



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, October 11, 2016

COMMITTEE MEETING NOTICE

AD 08

MCCANN, Samona, Agent
Milwaukee Nights Pub, LLC
1814 W Morgan Av

Milwaukee, WI 53221

You are requested to attend a hearing which is to be held in Room 301-B, Third Floor, City Hall on:

Tuesday, October 18, 2016 at 09:00 AM

Regarding: Your Class B Tavern and Public Entertainment Premises Licenses Transfer - Change of Agent and Shareholder as agent for "Milwaukee Nights Pub LLC" for "Milwaukee Nights Pub" at 3830 W NATIONAL Av.

There is a possibility that your application may be denied for one or more of the following reasons: The recommendation of the committee regarding the application shall be based on evidence presented at the hearing. Per MCO 85-2.7-4, probative evidence concerning whether or not a new license should be granted may be presented on the following subjects: whether or not the applicant meets the municipal requirements, the appropriateness of the location and premises where the licensed premises is to be located and whether use of the premises for the purposes or activities permitted by the license would tend to facilitate a public or private nuisance or create undesirable neighborhood problems such as disorderly patrons, unreasonably loud noise, litter, and excessive traffic and parking congestion. Probative evidence relating to these matters may be taken from the plan of operation submitted with the license application, if any, but shall not include the content of any music. Evidence regarding the fitness of the location of the premises to be maintained as the principal place of business, including but not limited to whether there is an overconcentration of businesses of the type for which the license is sought; whether the proposal is consistent with any pertinent neighborhood business or development plans, or the location's proximity to areas where children are typically present. The applicant's record in operating similarly licensed premises; and whether or not the applicant has been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the activity to be permitted by the license being applied for or any other factor which reasonably relates to the public health, safety or welfare may also be considered. See attached police report or correspondence.

Notice for applicants with warrants or unpaid fines:

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

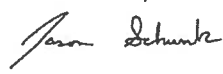
You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: 

Jason Schunk
License Division Manager

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

200 E. Wells Street, Room 105, City Hall, Milwaukee, WI 53202. www.milwaukee.gov/license
Phone: (414) 286-2238 Fax: (414) 286-3057 Email Address: License@milwaukee.gov

MILWAUKEE POLICE DEPARTMENT LICENSING

CRIMINAL RECORD/ORDINANCE VIOLATION/INCIDENTS SYNOPSIS

DATE: 12/08/2015

LICENSE TYPE: Class B Tavern

NEW:

RENEWAL:

No. 222544

Application Date: 12/07/2015

License Location: 3830 W National Av

Business Name: Milwaukee Nights Pub

Licensee/Applicant: Acosta, Joshua N
(Last Name, First Name, MI)

Date of Birth: 04/14/1976

Home Address: 5026 W Euclid Av

City: Milwaukee

State: WI **Zip Code:** 53219

Home Phone: (414) 988-4130

This report is written by Police Officer Gilbert Gwinn, assigned to the License Investigation Unit, Days.

The Milwaukee Police Department's investigation regarding this application revealed the following:

1. On 11/02/2012, a Milwaukee Police Department squad was dispatched to Milwaukee Nights Pub at 3830 W National Av for an entry complaint. During the investigation the agent was very cooperative and no violations were observed during this incident.

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2. On 11/12/2014 at 7:34pm Officers were dispatched to 3830 W. National Av (Milwaukee Night Pub) to investigate an Armed Robbery. The investigation revealed 3 males entered the bar from the side door and immediately pointing guns at the patrons and the bartender. Money was taken from the register and the subjects fled through the west door. The applicant arrived on scene prior to the Police. He was cooperative during the investigation. The cameras were not functioning during the incident.

-
3. On 02/15/2015 Milwaukee police responded to a trouble with a subject complaint at 3830 West National Avenue (Milwaukee Nights Pub). The caller told officers that an unknown male became aggressive after being told to leave the business when he was caught attempting to steal change from other patrons from the top of the bar. This subject threatened to come back and shoot up the bar. The suspect fled when told that police had been called. During this contact, officers observed no tavern violations.

Previous premise



Tuesday, October 11, 2016



Notice of Public Hearing

MCCANN, Samona, Agent
Milwaukee Nights Pub at 3830 W NATIONAL Av
Class B Tavern and Public Entertainment Premises Licenses Transfer - Change of Agent and
Shareholder

Tuesday, October 18, 2016 at 9:00 AM

To whom it may concern:

The above application has been made by the above named applicant(s). This requires approval from the Licenses Committee and the Common Council of the City of Milwaukee. The hearing before the Licenses Committee will take place on 10/18/2016 at 9:00 AM, in Room 301-B, Third Floor, City Hall. If you wish, you may provide testimony at the hearing regarding the request; see below for further information. You are not required to attend the hearing. Once the Licenses Committee makes its recommendation, this recommendation is forwarded to the full Common Council for approval at its next regularly scheduled hearing. Please review the information below and if you have further questions regarding this process, please contact the License Division at (414) 286-2238.

Important details for those wishing to provide information for the Licenses Committee to consider when making its recommendation:

1. The license application is scheduled to be heard at the above time. Due to other hearings running longer than scheduled, you may have to wait some time to provide your testimony.
2. You must appear in person and testify as to matters that you have personally experienced or seen. (You cannot provide testimony for your neighbor, parent or anyone else; this is considered hearsay and cannot be considered by the committee.)
3. No letters or petitions can be accepted by the committee (unless the person who wrote the letter or the persons who signed the petition are present at the committee hearing and willing to testify).
4. Persons opposed to the license application are given the opportunity to testify first; supporters may testify after the opponents have finished.
5. When you are called to testify, you will be sworn in and asked to give your name, and address. (If your first and/or last names are uncommon please spell them.)
6. You may then provide testimony.
 - a. Include only information relating to the above license application.
 - b. Include only information you have personally witnessed or seen.
 - c. Provide concise and relevant information detailing how this business has affected or may affect the peaceful enjoyment of your neighborhood.
 - d. If by the time you have the opportunity to testify, the information you wish to share has already been provided to the committee, you may state that you agree with the previous testimony. Redundant or repetitive testimony will not assist the committee in making its recommendation.
7. After giving your testimony, the members of the Licenses Committee and the licensee may ask questions regarding the testimony you have given or other factors relating to the license application.
8. Business Competition is not a valid basis for denial or non-renewal of a license.
Please Note: If you have submitted an objection to the above application your objection cannot be considered by the committee unless you personally testify at the hearing.

OCCUPANT	MAIL ADDRESS	CITY AND ZIP CODE
CURRENT OCCUPANT	819 S 38TH ST	MILWAUKEE, WI 53215-1002
CURRENT OCCUPANT	841 S 38TH ST 1	MILWAUKEE, WI 53215-1038
CURRENT OCCUPANT	841 S 38TH ST 2	MILWAUKEE, WI 53215-1038
CURRENT OCCUPANT	3739 W NATIONAL AVE 4	MILWAUKEE, WI 53215-1007
CURRENT OCCUPANT	3810A W NATIONAL AVE	MILWAUKEE, WI 53215-1010
CURRENT OCCUPANT	744A S 39TH ST	MILWAUKEE, WI 53215-1005
CURRENT OCCUPANT	740 S 39TH ST	MILWAUKEE, WI 53215-1005
CURRENT OCCUPANT	734 S 39TH ST	MILWAUKEE, WI 53215-1005
CURRENT OCCUPANT	827 S 38TH ST	MILWAUKEE, WI 53215-1002
CURRENT OCCUPANT	3814 W NATIONAL AVE	MILWAUKEE, WI 53215-1010
CURRENT OCCUPANT	815 S 38TH ST	MILWAUKEE, WI 53215-1002
CURRENT OCCUPANT	809 S 38TH ST	MILWAUKEE, WI 53215-1002
CURRENT OCCUPANT	800 S 39TH ST	MILWAUKEE, WI 53215-1006
CURRENT OCCUPANT	3748 W HILDA PL	MILWAUKEE, WI 53215-1426
CURRENT OCCUPANT	3739 W NATIONAL AVE 1	MILWAUKEE, WI 53215-1007
CURRENT OCCUPANT	3814B W NATIONAL AVE	MILWAUKEE, WI 53215-1010
CURRENT OCCUPANT	809A S 38TH ST	MILWAUKEE, WI 53215-1002
CURRENT OCCUPANT	3739 W NATIONAL AVE 2	MILWAUKEE, WI 53215-1007
CURRENT OCCUPANT	3814A W NATIONAL AVE	MILWAUKEE, WI 53215-1010
CURRENT OCCUPANT	806 S 39TH ST	MILWAUKEE, WI 53215-1006
CURRENT OCCUPANT	744 S 39TH ST	MILWAUKEE, WI 53215-1005
CURRENT OCCUPANT	841 S 38TH ST 3	MILWAUKEE, WI 53215-1038
CURRENT OCCUPANT	906 S 38TH ST	MILWAUKEE, WI 53215-1302
CURRENT OCCUPANT	3812 W NATIONAL AVE	MILWAUKEE, WI 53215-1010
CURRENT OCCUPANT	818 S 39TH ST	MILWAUKEE, WI 53215-1006
CURRENT OCCUPANT	802A S 39TH ST	MILWAUKEE, WI 53215-1006
CURRENT OCCUPANT	841 S 38TH ST 4	MILWAUKEE, WI 53215-1038
CURRENT OCCUPANT	812 S 39TH ST	MILWAUKEE, WI 53215-1006
CURRENT OCCUPANT	3739 W NATIONAL AVE 3	MILWAUKEE, WI 53215-1007
CURRENT OCCUPANT	3830A W NATIONAL AVE	MILWAUKEE, WI 53215-1010
CURRENT OCCUPANT	803 S 38TH ST	MILWAUKEE, WI 53215-1002
CURRENT OCCUPANT	825 S 38TH ST	MILWAUKEE, WI 53215-1002
CURRENT OCCUPANT	841 S 38TH ST 5	MILWAUKEE, WI 53215-1038
CURRENT OCCUPANT	802 S 39TH ST	MILWAUKEE, WI 53215-1006
CURRENT OCCUPANT	745 S 38TH ST	MILWAUKEE, WI 53215-1044
CURRENT OCCUPANT	740A S 39TH ST	MILWAUKEE, WI 53215-1005

