



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property

2320 N. LAKE DRIVE St. Mary's Hospital

Description of work

The maintenance work includes some tuck pointing and replacement of bricks that are in need of attention. All of this work will be consistent with the existing materials. I have attached the repair drawings for the project, this project is set to start July 2021 with an estimated completion of November 15, 2021 – this project is for the entire campus and work is targeted to be completed on the Main Hospital, Woman's Hospital, and the Heritage building. Our vendors will comply with the materials requested by the Committee, all product will be of like material and mortar will be Type K. See attached drawings.

Date issued

4/23/2021

PTS ID 115125 COA: MASONRY REPAIRS

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

1. No sealants are to be applied to ANY brick.
2. Waterproofing sealants are acceptable only on concrete surfaces and on skyward joints between other materials. Caulk-type sealants may be used at any joints where deemed necessary by project architects/engineers.
3. Pressure washing of historic buildings is limited by state law and known best practices. Pressure washing is to be conducted ONLY with fan tips with a spread of 25-50 degrees, maximum 800psi at the tip, flow rate less than 8gpm, and from a distance from the surface of a minimum of 12" inches.
4. New mortar must match the original mortar in terms of color, texture, grain size, joint width, and joint finish/profile. The compressive strength of the repointing mortar shall be equal or less than the compressive strength of the original mortar and surrounding brick or stone. The replacement mortar shall contain approximately the same ingredient proportions of the original mortar. Mortar that is too hard is subject to premature failure and could damage the masonry. See the city's books

As *Good As New* or *Good for Business*, Masonry Chapters, for more information. In most cases, this means a lime mortar with natural hydraulic cement rather than Portland cement. No joint of a width less than 3/8" may be cleaned of damaged/decomposed mortar with power disc grinders. No over-cutting of the joints is permitted. Remove decomposed mortar back into the wall 2.5 times the height of the joint before repointing. When installing new flashing at a masonry feature, the flashing must be stepped or cut into the mortar joints. The bricks may not be cut to install flashing at an angle.

5. New brick must match as closely as possible the color texture, size, and finish of the original brick.
6. A sample panel of brick and mortar must be reviewed and approved by HPC staff prior to general installation of the material.
7. **UNDER NO CIRCUMSTANCES SHALL UNPAINTED MASONRY BE PAINTED, BE GIVEN A WATERPROOFING TREATMENT, OR CLEANED BY ABRASIVE MEANS;** except as indicated in item two above.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact HPC@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.



City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Contractor, Inspector Paul Wolfgramm (286-2590)



FACADE REPAIR AND PREVENTIVE MAINTENANCE - PHASE 1 (2021) OF THE

ASCENSION COLUMBIA ST. MARY'S HOSPITAL MILWAUKEE, WISCONSIN

CONSTRUCTION DOCUMENTS FEBRUARY 2021

OWNER



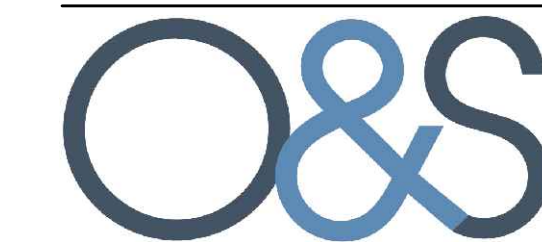
ASCENSION COLUMBIA
ST. MARY'S HOSPITAL
2301 NORTH LAKE DRIVE
MILWAUKEE, WISCONSIN 53211

FACILITY MANAGER & OWNERS REPRESENTATIVE



MEDXCEL FACILITY MANAGEMENT
7702 WOODLAND DRIVE, SUITE 200
INDIANAPOLIS, INDIANA 46278

ARCHITECT/ENGINEER



O&S ASSOCIATES, INC.
471 E. BROAD STREET, SUITE 910
COLUMBUS, OHIO 43215

CONSTRUCTION MANAGER



WEATHERPROOFING TECHNOLOGIES, INC
3735 GREEN ROAD
BEACHWOOD, OHIO 44122

O&S ASSOCIATES
ENGINEERS & ARCHITECTS
471 EAST BROAD STREET, SUITE 910
COLUMBUS, OH 43215
NEW YORK • NEW JERSEY • COLUMBUS
WASHINGTON DC • PHILADELPHIA
LAUDERDALE-BY-SEA



SEAL:

FACADE REPAIR & PREVENTIVE MAINTENANCE - PHASE 1 (2021)
 OF THE
COLUMBIA ST. MARY'S HOSPITAL
 MILWAUKEE, WISCONSIN

No.	DATE	BY
REVISIONS		
DESIGN:	S.L.	
DRAWN:	L.R.	
CHECKED:	P.H.	
SCALE:	N/A	
DATE:	FEBRUARY 2021	
PROJECT No.:	04-210094	
WTI PROJECT No.:	5032178	

DRAWING TITLE:
COVER SHEET

DRAWING No.
R-1

**FOR PRICING ONLY.
NOT FOR CONSTRUCTION**

DRAWING LIST

SCOPE OF WORK - PHASE 1 (2021)

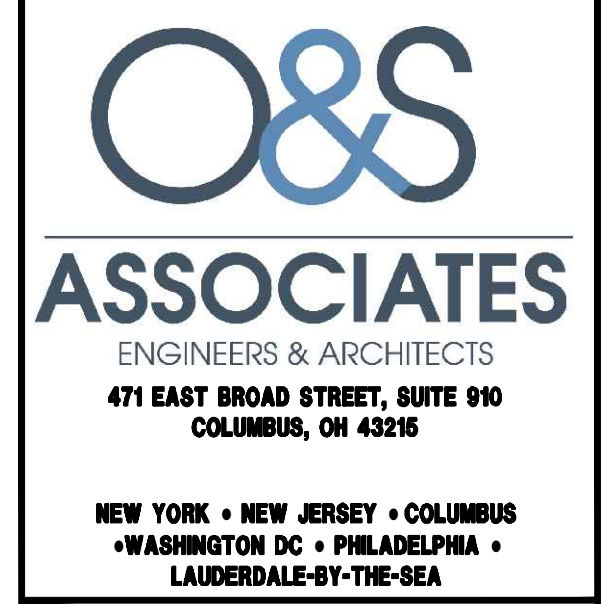
GENERAL NOTES

- R - 1 COVER SHEET
- R - 2 TITLE SHEET
- R - 3 HERITAGE CENTER SOUTH ELEVATION
- R - 4 HERITAGE CENTER NORTH ELEVATION
- R - 5 HERITAGE CENTER WEST ELEVATION
- R - 6 WOMEN'S HOSPITAL PART EAST ELEVATION
- R - 7 WOMEN'S HOSPITAL PART EAST ELEVATION
- R - 8 WOMEN'S HOSPITAL PART SOUTH ELEVATION
- R - 9 WOMEN'S HOSPITAL PART WEST ELEVATION
- R - 10 WOMEN'S HOSPITAL PART WEST ELEVATION
- R - 11 WOMEN'S HOSPITAL PART NORTH ELEVATION
- R - 12 WOMEN'S HOSPITAL PART NORTH ELEVATION
- R - 13 MAIN HOSPITAL PART SOUTH ELEVATION
- R - 14 MAIN HOSPITAL PART SOUTH ELEVATION
- R - 15 MAIN HOSPITAL WEST ELEVATION
- R - 16 MAIN HOSPITAL PART NORTH ELEVATION
- R - 17 MAIN HOSPITAL PART NORTH ELEVATION
- R - 18 MAIN HOSPITAL EAST & WEST ELEVATIONS
- R - 19 SECTIONS & DETAILS - SHEET 1
- R - 20 SECTIONS & DETAILS - SHEET 2
- R - 21 EXISTING CONDITIONS PHOTOS - SHEET 1
- R - 22 EXISTING CONDITIONS PHOTOS - SHEET 2

- BASE BID**
1. PHASE 1 REPAIRS ARE PRIMARILY LOCATED AT THE HERITAGE CENTER AND CURTAIN WALL INVESTIGATION AT SELECTED LOCATIONS OF THE MAIN HOSPITAL. THE REMAINING BUILDINGS ARE EXCLUDED FROM PHASE 1 WORK.
 2. REPOINT SELECTED SCALED, DEBONDED AND CRACKED MORTAR JOINTS AT HERITAGE CENTER
 3. REBUILD SECTIONS OF FACE BRICK AT LOCATIONS OF WALL CRACKS AT HERITAGE CENTER
 4. REPAIR OF SELECTED SECTIONS OF CORRODED LINTEL & SHELF ANGLES AT HERITAGE CENTER INCLUDING REMOVING BRICK COURSES TO EXPOSE STEEL, MECHANICALLY CLEANING FREE OF CORROSION, PAINTING WITH PROTECTIVE COATINGS, FLASHING, AND REPLACING BRICK
 5. REPLACEMENT OF HEAVY TO SEVERELY CORRODED SECTIONS OF STEEL SHELF ANGLES AND LINTELS
 6. REMOVE AND REPLACE INDIVIDUALLY CRACKED & SPALLED BRICKS AT HERITAGE CENTER
 7. PATCH REPAIR OF SPALLED SECTIONS OF STONE USING SPECIALIZED STONE PATCH MATERIALS AT HERITAGE CENTER
 8. REPLACEMENT OF SELECTED STONE PANELS AT HERITAGE CENTER
 9. REMOVE AND REPLACE ALL FACADE JOINT SEALANTS AT HERITAGE CENTER
 10. PROVIDE ACCESS AND OPENINGS FOR CURTAIN WALL STUDY AT MAIN HOSPITAL CURTAIN WALLS. INCLUDE REMOVAL OF SELECTED MULLION COVERS AND PRESSURE PLACE FOR CLOSE UP INSPECTION BY THE ENGINEER.

THE FOLLOWING NOTES SHALL APPLY UNLESS NOTED OTHERWISE ELSEWHERE IN CONTRACT DOCUMENTS:

1. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE WISCONSIN STATE BUILDING CODE AS ADOPTED BY THE STATE BOARD OF BUILDING REGULATIONS AND STANDARDS. ALL CONSTRUCTION SHALL ALSO COMPLY WITH THE REQUIREMENTS OF LOCAL LAWS, REGULATIONS AND AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
2. DRAWINGS ARE INTENDED TO SHOW GENERAL ARRANGEMENTS, DESIGN AND EXTENT OF WORK ARE PARTLY DIAGRAMMATIC. AS SUCH, THEY ARE NOT INTENDED TO BE SCALED FOR ROUGHING-IN MEASUREMENTS OR TO SERVE AS SHOP DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO START OF WORK.
3. WHEN CONTRACT DOCUMENTS INCLUDE INFORMATION PERTAINING TO THE CONDITIONS OF THE FACILITY INCLUDING SURFACE OBSERVATIONS, MATERIAL TESTING AND OTHER PRELIMINARY INVESTIGATION, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION, CHARACTER, OR QUANTITY OF THE MATERIALS OR CONDITIONS, AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE OWNER/ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER WITH RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION, AND THERE IS NO GUARANTEE, EITHER EXPRESSED OR IMPLIED, THAT THE INFORMATION/CONDITIONS INDICATED ARE REPRESENTATIVE OF THOSE EXISTING THROUGHOUT THE WORK, OR THAT UNANTICIPATED DEVELOPMENTS MAY NOT OCCUR AND/OR EXIST.
4. UPON ENCOUNTERING CONDITIONS DIFFERING MATERIALLY FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER AND CONSTRUCTION INSPECTOR BEFORE SUCH CONDITIONS ARE DISTURBED. THE ENGINEER SHALL PROMPTLY INVESTIGATE SAID CONDITIONS AND REPORT TO THE OWNER, WITH A RECOMMENDED COURSE OF ACTION. IF CONDITIONS DO MATERIALLY DIFFER AND CAUSE AN INCREASE OR DECREASE IN CONTRACT COST OR TIME REQUIRED FOR COMPLETION OF ANY PORTION OF THE WORK, A CHANGE ORDER WILL BE INITIATED AS PER CONTRACT REQUIREMENTS.
5. ONLY WORK INCLUDED IN THE CONTRACT DOCUMENTS IS AUTHORIZED, AND THE CONTRACTOR SHALL DO NO WORK OTHER THAN THAT DESCRIBED THEREIN OR IN ACCORDANCE WITH APPROPRIATELY AUTHORIZED AND APPROVED CHANGE ORDERS.
6. ANYTHING SHOWN ON DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS OR VICE VERSA, AS WELL AS ANY INCIDENTAL WORK WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE PROJECT WITHIN THE LIMITS ESTABLISHED BY THE DRAWINGS AND SPECIFICATIONS, ALTHOUGH NOT SHOWN ON OR DESCRIBED THEREIN, SHALL BE PERFORMED BY THE CONTRACTOR AS A PART OF THEIR CONTRACT.
7. THE PLANS MAY BE SUPPLEMENTED BY STANDARD AND WORKING DRAWINGS AS MAY BE NECESSARY TO ADEQUATELY DESCRIBE THE WORK. IN THE EVENT, IN THE SOLE JUDGMENT OF THE ENGINEER, A CHANGE BECOMES NECESSARY IN THE BEST INTEREST OF THE PROJECT, DUE TO CIRCUMSTANCES NOT KNOWN AT THE TIME OF THE ORIGINAL CONDITION SURVEY AND/OR ARISING THEREAFTER, THE ENGINEER MAY ALTER THE PLANS AND THE SPECIFICATIONS AS MAY BE NECESSARY TO INCREASE OR DECREASE THE QUANTITIES OF WORK TO BE PERFORMED IN ACCORDANCE WITH SUCH CHANGES.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEANS, METHODS AND EQUIPMENT FOR PROTECTING THE BUILDING, EQUIPMENT, MATERIALS AND PERSONNEL FROM FIRE DAMAGE THROUGHOUT THE COURSE OF HIS WORK. METHODS AND EQUIPMENT ARE SUBJECT TO APPROVAL BY THE FIRE DEPARTMENT OF THE CITY OF MILWAUKEE.
9. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA SAFETY AND HEALTH LAWS AND REGULATIONS. THE CONTRACTOR SHALL ALSO COMPLY WITH ALL OF THE MOST RECENT APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC AGENCY AND/OR AUTHORITY HAVING JURISDICTION OVER THE PROJECT IN ORDER TO PROTECT PERSONS AND/OR PROPERTY FROM DAMAGE, INJURY OR LOSS. THE CONTRACTOR SHALL ALSO ASSURE THAT ALL THEIR SUBCONTRACTORS CONFORM TO ALL HEALTH AND SAFETY LAWS AND REGULATIONS.
10. THE CONTRACTOR SHALL PROVIDE ALL BARRICADES, SHORING, BRACING, SAFETY NETTING, ETC. BENEATH THE STRUCTURE REQUIRED FOR SAFETY AND PROPER EXECUTION OF THE WORK.
11. THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL SERVICES (ELECTRICAL AND MECHANICAL) WHICH MIGHT BE AFFECTED BY THE REPAIR WORK. THE CONTRACTOR SHALL MAKE ALL NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE BUILDING AND OTHER AREAS NOT IN THE CONTRACT AFFECTED BY THE WORK. UPON COMPLETION OF REPAIRS THE CONTRACTOR SHALL MAKE PERMANENT CONNECTIONS TO ALL SERVICES WHICH HAD BEEN TEMPORARILY MAINTAINED.
12. ALL EXISTING MATERIALS IN THE BUILDING WHICH MAY CAUSE HEALTH AND/OR SAFETY HAZARDS TO THE OWNER, THEIR EMPLOYEES, TENANTS OR THE CONTRACTOR AND THEIR EMPLOYEES OR SUBCONTRACTORS DURING THE ENTIRE PERIOD OF CONSTRUCTION SHALL BE SAFELY REMOVED BY THE OWNER PRIOR TO THE START OF THE WORK AND PROPERLY DISPOSED OF IN A LEGAL FASHION. THE CONTRACTOR IS NOT RESPONSIBLE FOR IDENTIFYING OR SAFELY REMOVING ANY EXISTING MATERIAL WITHIN THE BUILDING WHICH MAY BE HAZARDOUS TO HUMAN HEALTH. THE CONTRACTOR SHALL, HOWEVER COORDINATE AND MAKE AN EFFORT WITH THE OWNER IN PROVIDING A SAFE WORK PLACE FOR ALL CONSTRUCTION WORKERS AND SUBCONTRACTORS IN A MANNER, BUT NOT LIMITED TO NOTIFYING THE OWNER OF ANY POTENTIALLY HAZARDOUS MATERIALS OR CONDITIONS THEY MAY FIND IN THE BUILDING AFTER THEY SIGN THE CONTRACT AND START THEIR WORK.
13. ANY UTILITY LINES ABANDONED OR NO LONGER IN SERVICE THAT MIGHT INTERFERE WITH THE PROJECT SHALL BE IDENTIFIED BY THE CONTRACTOR AND REMOVED FROM THE REPAIR AREA BY THE OWNER, UNLESS NOTED OTHERWISE, PRIOR TO THE START OF WORK BY THE CONTRACTOR.



