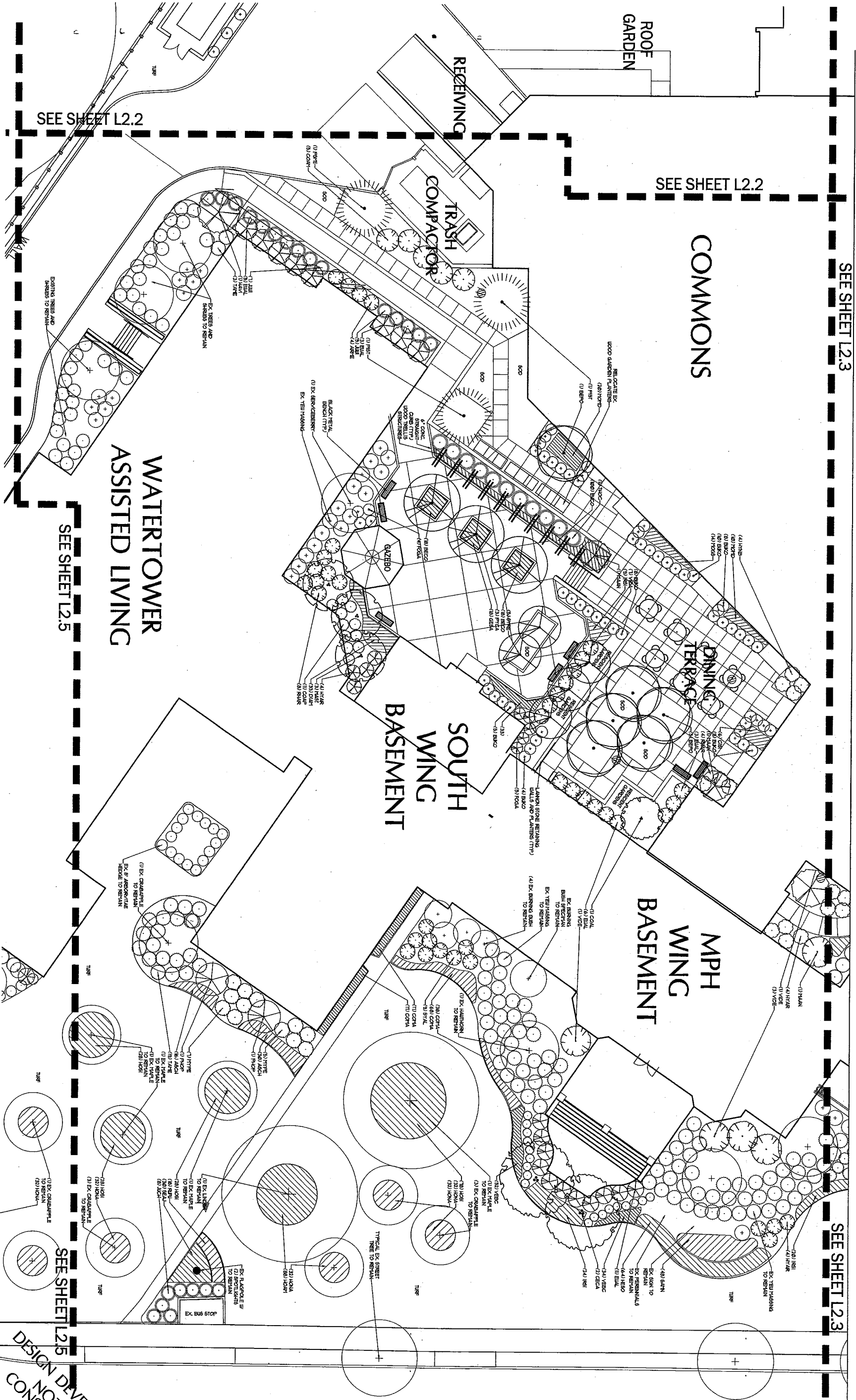
TRASH COMPACTOR

WATERTOWER ASSISTED LIVING

SEE SHEET L2.5

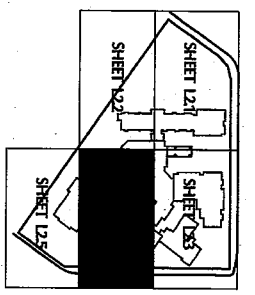
SOUTH WING BASEMENT

MPH WING BASEMENT



DESIGN DEVELOPMENT
 NOT FOR
 CONSTRUCTION

AG Project No. 000401
 Drawing Date 18 FEBRUARY 2004
 EASTCASTLE PLACE
 MILWAUKEE
 PROTESTANT HOME
 DOWNER CAMPUS
 2449 N. DOWNER AVE
 MILWAUKEE, WISCONSIN



KahleSlater

2415 WISCONSIN AVE.
 MILWAUKEE, WI 53233
 TEL: 414.224.2200
 FAX: 414.224.2201
 WWW.KAHLESLATER.COM
 ARCHITECTS
 EST. 1988



Sheet No. 124

Sheet Title
 1"=10'
 DETAIL
 LANDSCAPE PLAN

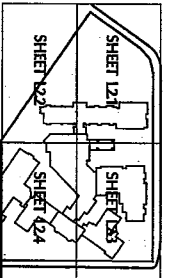


3440 DUNBROOK AVE
MILWAUKEE, WI 53233
414.421.2233
WWW.AGEEKEN.COM
AG E E K E N
L A N D S C A P E
A R C H I T E C T S
P L L C
F O U N D E D 1 9 8 8

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3275 West Center Avenue
Milwaukee, WI 53227
414.421.2233
WWW.AGEEKEN.COM



Drawing Date
18 FEBRUARY 2004

**EASTCASTLE PLACE
MILWAUKEE
PROTESTANT HOME
DOWNER CAMPUS**
2449 N. DOWNER AVE
