

St Ann Center for Intergenerational Care  
2450 North Avenue

Request for Minor Modification of Detailed Plan Development  
File Number - 171611

February 13, 2018

#### Purpose

In March 2013, a Detailed Planned Development (DPD) was established for St. Ann Center for Intergenerational Care at 2450 West North Avenue (File NO. 121324), and was subsequently amended to approve changes to the building elevations in November 2014 as File No. 140969. A minor modification to the DPD was approved in November 2016 to allow for signage on the site (File No. 160609). St Ann Center for Intergenerational Care requests a Minor Modification of the existing DPD zoning for the property bordered by N. 25th Street, W. Meinecke Avenue, N. 24th Street, and North Avenue to permit a small building expansion to accommodate a pool on the northeast portion of the building, as well as a band shell on the northwest corner of the site. The mission of St. Ann Center for Intergenerational Care is to provide community-based health and educational services for children and frail adults and to serve as a resource and support for caregivers. St Ann Center is an intergenerational day care center providing programs and services to children, the frail elderly, and adults with disabilities. This proposed project will continue to develop the original vision for St Ann.

This Statement of Owner's Intent, together with the accompanying plan sheets and related materials, identified below, constitute and support the request for the minor modification of detailed development plan for the property.

#### II. Overall Development Concept

##### Existing Conditions

The project site consists of two city blocks bounded by North Avenue to the South, N. 24th Street to the East, N. 25th Street to the West, West Meinecke Avenue to the North, West Medford Avenue to the Northeast and is divided by N. 24th Place. The subject property consists of 27 parcels which range in size from 0.046-acres to 2.38-acres and together make up the approximately 7.43 acre piece of land. Historically, the subject property parcels were primarily occupied by residences with the exception of various store fronts and auto sales and service/repair uses which were present along West North Avenue (southern extent of the subject property). The former structures associated with the subject property were demolished between the 1950's and 1995, with the majority of the demolition activities occurring in the mid 1990's.



The City of Milwaukee has completed a "Historic Land Use Investigation" (June 4, 2012) for the site, and Sigma Environmental Services, Inc. (Sigma) of Milwaukee, Wisconsin has completed an AAI Phase I Environmental Site Assessment (ESA) of the Park West "D" property. Construction started in 2014. Unfortunately, despite having a AAI Phase 1 completed for the site, it was soon discovered that the soil contained more contamination than anticipated, at the expense of over \$1 million dollars to remediate the site. The St Ann Board of Directors elected at that time not to build the pool and locker rooms. Interior portions of the building were "white-boxed", and have been gradually completed as funds became available. The new facility opened in September 2015 at an investment of \$20 million dollars. In the State of Wisconsin's 2017 budget, dollars were allocated to complete the pool, the band shell and remaining interior portions of the project.

#### Proposed Development

The proposed project is a minor modification to the original detailed plan development. While not yet constructed, the pool was originally designed and approved as part of this plan. A small, approximately 1,450 square foot building addition is requested to accommodate the locker rooms adjacent to the pool. The band shell and pool support expansion were identified as future developments.

**The new band shell** shall consist of:

- 1,200 SF stage building
- 1,160 SF of stage
- Roof structure extending 25 feet beyond the stage floor.

The hard surface deck in front of the stage will allow for wheelchairs and other folding chairs to be assembled as needed. There will be no permanent seating. The extension of the roof is to protect the elderly and others from sun, wind and rain. There will be no permanent audio/visual (speakers or screens) attached to the building. The lighting provided will be for general setup and maintenance. Individual performances will be required to bring their own sound system and lighting.

The exterior of the building will be a combination of decorative split faced CMU and cement board lap siding. The roof will be a pitched system with dimensional fiberglass shingles. The materials are consistent with the main building, and will match in color and texture. Anchorage for temporary signage on each side of the band shell facing the main building shall be provided. The signage shall not exceed 48 SF each, and will be used for programs and performances at the band shell.

#### **The Pool, Locker Room and Support Addition**

The pool's primary use shall be for St Ann's Clients, as a therapy pool. The pool shall also be used by the childcare, to teach the children how to swim. The main body of the pool and volume will be a continuation of the interior intergenerational park, a two story volume supported by wood laminated columns and beams. The exterior of the building will be a combination of decorative split faced CMU, masonry brick and EIFS. The roof will be a pitched system with dimensional fiberglass shingles, aluminum gutters and downspouts. The window and door systems will be aluminum with clear, insulated glazing utilizing "Low E" technology. The pool and support addition will continue the original design intent.



**Information / Refreshment Kiosk**

A small 75 SF wood structure will be added along the new West walk. Refreshments will consist of water, soda and snacks. No Alcohol will be served. This structure will mainly be used when the band shell is active.

**The site improvements**

A new walkway will wrap around the band shell and connect the main building from both the East and West sides. When the band shell is not being utilized, this walkway will be used for clients as part of their therapy. Landscaped areas between the public walk and the band shell structure as well as between the property lines and the structure will be added. This area will include lawn, planting areas and trees. Lighting will be provided along the walkway. Temporary banners, not more than 4 SF each shall be hung from the lighting to reinforce the Franciscan values of St Ann's. Additional parking is not being planned.

The existing Storm water bio-infiltration swales were originally designed to accommodate the proposed projects.

The attached pictures are of the current facility to give the commission an understanding of the character and materials we propose to continue to use for this project.

All other aspects of the DPD remain unchanged.