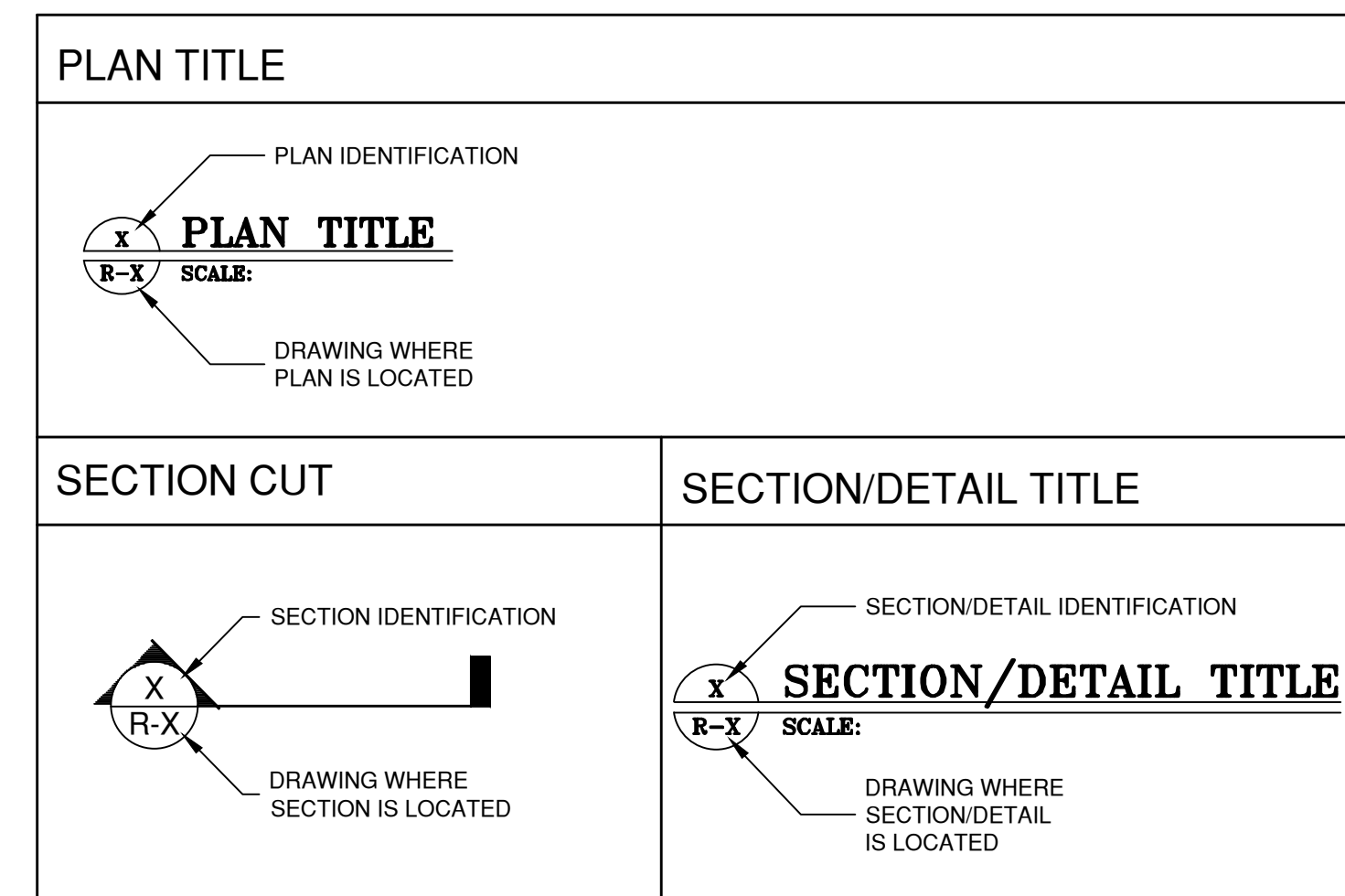
SCALE:

FACADE REPAIR & PREVENTIVE MAINTENANCE - PHASE 1 (2021)
 OF THE
COLUMBIA ST. MARY'S HOSPITAL
 MILWAUKEE, WISCONSIN

SYMBOLS

LOCATION MAP

AERIAL VIEW



ASCENSION COLUMBIA ST. MARY'S HOSPITAL/AREA OF WORK



MAIN HOSPITAL
WOMEN'S HOSPITAL
HERITAGE CENTER

No.	DATE	BY
REVISIONS		
DESIGN:	S.L.	
DRAWN:	L.R.	
CHECKED:	P.H.	
SCALE:	N/A	
DATE:	FEBRUARY 2021	
PROJECT No.:	04-210094	
WTI PROJECT No.:	5032178	

DRAWING TITLE:
TITLE SHEET

DRAWING No.
R-2

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- NOTES:**
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 2. DO NOT SCALE OF DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD.
 3. CONTRACTOR SHALL PROVIDE BARRIERS, SIGNAGE, FENCING, ETC. AS NEEDED TO ISOLATE REPAIR AREAS FROM PUBLIC.
 4. CONTRACTOR SHALL PROTECT ALL EXISTING MEP, APPURTENANCES, ETC. FOR THE DURATION OF CONSTRUCTION SO AS NOT TO DISTURB SERVICE.
 5. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES.
 6. FOR PHOTOGRAPHIC ILLUSTRATION OF TYPICAL EXISTING CONDITIONS, SEE SHEETS R-21 & R-22



REPLACE SELECTED DAMAGED OR DISPLACED STONE PANELS WITH NEW STONE MATCHING SIZE, COLOR AND TEXTURE OF EXISTING. REPAIR SUBSTRATE, WEATHER BARRIERS ETC. AS REQUIRED. SUBMIT SHOP DRAWINGS FOR APPROVAL.

1 PART-SOUTH ELEVATION
R-3 SCALE: 1/8" = 1'-0"



REPLACE SELECTED DAMAGED OR DISPLACED STONE PANELS WITH NEW STONE MATCHING SIZE, COLOR, AND TEXTURE OF EXISTING. REPAIR SUBSTRATE, WEATHER BARRIERS ETC. AS REQUIRED. SUBMIT SHOP DRAWINGS FOR APPROVAL.

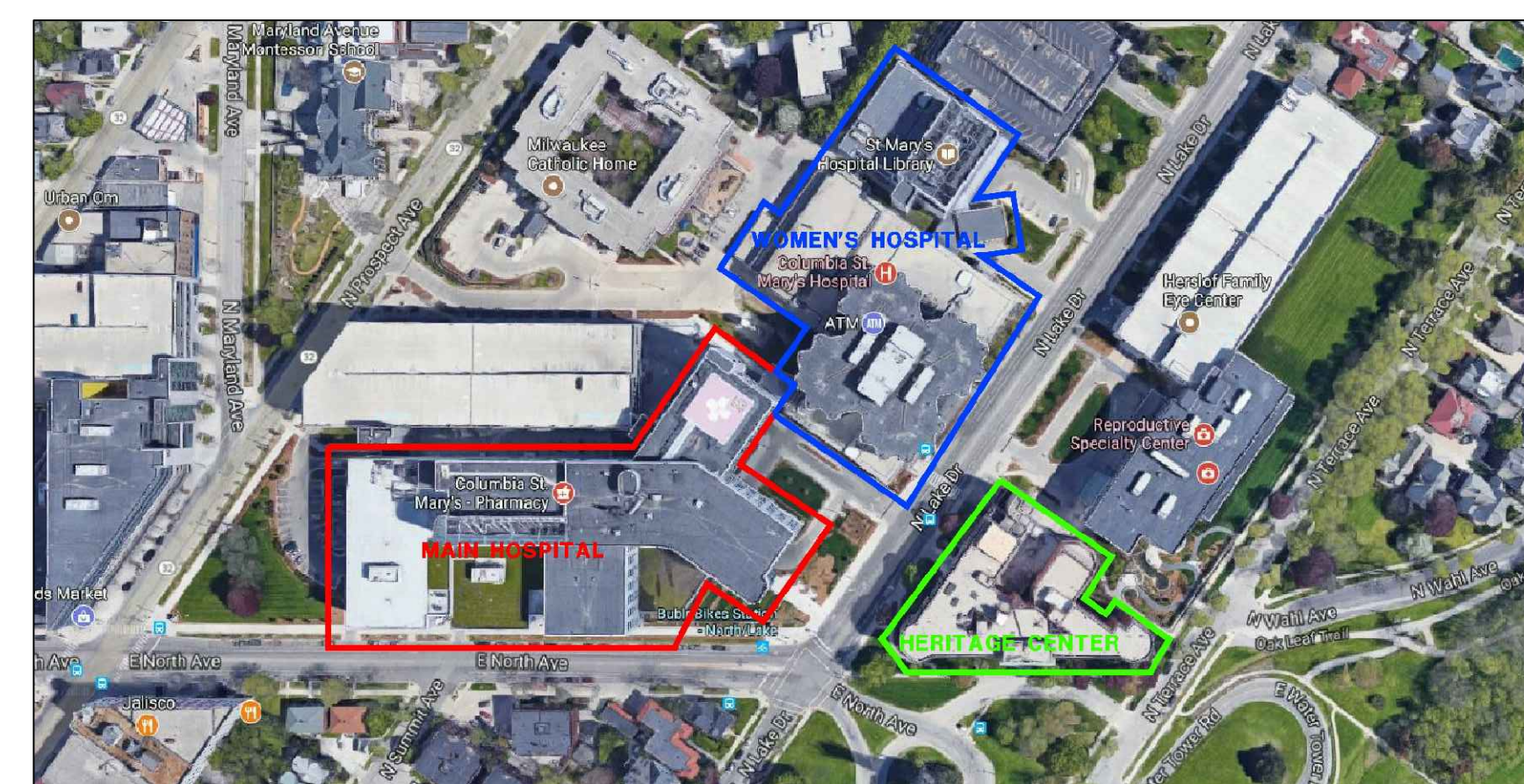
2 PART-SOUTH ELEVATION
R-3 SCALE: 1/8" = 1'-0"

LEGEND

1. LINTEL/SHELF ANGLE: REPAIR SELECTED CORRODED LINTELS/SHELF ANGLES AS PER DETAIL 1/R-19
2. BR: REMOVE AND REPLACE SELECTED DAMAGED FACE BRICKS AS PER DETAIL 2/R-19
3. TP: REPOINT SELECTED DAMAGED MORTAR JOINTS AS PER DETAIL 4/R-19
4. JS/GLAZING: REMOVE AND REPLACE ALL FACADE SEALANTS. JS- REPLACE POLYURETHANE SEALANTS AT CONTROL JOINTS, WINDOWS AND DOOR FRAMES, ETC. AS PER DETAIL 3/R-20. GLAZING- UET SEAL DETERIORATED GLAZING SEALS/GASKETS W/ SILICONE SEALANT AS PER DETAIL 4/R-20
5. MC: REMOVE AND REPLACE CORRODED METAL COPING AS PER DETAIL 6/R-20
6. PC: PATCH REPAIR PRECAST CONCRETE FACADE PANELS, COLUMNS, ETC. AS PER DETAILS 1A/R-20
7. SP: STONE PATCH REPAIR SPALLED AND CRACKED STONE PANELS AS PER DETAIL 1B/R-20
8. UR: POWERWASH CLEAN AND SEAL THE ENTIRE MASONRY FACADE, EXPOSED AGGREGATE PRECAST CONCRETE PANEL
9. EIFS/TERM: REPAIR SELECTED DAMAGED AREAS OF EIFS GLAZING. EIFS-EIFS PATCH REPAIRS AT CRACKED & DAMAGED AREAS AS PER DETAIL 5/R-19. TERM-REPAIR EIFS TERMINATIONS AS PER DETAIL 6/R-19
10. COAT: POWERWASH CLEAN AND COAT CONCRETE FACADES AT THE WOMEN'S HOSPITAL WITH A NEW ELASTOMERIC WATERPROOFING COATING. COAT EIFS AREAS WITH NEW WATERPROOFING EIFS TOPCOAT

SCOPE OF WORK - PHASE 1 (2021)
(CALLOUTS FOR PHASE 1 WORK ARE SHOWN IN RED)

- STRUCTURAL REPAIRS**
1. REPOINT SELECTED DAMAGED MORTAR JOINTS
 2. REBUILD BRICK ALONG VERTICAL WALL CRACKING
 3. REPAIR SELECTED CORRODED LINTEL/SHELF ANGLES, REPLACE ANGLES AS DIRECTED BY THE ENGINEER ONCE THE STEEL HAS BEEN EXPOSED
 4. REMOVE AND REPLACE INDIVIDUAL CRACKED BRICKS
 5. REPAIR/REPLACE SPALLED AND CRACKED STONE PANELS
- WATERPROOFING & MISCELLANEOUS WORK**
1. REMOVE AND REPLACE ALL FACADE SEALANTS INCLUDING AT CONTROL JOINTS, DOOR AND WINDOW FRAMES, PENETRATIONS, ETC.



KEY PLAN

FOR PRICING ONLY. NOT FOR CONSTRUCTION



SEAL:

FACADE REPAIR & PREVENTIVE MAINTENANCE - PHASE 1 (2021)
OF THE
COLUMBIA ST. MARY'S HOSPITAL
MILWAUKEE, WISCONSIN

No.	DATE	BY
REVISIONS		
DESIGN:	S.L.	
DRAWN:	L.R.	
CHECKED:	P.H.	
SCALE:		
DATE:	FEBRUARY 2021	
PROJECT No.:	04-210094	
WTI PROJECT No.:	5032178	
DRAWING TITLE:		
HERITAGE CENTER SOUTH ELEVATION		
DRAWING No.		
R-3		

- NOTES:**
1. WORK SHOWN ON DRAWINGS IS DIAGRAMMATIC ONLY. ACTUAL REPAIR LOCATIONS TO BE DETERMINED IN THE FIELD BY THE ENGINEER. FOR CLARITY SEVERAL OF THE WORK ITEMS ARE SHOWN WITH LESS MAGNITUDE THAN IS ACTUALLY PRESENT IN THE FIELD.
 2. DO NOT SCALE OF DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD.
 3. CONTRACTOR SHALL PROVIDE BARRIERS, SIGNAGE, FENCING, ETC. AS NEEDED TO ISOLATE REPAIR AREAS FROM PUBLIC.
 4. CONTRACTOR SHALL PROTECT ALL EXISTING MEP, APPURTENANCES, ETC. FOR THE DURATION OF CONSTRUCTION SO AS NOT TO DISTURB SERVICE.
 5. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES.
 6. FOR PHOTOGRAPHIC ILLUSTRATION OF TYPICAL EXISTING CONDITIONS, SEE SHEETS R-21 & R-22

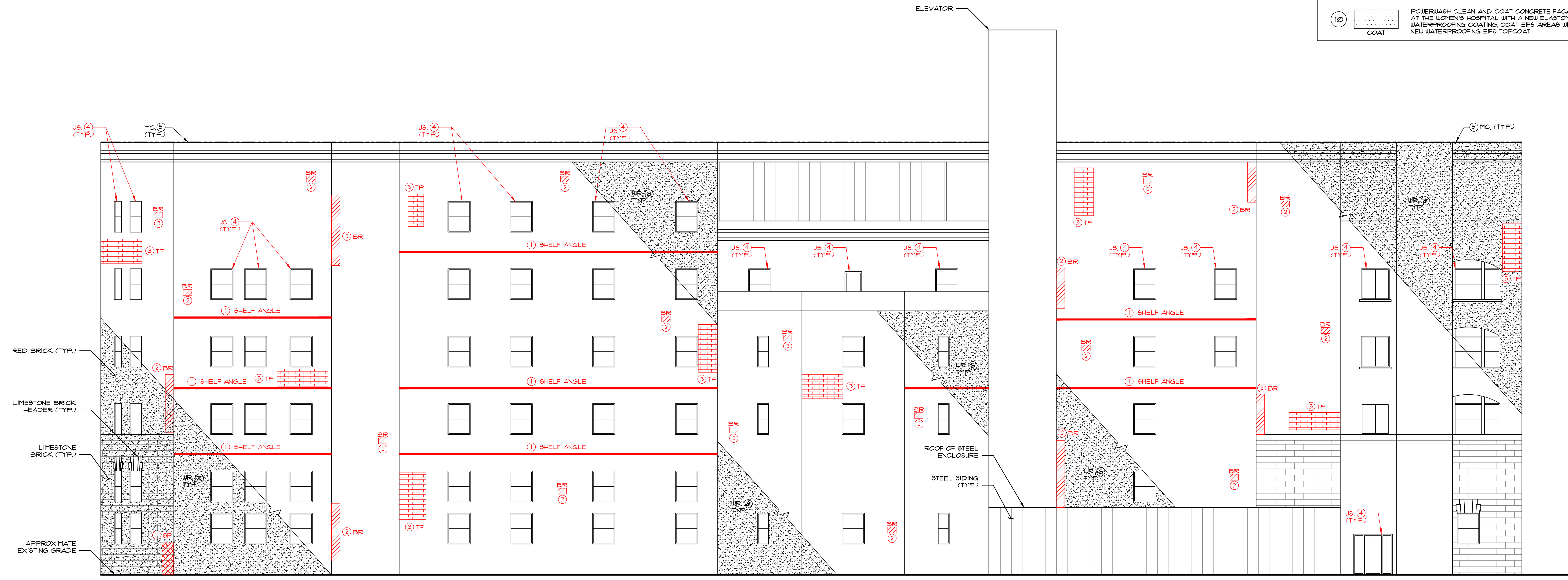
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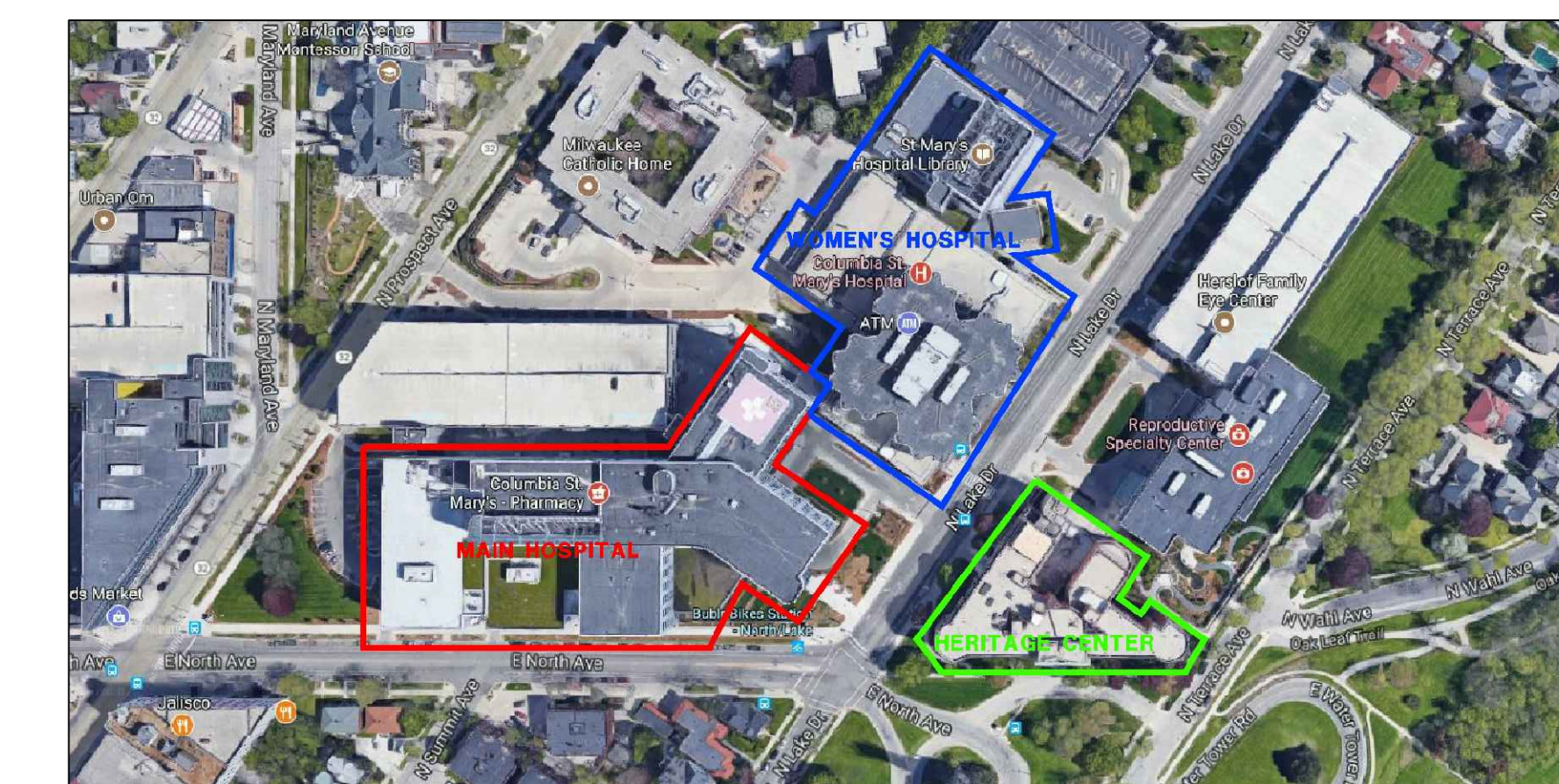
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1 NORTH ELEVATION
R-4 SCALE: 1/8" = 1'-0"



KEY PLAN
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FACADE REPAIR & PREVENTIVE MAINTENANCE - PHASE 1 (2021)
OF THE
COLUMBIA ST. MARY'S HOSPITAL
MILWAUKEE, WISCONSIN

No.	DATE	BY
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DESIGN:	S.L.	
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SCALE:		
DATE:	FEBRUARY 2021	
PROJECT No.:	04-210094	
WTI PROJECT No.:	5032178	
DRAWING TITLE:		
HERITAGE CENTER NORTH ELEVATION		
DRAWING No.		
R-4		

