

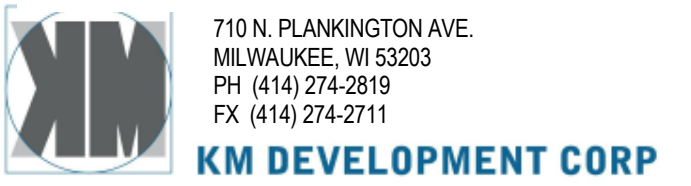
BUILDING 23

HISTORIC REHABILITATION - BREW HOUSE AND ENTERTAINMENT SPACE

Milwaukee, WI



MILWAUKEE | MADISON | TUSCON | CHICAGO



BUILDING 23

1037 W. JUNEAU AVE.
MILWAUKEE, WI 53233
BLUE RIBBON MANAGEMENT, LLC.
633 W. WISCONSIN AVE.
SUITE 408
Milwaukee, WI 53203

PROJECT NUMBER 152450.00

PROJECT

SEAL

CONSULTANTS

CIVIL/LANDSCAPE

KAPUR & ASSOCIATES

7711 N. PORT WASHINGTON RD.
MILWAUKEE, WI 53217
PH (414) 751-7200
FX (414) 351-4117

- C100 SITE PLAN PLAN
- L000 SITE LANDSCAPE PLAN

ARCHITECTURAL

ENGBERG ANDERSON

320 E. BUFFALO ST.
SUITE 600
MILWAUKEE, WI 53202
PH (414) 944-9000
FX (414) 944-9100

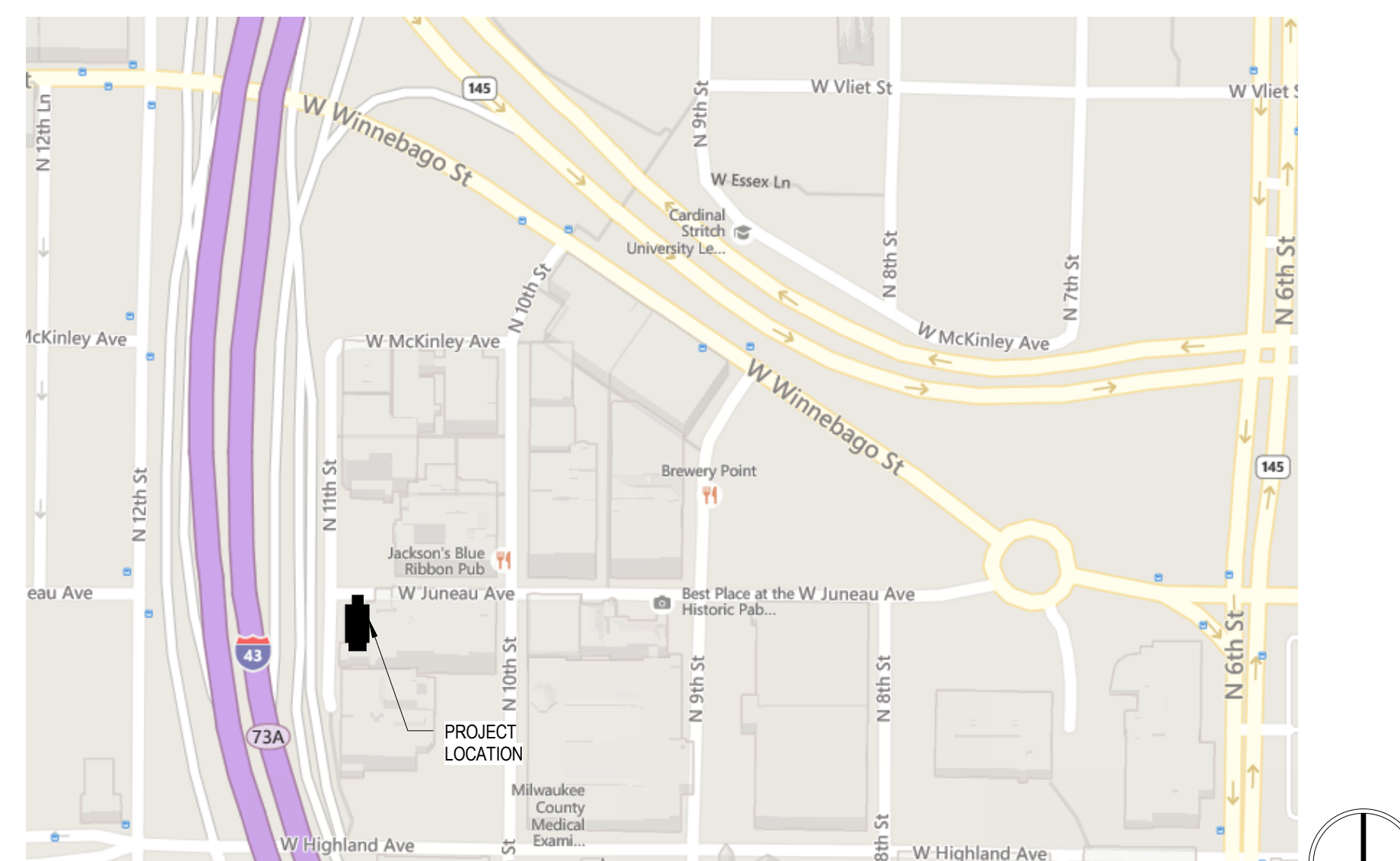
- A000 ARCHITECTURAL SITE PLAN
- D100 DEMOLITION PLANS
- D400 DEMOLITION ELEVATIONS
- A100 FLOOR PLANS
- A110 EQUIPMENT PLANS
- A130 ROOF PLAN
- A200 REFLECTED CEILING PLAN
- A400 ELEVATIONS
- A402 BUILDING SECTIONS AND INTERIOR ELEVATIONS

ISSUED FOR:
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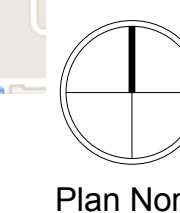
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SITE LOCATION MAP