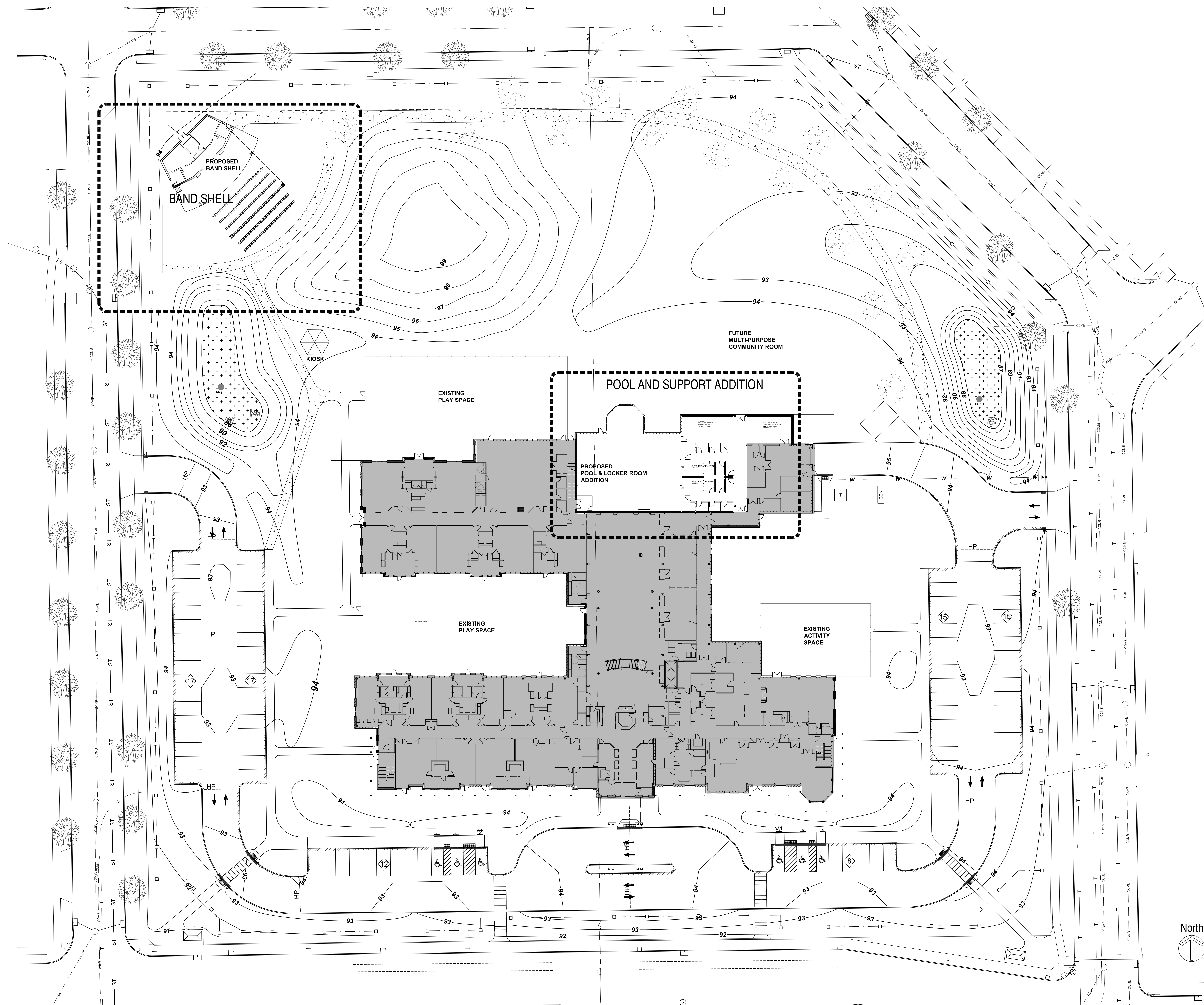
LOCATION OF PROPOSED BAND SHELL

LOCATION OF POOL AND SUPPORT SPACES









Consultant:

Project:  
**ST ANN CENTER FOR INTERGENERATIONAL CARE**  
 FILE NUMBER - 171611

Location: 25th St. and North Ave  
 Milwaukee, WI

Key Plan:

Sheet:

## Site Plan

Scale:

Revisions:		
No.	Date	Description

Date:  
 February 13, 2018  
 Project No.:  
 120054.00  
 Sheet No.:



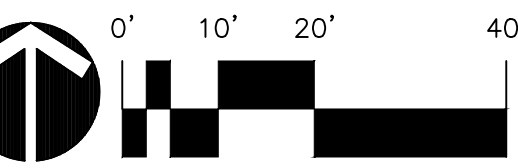
Consultant:

Project:

**ST ANN CENTER FOR  
 INTERGENERATIONAL CARE**  
 FILE NUMBER - 171611

Location: 25th St. and North Ave  
 Milwaukee, WI

Key Plan:



Sheet:

### Landscape Plan

Scale:

Revisions:

No.	Date	Description

Date:

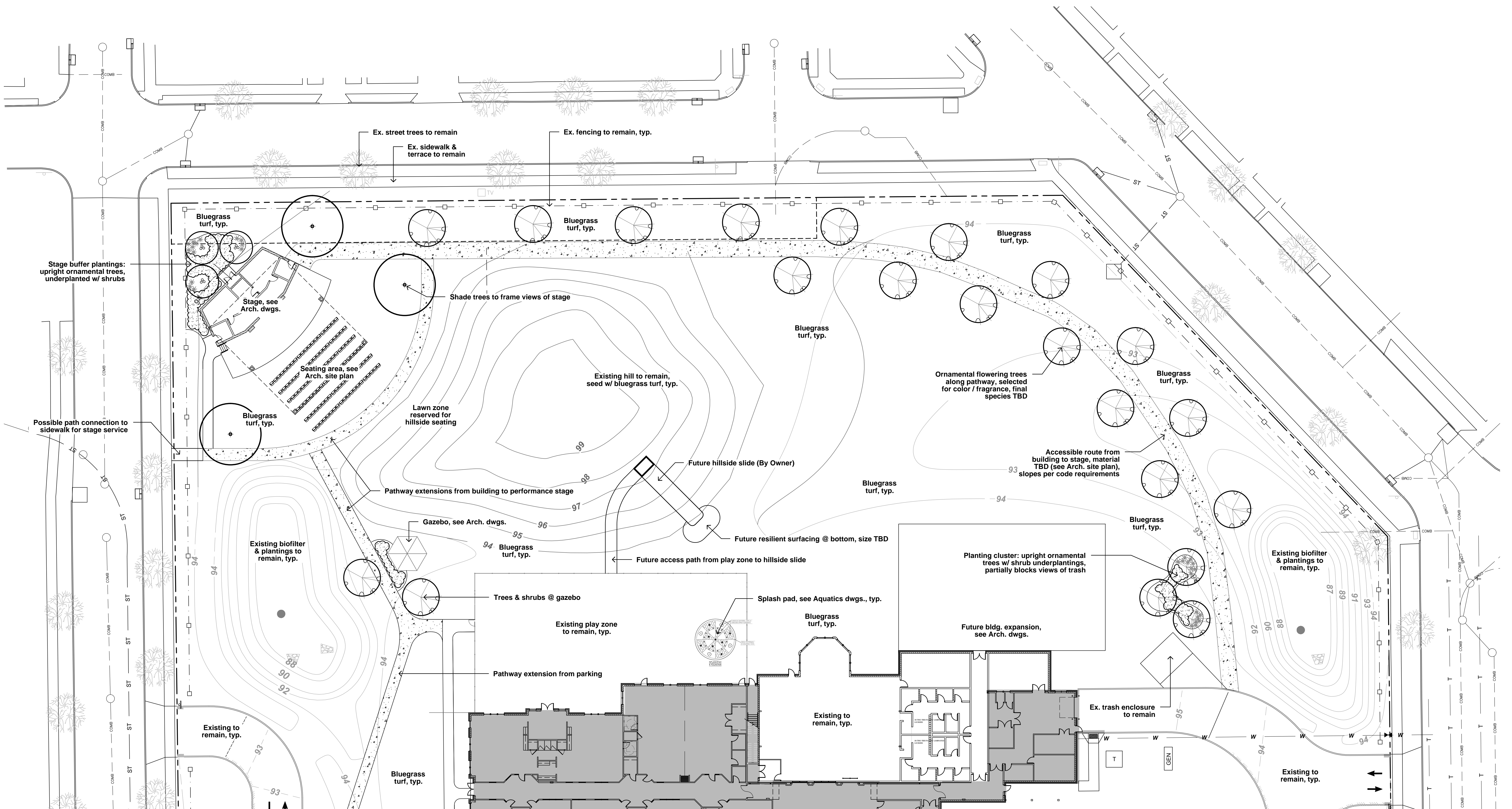
February 13, 2018

Project No.:

120054.00

Sheet No.:

## L100



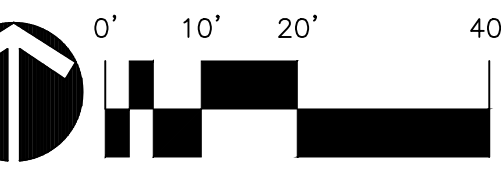
Consultant:

Project:

ST ANN CENTER FOR INTERGENERATIONAL CARE FILE NUMBER - 171611

Location: 25th St. and North Ave Milwaukee, WI

Key Plan:



Sheet:

Landscape Details, Schedules & Notes

Scale:

Revisions:

No. Date Description:

Table with 3 columns: No., Date, Description. Multiple empty rows for revisions.

Date:

February 13, 2018

Project No.:

120054.00

Sheet No.:

L500

General Notes

- 1.01 All landscape installation & maintenance to conform with all applicable local codes & ordinances, including (but not limited to) select portions of City of Milwaukee Municipal Code Ch. 295-405 "Landscaping."
1.02 See Site dwgs. for work limits, scope of construction, hardscape, dimensions &/or construction notes. See Civil dwgs. for all grading, stormwater management, site utilities & erosion control.
1.03 Contractor shall provide shop drawings and material submittals of all hardscape & landscape construction elements shown in plan set for Landscape Architect review prior to construction, including (but not limited to) ornamental fencing & all access control equipment.
1.04 Contractor to provide samples for Landscape Architect's approval on all colors, finishes & materials prior to construction, including (but not limited to) topsoil, gravels, mulches, seed mixes et al.
1.05 Caution: underground utilities are present on site. The Contractor shall verify location of all above- and below-grade utilities, both public & private, prior to commencement of site construction.
1.06 Contractor to verify hardscape layout prior to construction. Contact Landscape Architect if discrepancies are found.
1.07 Contractor to limit construction traffic to within work limit lines. All adjacent damage shall be the responsibility of the contractor to restore.
1.08 All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.
1.09 Any work done in the public right-of-way shall require an encroachment & maintenance agreement with the City of Milwaukee. Owner, LA & contractor to coordinate.