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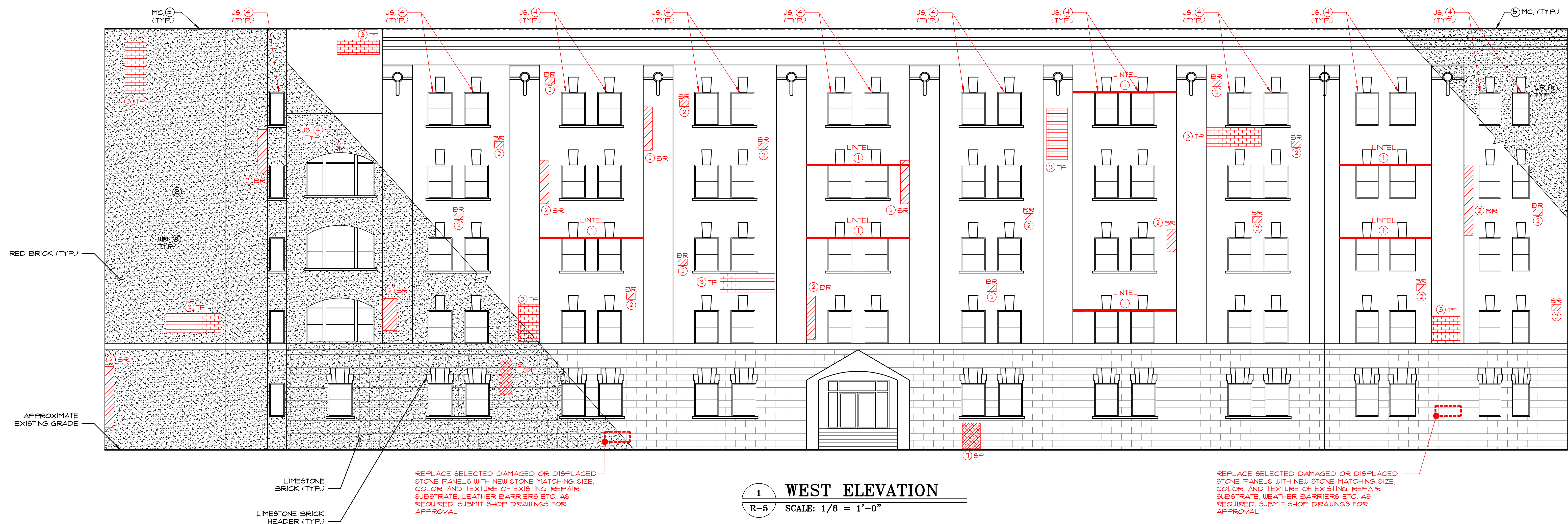
LEGEND

1. LINTEL/SHELF ANGLE: REPAIR SELECTED CORRODED LINTELS/SHELF ANGLES AS PER DETAIL 1/R-19
2. BR: REMOVE AND REPLACE SELECTED DAMAGED FACE BRICKS AS PER DETAIL 2/R-19
3. TP: REPOINT SELECTED DAMAGED MORTAR JOINTS AS PER DETAIL 4/R-19
4. JS/GLAZING: REMOVE AND REPLACE ALL FACADE SEALANTS. JS+ REPLACE POLYURETHANE SEALANTS AT CONTROL JOINTS, WINDOWS AND DOOR FRAMES, ETC. AS PER DETAIL 3/R-20. GLAZING+ UET SEAL DETERIORATED GLAZING SEALS/GASKETS W/ SILICONE SEALANT AS PER DETAIL 4/R-20
5. MC: REMOVE AND REPLACE CORRODED METAL COPING AS PER DETAIL 6/R-20
6. FC: PATCH REPAIR PRECAST CONCRETE FACADE PANELS, COLUMNS, ETC. AS PER DETAIL 9 1A/R-20
7. SP: STONE PATCH REPAIR SPALLED AND CRACKED STONE PANELS AS PER DETAIL 1B/R-20
8. UR: POWERWASH CLEAN AND SEAL THE ENTIRE MASONRY FACADE, EXPOSED AGGREGATE PRECAST CONCRETE PANEL
9. EIFS/TERM: REPAIR SELECTED DAMAGED AREAS OF EIFS GLAZING. EIFS+ EIFS PATCH REPAIRS AT CRACKED & DAMAGED AREAS AS PER DETAIL 5/R-19. TERM+ REPAIR EIFS TERMINATIONS AS PER DETAIL 6/R-19
10. COAT: POWERWASH CLEAN AND COAT CONCRETE FACADES AT THE WOMEN'S HOSPITAL WITH A NEW ELASTOMERIC WATERPROOFING COATING. COAT EIFS AREAS WITH NEW WATERPROOFING EIFS TOPCOAT



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SEAL:

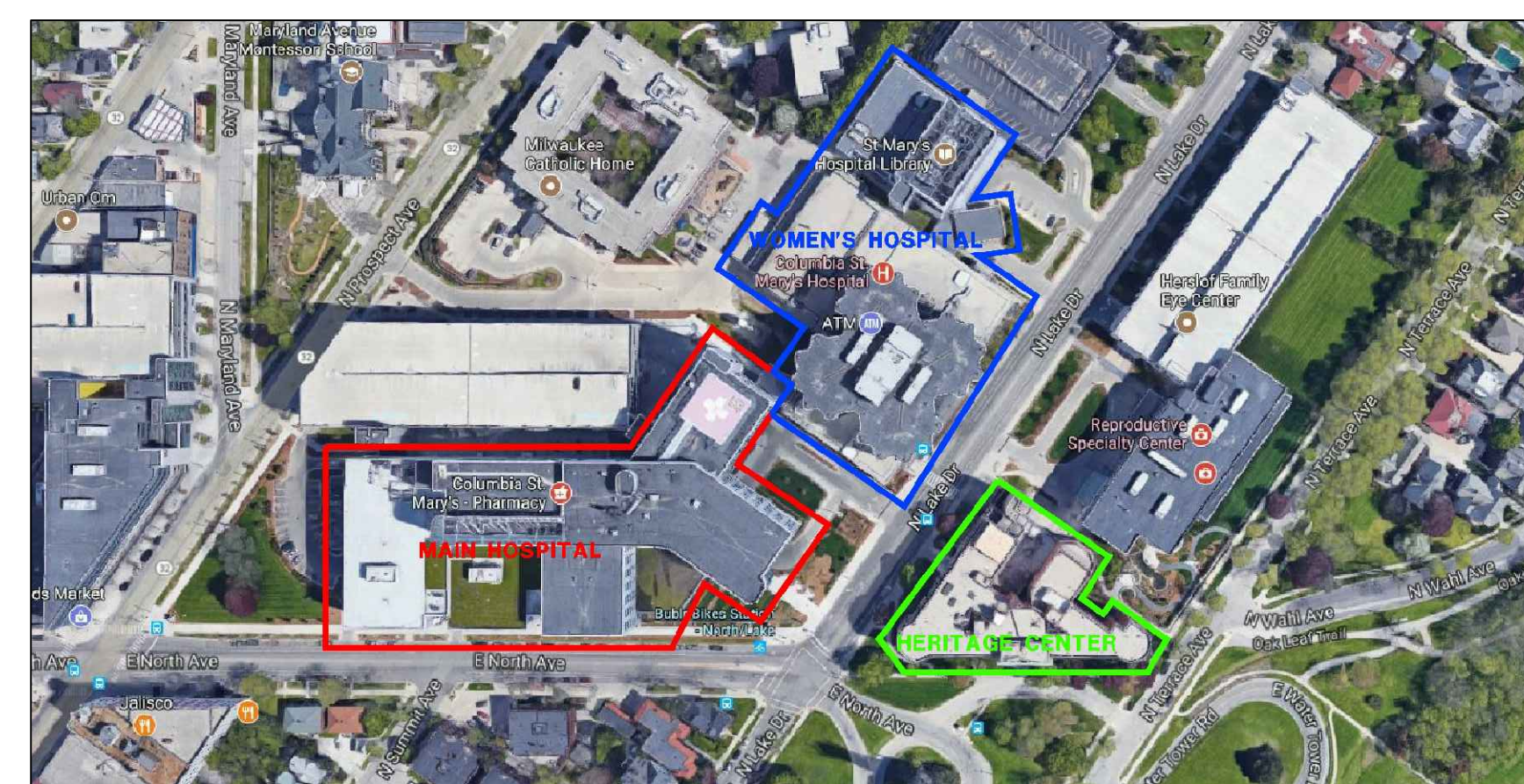
FACADE REPAIR & PREVENTIVE MAINTENANCE - PHASE 1 (2021)
OF THE
COLUMBIA ST. MARY'S HOSPITAL
MILWAUKEE, WISCONSIN



1 WEST ELEVATION
R-5 SCALE: 1/8 = 1'-0"

REPLACE SELECTED DAMAGED OR DISPLACED STONE PANELS WITH NEW STONE MATCHING SIZE, COLOR AND TEXTURE OF EXISTING. REPAIR SUBSTRATE WEATHER BARRIERS ETC. AS REQUIRED. SUBMIT SHOP DRAWINGS FOR APPROVAL.

REPLACE SELECTED DAMAGED OR DISPLACED STONE PANELS WITH NEW STONE MATCHING SIZE, COLOR AND TEXTURE OF EXISTING. REPAIR SUBSTRATE WEATHER BARRIERS ETC. AS REQUIRED. SUBMIT SHOP DRAWINGS FOR APPROVAL.

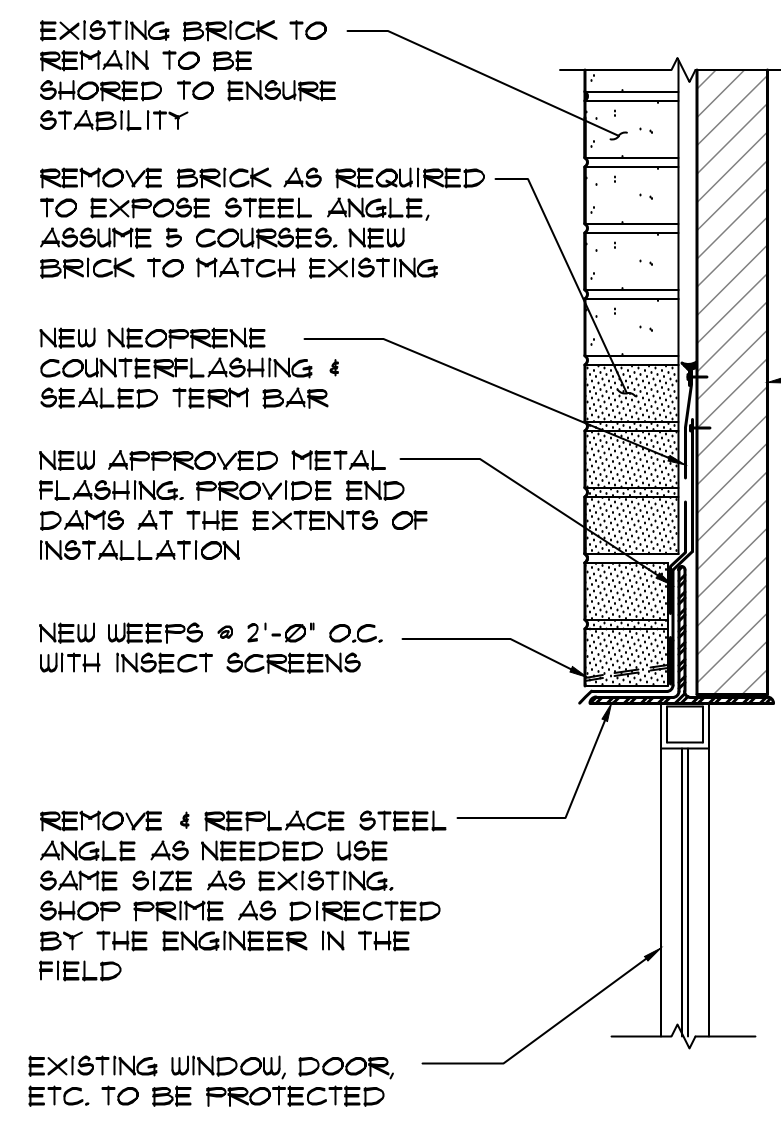


KEY PLAN

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DESIGN:	S.L.	
DRAWN:	L.R.	
CHECKED:	P.H.	
SCALE:		
DATE:	FEBRUARY 2021	
PROJECT No.:	04-210094	
WTI PROJECT No.:	5032178	
DRAWING TITLE:		
HERITAGE CENTER WEST ELEVATION		

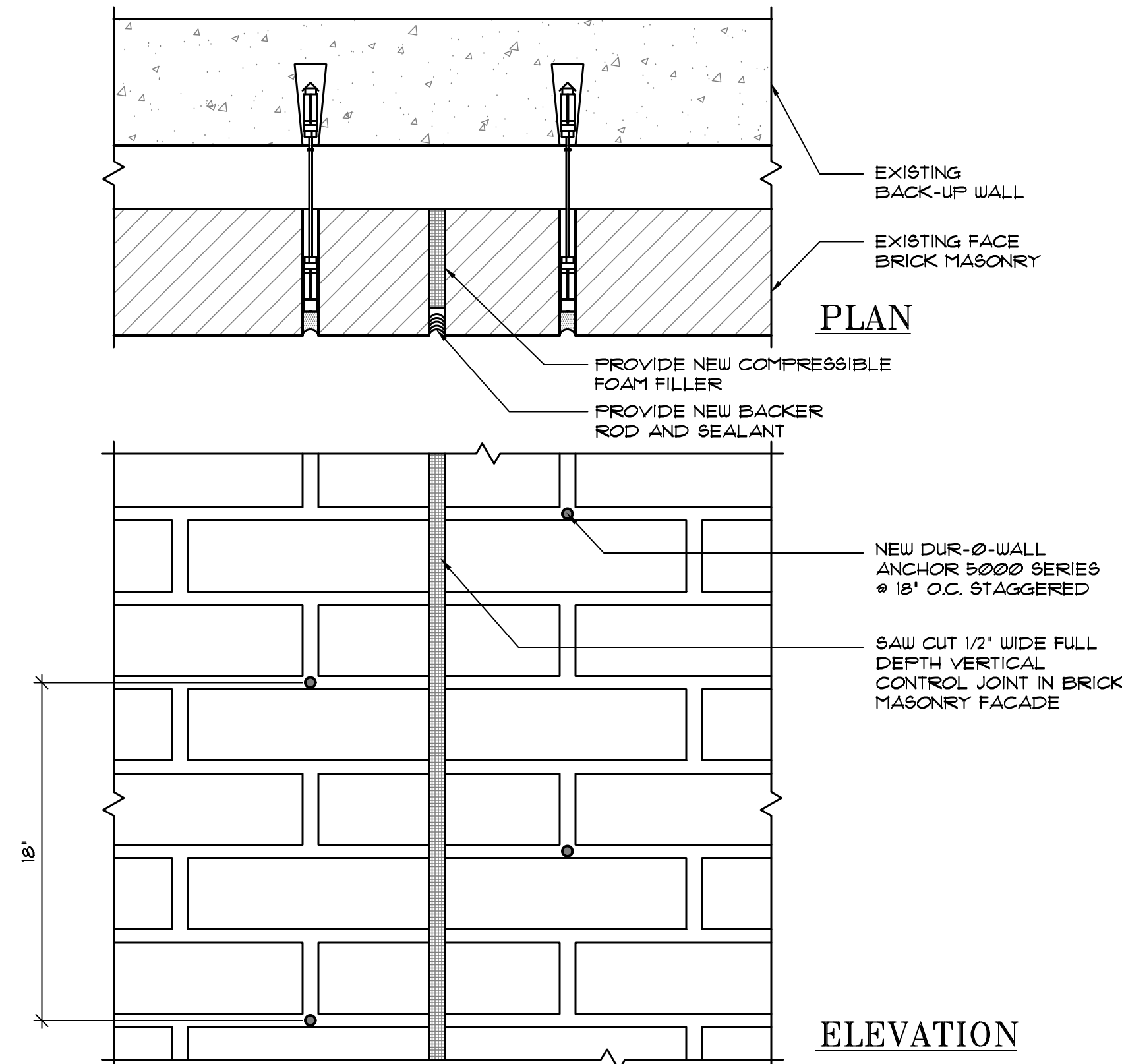
DRAWING No.
R-5



**DETAIL A:
LINTEL REPAIR**

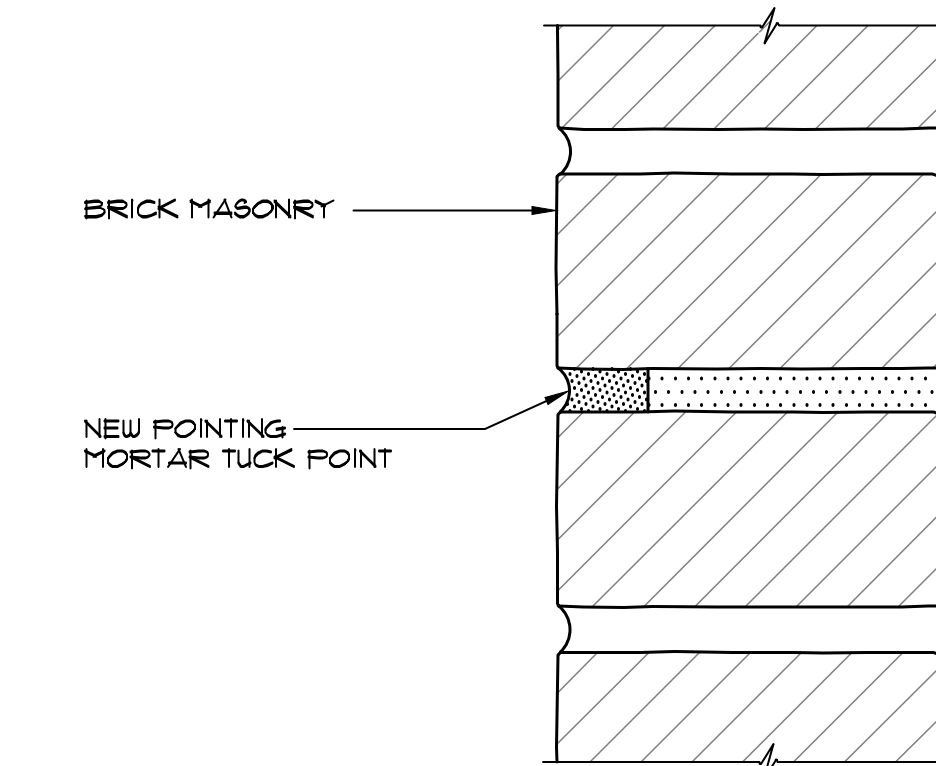
- NOTES:**
- CONDITIONS SHOWN AT CHU BACK UP WITH BOND BEAM, OTHER FLASHING CONDITIONS ANY EXIST AT LINEL'S A SHELF ANGLES INCLUDING STEEL BEAM WITH PLATE AND CONCRETE BEAMS. REFLASHING SIMILAR FOR CONDITIONS. EXPOSE BACKUP WALL FOR INSPECTION BY ENGINEER FOR VERIFICATION OF FIELD CONDITIONS.
 - CONTRACTOR TO CAREFULLY REMOVE FIVE COURSES OF BRICK MASONRY ABOVE ANGLE IN SECTIONS MAXIMUM 12'-0" APART & PROVIDE TEMPORARY WOOD SHORING TO REMAINDER OF BRICK WALL TO SUPPORT A LOAD OF 1000 LBS PER FOOT OF WALL.
 - THE CONTRACTOR TO PROVIDE SILING STAGE AND PERSONNEL FOR ENGINEER TO INSPECT THE CONDITION OF STEEL ANGLE AND ANCHORAGE, IF STEEL ANGLE IS DEEMED ADEQUATE IT SHALL REMAIN IN PLACE, CLEANED & PAINTED AS SPECIFIED, IF ANGLE REQUIRES REPLACEMENT, IT SHALL BE REPLACED IN SECTIONS AS SPECIFIED BY THE ENGINEER & PERFORMED BY CONTRACTOR IN MANNER SO AS NOT TO UNDERMINE BRICK MASONRY ABOVE EXACT ATTACHMENT TO VARY BASED ON FLANGE CONDITION ENCOUNTERED, INCLUDING DOUBLED AND EPOXY BOLTED CONNECTION ON WELDED, REATTACH SAME AS EXISTING UNLESS SPECIFIED