SITE LOCATION MAP



VIEW FROM NORTH WEST

DRAWN BY JMR

CHECKED BY ME

TITLE SHEET

T101

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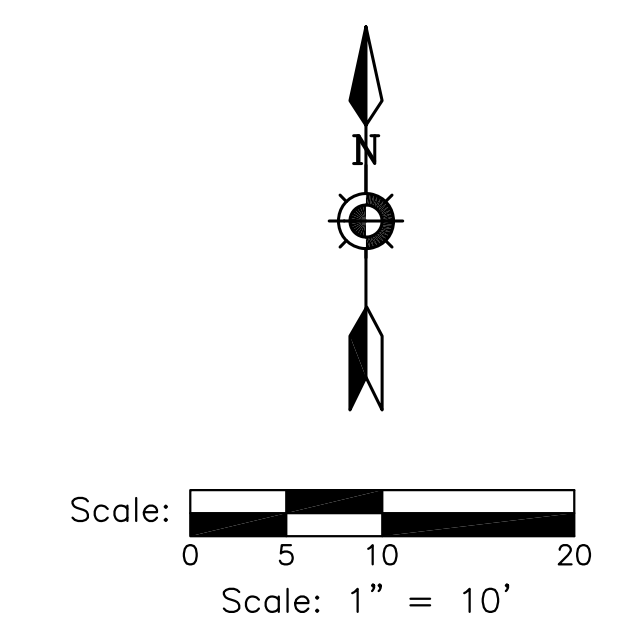
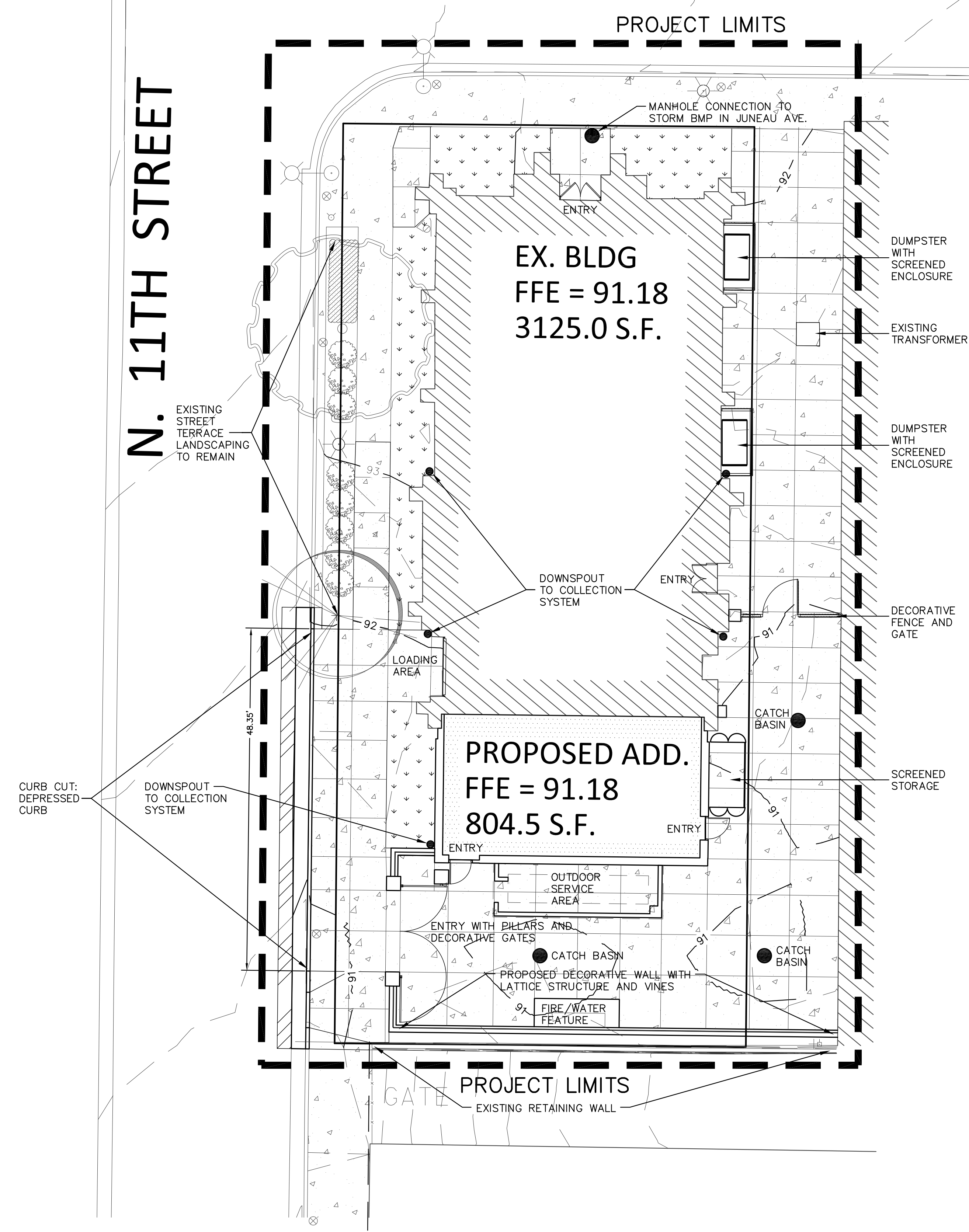
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W. JUNEAU AVE.

N. 11TH STREET



DIGGERSHOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

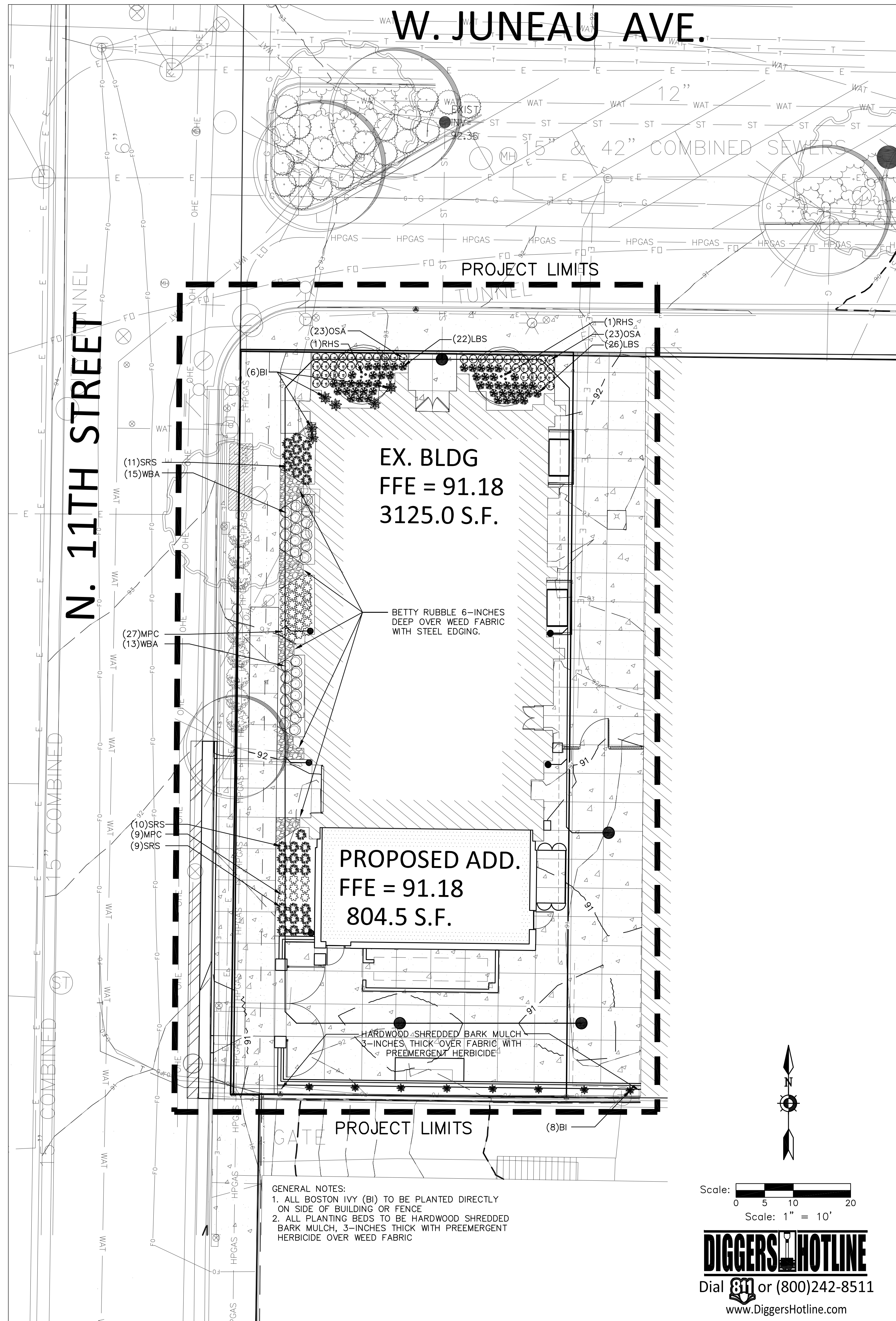
HATCH LEGEND

	AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	NEW ASPHALTIC CONCRETE (HEAVY DUTY)
	NEW CONCRETE SLAB
	NEW CURB & GUTTER

SITE PLAN

DRAWN BY RB
 CHECKED BY KCB

C100



Plant Schedule

Scientific Name	Common Name	Quantity	Spacing	Size	Size
				Install	Maturity in ft. (Height/Spread)
Deciduous Trees					
RHS	Amelanchier x grandiflora 'Robin Hill'	Robin Hill Serviceberry: multi-stem	2	Per Plan	7' tall B&B
Perennials					
BI	Parthenocissus tricuspidata	Boston Ivy	14	Per Plan	#3 cont.
LBS	Schizachyrium scoriparium	Little Bluestem Grass	48	Per Plan	1 gal
MPC	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	36	Per Plan	1 gal
OSA	Aster oblongifolius	October Skies Aromatic Aster	46	Per Plan	1 gal
SRS	Panicum virgatum 'Shenandoah'	Shenandoah Red Switch Grass	30	Per Plan	1 gal
WBA	Amsonia tabernaemontana	Willow Bluestar Amsonia	28	Per Plan	1 gal

NOTE: Installation contractor is responsible for verifying plant count from plan. Plan quantities take precedence over list.