Total Records: 37

Radius: 250.0 feet and Center of Circle: 3830 W National AV



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Wednesday, October 05, 2016

COMMITTEE MEETING NOTICE

AD 08

PADILLA, Luis A, Agent
Rancho Auto Sales LLC
1531 S MUSKEGO Av

Milwaukee, WI 53204

You are requested to attend a hearing which is to be held in Room 301-B, Third Floor, City Hall on:

Tuesday, October 18, 2016 at 09:00 AM

Regarding: Your Secondhand Motor Vehicle Dealer's License Application as agent for "Rancho Auto Sales LLC" for "Rancho Auto Sales" at 4104 W Orchard St. 

There is a possibility that your application may be denied for one or more of the following reasons: Neighborhood Objections to the granting of such a license due to the creation of undesirable neighborhood problems, such as: parking and traffic problems which cause the normal flow of traffic on roadways and alleys to be impeded, loitering, littering, noise, loud music, and conduct which will have an adverse impact on the public health, safety and welfare of the community. Additionally, the over concentration of secondhand motor vehicle dealers in the neighborhood such that the concentration will have an adverse impact on the public health, safety and welfare of the neighborhood. you do not meet the statutory and municipal requirements; the appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems, whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

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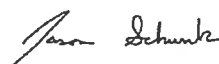
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JIM OWCZARSKI, CITY CLERK

BY: _____



Jason Schunk
License Division Manager

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MILWAUKEE POLICE DEPARTMENT

LICENSING

CRIMINAL RECORD/ORDINANCE VIOLATION/INCIDENTS SYNOPSIS

DATE: 07/29/2016

LICENSE TYPE: USED CAR

NEW:

RENEWAL:

No. 234617

Application Date: 07/28/2016

License Location: 4104 W Orcard St

Business Name: Rancho Auto Sales LLC

Licensee/Applicant: PADILLA, Luis A
(Last Name, First Name, MI)

Date of Birth: 07/14/1986

Home Address: 1531 W Muskego Ave

City: Milwaukee

State: WI **Zip Code:** 53204

Home Phone:

This report is written by Police Officer David Novak, assigned to the License Investigation Unit, Days.

The Milwaukee Police Department's investigation regarding this application revealed the following:

1. On 02/10/2016 the applicant was cited in the City of Milwaukee at 1531 S Muskego Av for Building Code Violations.

Charge: Building Code Violations
Finding: pending 09/13/2016 further proceedings
Sentence:
Date:
Case: 16038650



Wednesday, October 05, 2016



Notice of Public Hearing

PADILLA, Luis A, Agent
Rancho Auto Sales at 4104 W Orchard St
Secondhand Motor Vehicle Dealer's License Application

Tuesday, October 18, 2016 at 9:00 AM

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OCCUPANT	MAIL ADDRESS	CITY AND ZIP CODE
CURRENT OCCUPANT	4022 W ORCHARD ST	MILWAUKEE, WI 53215-1706
CURRENT OCCUPANT	4132 W ORCHARD ST	MILWAUKEE, WI 53215-1708
CURRENT OCCUPANT	4118A W ORCHARD ST	MILWAUKEE, WI 53215-1708
CURRENT OCCUPANT	4110 W ORCHARD ST	MILWAUKEE, WI 53215-1708
CURRENT OCCUPANT	4138 W ORCHARD ST	MILWAUKEE, WI 53215-1708
CURRENT OCCUPANT	4022A W ORCHARD ST	MILWAUKEE, WI 53215-1706
CURRENT OCCUPANT	4019 W GREENFIELD AVE	MILWAUKEE, WI 53215-1331
CURRENT OCCUPANT	4135 W GREENFIELD AVE	MILWAUKEE, WI 53215-1333
CURRENT OCCUPANT	4118 W ORCHARD ST	MILWAUKEE, WI 53215-1708
CURRENT OCCUPANT	4036 W ORCHARD ST	MILWAUKEE, WI 53215-1706
CURRENT OCCUPANT	4132A W ORCHARD ST	MILWAUKEE, WI 53215-1708
CURRENT OCCUPANT	4122 W ORCHARD ST	MILWAUKEE, WI 53215-1708
CURRENT OCCUPANT	4032 W ORCHARD ST	MILWAUKEE, WI 53215-1706
CURRENT OCCUPANT	4034 W ORCHARD ST	MILWAUKEE, WI 53215-1706
CURRENT OCCUPANT	1428 S 42ND ST	MILWAUKEE, WI 53215-1704
CURRENT OCCUPANT	4112 W ORCHARD ST	MILWAUKEE, WI 53215-1708
CURRENT OCCUPANT	4016 W ORCHARD ST	MILWAUKEE, WI 53215-1706
CURRENT OCCUPANT	4138A W ORCHARD ST	MILWAUKEE, WI 53215-1708
CURRENT OCCUPANT	4035 W GREENFIELD AVE	MILWAUKEE, WI 53215-1331
CURRENT OCCUPANT	4035A W GREENFIELD AVE	MILWAUKEE, WI 53215-1331
CURRENT OCCUPANT	4026 W ORCHARD ST	MILWAUKEE, WI 53215-1706
CURRENT OCCUPANT	4015 W GREENFIELD AVE	MILWAUKEE, WI 53215-1331
CURRENT OCCUPANT	4122A W ORCHARD ST	MILWAUKEE, WI 53215-1708
CURRENT OCCUPANT	4036A W ORCHARD ST	MILWAUKEE, WI 53215-1706

Total Records: 25

Radius: 250.0 feet and Center of Circle: 4104 W Orchard ST



BUSINESS LICENSE PLAN OF OPERATION

ccl-busplan 5/24/16

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license e-mail address:

1. Type of Business

Applying for: Extended Hours (12AM to 5AM) - If a food establishment, check all that apply: Delivery Drive Thru Dining Room
 Self Service Laundry Rooming House Hotel/Motel Massage Establishment Filling Station
 Other (supplemental application for specific license also required)

Provide a detailed description of the type of business you plan on operating:

Light Motor Vehicle dealer

Do you have any experience operating this type of business? No Yes If yes, explain: ~~prev~~ Former Dealership employee

2. Business Operations

- a. Proposed Opening Date: 9-01-16
- b. Is this premise under construction? No Yes If yes, list estimated completion date: _____
- c. Is this a franchise? No Yes
- d. Is this premises currently licensed? No Yes If yes, list type of license: _____
- e. Is the current licensee operating? No Yes If no, list date closed: _____
- f. Do you have future plans for other businesses, licenses or permits at this location? No Yes
If yes, explain: _____
- g. Have you previously held an Extended Hours License in Milwaukee? No Yes
If yes, list address(es): _____
- h. Are other businesses operating in the same building? No Yes If yes, describe: _____

3. Litter & Noise

- a. How are grounds kept clean? Sweep Pressure Wash Pick Up Litter Other: _____
- b. How often will grounds be cleaned? Daily Weekly As Needed Monthly Other: _____
- c. Grounds cleaned by: Licensee Building Owner Employees Hired Maintenance Other: _____
- d. How are noise issues prevented and/or addressed? Security Manager approaches customer(s) Call Police
 Signs Posted Other: _____
- e. Will a sound amplification system be used? No Yes If yes, describe: _____