1 LINTEL/SHELF ANGLE REPAIR & REFLASHING DETAIL
R-19 SCALE: N.T.S.



**3 NEW CONTROL JOINT
DETAIL AT BUILDING FACADE**

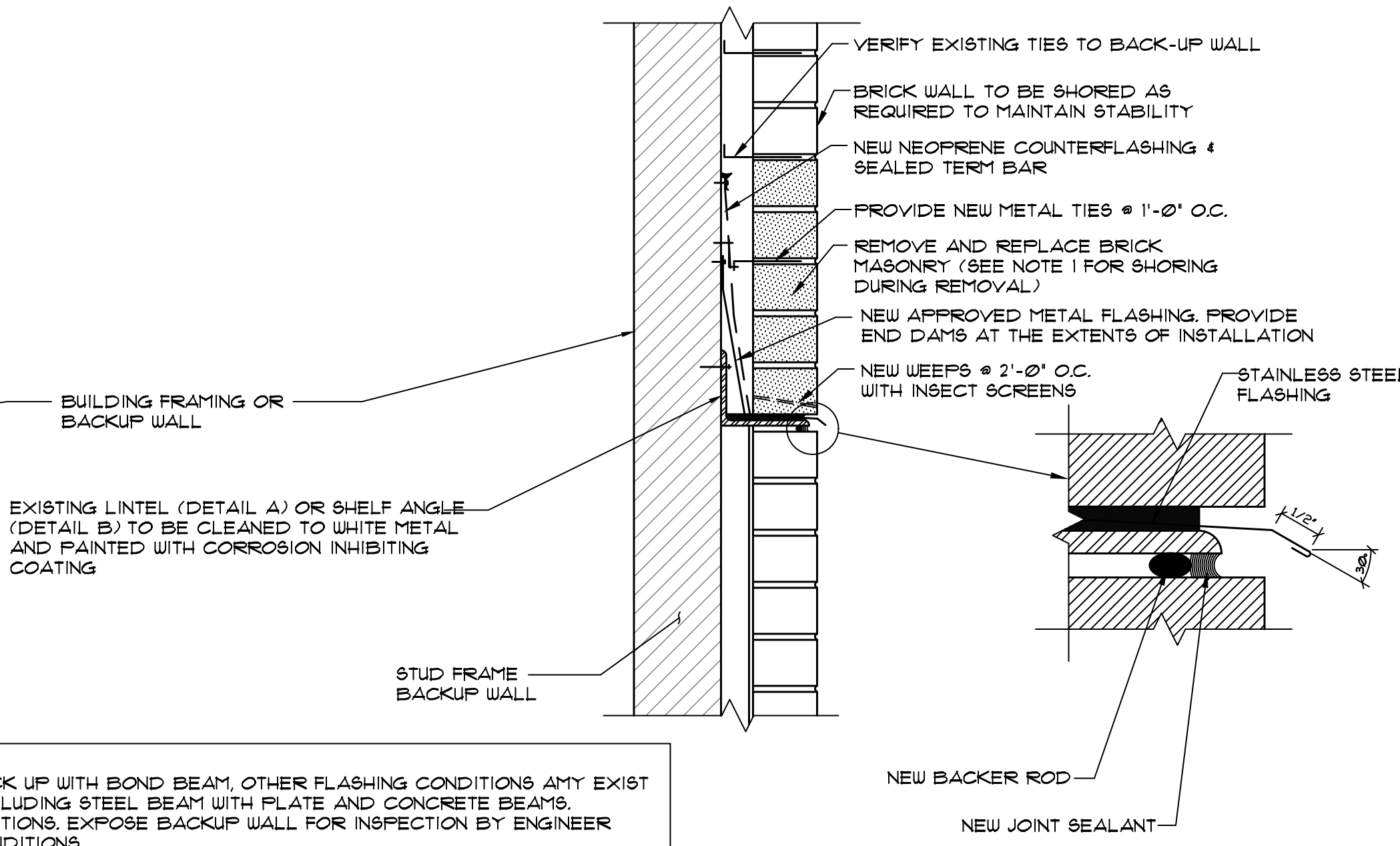
R-19 SCALE: N.T.S.



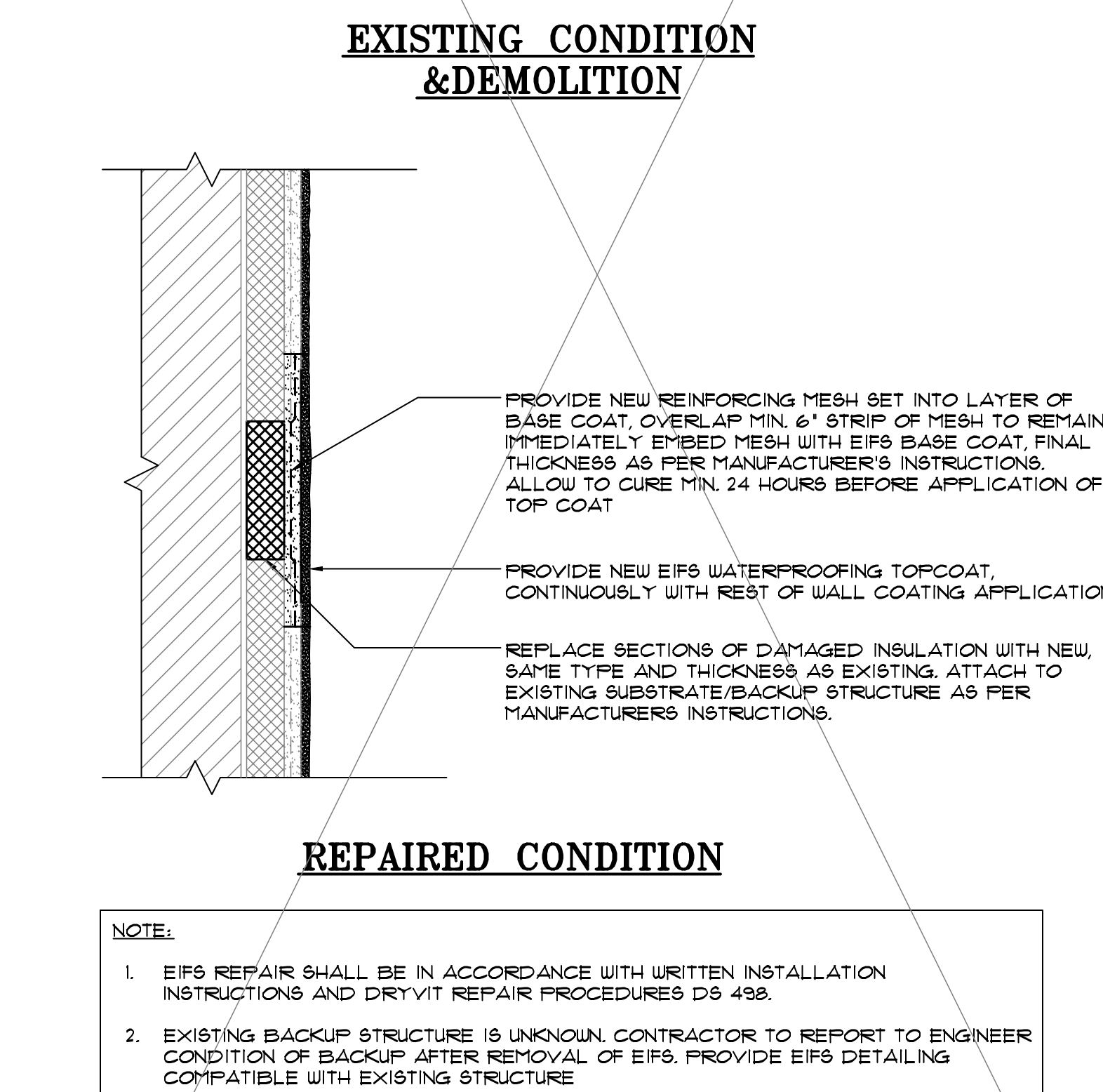
- NOTES:**
- CUT BACK EXISTING MORTAR JOINTS A MINIMUM OF 3/4" DEPTH OR UNTIL SOUND MORTAR IS REACHED.
 - DO NOT DAMAGE EXISTING MASONRY.
 - SATURATE MASONRY UNITS.
 - INSTALL NEW MORTAR PER SPECIFICATION IN LIFTS NOT GREATER THAN 1/2"
 - MATCH EXISTING COLOR

4 TYPICAL TUCKPOINTING DETAIL

R-19 SCALE: 6" = 1'-0"



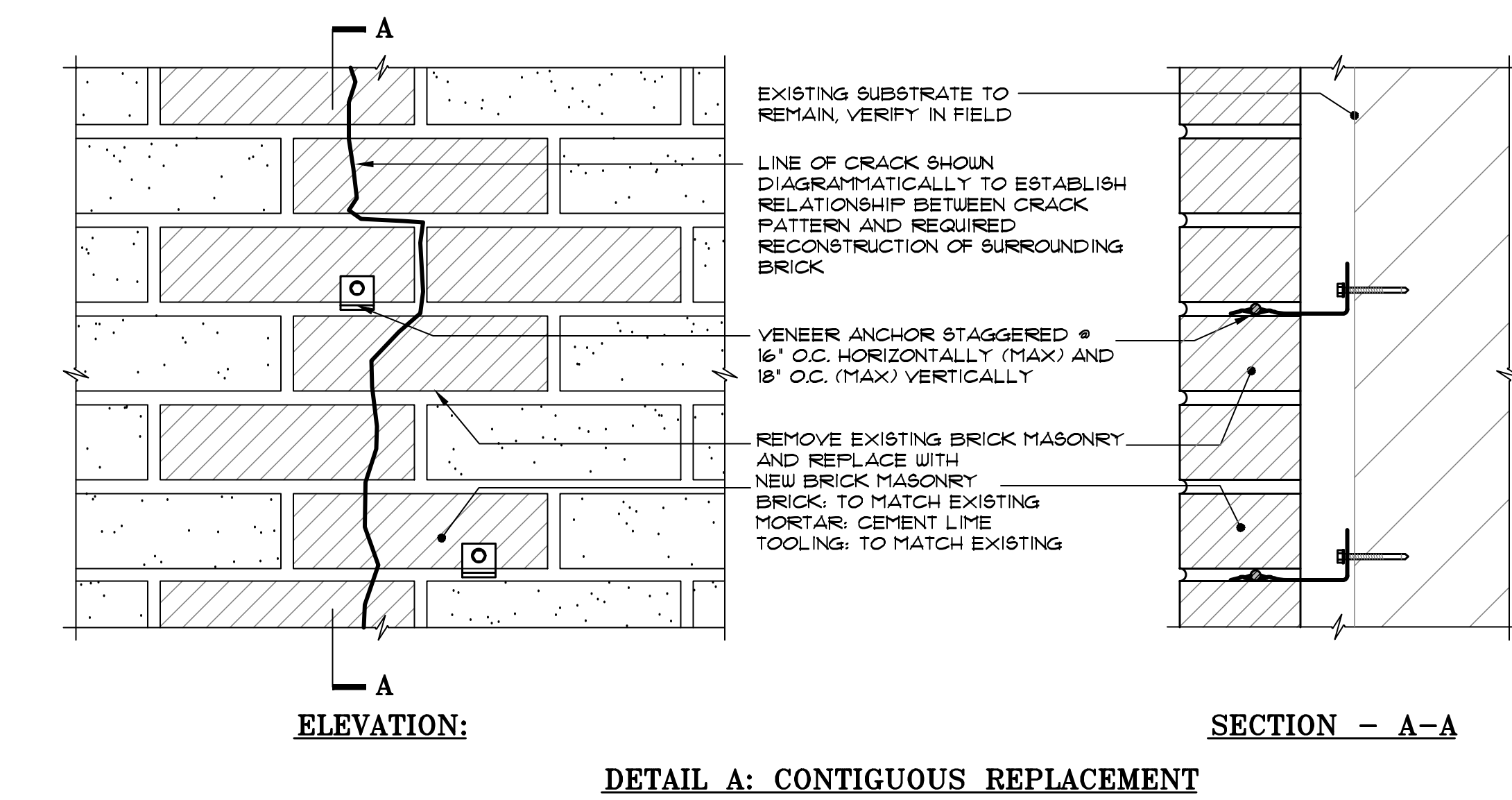
**DETAIL B:
SHELF ANGLE REPAIR**



5 EIFS CRACK & PATCH REPAIR DETAIL

R-19 SCALE: N.T.S.

NOT USED IN PHASE 1

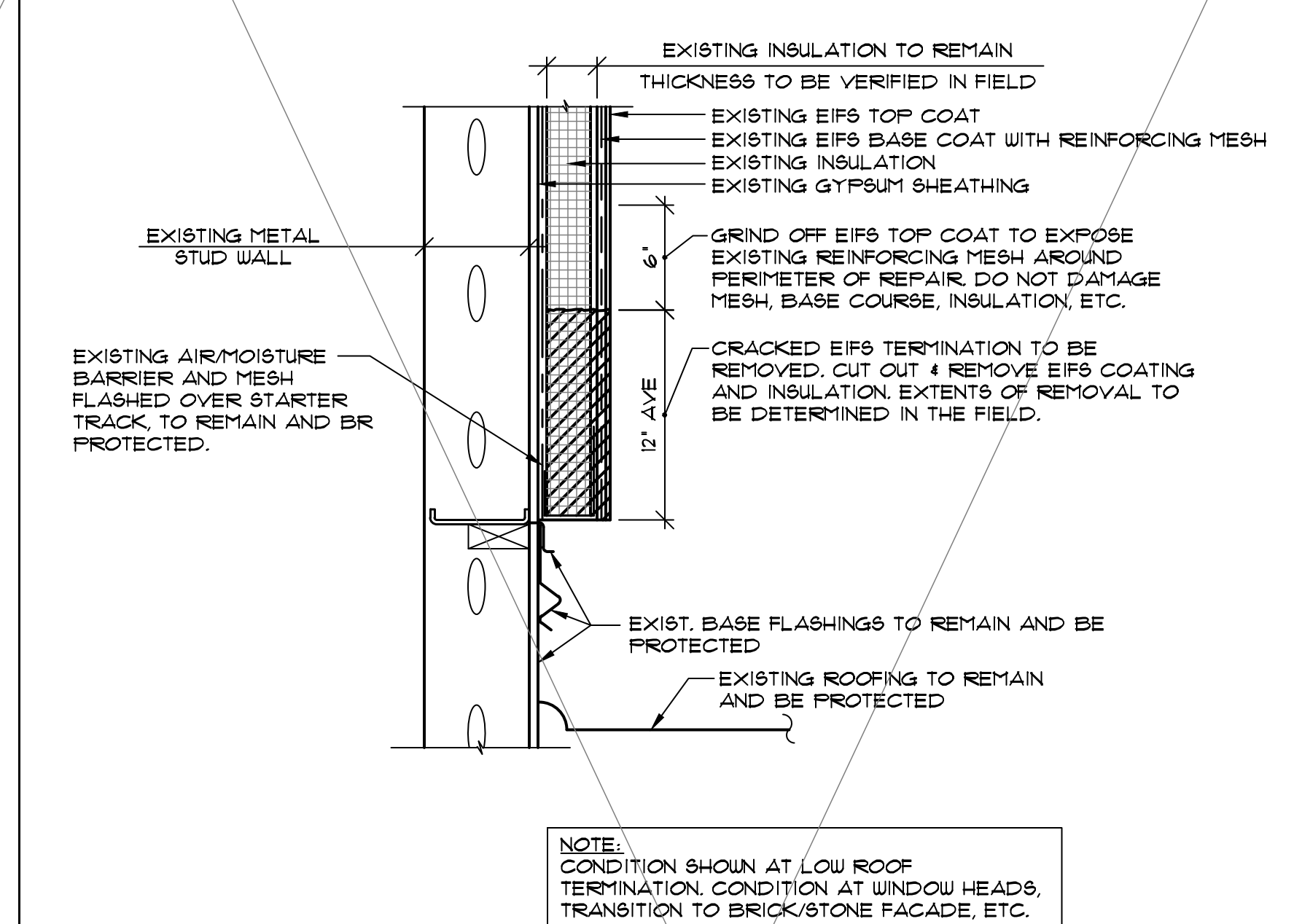


DETAIL A: CONTIGUOUS REPLACEMENT

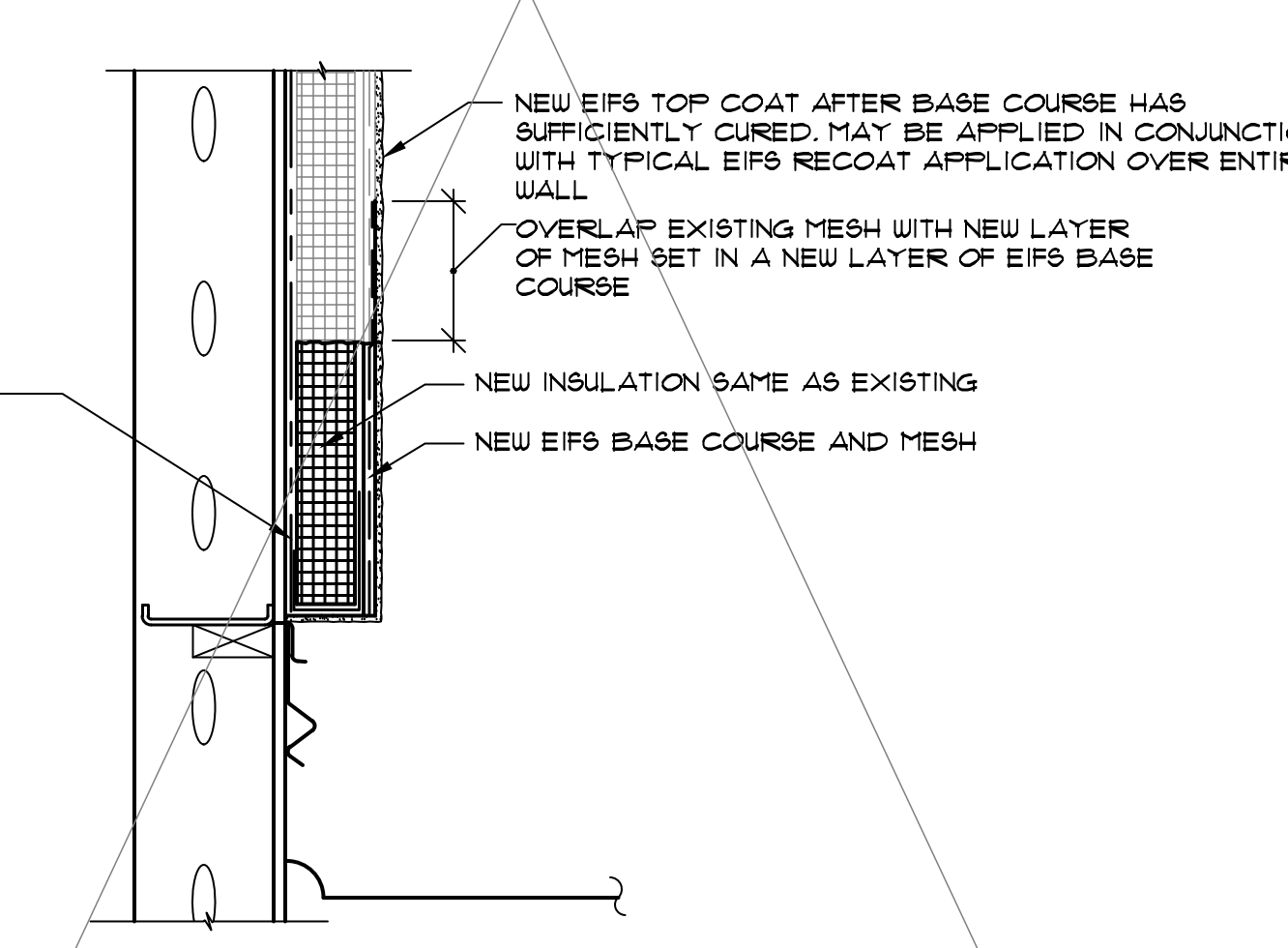
DETAIL B: INDIVIDUAL REPLACEMENT

2 BRICK REPLACEMENT DETAIL

R-19 SCALE: 3" = 1'-0"