KAPUR & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 7711 N. PORT WASHINGTON ROAD
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 Phone: 414.351.6668 Fax: 414.351.4117
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Engberg Anderson ARCHITECTS

MILWAUKEE | MADISON | TUSCON | CHICAGO

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KM DEVELOPMENT CORP

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SITE LANDSCAPE PLAN

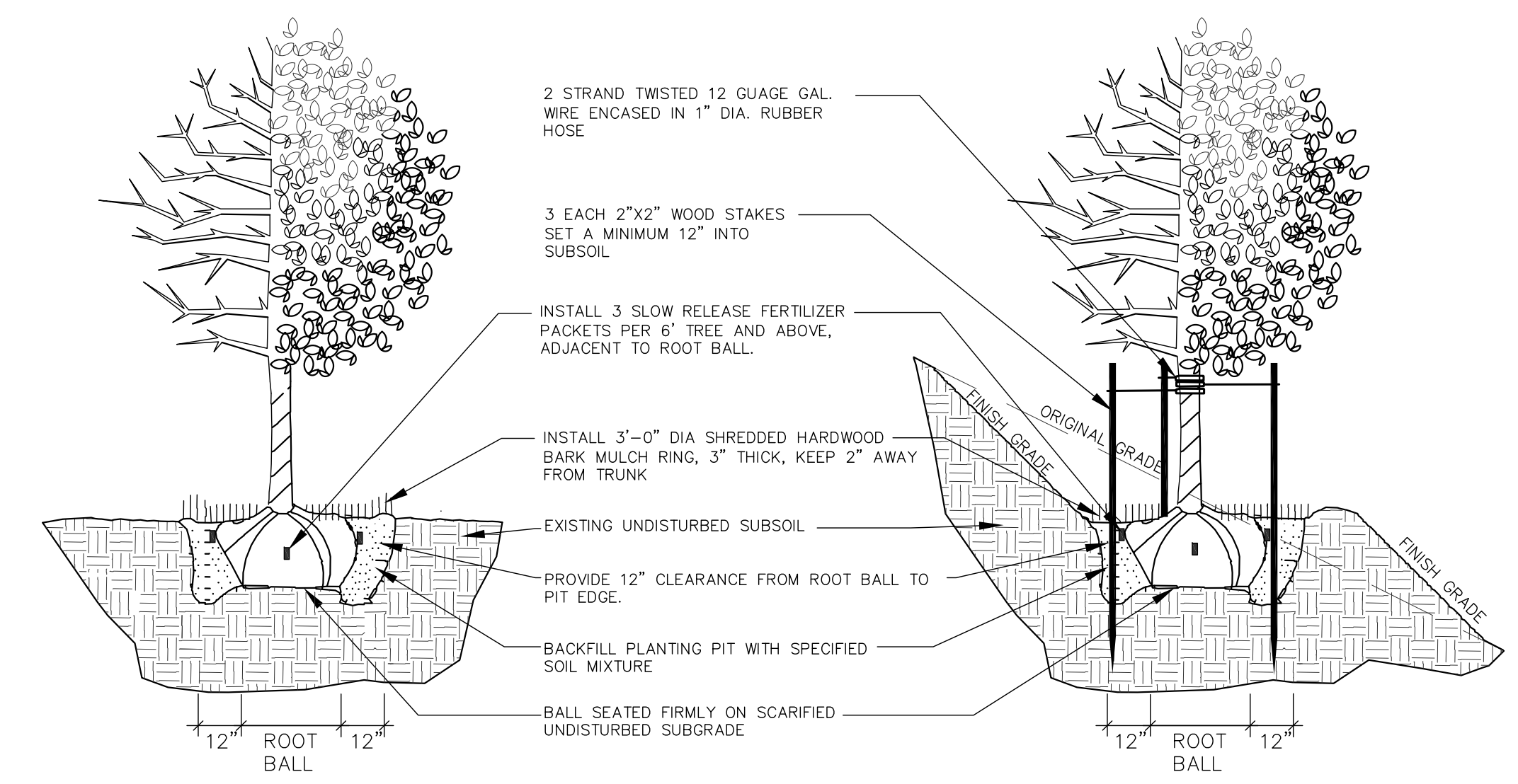
1 LANDSCAPE PLANT SCHEDULE

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

- ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 4, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
- CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
- BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. SIZE RANGE: 3-INCH MAXIMUM, 1/2-INCH MINIMUM. NOT DOUBLE MILLED. EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
- ALL PLANTING BEDS TO RECEIVE MULCH AS SPECIFIED OVER TYPAR WEED FABRIC WITH STEEL EDGING AS DISPLAYED ON THE PLANS AND DESCRIBED IN THE SPECIFICATIONS. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND NO MOW, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT MULCH FROM SPILLING ONTO PAVEMENT.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED TURF/NO MOW AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
- REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
- REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
- PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
- PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
- PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
- WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
- STAKING - ONLY STAKE TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. ATTACH WIRE TO THREE STAKES POSITIONED EVENLY AROUND THE TREE. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- BETTY RUBBLE NOTE: 6" BETTY RUBBLE (RECYCLED BUILDING MATERIAL & GLASS MULCH) TO BE A MIXTURE OF THE FOLLOWING, SUPPLIED, CRUSHED, SCREENED, AND INSTALLED IN A SINGLE LIFT BY THE CONTRACTOR. 60% CRUSHED RECYCLED CREAM CITY BRICK AGGREGATE: 2"-4" SCREENED. 40% CRUSHED RECYCLED CONCRETE AGGREGATE: 2"-3" SCREENED. REMOVAL ALL FINES, SOIL, TRASH, DEBRIS, ETC. A MAX 10% DEVIATION IN THE MIX IS ALLOWABLE WITH OWNERS APPROVAL. INSTALL BETTY RUBBLE 6" THICK OVER WEED FABRIC WITH STEEL EDGING. AFTER INSTALLATION, CONTRACTOR TO TOP DRESS SURFACE BY HAND WITH: 5% AMBER COLORED GLASS NUGGETS, 1 1/2" TYP. GLASS NUGGETS TO BE PURCHASED FROM THE BREWERY LLC. COORDINATE WITH THE BREWERY LLC, DENNIS STAPLETON, (414) 274-2817.
- REFER TO SPECIFICATION 32 92 00 TURF AND GRASSES & 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.

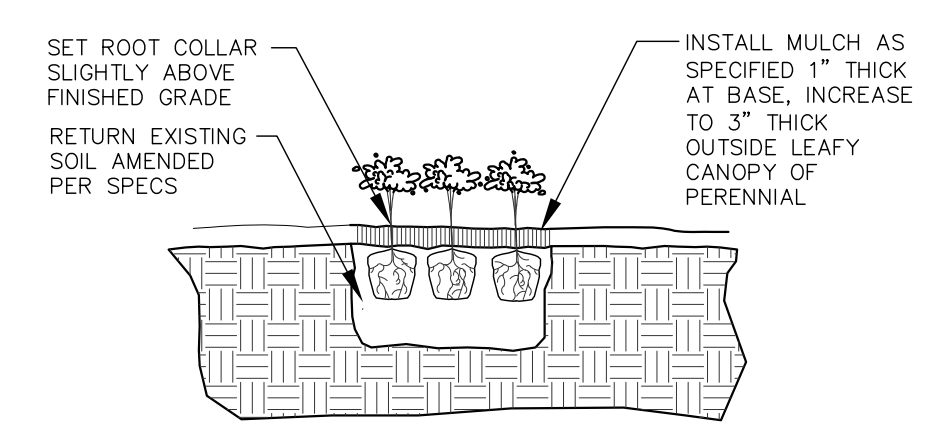
2 LANDSCAPE INSTALLATION NOTES

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



3 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE

N.T.S.