Landscape Notes

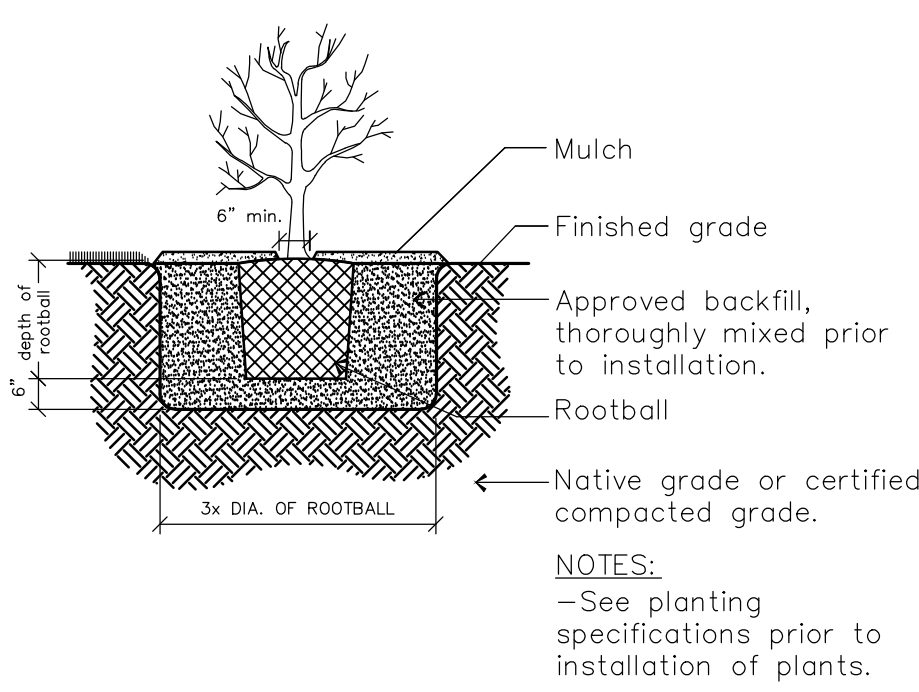
- 2.01 Rough grading & topsoil import/spreading are to be completed by others. Finish grading, seed area and ornamental planting bed preparation shall be the landscape contractor's responsibility.
2.02 All areas disturbed by site construction shall be fine graded and restored with vegetative cover as shown. See plans for cover types & locations, see specifications for materials & installation.
2.03 Contractor shall verify plant quantities shown on plan. Symbol quantities take precedence over plant keys. Forward a material list to the Landscape Architect prior to construction identifying species, sizes & plant sources to be used on the project.
2.04 All plant materials shall conform to the schedule and shall meet quality requirements outlined in the ANLA "American Standard for Nursery Stock", ANSI Z60.1-2004.
2.05 All nursery tags/labels shall be left on plant materials until the project punch-list inspection is completed by the Landscape Architect.
2.06 All planting beds shall contain screened blended topsoil mix to a min. depth of 18".
2.07 Contractor is responsible for ensuring that all tree pits & planting areas drain properly.
2.08 Contractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil.
2.09 All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer.
2.10 All perennial areas shall receive a 1-2" layer of shredded hardwood bark mulch.
2.11 Unless otherwise shown, all perennials & shrubs to be planted in triangular arrangements.
2.12 All bed edging shall be shovel-cut unless otherwise noted.
2.13 Stone mulch areas to contain 2-3" of decorative stone installed over poly weed barrier.
2.14 Contractor shall provide positive drainage away from all structures for a minimum of 10'.
2.15 Contractor shall be responsible for providing base bid comprehensive landscape establishment, maintenance and warranty care for one year after installation.

Seeding Notes & Mixes

- 3.01 This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications.
3.02 Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes. The areas to be seeded shall be worked with plow chisels, discs & harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained.
3.03 Confirm that anticipated project schedule date(s) fall within the respective seed supplier's approved calendar prior to installation.
3.04 Seeds shall be PLS and will be mixed in accordance w/ mfr's specifications. Provide invoices, bag-tags or mix analysis results for approval prior to installation.
3.05 The seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, slit-seeder, drop spreader or broadcast spreader) are the only accepted methods.
3.06 No seeding shall occur if the wind exceeds 12 MPH.
3.07 Coordinate erosion control and/or mulching with Civil dwgs. In sloped areas steeper than 4:1, erosion matting shall be installed by others (see 3.09); installation coordination will be required.
3.08 See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.
3.09 Contractor is responsible for obtaining soil tests for all seeded areas. Soil testing results shall include (but is not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay).
3.10 Seed mix substitutions will be considered only if submitted for approval prior to seven days before the close of bidding.
3.11 Contractor shall be responsible for providing comprehensive seed area establishment, maintenance and warranty care for all seeded areas for the following durations not less than one year after establishment.

- Bluegrass areas: 12 months

BLUEGRASS MIX: "Deluxe 50 Mix" shall be supplied by Reinders, Sussex WI, 262-786-3300. Apply @ 5 lbs per 1000 GSF. Install where "Seeded Turf" is noted. Also apply "General 30 Mix" @ 2 lbs per 1000 GSF. All other turf shall be sodded, see specs.