4. Smoking & Sanitation

- a. Are there designated outdoor smoking areas? No Yes If yes, describe: _____
- b. Number of Garbage Cans: Inside: 5 Locations: Offices - Front Door
Outside: 1 Locations: Parking lot
- c. Is a crowd control barrier used? No Yes If yes, describe: _____
- d. How many restrooms are on the premises? 1
- e. Name of solid waste contractor: Advanced Disposal Waste Management Other: _____

5. Security

- a. Are there onsite parking spaces? No Yes If yes, indicate how many? 20 and describe the parking security plan: _____
- b. Is there a loading zone? No Yes If yes, describe the loading area security plan: _____
- c. Will you have security personnel on premise? No Yes If yes, how many? _____ and answer the following:
 What are their responsibilities? _____
 Is security equipment used? No Yes If yes, describe ADT security Alarm
 List their licensing, certification, or training credentials _____
- d. Will there be security cameras? No Yes If yes, where? _____
- e. Will searches/identification checks be done upon entry? No Yes If yes, describe _____

6. Percentage of Sales (must total 100%)

Alcohol <u>0</u> %	Food <u>0</u> %	Secondhand Merchandise <u>100</u> %	Precious Metals & Gems <u>0</u> %
Entertainment <u>0</u> %	Cigarettes <u>0</u> %	Personal Services (such as tattoo, body piercing, salon, tailor, tanning, etc.) <u>0</u> %	Other <u>0</u> % Describe: _____
Pawnbroker Activity <u>0</u> %	Salvaged Materials <u>0</u> % (such as scrap metal)		

7. Businesses/Licenses on the Premises (check all that apply):

Type 1

- Full Service Restaurant Cafe/Coffee Shop Deli or Fast Food Restaurant Private/Fraternal/Veterans Club
- Night Club Tavern Cocktail Lounge Teen Club
- Banquet Hall Sports Facility Bowling Alley
- Hotel/Motel: Number of Floors: _____ Rooming House: Number of Floors: _____
 Number of Rooms: _____ Number of Rooms: _____

Type 2

- Liquor Store Corner Store Supermarket Convenience Store
- Gas Station Amusement/Phonograph Distributor Recycling, Salvage or Towing
- Used Car Dealer Personal Service Establishment
 (such as tattoo business, hair salon, tailor, etc.) Recording Studio

What other licenses/permits will you hold at this location? (check all that apply)

- Occupancy Permit Cigarette & Tobacco Gas Station Extended Hours Class "B" Tavern Weights & Measures

Secondhand Dealer Precious Metal & Gem Other: Motor Vehicle dealer License

8. Legal Capacity (only if a Type 1 premises in #7 above)

Capacity N/A (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

9. Premises Description

- a. Identify all area(s) of the premises that will be used in operating this business (include areas used only for storage):
 1st Floor 2nd Floor Basement Storage Patio Beer Garden Sidewalk Café Deck Rooftop
 Other: Describe: _____
- b. Describe Location: Major Thoroughfare Secondary Street Other: _____
- c. Nearest Major Cross Street: Miller Park way and Greenfield Ave
- d. Describe Building: Free Standing Building Strip Mall Other: _____
- e. Describe Premises Structure: Single Story Multi-Story - # of Stories _____ Other: _____
- f. Describe Surrounding Area: Commercial Residential Industrial Other: _____
- g. Building Owner Name: Orchard Park LLC Phone Number: 414-975-3697
 Business Owner Address: 1579 S 38th St #

10. Hours of Operation & Customers

Will customers be entering the premises? No Yes

Day of the Week	Proposed Hours of Operation:		Estimated Number of Customers expected each day	Potential Age Range of Customers	Class B Tavern Applicant Only: Age Restriction (If none, write 'None')
	Open Time (include a.m. or p.m.)	Close Time (include a.m. or p.m.)			
Sunday	Closed	Closed	2	20	
Monday	8:30 am	3:30 pm	5	20-50	
Tuesday	8:30 am	3:30 pm	5	20-50	
Wednesday	8:30 am	3:30 pm	5	20-50	
Thursday	8:30 am	3:30 pm	5	20-50	
Friday	8:30 am	3:30 pm	5	20-50	
Saturday	8:30 am	3:30 pm	7	20-50	

Extended Hours Establishment License is required for any convenience store, filling station, personal service establishment (such as tattoo, body piercing, salon, tailor, tanning, etc.), recording studio or restaurant which is open between the hours of 12 a.m. and 5 a.m.

Entertainment Indoor Closing Hours : If alcohol beverage establishment, same as alcohol license hours.
 If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours : 10:00 pm Sunday – Thursday; 12:00 am Friday and Saturday,
 unless otherwise approved by Common Council in licensee's plan of operation.

11. Signature(s)


 Sole Proprietor, Partner, Agent, or 20% or more Shareholder

 Signature of additional partner or 20% or more Shareholder



**SECONDHAND MOTOR VEHICLE DEALER LICENSE
SUPPLEMENTAL PLAN OF OPERATION**

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 e-mail address:

Legal Entity Name: Rancho Auto Sales LLC
Premise Address: 4104 W Orchard St Milwaukee WI 53215

What type of license are you applying for? (check one) Retail Wholesale
In addition to secondhand vehicles, will you be dealing in secondhand vehicle parts? Yes No

RETAIL DEALERS ONLY

Total Number of Parking Spaces (including customer/employee parking) 20
Number of Parking Spaces that will be used for Display/Storage of Secondhand Motor Vehicles 15

STORAGE, MAINTENANCE & REPAIR

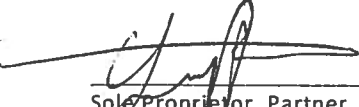
- Do you understand that all vehicles associated with the business must be stored on the licensed premise? Yes No
- What are your plans to ensure this requirement is met (check all that apply)?
 Employee Training Supervisor Monitoring Fenced Lot Keys Kept in Locked Box
 Other: _____
- Do you understand all maintenance/repair work to these vehicles must be confined to the licensed premise? Yes No
- What are your plans to ensure this requirement is met (check all that apply)?
 Employee Training Supervisor Monitoring Designated Repair Area
 Other: _____

DISCLOSURE

Has any person on the application ever had a license relating to the activities licensed in Milwaukee Code of Ordinances Chapter 92 denied, not renewed, suspended, or revoked? No Yes

If yes, provide the circumstances and jurisdiction in which the event occurred (including a record of any actions from the State Department of Transportation and Financial Institutions relating to suspensions, revocations, forfeitures and warnings imposed by these departments relating to the operation of any automotive sales business by the applicant):

REQUIRED SIGNATURE(S)



Sole Proprietor, Partner, 20% or more Shareholder,
or the Agent - only if there are no 20% or more shareholders

Additional partner(s) or 20% or more shareholder(s)

Office Use Only:

Initials	Filed	App #	Paid	MPD
DNS	LC	CC	Issued	License #



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Wednesday, October 05, 2016

COMMITTEE MEETING NOTICE

AD 09

DUTTA, Vipin, Agent
Family Foods Corporation
12420 N Granville Rd

Mequon, WI 53097

You are requested to attend a hearing which is to be held in Room 301-B, Third Floor, City Hall on:

Tuesday, October 18, 2016 at 09:00 AM

Regarding: Your Class A Malt, Food Dealer, and Weight Measures License Applications as agent for "Family Foods Corporation" for "Family Foods" at 8328 W. Town Deer Rd.

There is a possibility that your application may be denied for one or more of the following reasons: The recommendation of the committee regarding the application shall be based on evidence presented at the hearing. Per MCO 85-2.7-4, probative evidence concerning whether or not a new license should be granted may be presented on the following subjects: whether or not the applicant meets the municipal requirements, the appropriateness of the location and premises where the licensed premises is to be located and whether use of the premises for the purposes or activities permitted by the license would tend to facilitate a public or private nuisance or create undesirable neighborhood problems such as disorderly patrons, unreasonably loud noise, litter, and excessive traffic and parking congestion. Probative evidence relating to these matters may be taken from the plan of operation submitted with the license application, if any, but shall not include the content of any music. Evidence regarding the fitness of the location of the premises to be maintained as the principal place of business, including but not limited to whether there is an overconcentration of businesses of the type for which the license is sought; whether the proposal is consistent with any pertinent neighborhood business or development plans, or the location's proximity to areas where children are typically present. The applicant's record in operating similarly licensed premises; and whether or not the applicant has been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the activity to be permitted by the license being applied for or any other factor which reasonably relates to the public health, safety or welfare may also be considered. See attached police report or correspondence.