EXISTING CONDITION & DEMOLITION

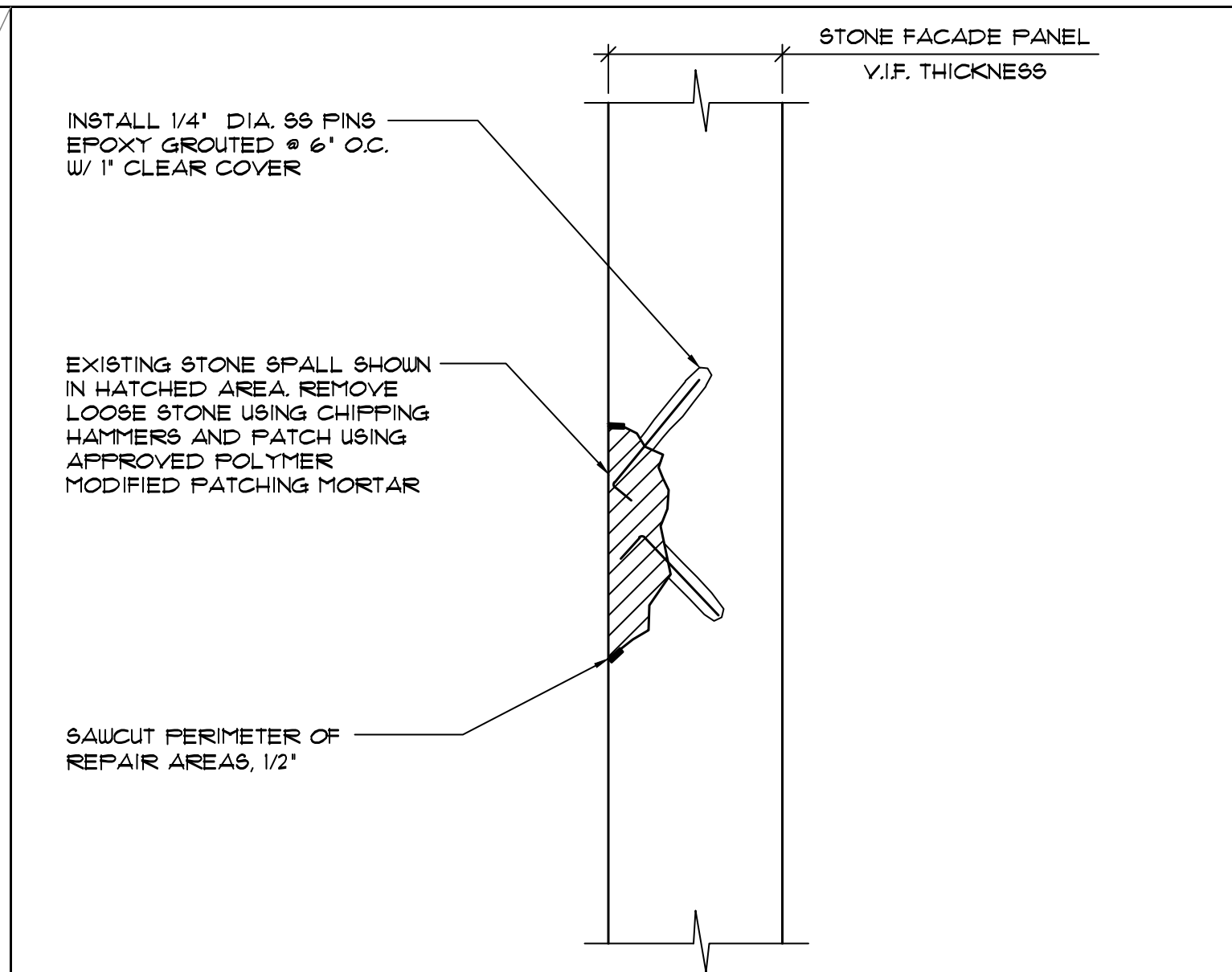


REPAIRED CONDITION

6 EIFS TERMINATION REPAIR DETAIL

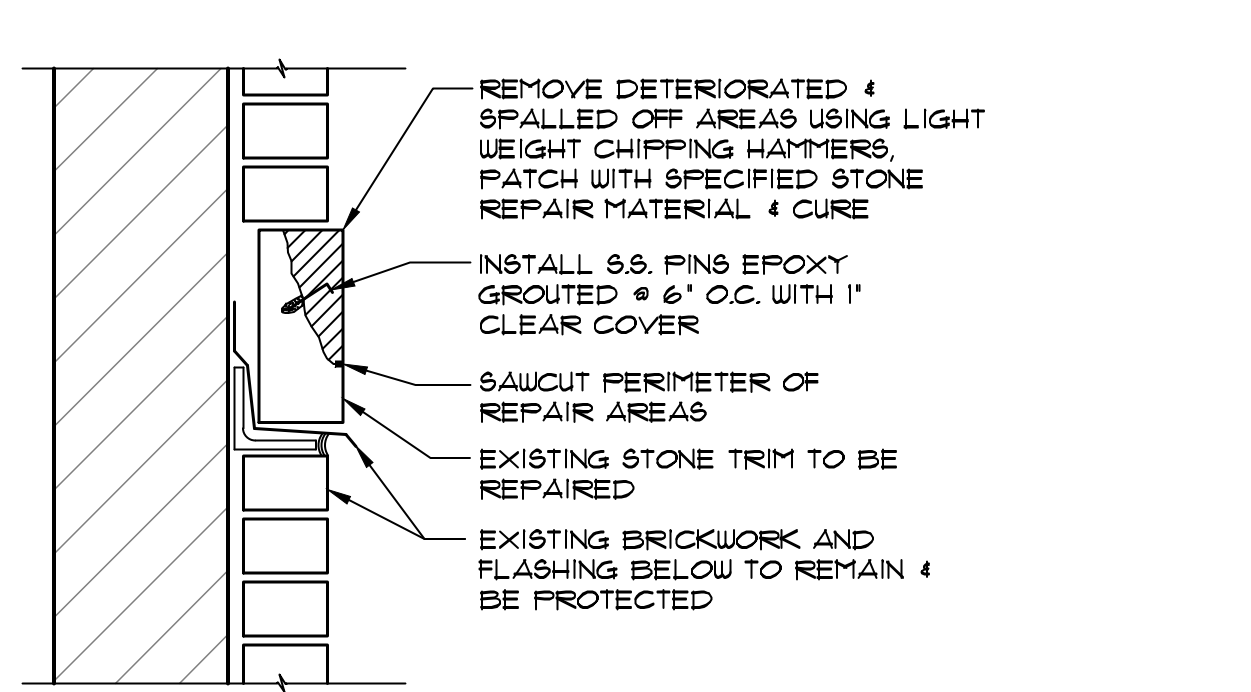
R-19 SCALE: 1 1/2" = 1'-0"

NOT USED IN PHASE 1



7 STONE PATCH REPAIR DETAIL

R-19 SCALE: N.T.S.

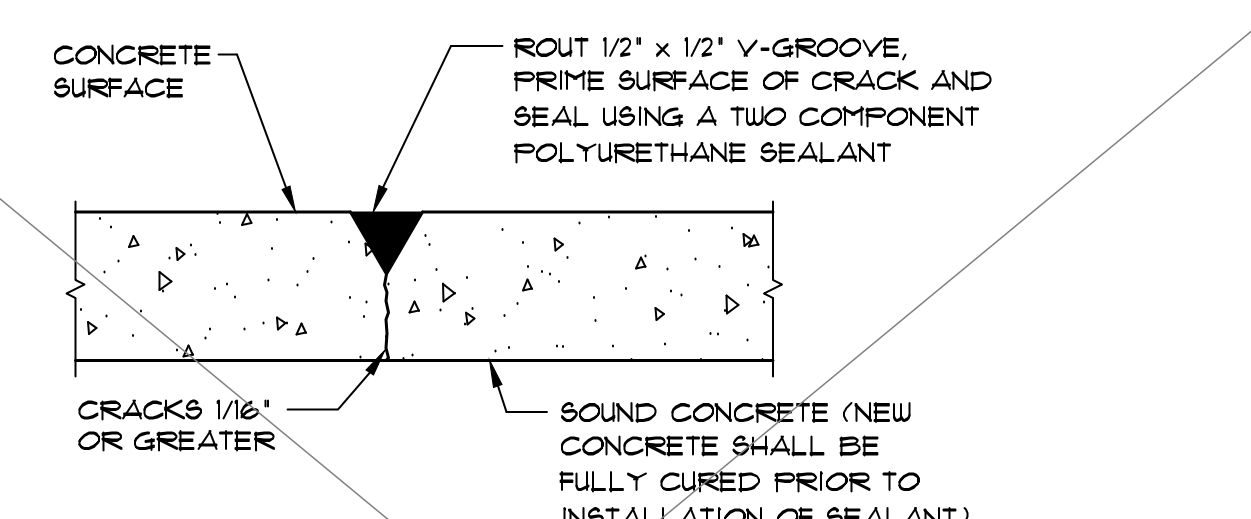


8 STONE TRIM PATCH REPAIR DETAIL

R-19 SCALE: 1 1/2" = 1'-0"

8 STONE TRIM PATCH REPAIR DETAIL

R-19 SCALE: 1 1/2" = 1'-0"



9 WALL CRACK REPAIR DETAIL

R-19 SCALE: N.T.S.

NOT USED IN PHASE 1

9 WALL CRACK REPAIR DETAIL

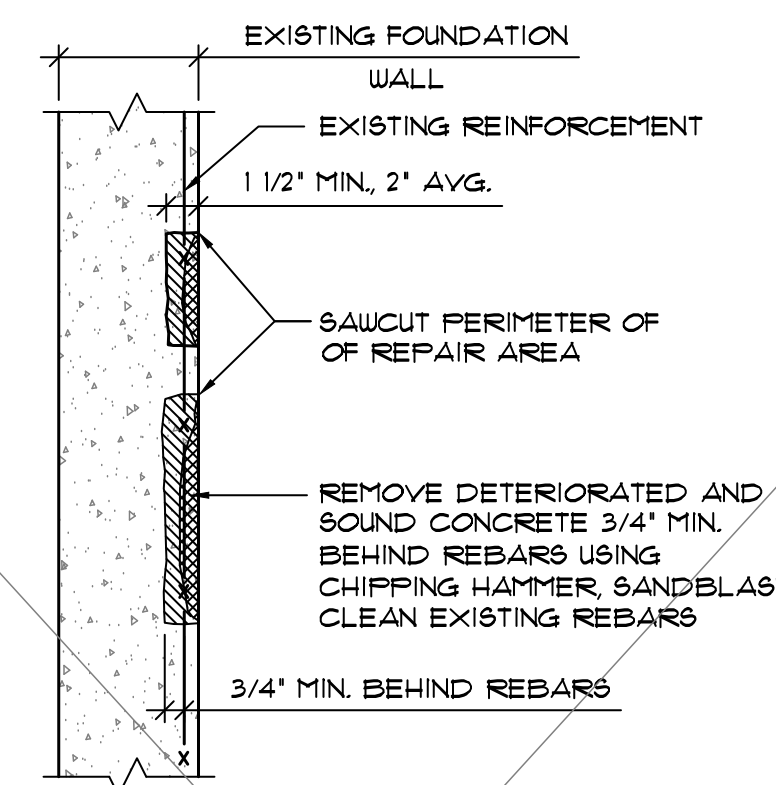
R-19 SCALE: N.T.S.

NOT USED IN PHASE 1

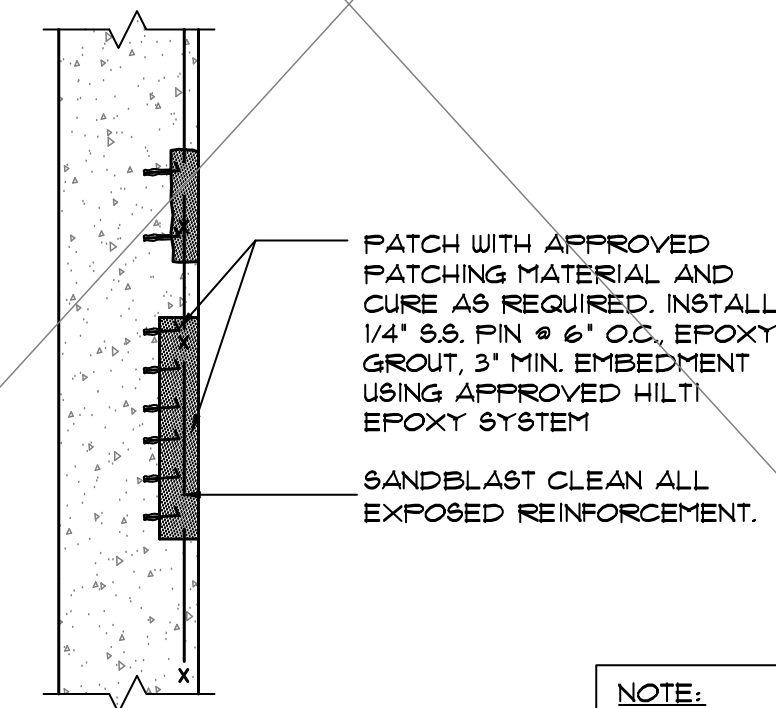
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PROJECT No.:	04-210094	
WTI PROJECT No.:	5032178	



EXISTING CONDITION

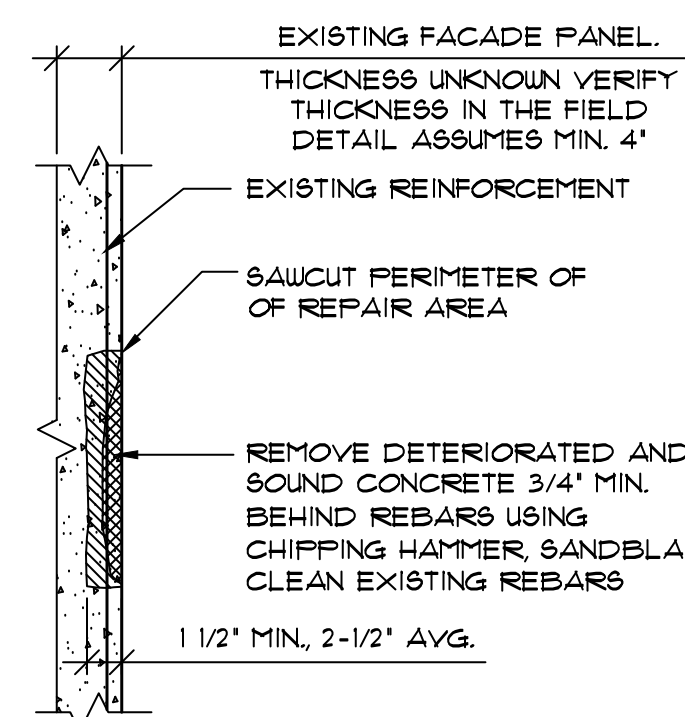


REPAIRED CONDITION

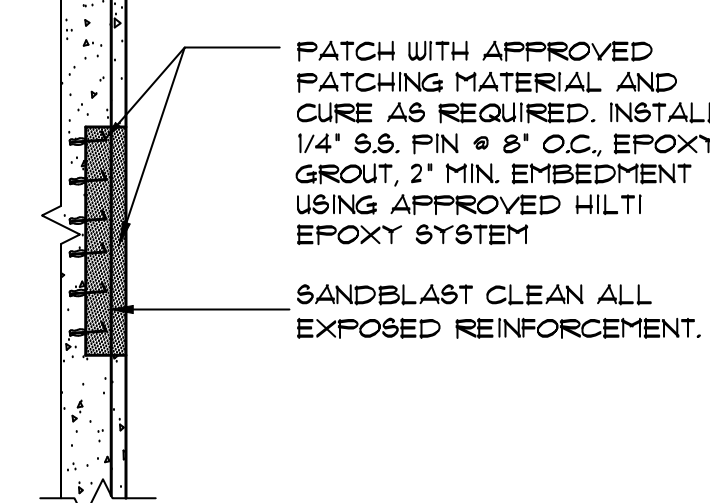
NOTE:
REBAR SHOWN SCHEMATICALLY. EXISTING REINFORCEMENT TO BE V.I.F.

1A TYPICAL VERTICAL PATCH REPAIR
R-20 SCALE: N.T.S.