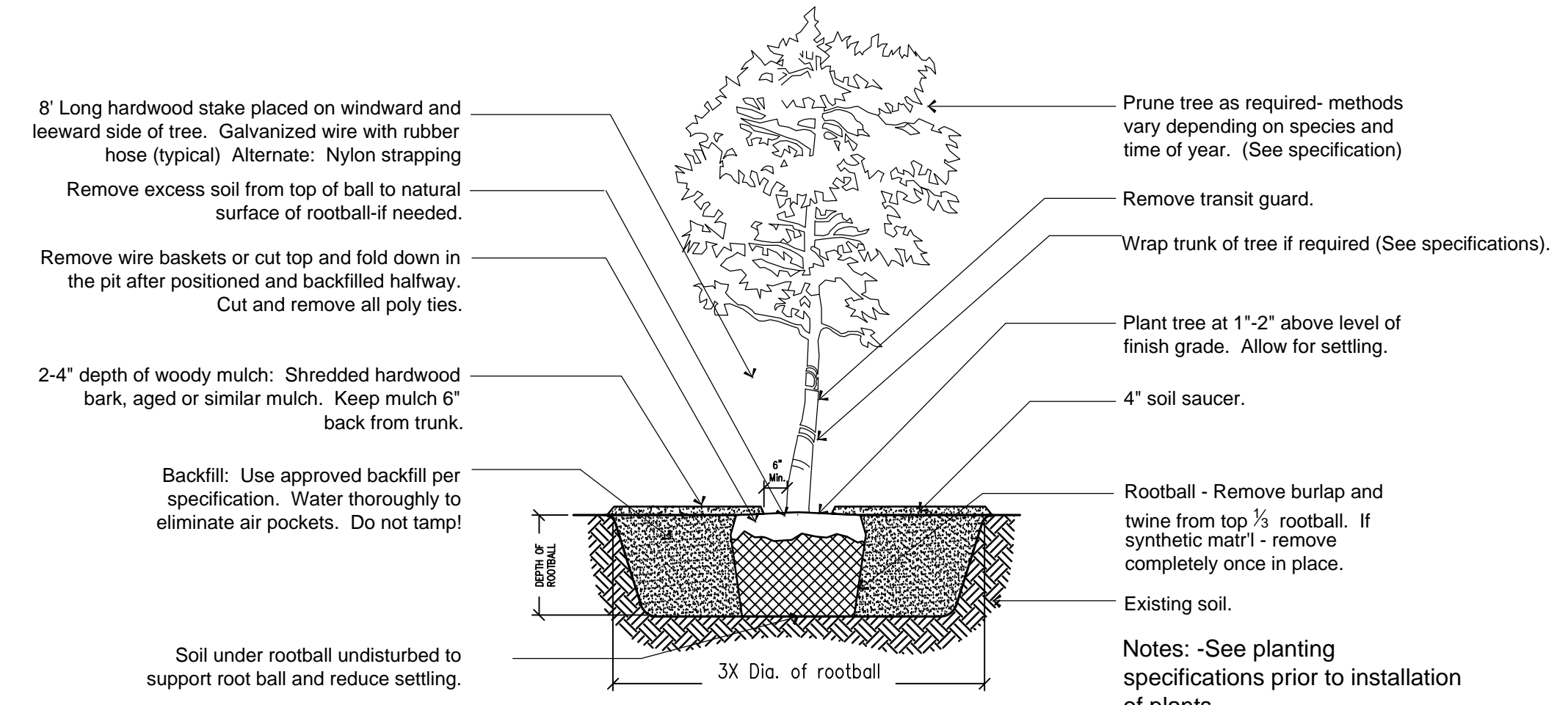


Shrub Planting Detail Not To Scale

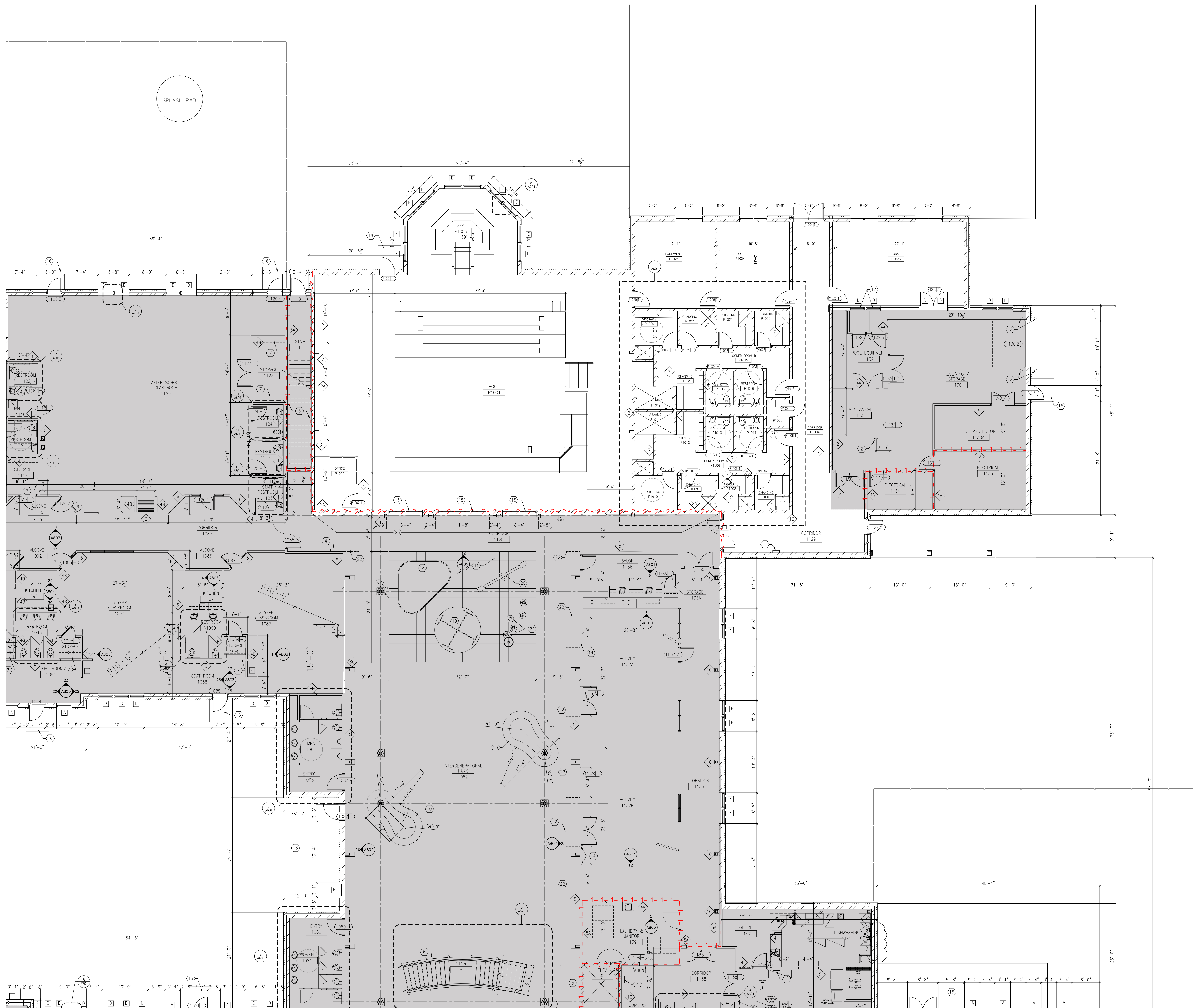
Preliminary Plant Schedule

NOTE: Final species TBD. Contractor shall be responsible for all plant quantities, typ.

Table with columns: Symbol, Qty Prop., Botanical Name, Common Name, Installed Size, Root, Spacing, Notes. Contains lists for Shade Trees, Ornamental Trees, Large Shrubs, Deciduous Shrubs, Evergreen Shrubs, and Perennials & Grasses.