4 PERENNIAL PLANTING

N.T.S.

L100

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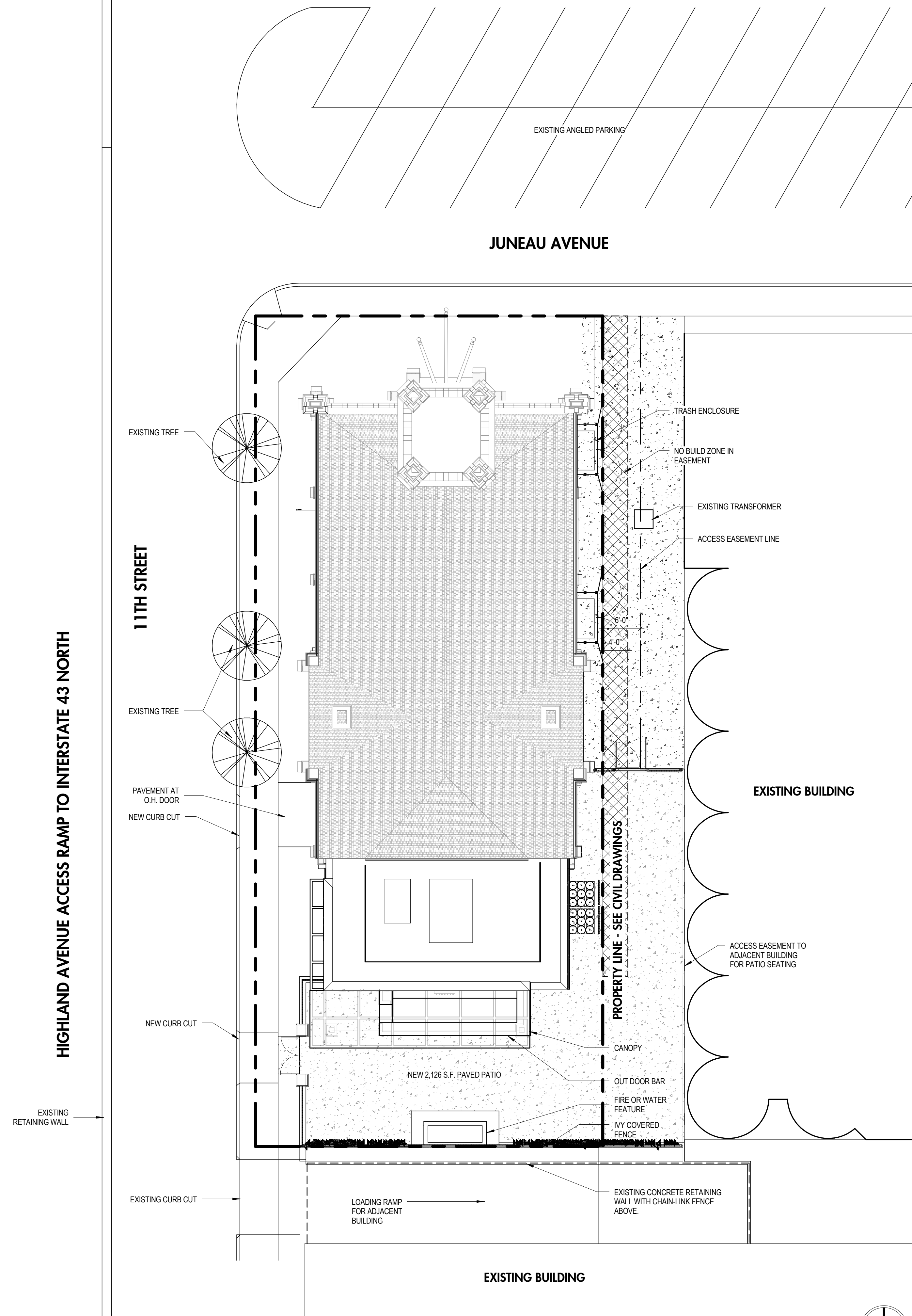
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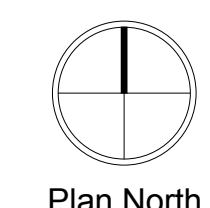
**ARCHITECTURAL
SITE PLAN**

A000



1 SITE PLAN
SCALE: 1" = 10'-0"

NOTE: ARCHITECTURAL SITE PLAN IS A GRAPHIC REPRESENTATION OF DESIGN INTENT.
REFER TO SITE CIVIL AND LANDSCAPING PLANS FOR ACTUAL LOCATIONS AND SIZES OF SITE FEATURES.