NOT USED IN PHASE 1

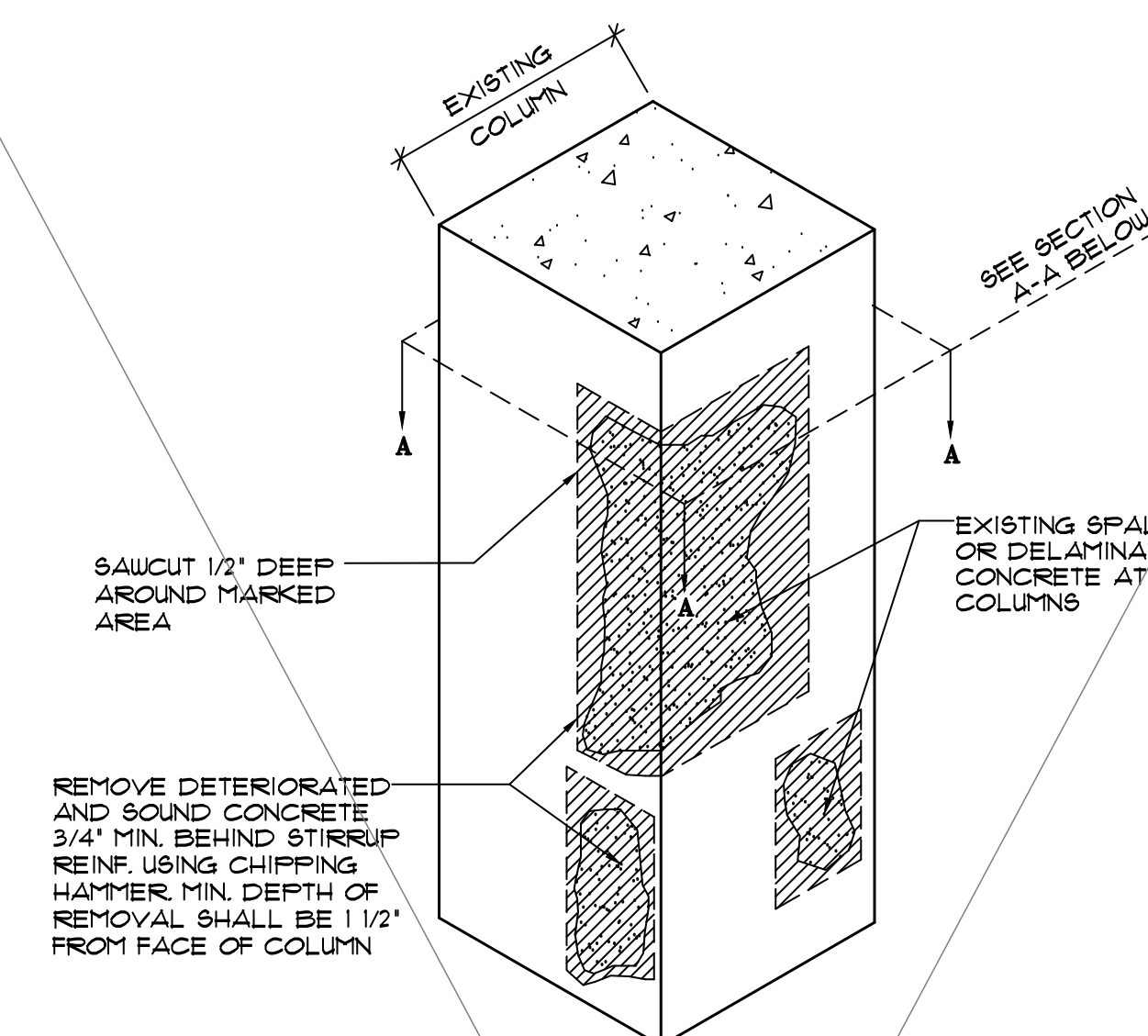


EXISTING CONDITION

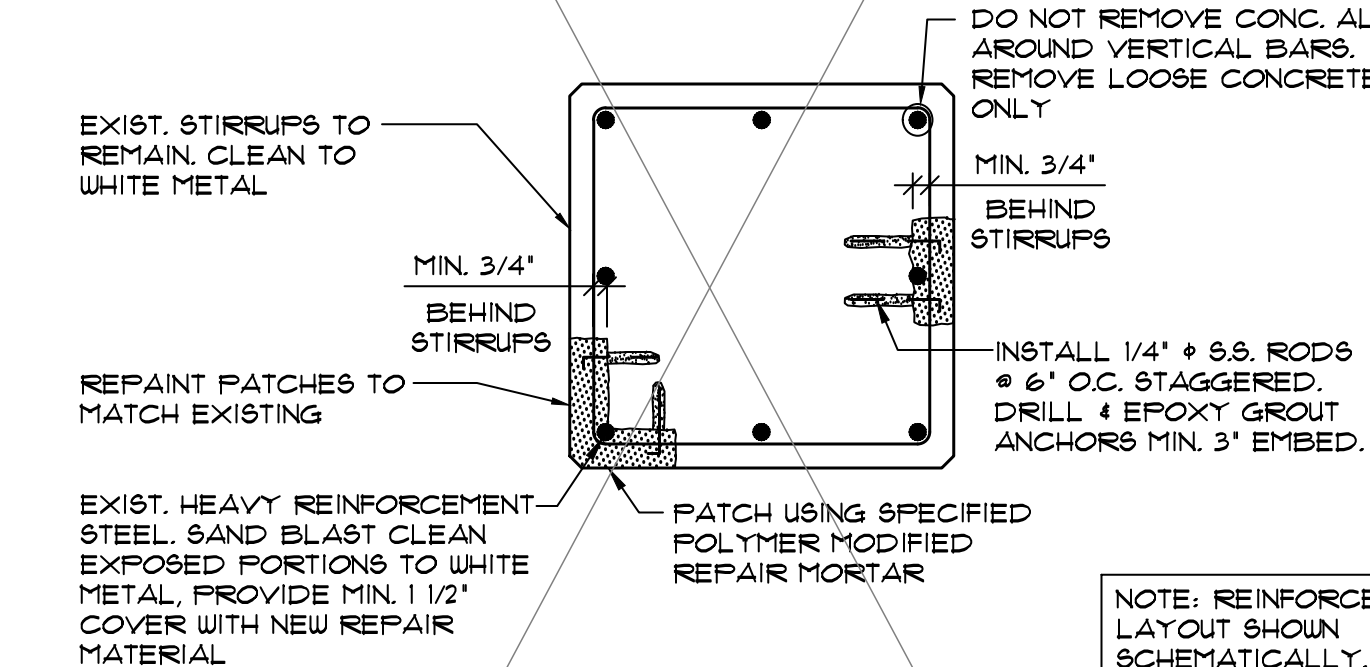


REPAIRED CONDITION

1B VERTICAL PATCH REPAIR DETAIL
R-20 SCALE: N.T.S.



EXISTING CONDITION & DEMOLITION



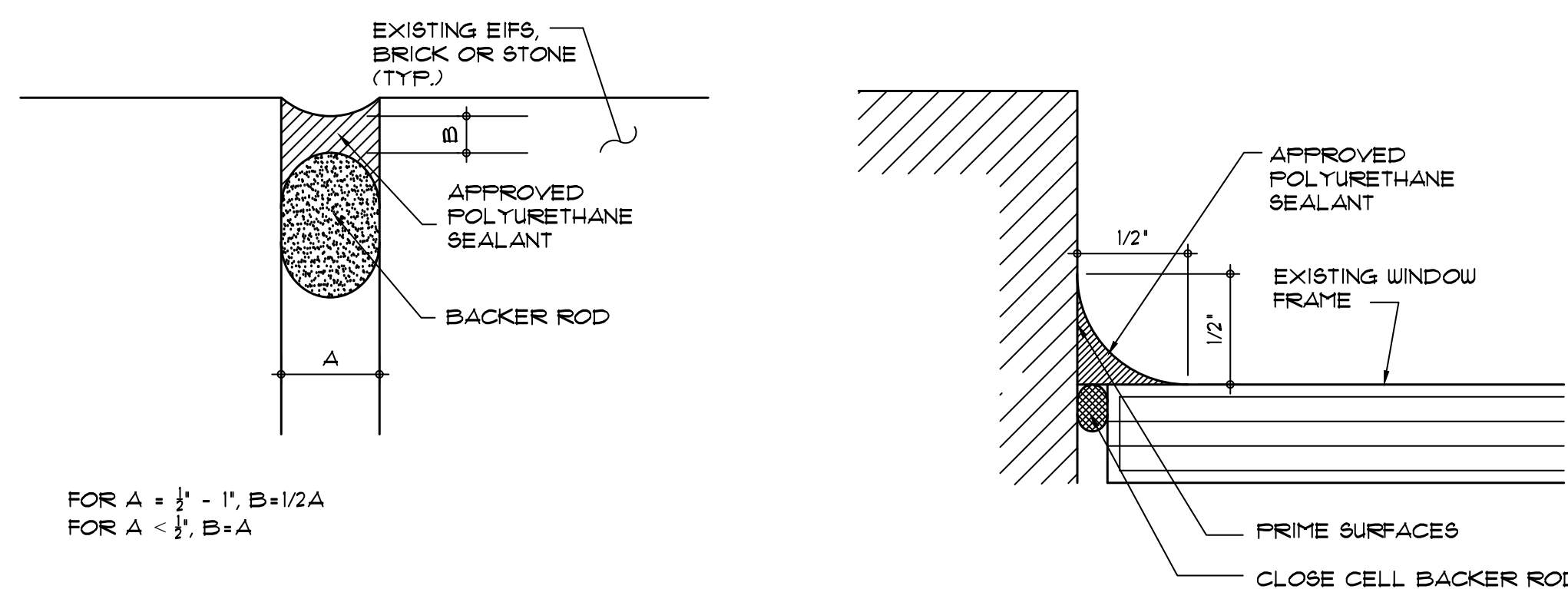
SECTION A-A
REPAIRED CONDITION

REPAIR PROCEDURE:

1. SOUND COLUMNS AND MARK REPAIR LOCATIONS IN THE PRESENCE OF THE ENGINEER
2. SAW CUT PERIMETER OF MARKED PATCH 1/2' DEEP
3. REMOVE LOOSE AND SOUND CONCRETE MIN. 3/4' BEHIND STIRRUPS.
4. CLEAN REINF. TO WHITE METAL. SUPPLEMENT CORRODED REINFORCEMENT WITH NEW REBAR (> 20% LOSS OF CROSS SECTIONAL AREA) OR AS DIRECTED BY THE ENGINEER
5. INSTALL NEW 1/4" DIA. STAINLESS STEEL PIN # 6' O.C. STAGGERED, MIN. 3' EMBEDMENT USING APPROVED HILTI EPOXY SYSTEM.
6. INSTALL POLYMER MODIFIED REPAIR MORTAR
7. REINFORCEMENT VARIES. ASSUME REBAR SHOWN SCHEMATICALLY ONLY.

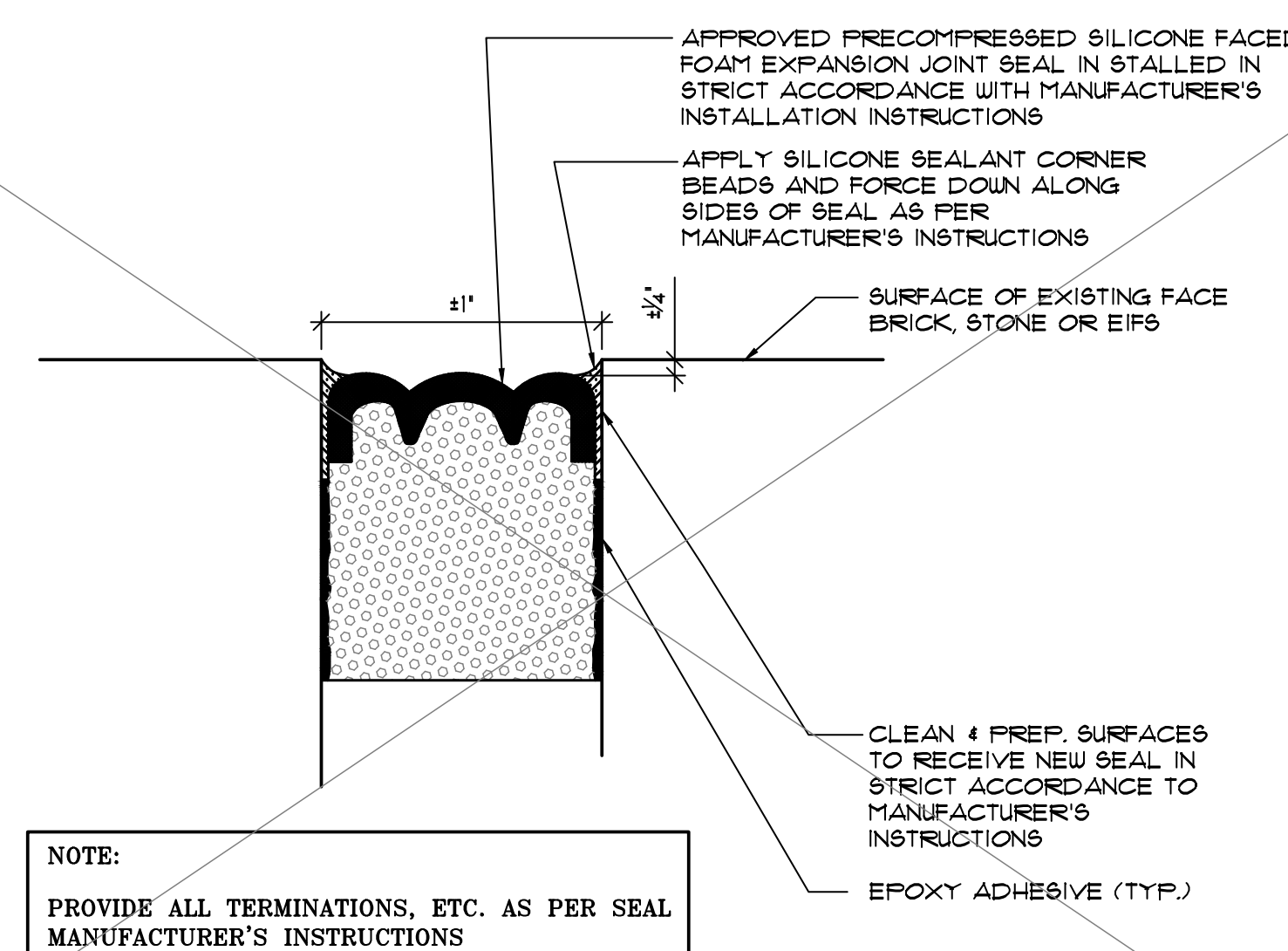
2 TYPICAL VERTICAL PATCH REPAIR
R-20 SCALE: N.T.S. AT COLUMNS

NOT USED IN PHASE 1



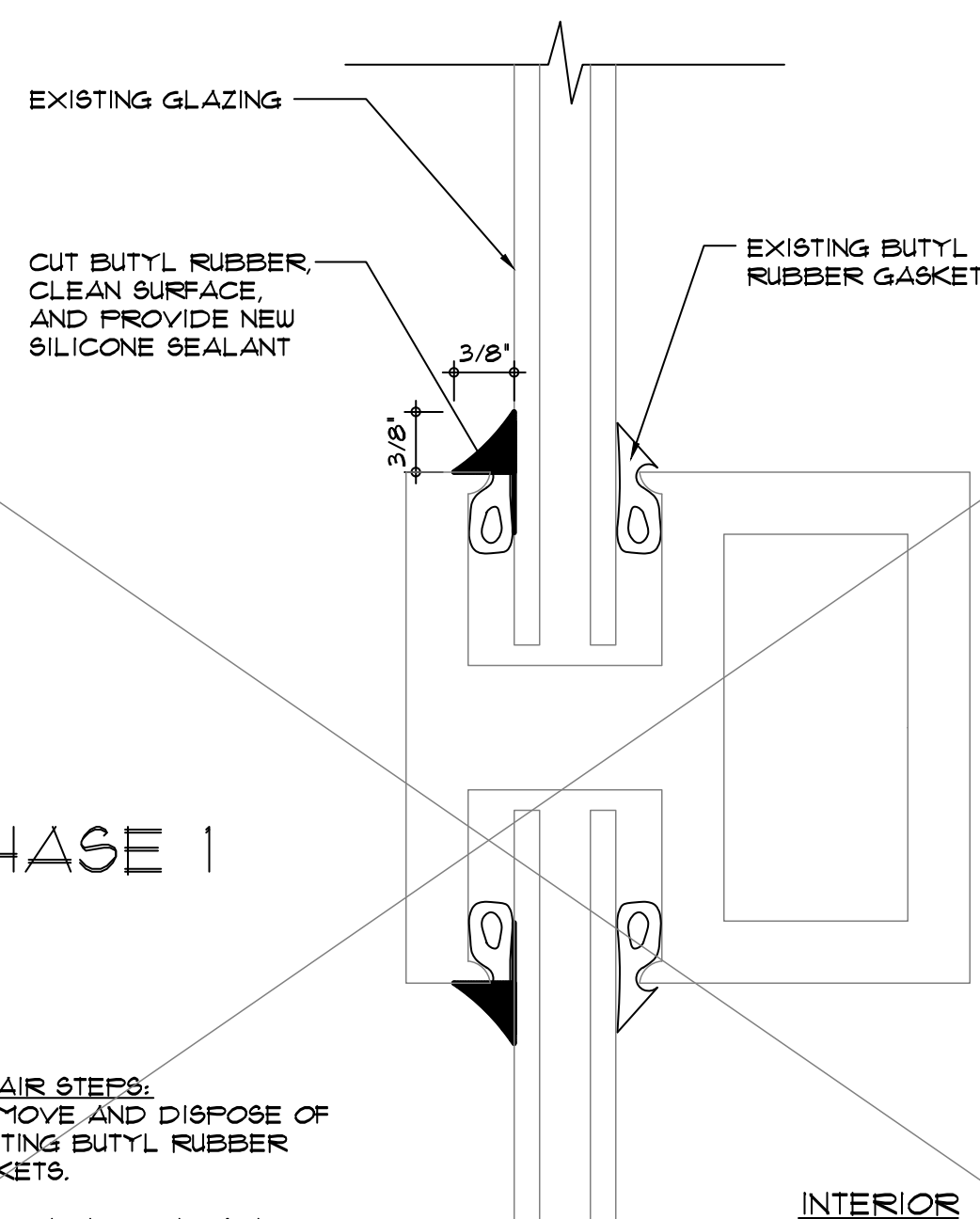
FOR A = 1/2" - 1", B=1/2A
FOR A < 1/2", B=A

3 CAULKING REPLACEMENT DETAIL
R-20 SCALE: N.T.S.



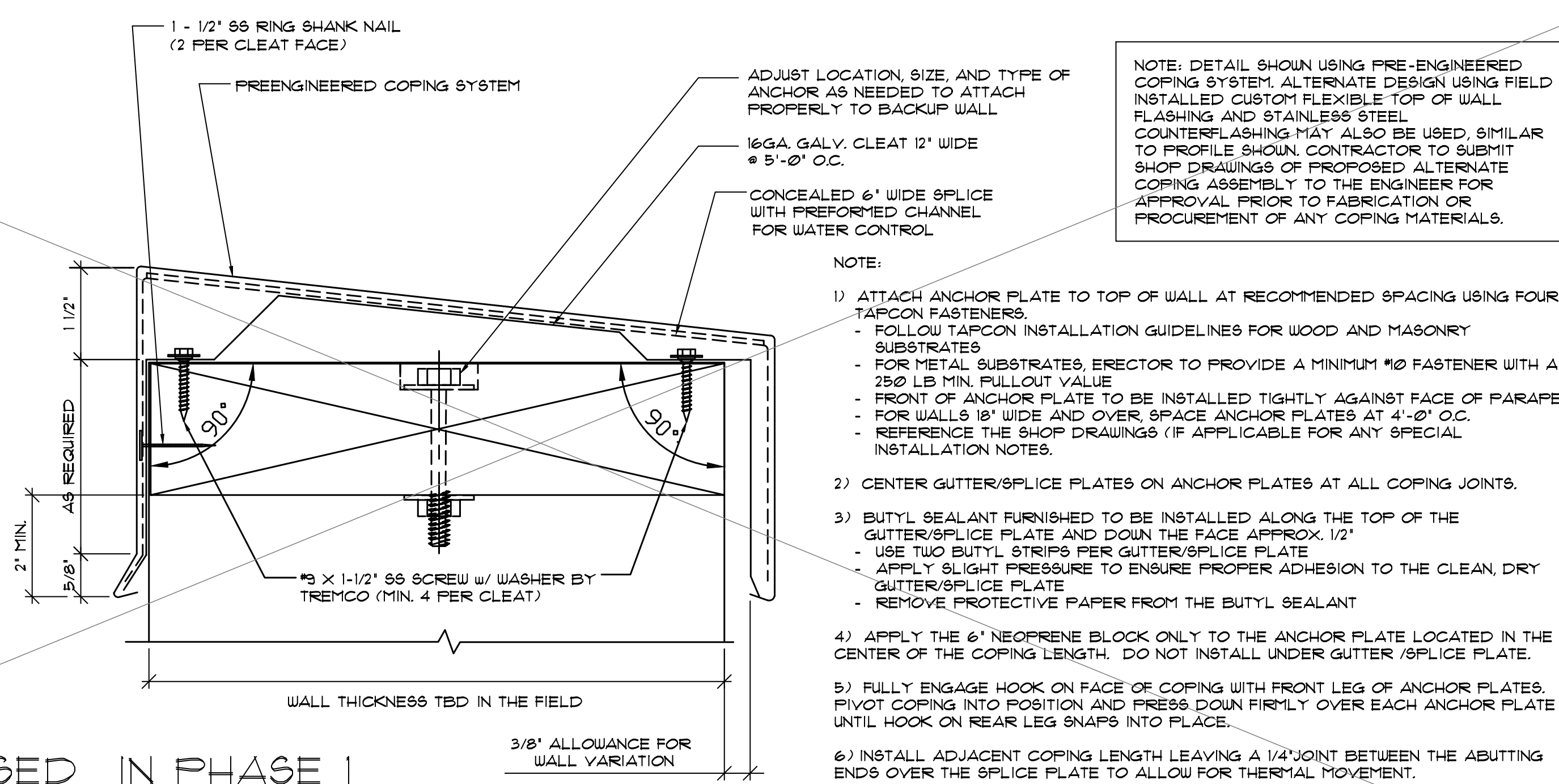
5 EXPANSION JOINT SEAL DETAIL
R-20 SCALE: N.T.S.