Tree Planting Detail Not To Scale



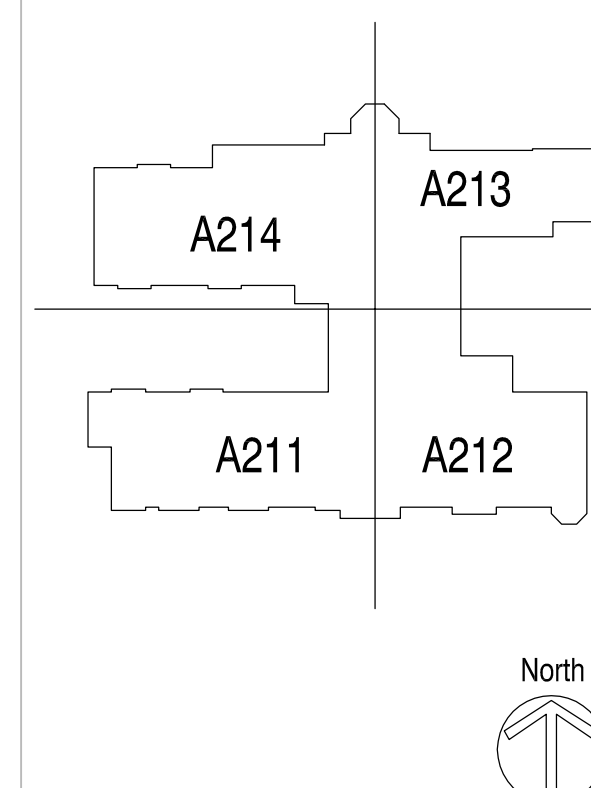
1 ENLARGED PARTIAL FIRST FLOOR PLAN  
 1/8" = 1'-0"

Consultant:

Project:  
**ST ANN CENTER FOR  
 INTERGENERATIONAL CARE**  
 FILE NUMBER - 171611

Location: 25th St. and North Ave  
 Milwaukee, WI

Key Plan:



Sheet:

**Partial  
 First Floor**

Scale:

1/8" = 1'-0"

Revisions:  
 No. Date Description

Date:

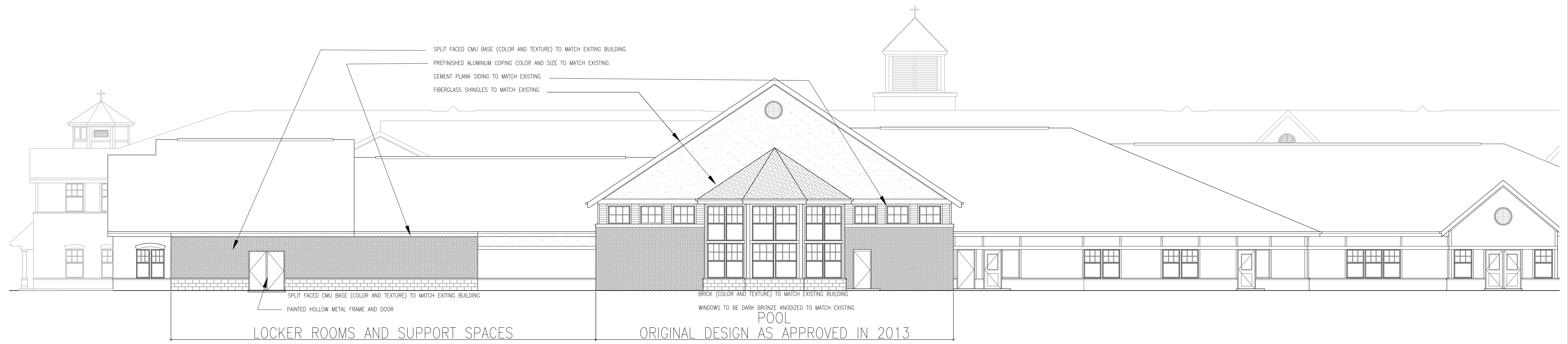
February 13, 2018

Project No.:

120054.00

Sheet No.:

**A200**



**1 NORTH ELEVATION**  
 1/8" = 1'-0"



**2 WEST ELEVATION**  
 1/8" = 1'-0"



**3 EAST ELEVATION**  
 1/8" = 1'-0"

Consultant:

Project:

**ST ANN CENTER FOR INTERGENERATIONAL CARE**  
 FILE NUMBER - 171611

Location: 25th St. and North Ave  
 Milwaukee, WI

Key Plan:

Sheet:

**Exterior Elevations**

Scale:

1/8" = 1'-0"

Revisions:

No. Date Description

Date:

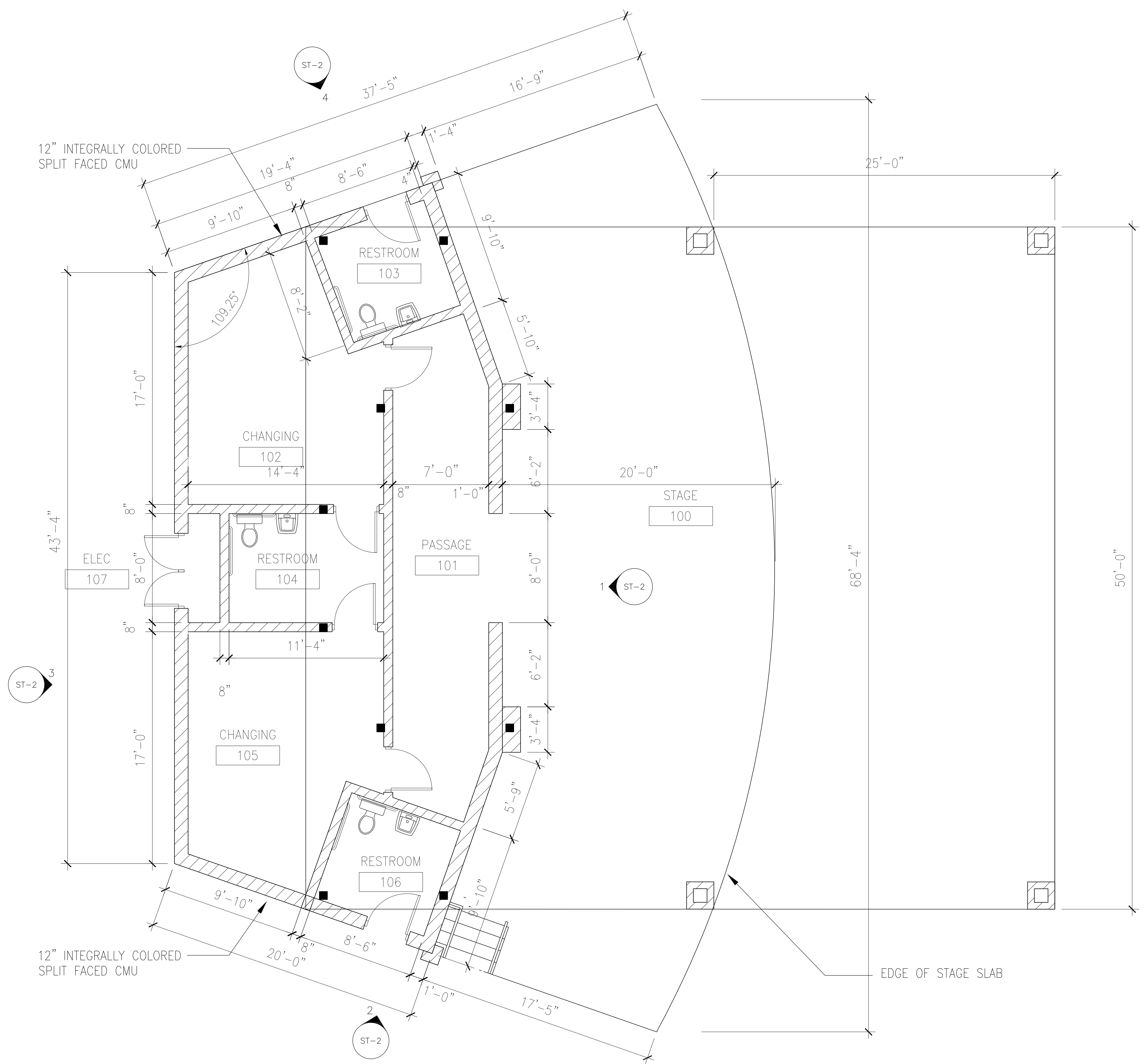
February 13, 2018

Project No.:

120054.00

Sheet No.:

**A400**



1 BAND SHELL PLAN  
1/4" = 1'-0"

PREF

Consultant:

Project:

ST ANN CENTER FOR  
INTERGENERATIONAL CARE  
FILE NUMBER - 171611

Location: 25th St. and North Ave  
Milwaukee, WI

Key Plan:

Sheet:

## BAND SHELL PLAN

Scale:

Revisions:

No.	Date	Description
-----	------	-------------

Date:

February 13, 2018

Project No.:

120054.00

Sheet No.:

## ST-1

Consultant:

Project:

ST ANN CENTER FOR  
INTERGENERATIONAL CARE  
FILE NUMBER - 171611

Location: 25th St. and North Ave  
Milwaukee, WI

Key Plan:

Sheet:

**BAND SHELL  
ELEVATIONS**

Scale:

Revisions:

No.	Date	Description

Date:

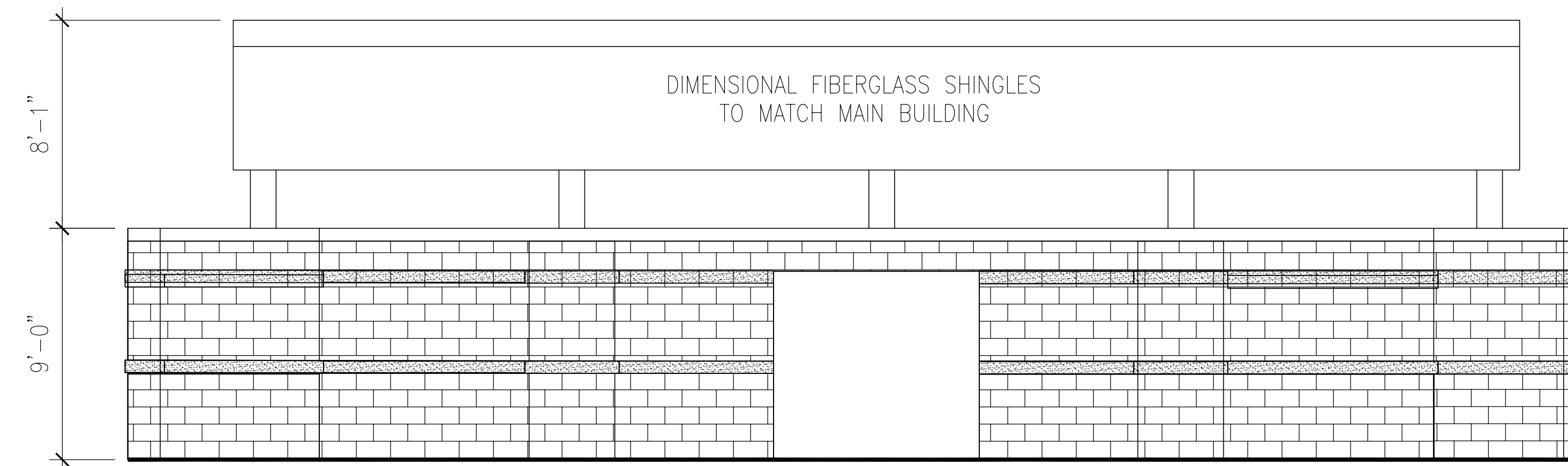
February 13, 2018

Project No.:

120054.00

Sheet No.:

**ST-2**



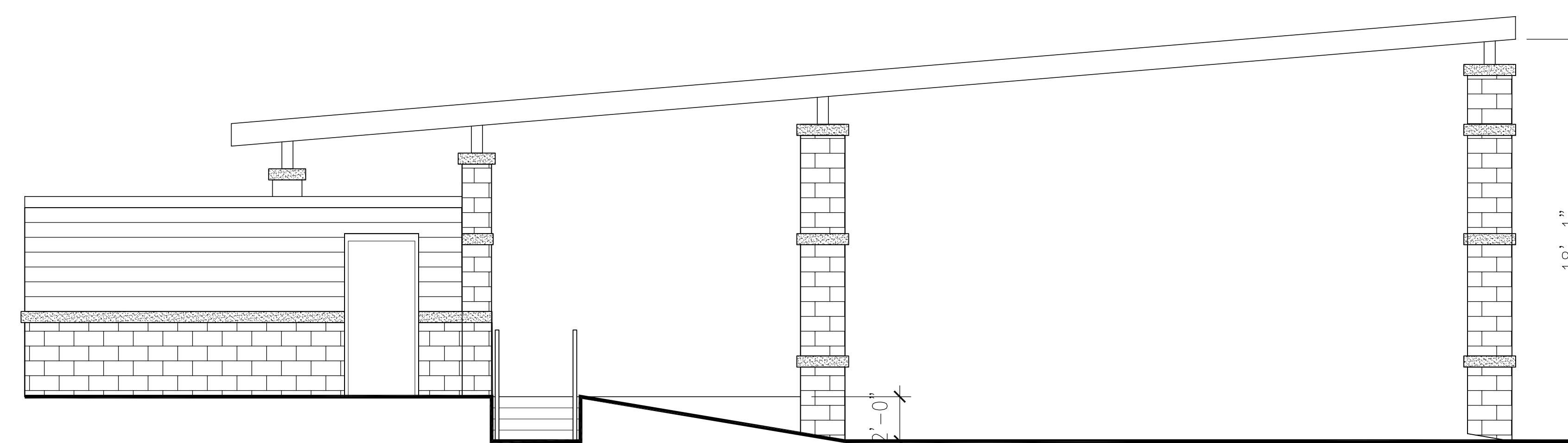
**1 FRONT OF STAGE ELEVATION**  
1/4" = 1'-0"

PREFINISHED ALUMINUM COPING  
TO MATCH MAIN BUILDING

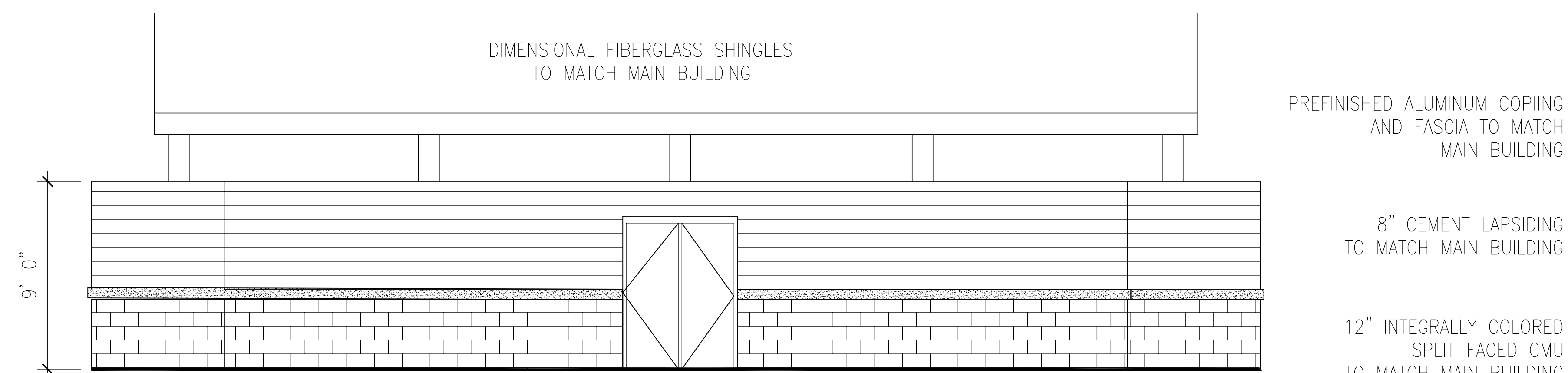
8" CEMENT LAPSING  
TO MATCH MAIN BUILDING

12" INTEGRALLY COLORED  
SPLIT FACED CMU  
TO MATCH MAIN BUILDING

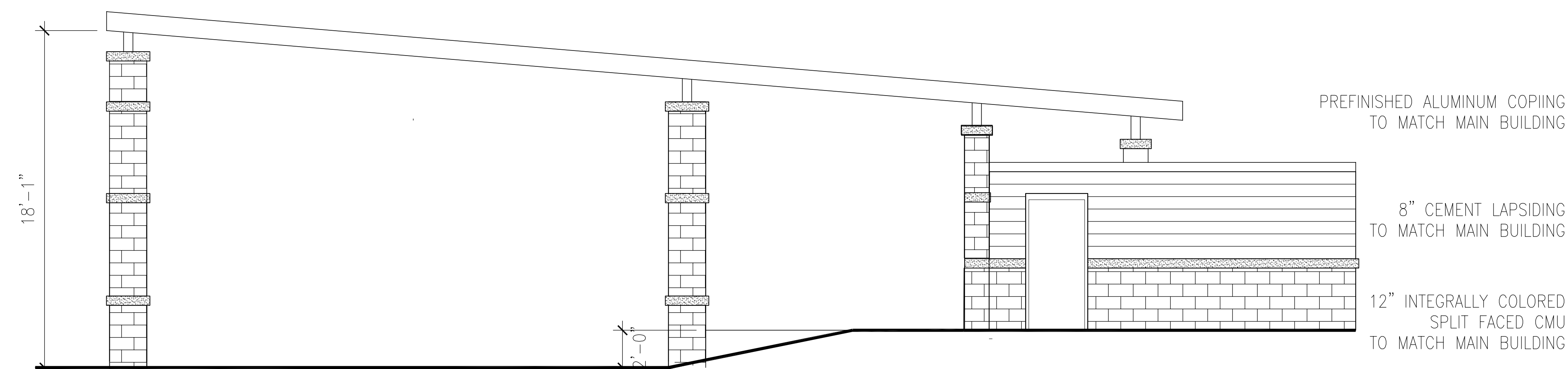
PAINTED HOLLOW METAL  
FRAME AND DOOR



**2 NORTH-EAST ELEVATION**  
1/4" = 1'-0"



**3 BACK OF STAGE ELEVATION**  
1/4" = 1'-0"



**4 SOUTH WEST ELEVATION**  
1/4" = 1'-0"