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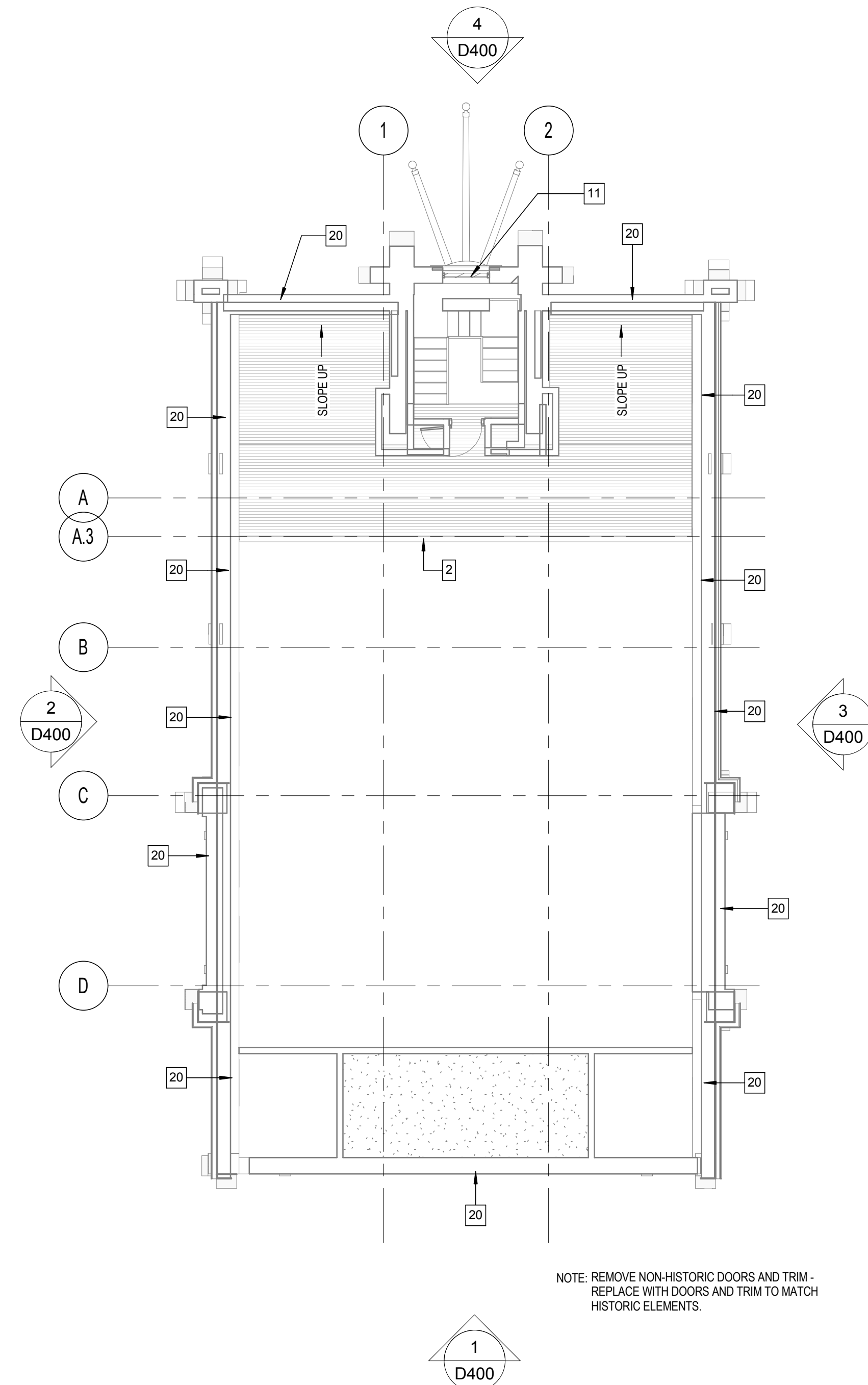
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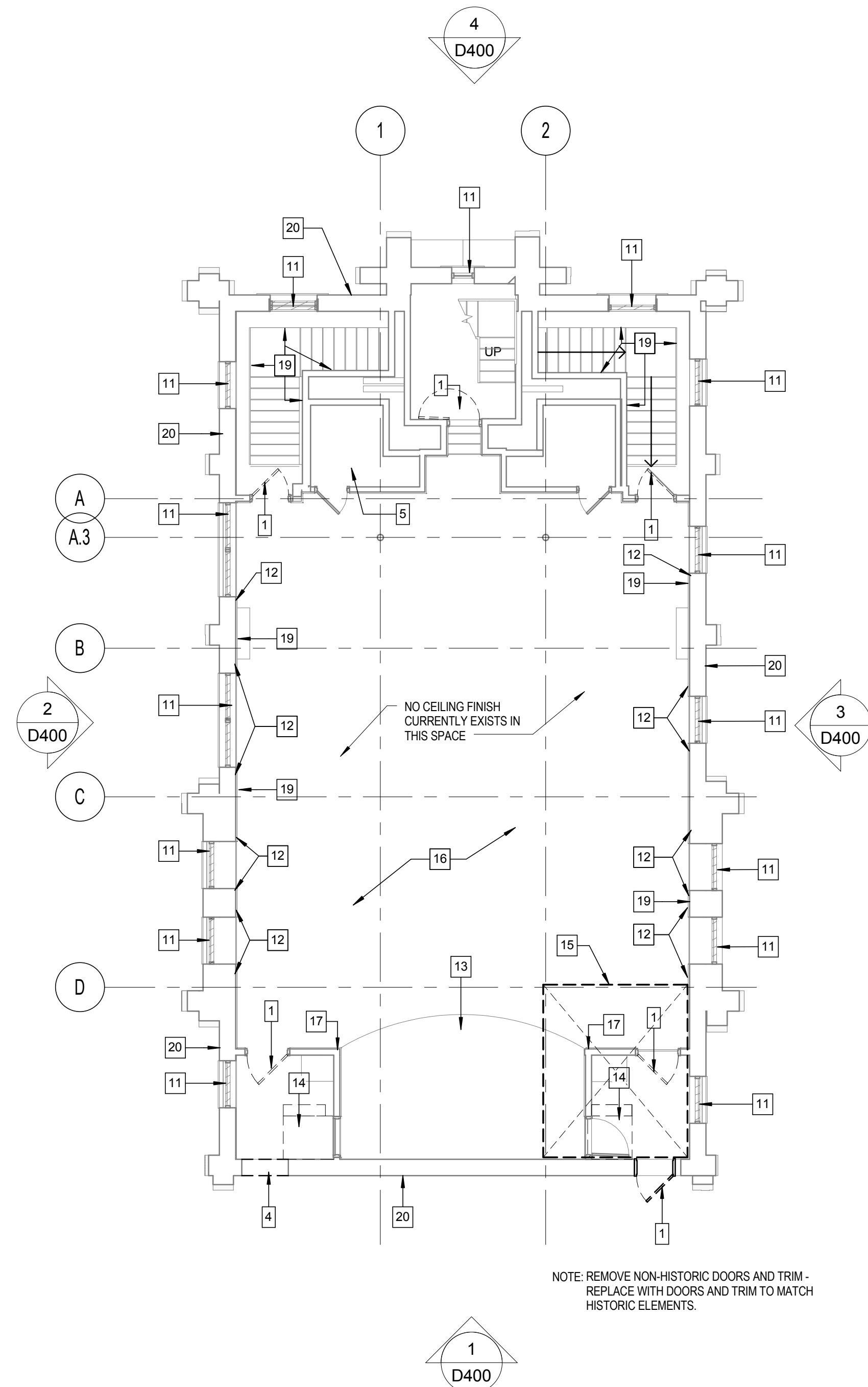
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**DEMOLITION
PLANS**

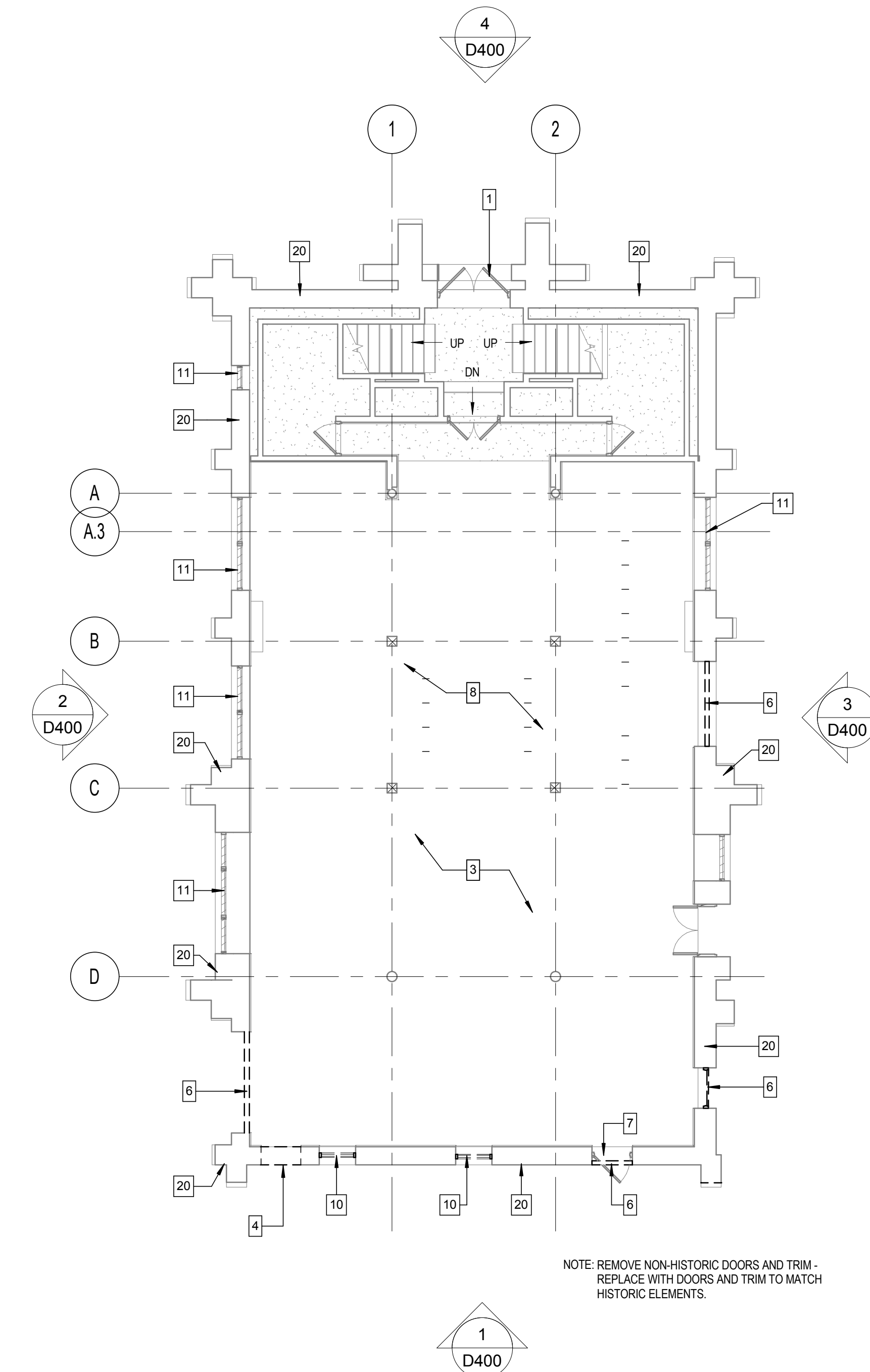
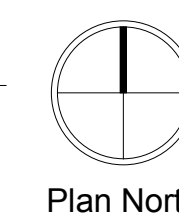
D100