Notice for applicants with warrants or unpaid fines:

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: 

Jason Schunk
License Division Manager

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

200 E. Wells Street, Room 105, City Hall, Milwaukee, WI 53202. www.milwaukee.gov/license
Phone: (414) 286-2238 Fax: (414) 286-3057 Email Address: License@milwaukee.gov

Becker, Keren

From: License
Sent: Monday, September 12, 2016 11:43 AM
To: Becker, Keren
Subject: FW: Notice of Public Interest

Jim Cooney
License Specialist III
City of Milwaukee, License Division
200 E Wells St #105 Milwaukee, WI 53202
414-286-2238



From:
Sent: Monday, September 12, 2016 11:15 AM
To: License
Subject: Notice of Public Interest

Good morning;

I strongly object to issuing a Class A Malt and Food Dealer Retail-Food Store license for Applicant Vipan Dutta, AGt. Family Foods Corporation at 8328 W. Brown Deer Rd. I live in this area and it is saturated with liquor stores. My objection is to the Class A Malt license not the retail food store license. So far, I feel safe patronizing the other businesses in this strip mall but I'm very concerned about other issues that may arise due to the sale of alcohol. I feel this will create an unsafe environment not only for me but the children that come into the hair salon.

REDACTED RECORD

Date: 9/18/16
Officer: Tracey Geniesse

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Convenience Store/Liquor Store Inspection

Name of Premise: Family Foods
Address: 8328 W. Brown Deer Rd
Phone: 414-788-1670

Owner: Vipin Dutta 9/12/67
Owner address: 12420 N. Granville Rd
City State Zip: Mequon, WI. 53097
Owner Phone: 414-788-1670
Owner email: vipandutta@gmail.com

Manager: Same as owner
Home Address:
City State Zip:
Phone:
Email:

Preferred contact: Store Phone Owner-no business phone as this time

Location currently open: YES x NO

Projected open date: 11/1/16

Day's open: S M T W Th F SA ALL

Hours of Operation: Sun: 9a-9p 24 hours Y N
Mon: 9a-9p
Tue: 9a-9p
Wed: 9a-9p
Thu: 9a-9p
Fri: 9a-9p
Sat: 9a-9p

Premise Type: Liquor Store
Convenience Store
Other:

Licenses currently held:

- Alcohol: Yes No Class: #:
- Tobacco: Yes No #:
- Food: Yes No #:
- Extended Hours: Yes No #:
- Secondhand Dealer: Yes No Type: #:
- Other: Yes No Type: #:
- Other: Yes No Type: #:

Exterior Survey:

1. Is the area around the location clean? Yes No
2. What surrounds the location? (Check all the apply)
 - a. Park
 - b. School
 - c. Youth Center
 - d. Church
 - e. Tavern(s) If so, how many
 - f. Residential
 - g. Other businesses
 - h. Other:
3. Can you see from the outside of the location into the interior Yes No
4. Can you see the employees inside of the location from the outside Yes No
5. Are exterior windows free of signage Yes No
6. Is there a parking lot Yes No
7. Is the parking lot clean? Yes No
8. Is the parking lot well lit? Yes No
9. Are there areas where a person could conceal themselves Yes No
10. Is there exterior lighting? Yes No. Does it appears to be adequate Yes No
11. Exterior Payphone? Yes No
12. Are there No Loitering Signs posted? Yes No
13. Are there exterior security cameras Yes No How Many: 7
14. Are the address numbers prominently displayed and easy to see Yes No

Camera Survey:

15. Does this location have security cameras? Yes No
16. Are they in working order? Yes No
17. What format are the cameras?
 - a. Color Yes No
 - b. Digital Yes No
 - c. VCR Yes No
 - d. Recorded Yes No
18. How long is footage stored for later viewing:
19. Are there exterior cameras Yes No How many: 7
20. Are there interior cameras Yes No How many:
21. Do all employees know how to retrieve recorded digital images/footage? Yes No

Interior Survey:

22. Is the storeowner willing to be a standing complainant regarding loitering? Yes No
a. If yes have them fill out the standing complaint form and give them two of the commercial signs Yes No
23. Is the interior of the location neat and clean? Yes No
24. Does an interior camera face the entrance/exit? Yes No
25. Is there a lockable area that separates employees from customers? Yes No
26. Does the store sell single chore boy? Yes No
27. Does the store sell blunt wraps? Yes No
28. Does the store sell scales? Yes No
29. Does the store sell items that may be used as crack pipes? Yes No
a. Describe item N/A
30. Does the store have an over abundance of sandwich baggies: Yes No
31. Does the owner understand that these items are often used for drug use? Yes No
32. Do the products in the store appear to be new and rotated often? Yes No
33. Are emergency and non-emergency numbers posted near the phone? Yes No
34. Does the owner know how to contact their police district directly? Yes No
a. Did you provide a district contact guide to the owner? Yes No

Complete this section if alcohol establishment is a convenience store:

(** Read full ordinance for all details "68-55 Convenience Food Stores")

All convenience food stores not exempted under sub. 3 shall:

1. Is the cash register located in a manner so that at the time of a sales transaction, the employee and customer are both visible from the sidewalk? Yes No **
2. Are the glass entrance and exit doors clear of any signs or advertisements with the exception of a sign which states that the cash register contains \$50 or less and that the safe is no accessible to employees? Yes No
3. Does the store maintain one of the following on the licensed premise:
 - a. A safe that was in use at the convenience food store on August 17, 1994? Yes No
 - b. A drop-safe or time release safe that weighs at least 500 pounds or which is attached to or set into the floor in a manner approved by the police department? Yes No
4. Is lighting provided for the store's parking area during all hours of darkness when employees or customers are on the premises at a minimum average of 2-foot candles per square foot, unless the store is not open for business after sunset and before sunrise? Yes No N/A
5. Are at least two high-resolution surveillance security cameras installed? Yes No
6. Are the security cameras in working order? Yes No
7. Does one camera show an overall view of the counter and register area? Yes No
8. Does one camera show a clear, identifiable, full frame image of the face of each person entering and leaving the store? Yes No
9. Are the camera views obstructed by fixtures or displays? Yes No
10. Is the recorded footage stored for at least 30 days? Yes No

11. Do all store employees know how to record footage from the camera system to media capable of being transferred to police custody? Yes No
12. Are customer entrances/exits made of glass or other transparent material? Yes No
 - a. Exception: A store that does not have such doors on August 17, 1994 shall not be required to install such doors until the holder of the store's food dealer license changes.
13. Has the owner and their employees attended the Robbery Prevention Training within 120 days of ownership or employment? Yes No
 - a. Contact Community Outreach and Education at 935-7836 for schedule.

Sub 3. Exemptions. The requirements of this section do not apply to a convenience food store that conforms to either of the following descriptions:

- a-1. The store is located in an enclosed shopping structure, enclosed commercial building or hospital. A convenience food store is not in an enclosed structure or building if a customer can enter it directly from the outside.
Does store conform to a-1 Yes No

- a-2. The store physically separates employees from customers with a solid partition that bars a person from entering the employee area from the customer area, has a secure lock on the employee side of any door between the employee area and the customer, and conducts all transaction through a service window or similar arrangement.
Does store conform to a-2 Yes No
 - a. At the commissioner's discretion, a convenience store may be exempted from any or all of the regulations specified in sub 2.
Does this location hold an exemption from the commissioner regarding any of the requirements of Sub 2? Yes No