MILWAUKEE, WISCONSIN

AG Project No.
020401

Sheet Title
**T-10
DETAIL
LANDSCAPE PLAN**

**DESIGN DEVELOPMENT
NOT FOR
CONSTRUCTION**

Sheet No.
L25

**WATERTOWER
ASSISTED LIVING**

SEE SHEET L2.2
SEE SHEET L2.4

SEE SHEET L2.4

SEE SHEET L2.4

WALL

(1) EX. EQUIPMENT
TO REMAIN
EX. HEDGE
TO REMAIN
(2) EX. WHITE BIRCH
TO REMAIN
TO REMAIN

EXISTING TREES AND
SHRUBS TO REMAIN

(1) EX. JACU-
(7) JACU

TRANSPLANT EX. CREeping
JANIER (SEE PLAN) AS
REQUIRED

TRANSPLANT (1) BURNING
SHRUB TO NEW LOCATION
WITHIN BED
(1) EX. CREOSOTEPHLE
TO REMAIN
TRANSPLANT (1) BURNING
SHRUB WITHIN BED
(1) TRANSPLANTED
BURNING SHRUB
(1) JACU - FILL IN
EXISTING BED
EX. CREeping JANIER
PASSING TO REMAIN

(1) TRANSPLANTED
BURNING SHRUB

(1) EX. CREOSOTEPHLE
TO REMAIN
EX. BURNING
HEDGE TO REMAIN

(1) EX. JACU
TO REMAIN
(2) EX. HEDGE
TO REMAIN

(2) EX. JACU
TO REMAIN
(1) EX. CREOSOTEPHLE
TO REMAIN
(2) EX. HEDGE
TO REMAIN

(1) EX. CREOSOTEPHLE
TO REMAIN
(2) EX. HEDGE
TO REMAIN

(1) EX. JACU
TO REMAIN
(1) EX. HEDGE
TO REMAIN

EX BUS 67C