NOT USED IN PHASE 1



4 REPLACE WINDOW GASKET
R-20 SCALE: N.T.S. (WET SEAL)

NOT USED IN PHASE 1



6 NEW METAL COPING DETAIL
R-20 SCALE: N.T.S.

NOT USED IN PHASE 1

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SECTIONS & DETAILS - SHEET 2		
DRAWING No.		

EXISTING CONDITION PHOTOS - SHEET 1



OVERALL VIEW OF EAST ELEVATION/FRONT ENTRANCE OF THE MAIN HOSPITAL



OVERALL VIEW OF SOUTH AND EAST ELEVATIONS OF MAIN HOSPITAL



OVERALL VIEW OF NORTH ELEVATION OF WOMEN'S HOSPITAL BUILDING



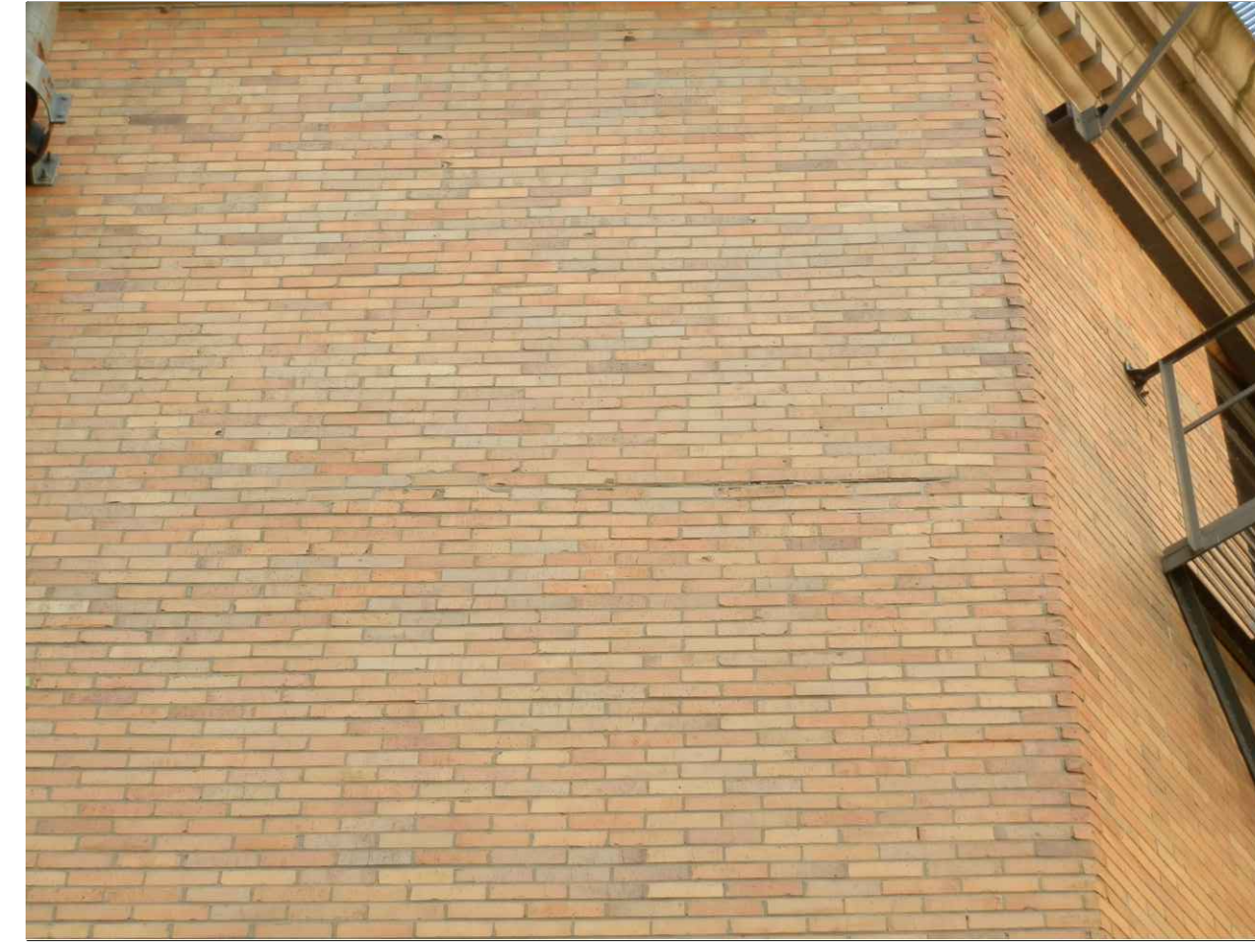
OVERALL VIEW OF SOUTH ELEVATION WOMEN'S HOSPITAL BUILDING



OVERALL VIEW OF WEST ELEVATION OF THE HERITAGE CENTER BUILDING



OVERALL VIEW OF SOUTH ELEVATION OF THE HERITAGE CENTER BUILDING



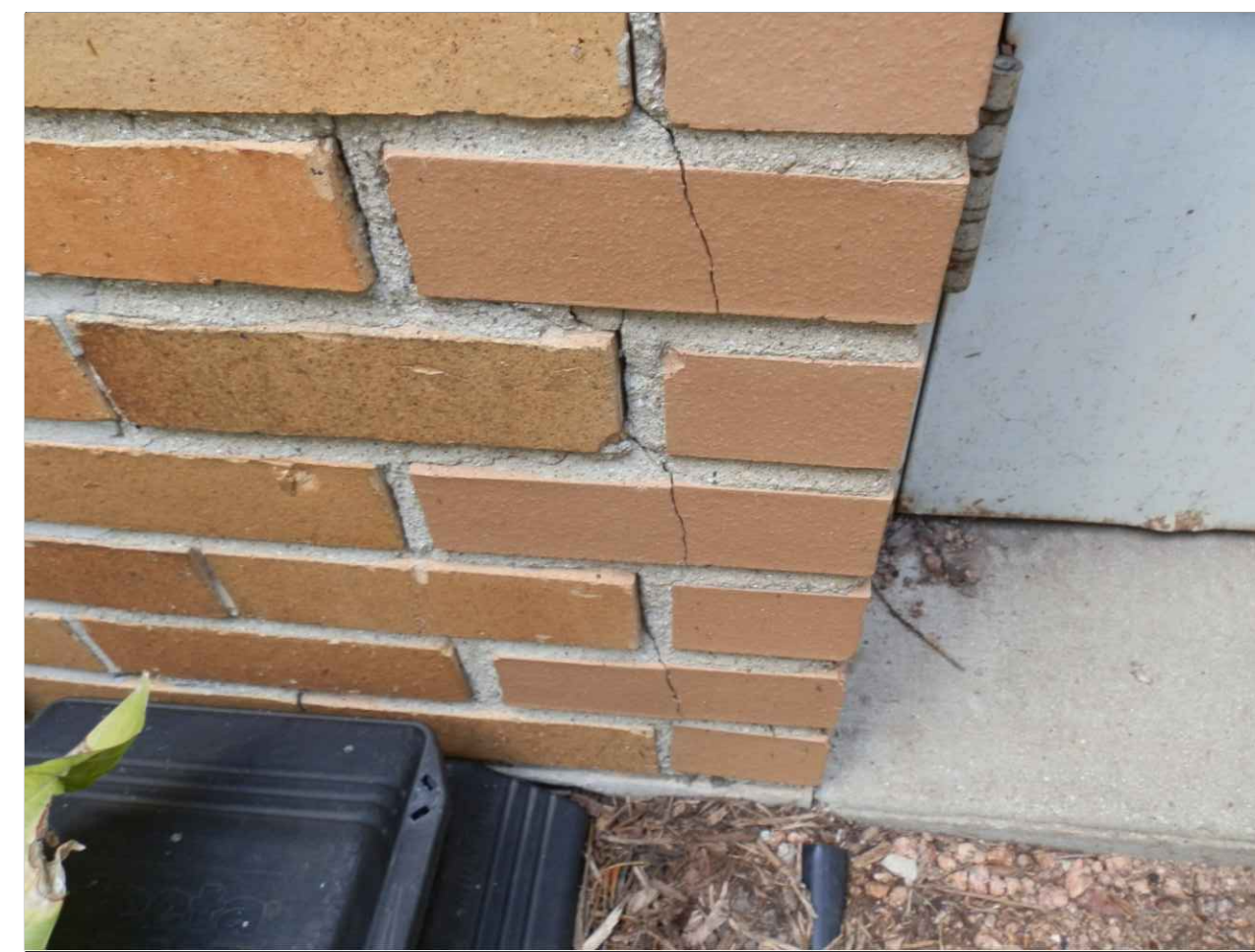
MORTAR DETERIORATION AT SHELF ANGLE



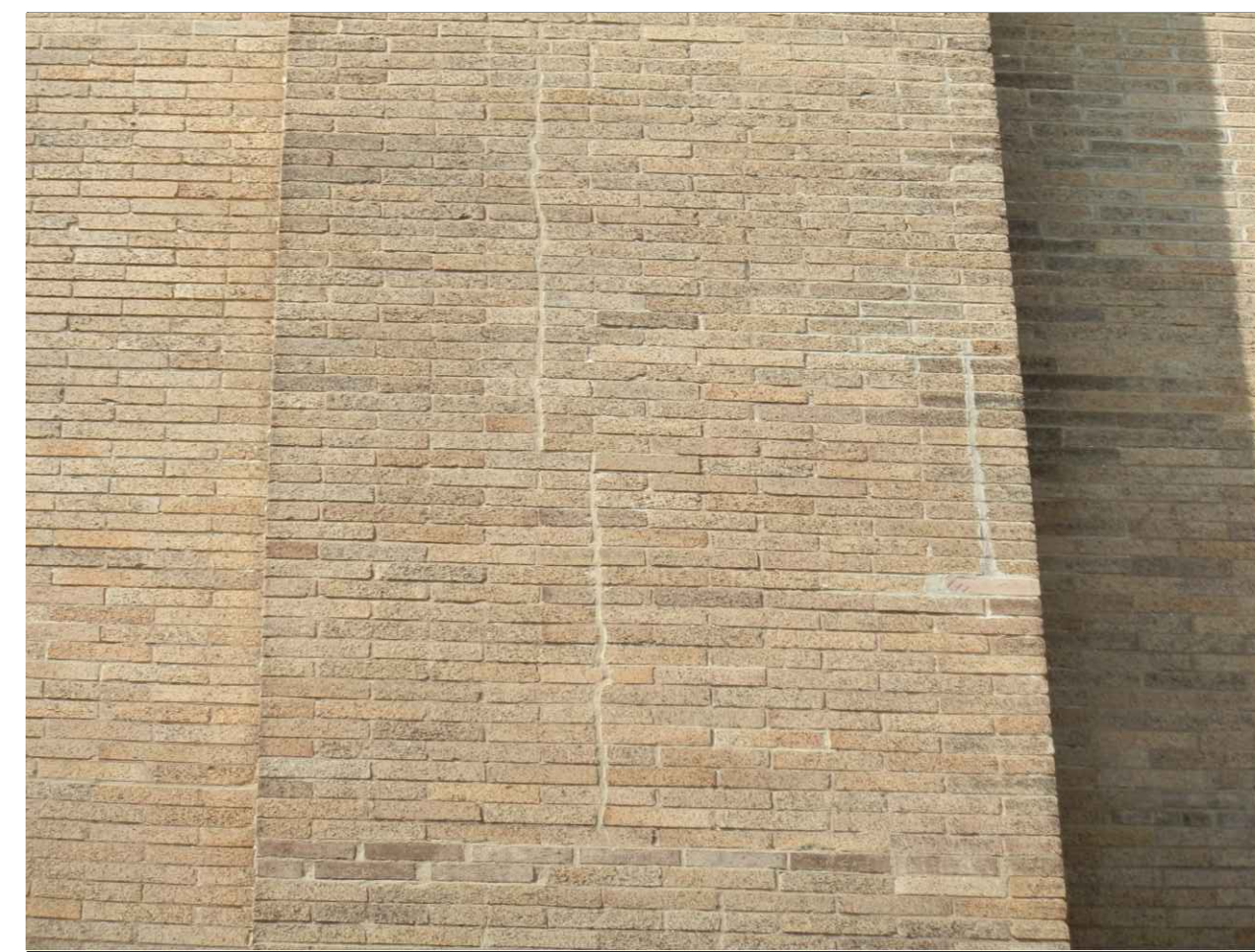
MORTAR DETERIORATION DUE TO CORROSION AT LINTEL



SPALLED FACE BRICK



CRACKED FACE BRICK



VERTICAL CRACKING AT BRICK PIERS



FACE BRICK CRACKING AT CORNER



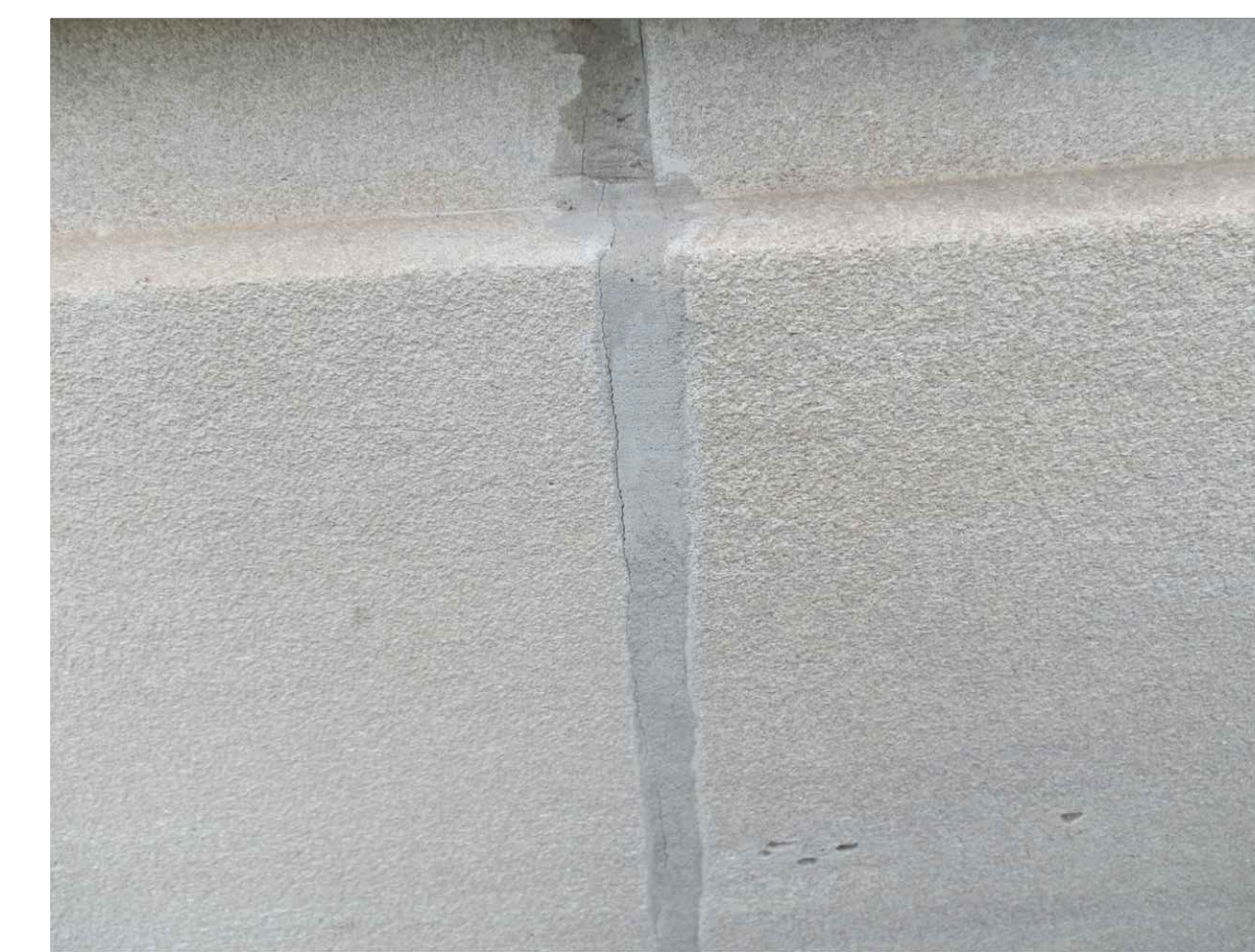
CRACKED AND SPALLING FACE BRICK



DETERIORATED MORTAR JOINTS



CRACKED AND DETERIORATED MORTAR JOINTS



CRACKING AT MORTAR JOINT

O&S ASSOCIATES
ENGINEERS & ARCHITECTS
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 OF THE
COLUMBIA ST. MARY'S HOSPITAL
 MILWAUKEE, WISCONSIN

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DRAWING TITLE:
EXISTING CONDITION PHOTOS - SHEET 1

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R-21

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EXISTING CONDITION PHOTOS - SHEET 2