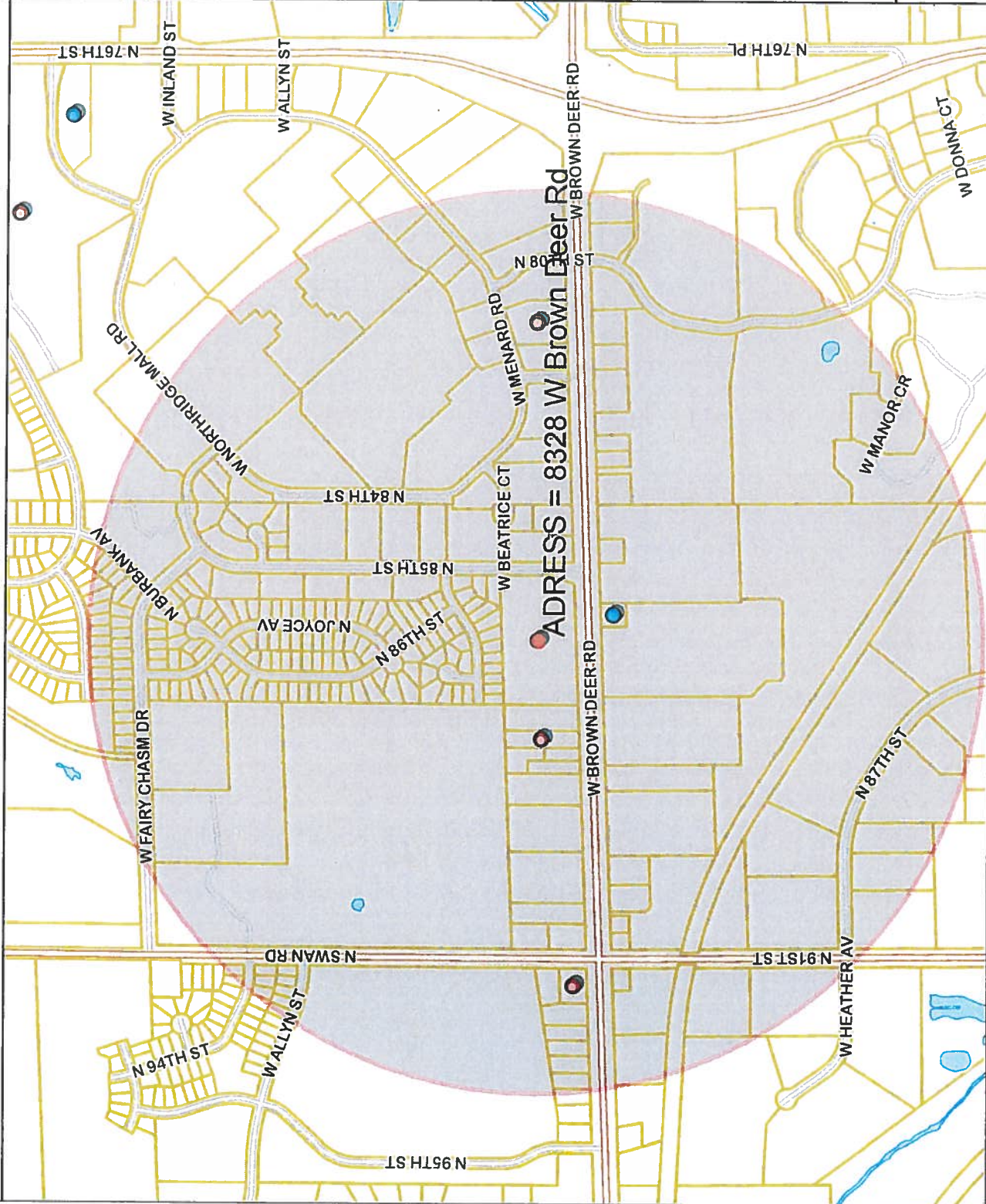
ADDITIONAL COMMENTS/RECOMMENDATIONS:

This business is currently boarded, with nothing on the inside. It is under complete construction, so there is nothing in place at this time. We asked that we are invited to do a walk through prior to opening (If license is granted) to complete another CPTED survey.

However the following are items he plans to have in place. Will post "No Loitering" signs, Will install a total of 16 cameras which will be interior and exterior (digital) and will be stored for 30 days.

Alcohol Concentration for 8328 W Brown Deer Rd

City of Milwaukee, Wisconsin



- Legend -

- City limits
- Parcels
- Freeways
- Freeways
- Exit ramps
- Entry ramps
- Ramps
- Major streets
- Streets
- Waterways
- Alcohol licenses
 - Class A intoxicating liquor
 - Class A fermented malt beverage
 - Class A liquor and malt
 - Class B fermented malt beverage
 - Class B tavern
 - Class C wine retailer



- Notes -

Licensed Alcohol Beverage Establishments within a 5 Mile Radius Centered on 8328 W Brown Deer Rd, 8/29/2016



Department of Administration - ITMD



Map Scale: 1: 10,000

Disclaimer
8/29/2016

© City of Milwaukee, Wisconsin
Map Milwaukee: Property Information

Licensed Alcohol Beverage Establishments within a .5 Mile Radius Centered on 8528 W Brown Deer Rd, 8/29/2016

License Summary	Total	Licensee	Address	License type name	Total capacity	Expiration date
Class A Malt & Class A Liquor License	4	Theresa L Reiger, Agt	8080 W BROWN DEER RD	Class A Malt & Class A Liquor License		3/15/2017
Class B Tavern License	1	CHIRAG J PATEL, Agt	8564 W Brown Deer RD	Class A Malt & Class A Liquor License		9/21/2016
	5	VIPAN DUTTA, Agt	9108 W BROWN DEER RD	Class A Malt & Class A Liquor License		2/5/2017
Grand Total		THOMAS J HOLMES, SP	8700 W BROWN DEER RD	Class A Malt & Class A Liquor License		6/14/2017
		JASON J GREGGS, Agt	8531 W BROWN DEER RD	Class B Tavern License	300	6/3/2017
Legal entity	Trade name	Licensee	Address	License type name	Total capacity	Expiration date
ALDI, INC WISCONSIN	ALDI #16	Theresa L Reiger, Agt	8080 W BROWN DEER RD	Class A Malt & Class A Liquor License		3/15/2017
Daxa LLC	Brown Deer Beverage	CHIRAG J PATEL, Agt	8564 W Brown Deer RD	Class A Malt & Class A Liquor License		9/21/2016
FAMILY MART, LLC	LIQUOR DEPOT	VIPAN DUTTA, Agt	9108 W BROWN DEER RD	Class A Malt & Class A Liquor License		2/5/2017
Thomas Liquor	Thomas Liquor	THOMAS J HOLMES, SP	8700 W BROWN DEER RD	Class A Malt & Class A Liquor License		6/14/2017
GMRI, INC	THE OLIVE GARDEN ITALIAN RES #1443	JASON J GREGGS, Agt	8531 W BROWN DEER RD	Class B Tavern License	300	6/3/2017



Wednesday, October 05, 2016

Licenses Committee Notice of Hearing

Sahil Wisconsin Properties LLC
9108 W Brown Deer Rd

Milwaukee, WI 53224

Date: 10/18/2016
Time: 09:00 AM
Location: Room 301-B, Third Floor, City Hall

The Licenses Committee will consider the following license application:

Class A Malt, Food Dealer, and Weights & Measures License Applications
DUTTA, Vipan, Agent
Family Foods at 8328 W Brown Deer Rd

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





Wednesday, October 05, 2016

Licenses Committee Notice of Hearing

Sahil Wisconsin Properties LLC
12420 N Granville Rd

Mequon, WI 53097

Date: 10/18/2016
Time: 09:00 AM
Location: Room 301-B, Third Floor, City Hall

The Licenses Committee will consider the following license application:

Class A Malt, Food Dealer, and Weights & Measures License Applications
DUTTA, Vipran, Agent
Family Foods at 8328 W Brown Deer Rd

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





Wednesday, October 05, 2016



Notice of Public Hearing

DUTTA, Vipran, Agent
Family Foods at 8328 W Brown Deer Rd
Class A Malt, Food Dealer, and Weights & Measures License Applications

Tuesday, October 18, 2016 at 9:00 AM

To whom it may concern:

The above application has been made by the above named applicant(s). This requires approval from the Licenses Committee and the Common Council of the City of Milwaukee. The hearing before the Licenses Committee will take place on 10/18/2016 at 9:00 AM, in Room 301-B, Third Floor, City Hall. If you wish, you may provide testimony at the hearing regarding the request; see below for further information. You are not required to attend the hearing. Once the Licenses Committee makes its recommendation, this recommendation is forwarded to the full Common Council for approval at its next regularly scheduled hearing. Please review the information below and if you have further questions regarding this process, please contact the License Division at (414) 286-2238.

Important details for those wishing to provide information for the Licenses Committee to consider when making its recommendation:

1. The license application is scheduled to be heard at the above time. Due to other hearings running longer than scheduled, you may have to wait some time to provide your testimony.
2. You must appear in person and testify as to matters that you have personally experienced or seen. (You cannot provide testimony for your neighbor, parent or anyone else; this is considered hearsay and cannot be considered by the committee.)
3. No letters or petitions can be accepted by the committee (unless the person who wrote the letter or the persons who signed the petition are present at the committee hearing and willing to testify).
4. Persons opposed to the license application are given the opportunity to testify first; supporters may testify after the opponents have finished.
5. When you are called to testify, you will be sworn in and asked to give your name, and address. (If your first and/or last names are uncommon please spell them.)
6. You may then provide testimony.
 - a. Include only information relating to the above license application.
 - b. Include only information you have personally witnessed or seen.
 - c. Provide concise and relevant information detailing how this business has affected or may affect the peaceful enjoyment of your neighborhood.
 - d. If by the time you have the opportunity to testify, the information you wish to share has already been provided to the committee, you may state that you agree with the previous testimony. Redundant or repetitive testimony will not assist the committee in making its recommendation.
7. After giving your testimony, the members of the Licenses Committee and the licensee may ask questions regarding the testimony you have given or other factors relating to the license application.
8. Business Competition is not a valid basis for denial or non-renewal of a license.
Please Note: If you have submitted an objection to the above application your objection cannot be considered by the committee unless you personally testify at the hearing.