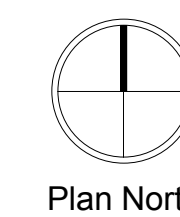
3 BALCONY DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



DEMOLITION KEYNOTE LEGEND

1	REMOVE EXISTING DOOR AND TRIM LEAVE EXISTING OPENING INTACT - REPLACE TRIM WITH NEW TRIM TO MATCH HISTORIC TRIM.
2	REMOVE THIS PORTION OF WALL DOWN TO THE ORIGINAL PARTIAL WALL AT CHOIR MEZZANINE. FIELD VERIFY EXACT LOCATION.
3	REMOVE EXISTING TILE AND CONCRETE FLOOR SLAB FOR REQUIRED NEW FLOOR CONSTRUCTION - RETAIN TILE SAMPLE AND TURN OVER TO CONTRACTOR FOR MATCHING REPLACEMENT.
4	REMOVE THIS PORTION OF WALL FOR NEW OPENING. TOOTH IN BRICK AT JAMBS WITH SALVAGED BRICK FROM CUTTING OPENING.
5	REMOVE EXISTING RAISED CONCRETE SLAB IN TOILET ROOM.
6	REMOVE EXISTING WALL INFILL.
7	EXISTING DOOR AND HARDWARE TO REMAIN. CONDUCT MAINTENANCE TO ENSURE PROPER OPERATION.
8	REMOVE EXISTING BOARD AND BATTON CEILING CAREFULLY TO EXPOSE FLOOR JOISTS FOR STRUCTURAL EVALUATION AND REINFORCEMENT. SALVAGE AND STORE ALL MATERIALS FOR RE-INSTALLATION.
9	REMOVE NON-HISTORIC DOORS AND TRIM - REPLACE WITH DOORS AND TRIM TO MATCH HISTORIC ELEMENTS.
10	REMOVE EXISTING WINDOW, TRIM AND FRAME COMPLETELY.
11	REMOVE LOOSE PAINT ON EXISTING WOOD WINDOWS AND PREPARE FOR RESTORATION AND REPAINTING.
12	REMOVE NON-HISTORIC SHUTTERS
13	REMOVE CARPET ON STAGE. EVALUATE CONDITION OF STAGE PLATFORM FLOOR CONDITION. REPAIR/REPLACE FLOORING AS REQUIRED.
14	REMOVE THIS CARPETED LANDING AND STEP.
15	REMOVE FLOORING IN THIS AREA FOR STRUCTURAL REPAIR.
16	REMOVE AND REPLACE FLOORING WHERE INFILLED WITH NON-HISTORIC MATERIAL - REPLACE IN KIND WITH HISTORICALLY ACCURATE FLOORING
17	REMOVE LOOSE PAINT AS REQUIRED, PREPARE SURFACE FOR REPAINTING.
19	REMOVE NON-HISTORIC WAINSCOT COVERING ORIGINAL BEAD BOARD WAINSCOT.
20	CLEAN EXISTING MASONRY. INSPECT BRICK AND GROUT FOR DAMAGE AND STRUCTURAL ISSUES. RE-POINT GROUT AS REQUIRED WITH MATCHING GROUT. REPLACE BRICKS AS REQUIRED TO ENSURE PROPER ENVELOPE ENCLOSURE.