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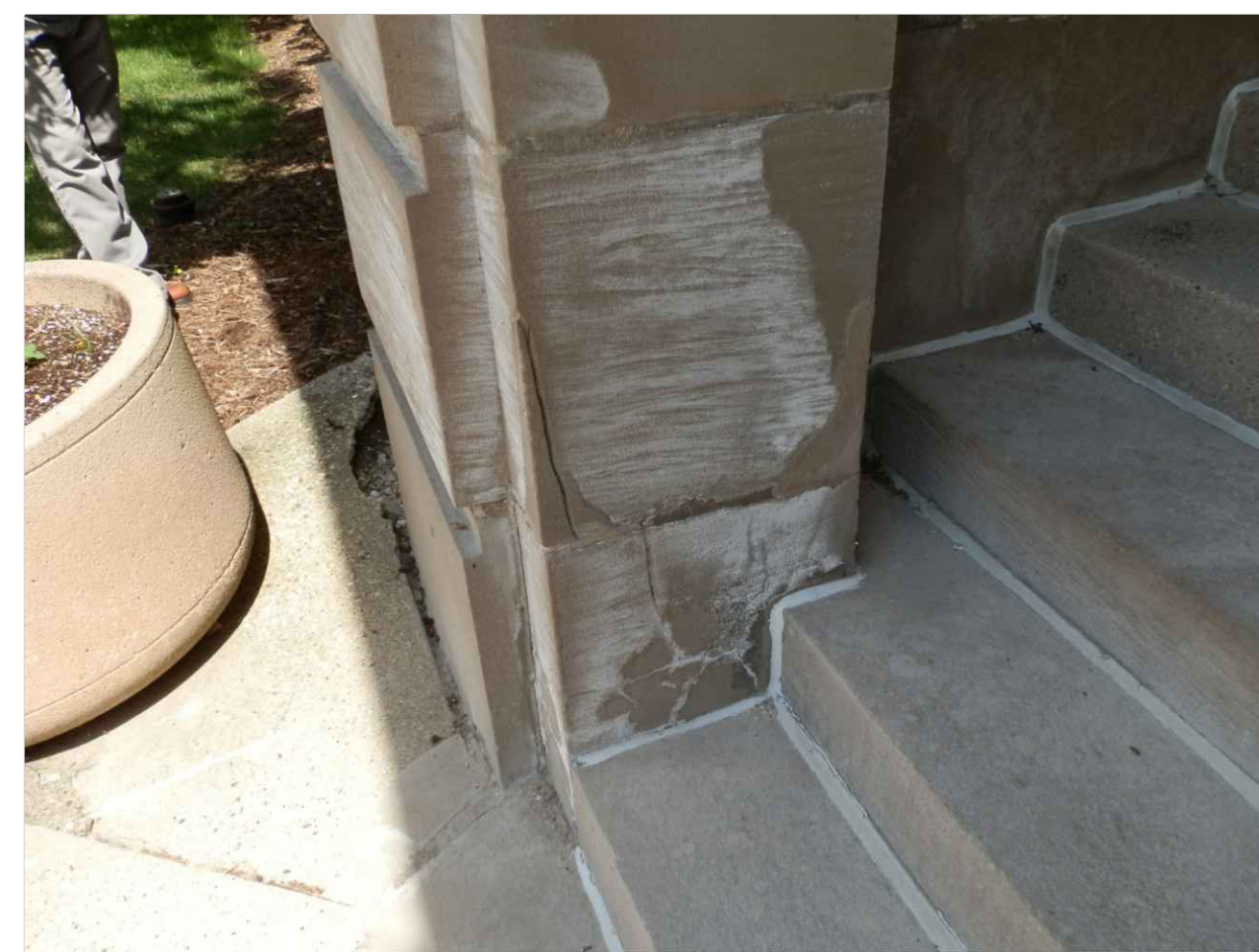


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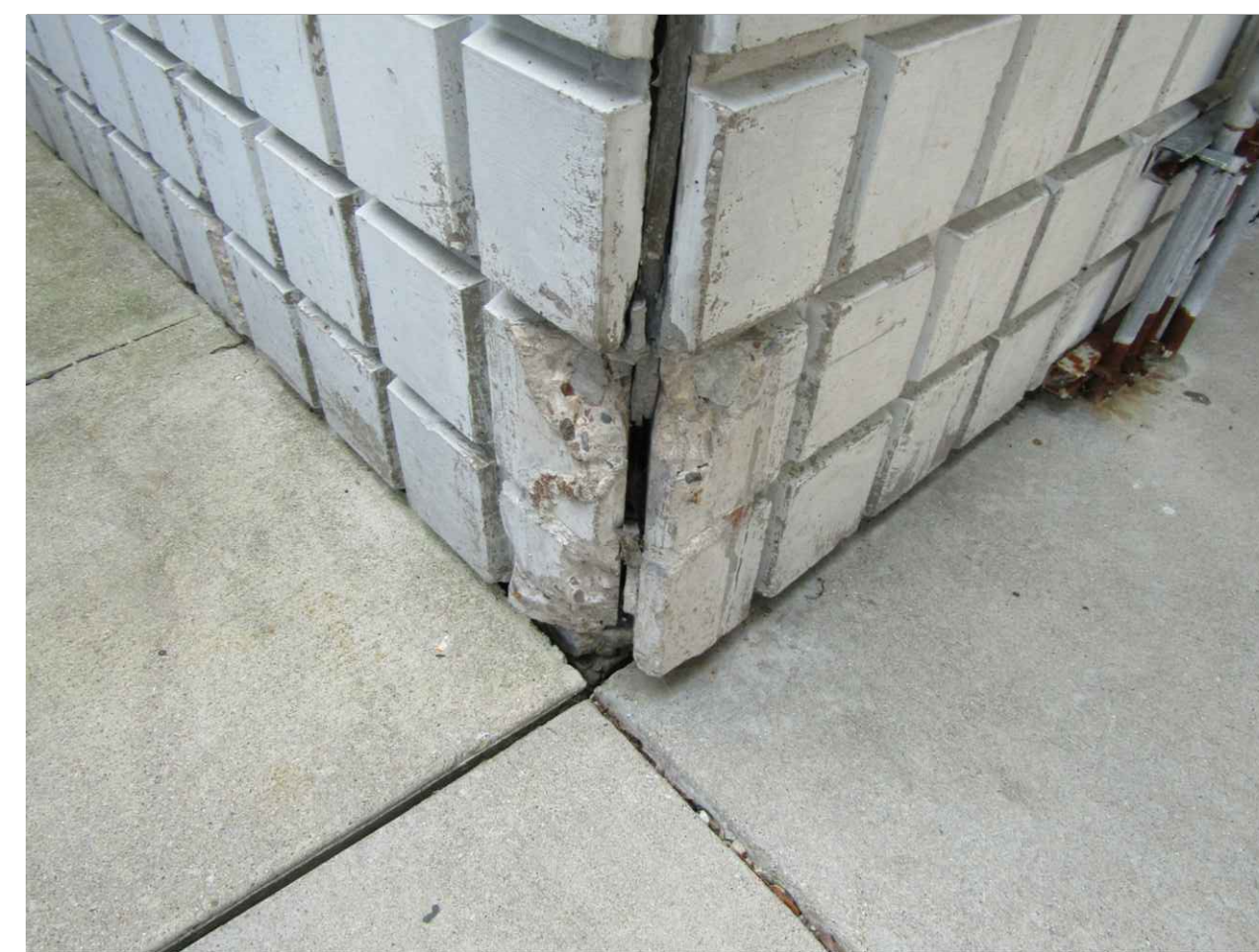
FACADE REPAIR & PREVENTIVE MAINTENANCE - PHASE 1 (2021)
 OF THE
COLUMBIA ST. MARY'S HOSPITAL
 MILWAUKEE, WISCONSIN



SPALLING AND STAINING AT STONE PANELS AT THE HERITAGE CENTER BUILDING



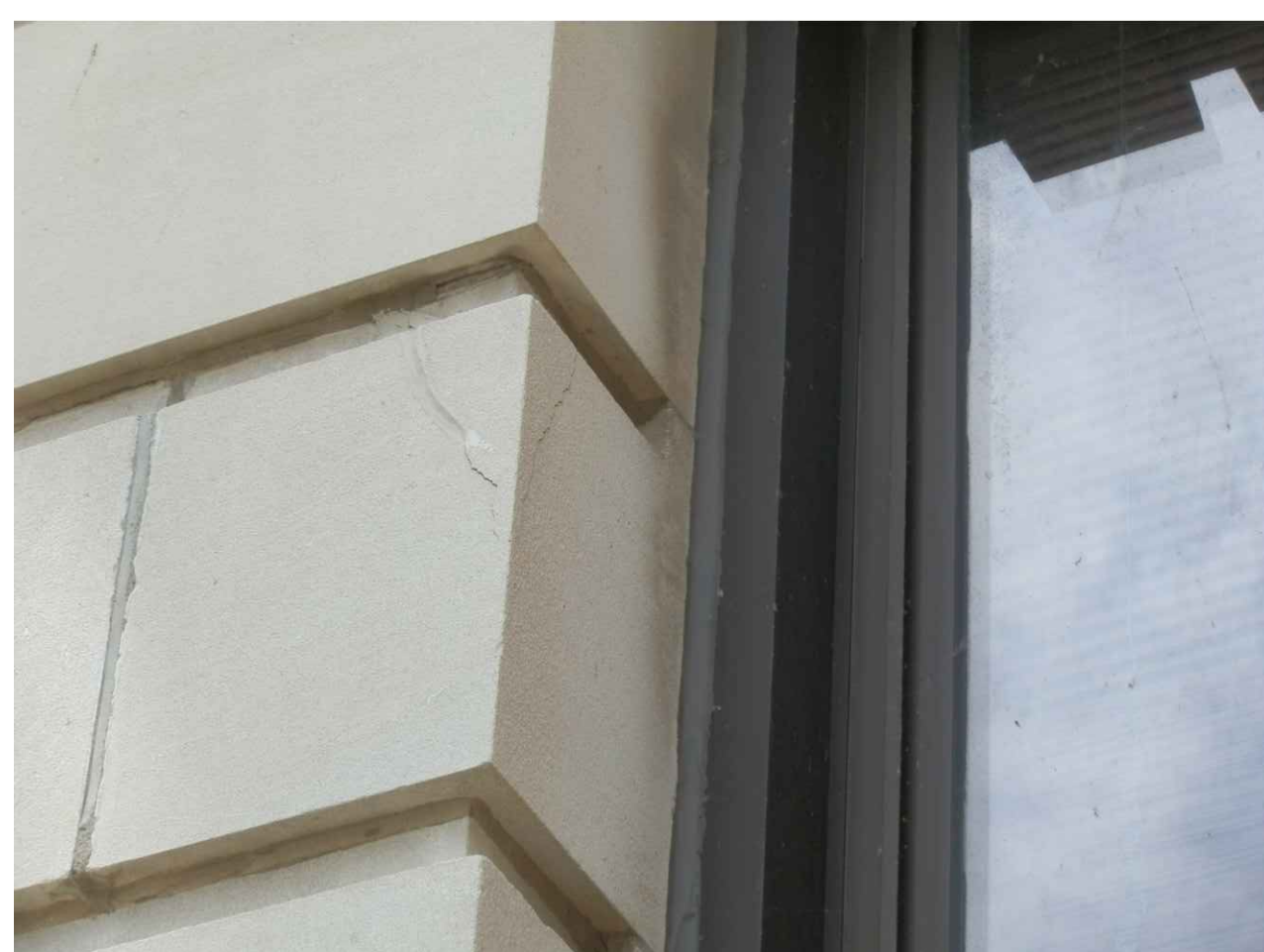
SPALLING AND STAINING AT STONE PANELS AT THE HERITAGE CENTER BUILDING



SPALLED PRECAST CONCRETE PANEL AND FAILED SEALANT AT THE WOMEN'S HOSPITAL BUILDING



SPALLING AT PRECAST CONCRETE PANEL AT THE WOMEN'S HOSPITAL



SPALLED AND LOOSE CONCRETE AT STONE PANEL



EIFS DAMAGE AND DETERIORATION AT THE WOMEN'S HOSPITAL



EIFS DAMAGE AND DETERIORATION



EIFS CRACK



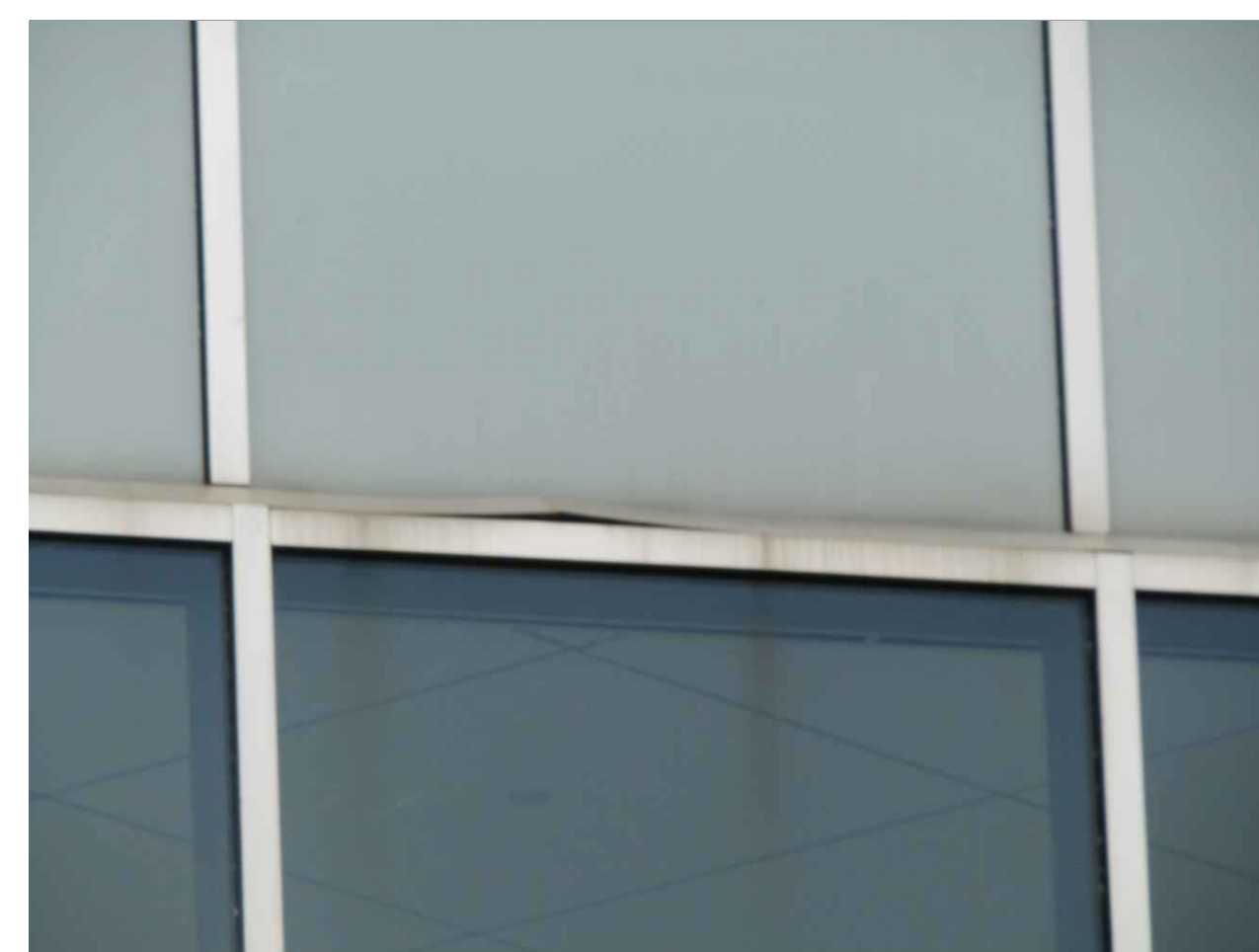
HEAVILY DETERIORATED AND SHORED ELEVATOR SHAFT AT THE HERITAGE CENTER



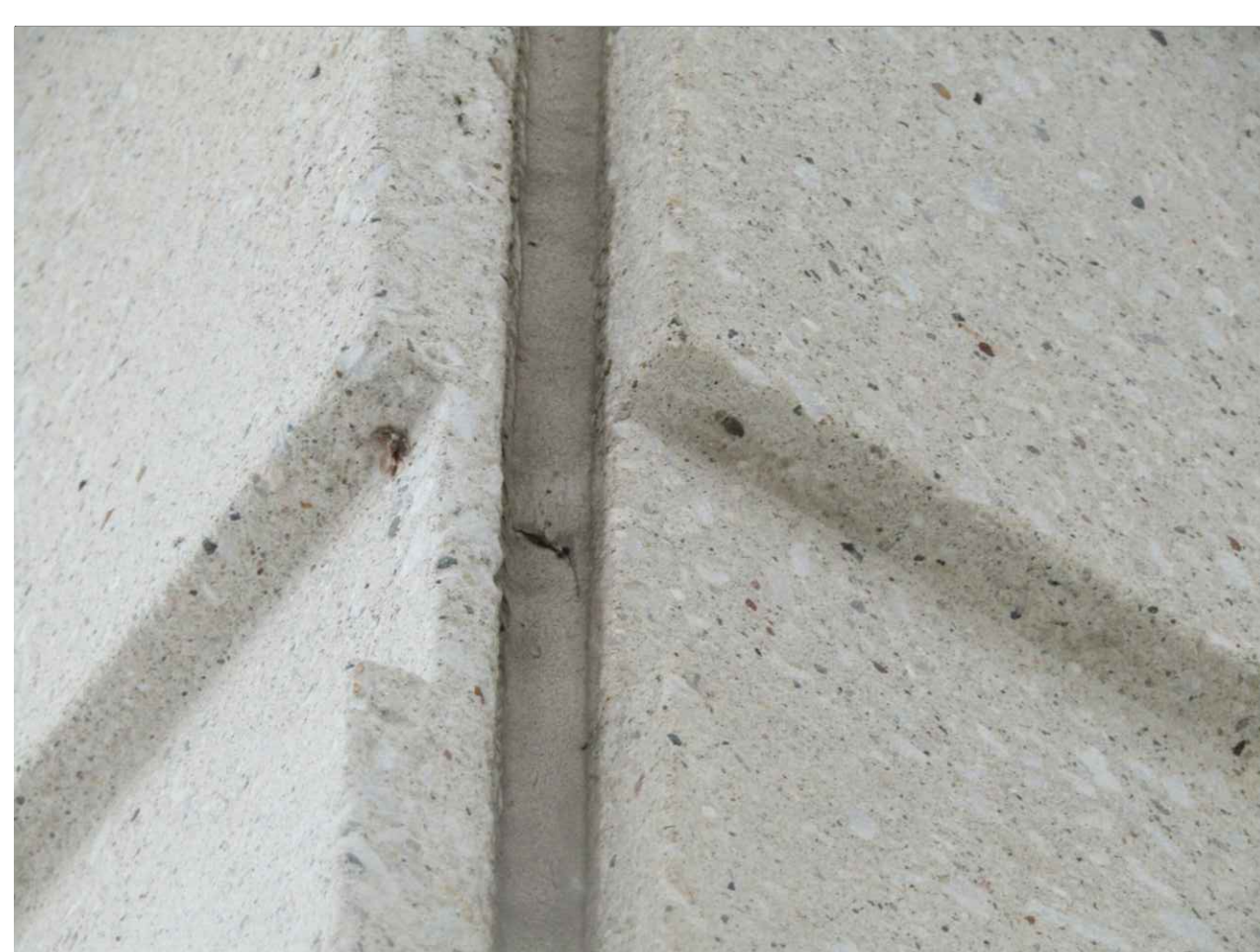
CRACKED AND DETERIORATED FACE BRICK AT ELEVATOR SHAFT



INTERIOR LEAKING AT CURTAINWALL



LOOSE AND BENT PANEL AT CURTAINWALL



DETERIORATED FACADE SEALANT



CRACKED AND DETERIORATED WINDOW FRAME SEALANT



CRACKED AND DETERIORATED WINDOW FRAME SEALANT



CRACKED AND DEBONDED FRAME SEALANT

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DRAWING TITLE:
EXISTING CONDITION PHOTOS - SHEET 2

DRAWING No.

R-22

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