OCCUPANT	MAIL ADDRESS	CITY AND ZIP CODE
CURRENT OCCUPANT	8935 N 85TH ST 4	MILWAUKEE, WI 53224-2141
CURRENT OCCUPANT	8935 N 85TH ST 3	MILWAUKEE, WI 53224-2141
CURRENT OCCUPANT	8935 N 85TH ST 2	MILWAUKEE, WI 53224-2141
CURRENT OCCUPANT	8915 N 85TH ST 2	MILWAUKEE, WI 53224-2143
CURRENT OCCUPANT	8915 N 85TH ST 1	MILWAUKEE, WI 53224-2143
CURRENT OCCUPANT	8929 N 85TH ST 2	MILWAUKEE, WI 53224-2142
CURRENT OCCUPANT	8929 N 85TH ST 3	MILWAUKEE, WI 53224-2142
CURRENT OCCUPANT	8935 N 85TH ST 1	MILWAUKEE, WI 53224-2141
CURRENT OCCUPANT	8915 N 85TH ST 4	MILWAUKEE, WI 53224-2143
CURRENT OCCUPANT	8929 N 85TH ST 4	MILWAUKEE, WI 53224-2142
CURRENT OCCUPANT	8929 N 85TH ST 1	MILWAUKEE, WI 53224-2142
CURRENT OCCUPANT	8915 N 85TH ST 3	MILWAUKEE, WI 53224-2143

Total Records: 13

Radius: 500.0 feet and Center of Circle: 8328 W Brown Deer RD



BUSINESS LICENSE PLAN OF OPERATION

ccl-busplan 9/15/15

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license e-mail address: license@milwaukee.gov

1. Type of Business

- Applying for: Extended Hours Establishment Filling Station Waste Tire Transporter Waste Tire Generator
 Self Service Laundry Rooming House: Number of Units: _____ Hotel/Motel: Number of Units: _____
 Massage Establishment Other (supplemental application for specific license also required)

Provide a detailed description of the type of business you plan on operating:

GROCERY STORE

Do you have any experience operating this type of business? No Yes If yes, explain: OPERATING FAMILY MART LLC

2. Business Operations

- a. Proposed Opening Date: NOV 1 2016
- b. Is this premise under construction? No Yes If yes, list estimated completion date: _____
- c. Is this a franchise? No Yes
- d. Is this premises currently licensed? No Yes If yes, list type of license: _____
- e. Is the current licensee operating? No Yes If no, list date closed: _____
- f. Do you have future plans for other businesses, licenses or permits at this location? No Yes
If yes, explain: _____
- g. Have you previously held an Extended Hours License in Milwaukee? No Yes
If yes, list address(es): _____
- h. Are other businesses operating in the same building? No Yes If yes, describe: _____

3. Litter & Noise

- a. How are grounds kept clean? Sweep Pressure Wash Pick Up Litter Hired Maintenance
 Building Owner Responsibility Garbage Cans Outside Other: _____
- b. How often will grounds be cleaned? Daily Weekly As Needed Monthly Other: _____
- c. Grounds cleaned by: Licensee Building Owner Employees Hired Maintenance Other: _____
- d. How are noise issues prevented and/or addressed? Security Manager approaches customer(s) Call Police
 Signs Posted Other: _____
- e. Will a sound amplification system be used? No Yes If yes, describe: _____

4. Smoking & Sanitation

- f. Are there designated outdoor smoking areas? No Yes If yes, describe: _____
- g. Number of Garbage Cans: Inside: 2 Locations: BEHIND THE COUNTER & NEAR THE ENTRANCE
Outside: 1 Locations: NEXT TO ENTRANCE
- h. Is a crowd control barrier used? No Yes If yes, describe: _____
- i. Describe sanitation facilities (restrooms): 2
Name of solid waste contractor: Advanced Disposal Waste Management Other: _____

5. Security

- a. Are there onsite parking spaces? No Yes If yes, how many? _____
Describe parking security plan: CAMERAS
- b. Is there a loading zone? No Yes If yes, describe loading area security plan CAMERAS
- c. Will you have security personnel on premise? No Yes If yes, how many? _____
What are their responsibilities? _____
Is security equipment used? No Yes If yes, describe _____
List their licensing, certification, or training credentials _____
Will there be security cameras? No Yes If yes, where? INSIDE & OUTSIDE
Will searches/identification verification be conducted upon entry? No Yes If yes, describe _____

6. Percentage of Sales (must total 100%)

Alcohol <u>15</u> %	Food <u>50</u> %	Secondhand Merchandise _____ %	Precious Metals & Gems _____ %
Entertainment _____ %	Cigarettes <u>15</u> %	_____ %	_____ %
Pawnbroker Activity _____ %	Salvaged Materials _____ % (such as scrap metal)	Personal Services (such as tattoo, body piercing, salon, tailor, tanning, etc.) _____ %	Other <u>20</u> % Describe <u>GENERAL MERCHANDISE</u>

7. Businesses/Licenses on the Premises (check all that apply):

Type 1

- Full Service Restaurant Cafe/Coffee Shop Deli or Fast Food Restaurant Private/Fraternal/Veterans Club
- Night Club Tavern Cocktail Lounge Teen Club
- Banquet Hall Sports Facility
- Hotel/Motel – Number of Rooms: _____ Rooming House – Number of Rooms: _____

Type 2

- Liquor Store Corner Store Supermarket Convenience Store
- Gas Station Amusement/Phonograph Distributor Auto Wrecker
- Used Car Dealer Used Auto Parts Personal Service Establishment
(such as tattoo business, hair salon, tailor, etc.) Recording Studio

What other licenses/permits will you hold at this location? (check all that apply)

- Occupancy Permit Cigarette & Tobacco Gas Station Extended Hours Class "B" Tavern Weights & Measures
- Secondhand Dealer Precious Metal & Gem Other: _____

8. Legal Capacity (only if a Type 1 premises in #6 above)

Capacity _____ (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

9. Premises Description

d. Identify all area(s) of the premises that will be used in operating this business (include areas used only for storage):

1st Floor 2nd Floor Basement Storage Patio Beer Garden Sidewalk Café Deck Rooftop

Other: Describe: _____

e. Describe Location: Major Thoroughfare Secondary Street Other: _____

f. Nearest Major Cross Street: 85 TH ST

g. Describe Building: Free Standing Building Strip Mall Other: _____

h. Describe Premises Structure: Single Story Multi-Story - # of Stories _____ Other: _____

i. Describe Surrounding Area: Commercial Residential Industrial Other: _____

j. Building Owner Name: SAHIL WI PROPERTIES LLC Phone Number: (414) 788-1670

Business Owner Address: 12420 N GRANVILLE RD, MEQUON WI 53097

10. Hours of Operation & Customers

Will customers be entering the premises? No Yes

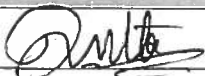
Day of the Week	Proposed Hours of Operation:		Estimated Number of Customers expected each day	Potential Age Range of Customers	Class B Applicants: Age Restriction (If none, write 'None')
	Open Time (include a.m. or p.m.)	Close Time (include a.m. or p.m.)			
Sunday	9 AM	9 PM	200	16 YRS	
Monday	9 AM	9 PM	200	To	
Tuesday	9 AM	9 PM	200	80 YRS	
Wednesday	9 AM	9 PM	200		
Thursday	9 AM	9 PM	200		
Friday	9 AM	9 PM	200		
Saturday	9 AM	9 PM	200		

Extended Hours Establishment License is required for any convenience store, filling station, personal service establishment (such as tattoo, body piercing, salon, tailor, tanning, etc.), recording studio or restaurant which is open between the hours of 12 a.m. and 5 a.m.

Entertainment Indoor Closing Hours - If alcohol beverage establishment, same as alcohol license hours.
If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours - 10:00 pm Sunday - Thursday; 12:00 am Friday and Saturday, unless otherwise approved by Common Council in licensee's plan of operation.

11. Signature(s)


Sole Proprietor, Partner, Agent, or 20% or more Shareholder


Signature of additional partner or 20% or more Shareholder

See Application Information for a list of all required application forms.



ALCOHOL BEVERAGE & PUBLIC ENTERTAINMENT PREMISES SUPPLEMENTAL PLAN OF OPERATION

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 e-mail address: license@milwaukee.gov www.milwaukee.gov/license

Legal Entity Name: <u>FAMILY FOODS CORPORATION</u>
Premise Address: <u>8328 W BROWN DEER RD MILWAUKEE</u>
Proximity of Premises to Church, School, Daycare Center or Hospital
Is there at least 300 feet between the building and any church, school, daycare center or hospital? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
"Service Bar Only" Designation
If applying for Class B or C license, are you applying for "Service Bar Only"? <input type="checkbox"/> No <input type="checkbox"/> Yes <u>N/A</u>
Service Bar Only means customers cannot sit at the bar. Alcohol is served to patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.
Business Information
a) Are you taking out this application for anyone that may not be eligible for a license? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, list name and address: _____
b) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If no, list the name and address of the person(s) who will: _____
Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.
c) Does anyone else have money invested or any other interest in this business? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, explain: _____
d) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, list name and address: _____
Proof of Ownership, Lease, or Offer to Purchase (new & transfer applicants only)
Submit proof of ownership, lease, or offer to purchase the building with this application. A lease or offer to purchase must: a) Be in the same legal entity name as that apply for the license b) Reflect the same address as the premises address on this application c) Reflect current dates and d) Be signed by the lessor/seller and lessee/buyer
Property Information (new & transfer applicants only)
a) Do you own or lease the building? <input type="checkbox"/> Own <input checked="" type="checkbox"/> Lease
b) Who owns the fixtures (for example, coolers, etc.)? <u>LESSOR</u>
c) Are you purchasing the stock and/or fixtures? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, amount paid \$ _____
d) Total amount paid for business \$ <u>0</u>
e) Total amount paid for goodwill of the business \$ <u>0</u>
Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.
f) Have you made arrangements with the seller for payment of personal property taxes? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes

See Application Information for a list of all required application forms.