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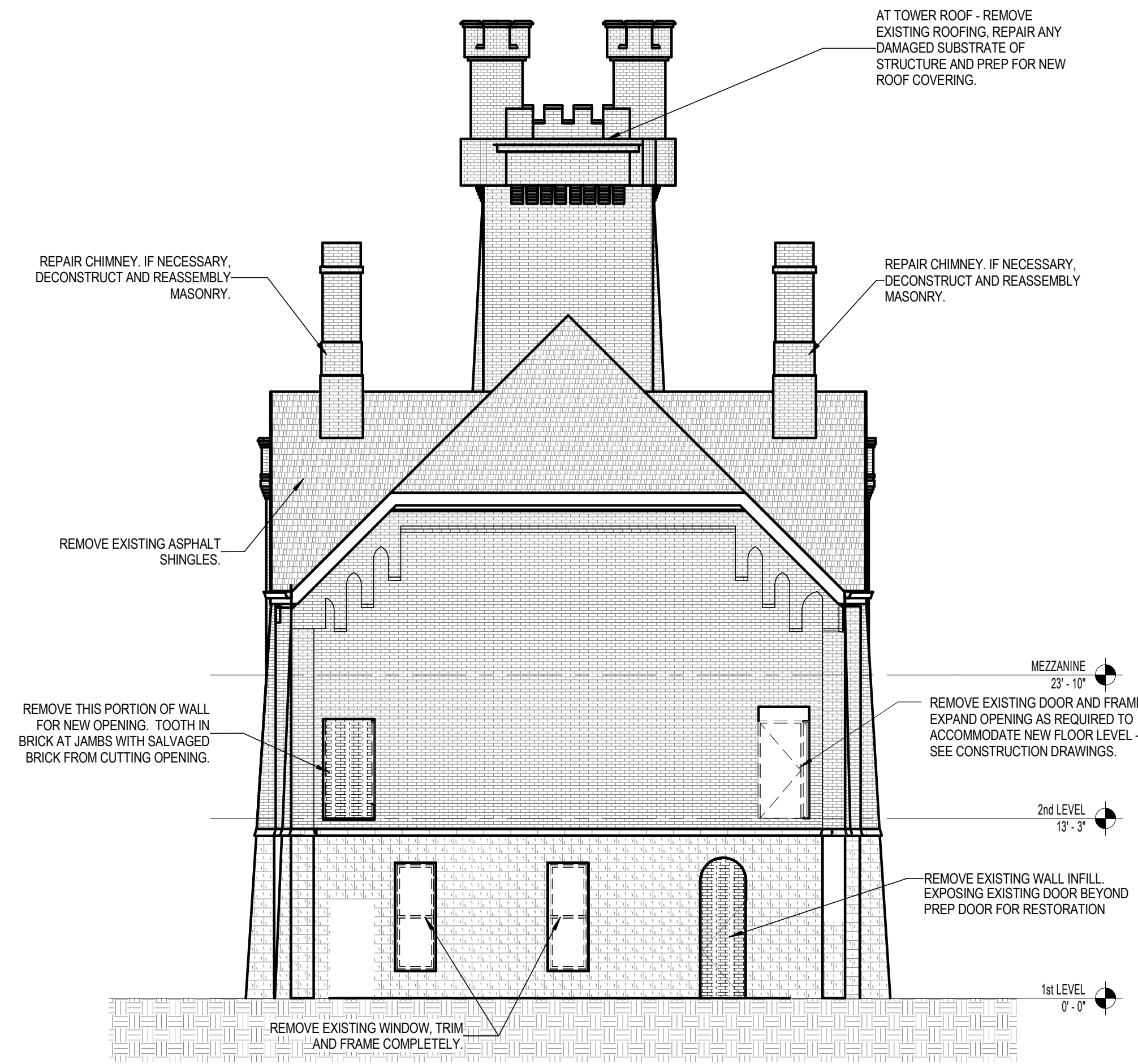
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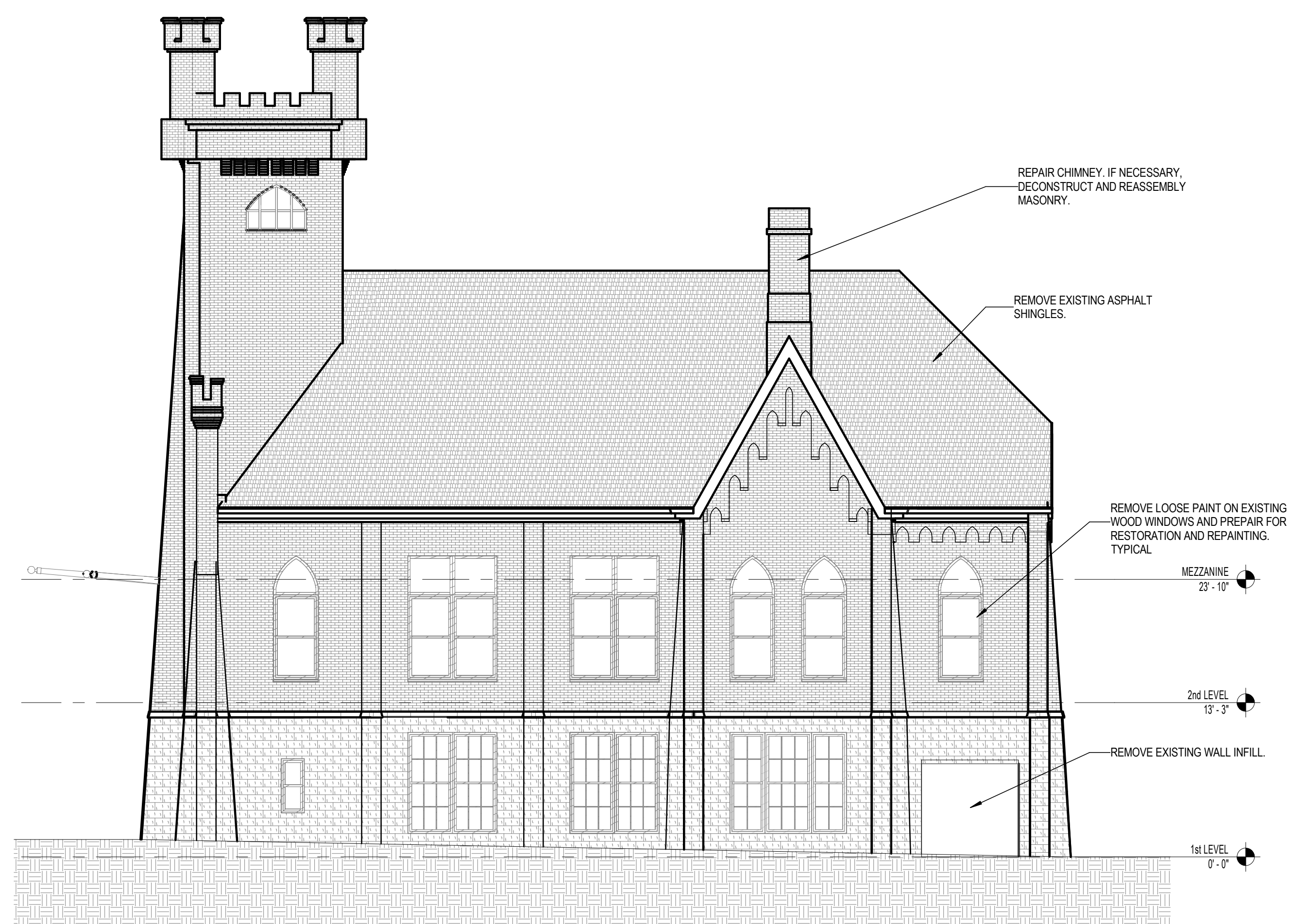
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**DEMOLITION
ELEVATIONS**