Lease Information (new & transfer applicants who are leasing the premises only)

- a) Date lease begins SEPT 2016 Ends AUG 2021
- b) Monthly rental \$ 5,000.00
- c) Do you have an option to renew the lease? No Yes
- d) Does your lease allow for assignment to another party without the consent of the owner? No Yes
- e) For what length of time have you been guaranteed occupancy (number of years)? 5 YRS
- f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? No Yes If yes, explain _____
- g) Does the present owner or occupancy object to the granting of your license? No Yes
If yes, explain _____

Change of Agent Applicants Only

Have there been any changes to the floor plan since the last application was submitted? No Yes
If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s): _____

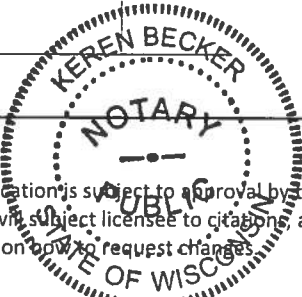
Notarized Signatures of Applicants

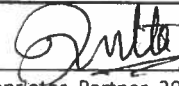
SUBSCRIBED AND SWORN TO BEFORE ME

This 25th day of August, 2016

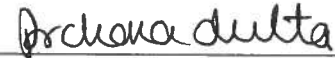

(Clerk/Notary Public)

My Commission Expires 10/7/18
*Notary Seal must be affixed.





Sole Proprietor, Partner, 20% or more Shareholder, or Agent – only if there are no 20% or more shareholders



Additional partner or 20% or more shareholder

Note: All information contained in this application is subject to approval by the Common Council. Deviating from approved plan of operation will subject licensee to citations, and/or suspension or non-renewal of the license. Contact the License Division for information on how to request changes.

New and transfer of premise applicants must submit the following:

- Proof of ownership, lease or offer to purchase the building
- Detailed floor plan
- If a restaurant, copy of the menu



FOOD DEALER LICENSE PLAN OF OPERATION

ccl-foodplan 2/22/16

OFFICE OF THE CITY CLERK, LICENSE DIVISION
CITY HALL, 200 E. WELLS ST, ROOM 105, MILWAUKEE, WI 53202
(414) 286-2238 • license@milwaukee.gov • www.milwaukee.gov/license

Legal Entity Name: FAMILY FOODS CORPORATION

Premises Address: 8328 W BROWN DEER RD MILWAUKEE

SECTION 1

Type of application (check one): taking over a currently operating business starting a new business
 Anticipated opening date? NOV 1, 2016

Check the type that best describes your business (check only one):
 See Food Dealer License Information sheet for definitions.

Restaurant Community Food Program
 Retail Establishment Bed & Breakfast
 If retail, will it be a convenience store? Yes No Base for Food Peddler
 (less than 5,000 sq ft of retail space, primary business is the sale of basic food items, and in addition sells household products) Base for Temporary/Seasonal Food Stand

In addition, will any wholesale business be done? Yes No

If yes, what percentage of the business will be wholesale? Less than 25% 25% or More (Contact DATCP)*

Will retail items be sold? No Yes If Yes, indicate percentage of food sales 10 %

Will restaurant items be sold? No* Yes If Yes, indicate percentage of food sales 15 %

** If you checked "25% or More" of the business will be wholesale and answered "No" to restaurant items being sold, do not continue completing this application. A City of Milwaukee License is not required. Contact DATCP only.*

SECTION 2

Will you be sharing kitchen space with another operator?

No If No, SKIP to Section 3
 Yes If Yes, check one:
 I will rent space from another operator ("Shared Kitchen Agreement" is required)
 I will rent space to another operator (peddler/caterer)

SECTION 3

Answer the following questions:

Will you have seating on site for dining? No Yes
 Will you be doing any catering? No Yes
 Will you be doing any delivery? No Yes
 Will you have outdoor activities? No Yes
 If Yes to outdoor activities, check all that apply: Bar Cooking/Grilling Dining
 Will you have a drive thru window? No Yes
 If Yes to drive thru, are hours different from inside? No Yes
 If Yes, provide drive thru hours: _____
 Will any scales or barcode scanners be used? No Yes
 If Yes, a Weights & Measures application must be completed and a license obtained.

SECTION 4

Where will food be prepared and/or sold?

At a single site

At multiple sites (for example, a hotel with several dining rooms or bars) How many? _____

If multiple sites, attach a Food Dealer Additional Site Addendum (ccl-foodadd) for each additional site.

SECTION 5

Are you planning any construction, remodeling or equipment changes?

No If No, SKIP to Section 6

Yes If Yes, check all that apply:

New construction of a building

Construction changes to an existing building

Renovation or remodeling

Equipment changes only (installation or replacement)

Provide a brief description of the changes: _____

Start date: _____

Name, Address & Phone Number of Architect: _____

Name, Address & Phone Number of Contractor: _____

SECTION 6

Are you applying for an alcohol beverage license?

No If No, SKIP to Section 7

Yes If YES, if your food license is approved prior to the alcohol beverage license, when do you want the food license issued? Immediately At the same time as the alcohol license

SECTION 7

You must initial each item confirming your understanding:

AM I understand the Health Department must conduct an inspection and advise the License Division of their approval before the license may be issued.

AM I understand I must obtain an occupancy permit from the Department of Neighborhood Services and an inspection may be required. Neighborhood Services must advise the License Division of their approval before the license may be issued.

AM I understand the district alderperson will review and either approve or deny my application. If denied, I may appeal and be scheduled to appear before the Licenses Committee. The Licenses Committee will then make a recommendation to the Common Council. The Common Council must grant the license before it may be issued.

AM I understand proof of payment for all license fees must be on file in the License Division before the license may be issued.

AM I understand the license must be issued and posted in my establishment prior to opening for business.

AM I will not operate my food business until the license has been issued and posted in the establishment.

Signature of sole proprietor, partner, agent or 20% shareholder: AM

Signature of additional partner(s): Anchona dutton



WEIGHTS & MEASURES LICENSE SUPPLEMENTAL APPLICATION

OFFICE OF THE CITY CLERK, LICENSE DIVISION
 CITY HALL, 200 E. WELLS ST, ROOM 105, MILWAUKEE, WI 53202 •
 (414) 286-2238 • license@milwaukee.gov • www.milwaukee.gov/license

Legal Entity Name: Family Foods Corporation

Premise Address: 8328 W. Brown Deer Road, Milwaukee, WI 53224

1. Device Type(s)

- Check all device types for which you need a license.
 - For each device type checked, indicate how many you have in the Number of Devices column (b).
 - Calculate the Total Fee Per Device Type by multiplying the Fee Per Device Type (a) by the Number of Devices (b).
 - Add all Total Fee Per Device Type amounts together and that will be your Total Fee Due.
- * **Exception:** The Scanner fee is not per device. Check the box for the appropriate range.
 If you have 1-3 scanners, the total due is \$130. If you have 4 or more scanners, the total due is \$250.
 Check the Number of Devices (b).

Device Type	License Period	Fee Per Device Type (a)	Number of Devices (b)	Total Fee Per Device Type (a x b)
Liquid Measuring Devices				
<input type="checkbox"/> Retail Petroleum Meters	12 months	\$60		
<input type="checkbox"/> 0 to 30 gallons per minute	24 months	\$60		
<input type="checkbox"/> 31 to 200 gallons per minute	24 months	\$250		
<input type="checkbox"/> Over 200 gallons per minute	24 months	\$250		
Scales				
<input type="checkbox"/> 0 to 300 pounds	24 months	\$55		
<input type="checkbox"/> 301 to 5,000 pounds	24 months	\$190		
<input type="checkbox"/> 5,001 to 40,000 pounds	24 months	\$300		
<input type="checkbox"/> Over 40,000 pounds	24 months	\$400		
Scanners				
		Fee for scanners is by range	Check how many scanners you have	
<input checked="" type="checkbox"/> Up to 3 scanners	24 months	\$130 total*	<input type="checkbox"/> 1 <input type="checkbox"/> 2 <input checked="" type="checkbox"/> 3	
<input type="checkbox"/> Four or more scanners	24 months	\$250 total*	<input type="checkbox"/> 4 <input type="checkbox"/> Other	
Other Devices				
<input type="checkbox"/> Length Measuring Device	24 months	\$60		
<input type="checkbox"/> Taxi Cab Meter	24 months	\$130		
<input type="checkbox"/> Timing Device	24 months	\$30		

Total Fee Due _____

2. Establishment Type

Provide a brief description of the establishment/business:

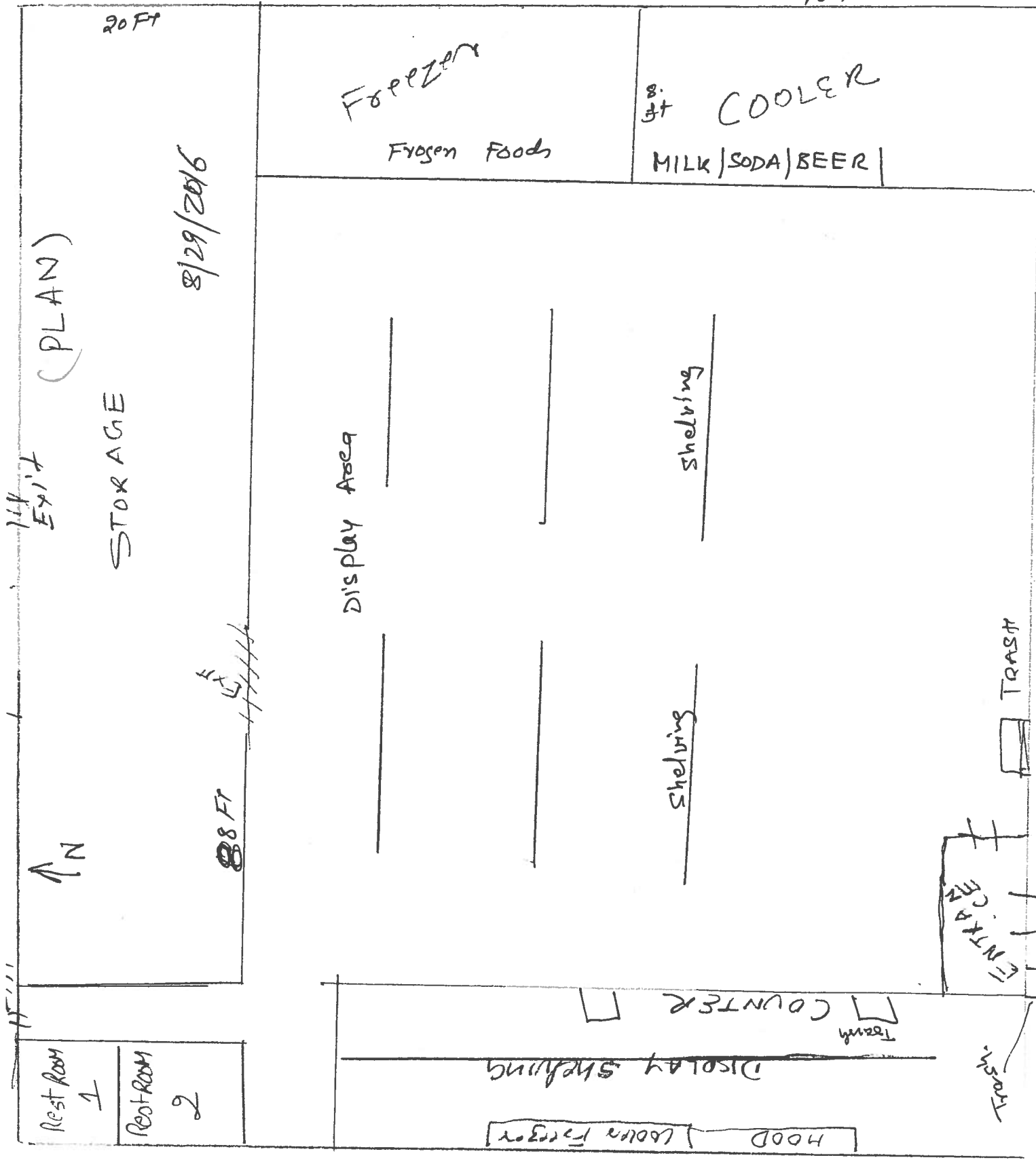
GROCERY STORE

Other licenses may be required depending on the type of business you are operating.

FAMILY FOOD
Total Area
8924
sq ft.
Length =
Breadth =

Agent
VIPAN Dutt

Brown Deer
Road
↓



8328 N. BROWN DEER ROAD, MILWAUKEE, WI / FAMILY FOOD (PLAN)

Family Foods
CORPORATION.

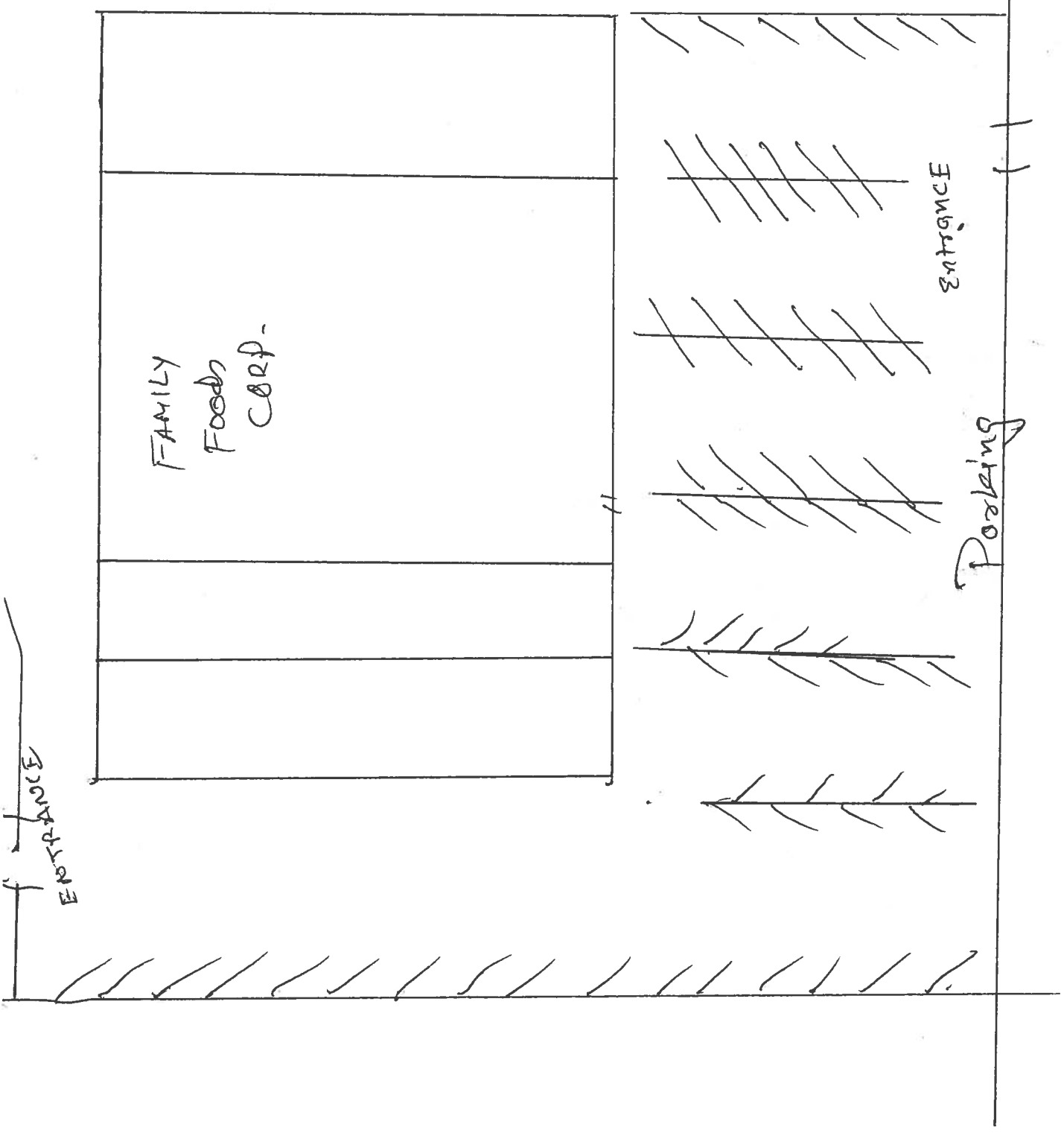
DBA

FAMILY FOODS

Agent

VIPAN DUTTA

8/29/2016



BROWN DEER ROAD

WEST

EAST