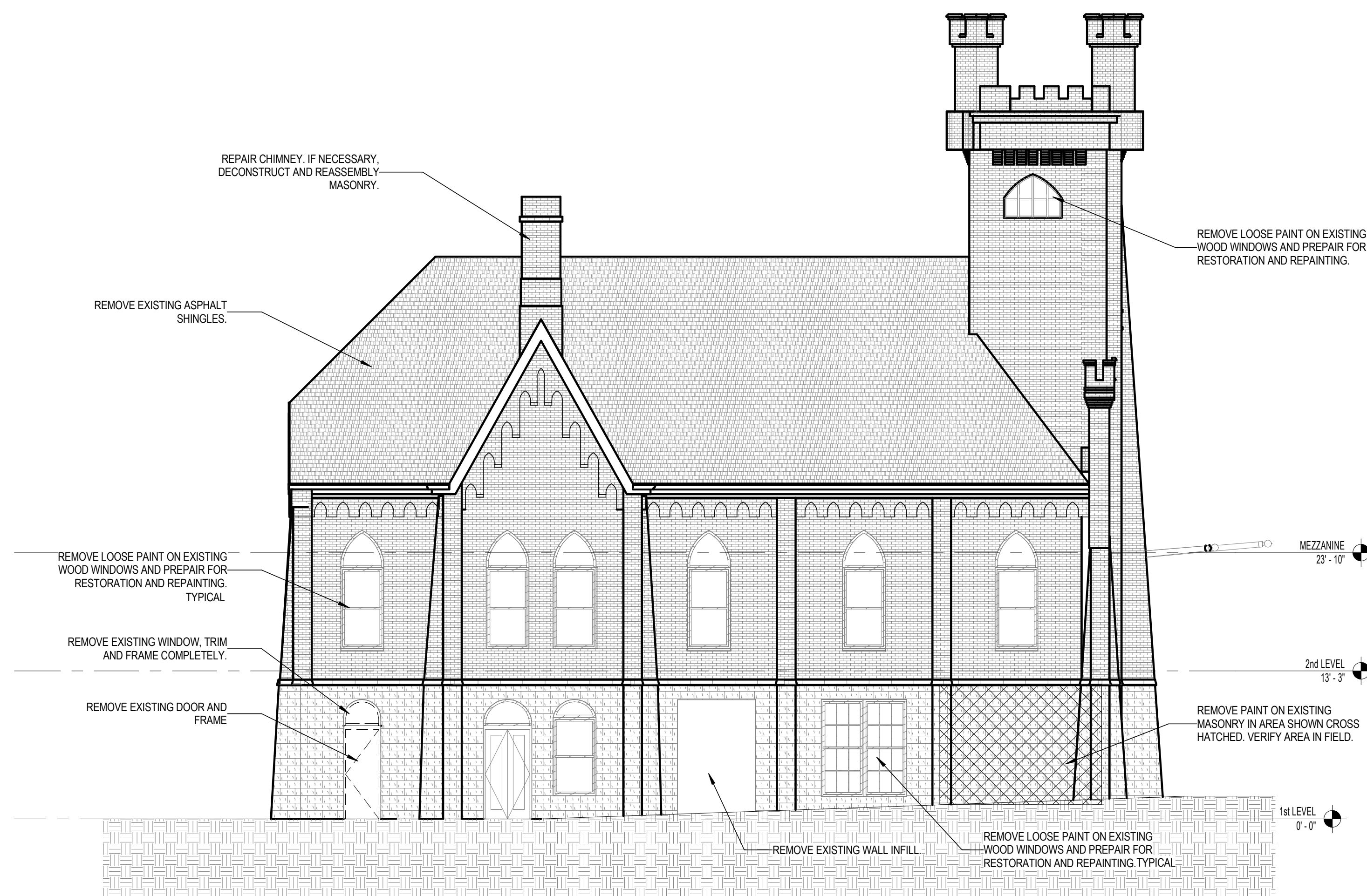
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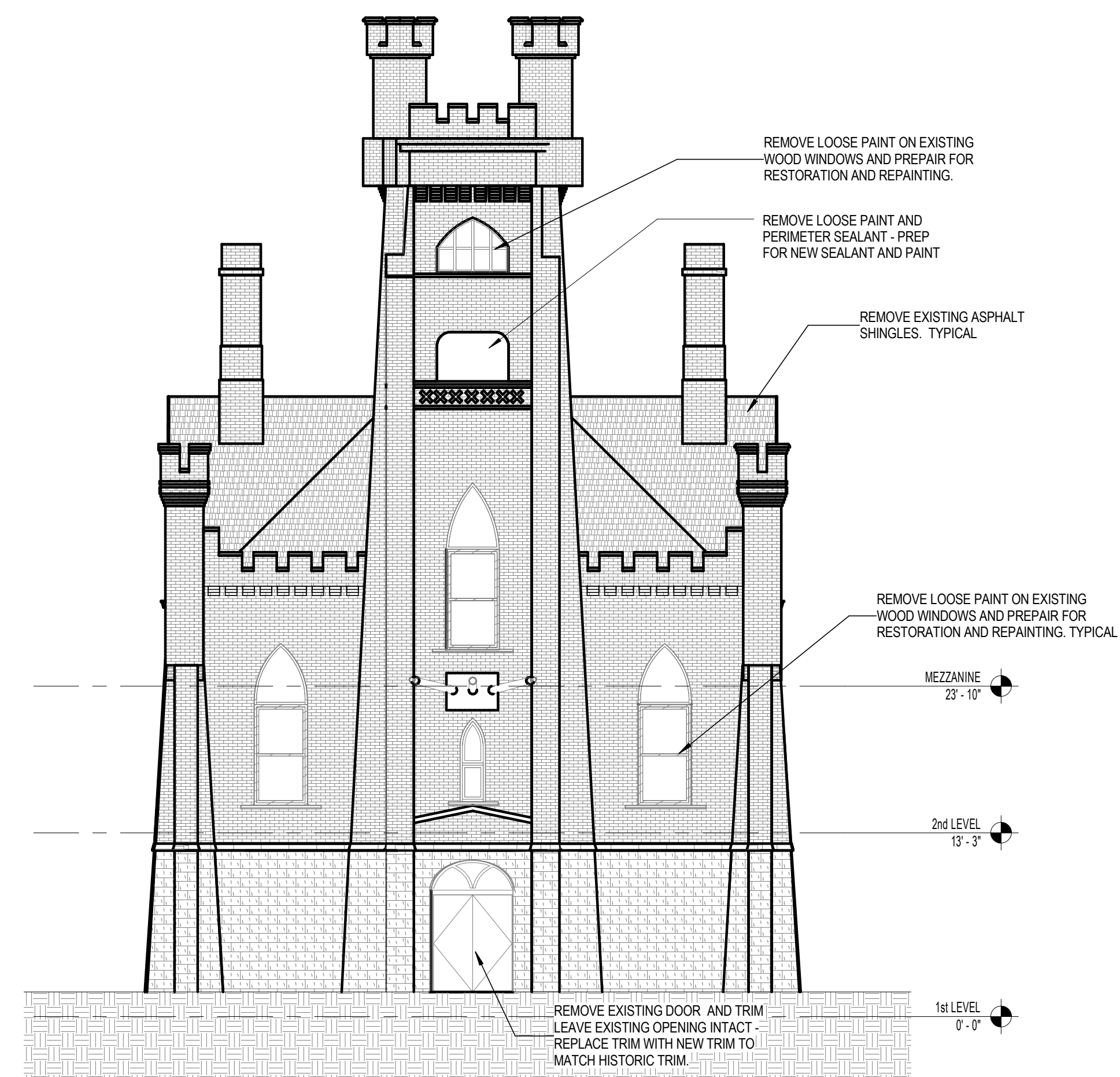
1 SOUTH ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"

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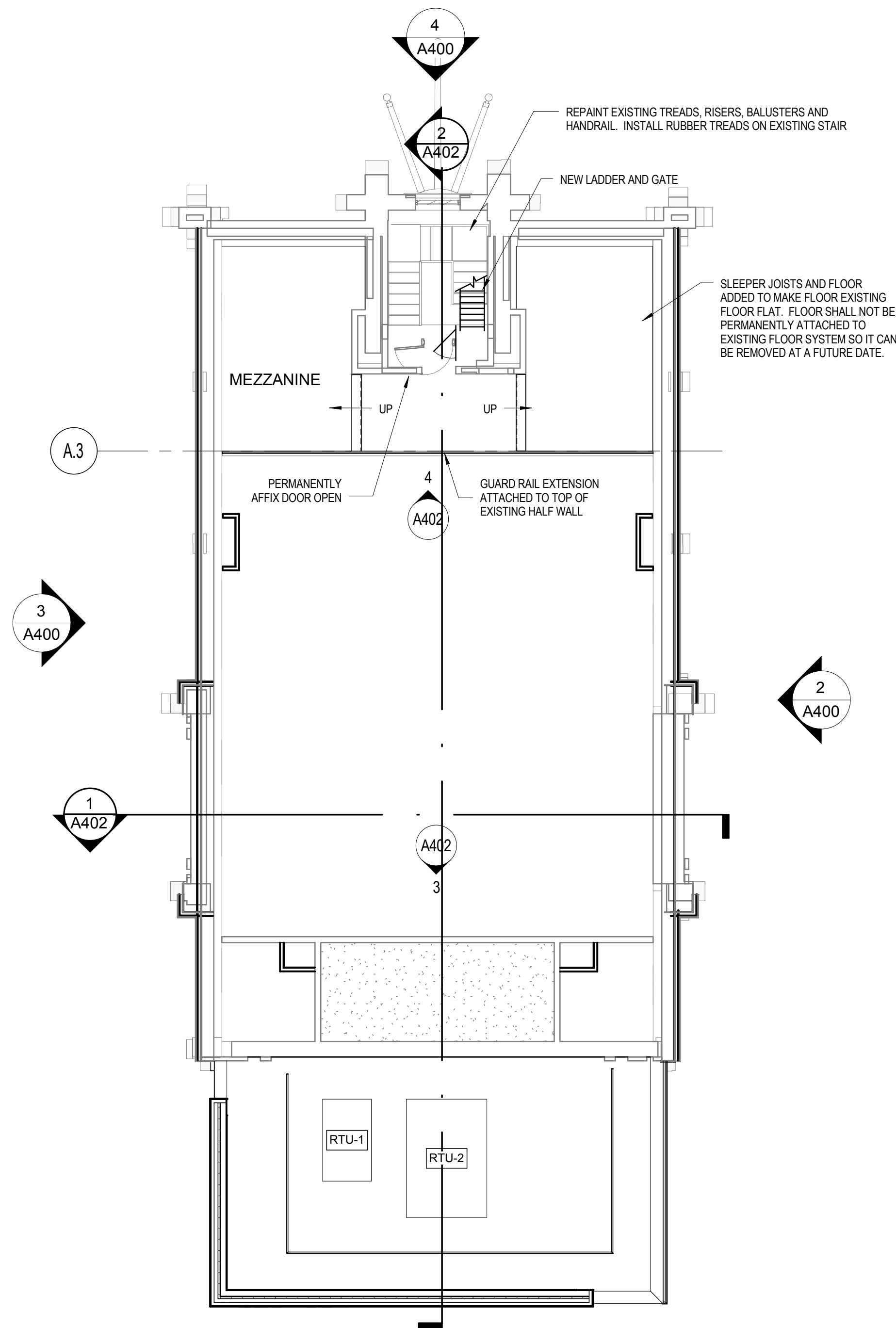
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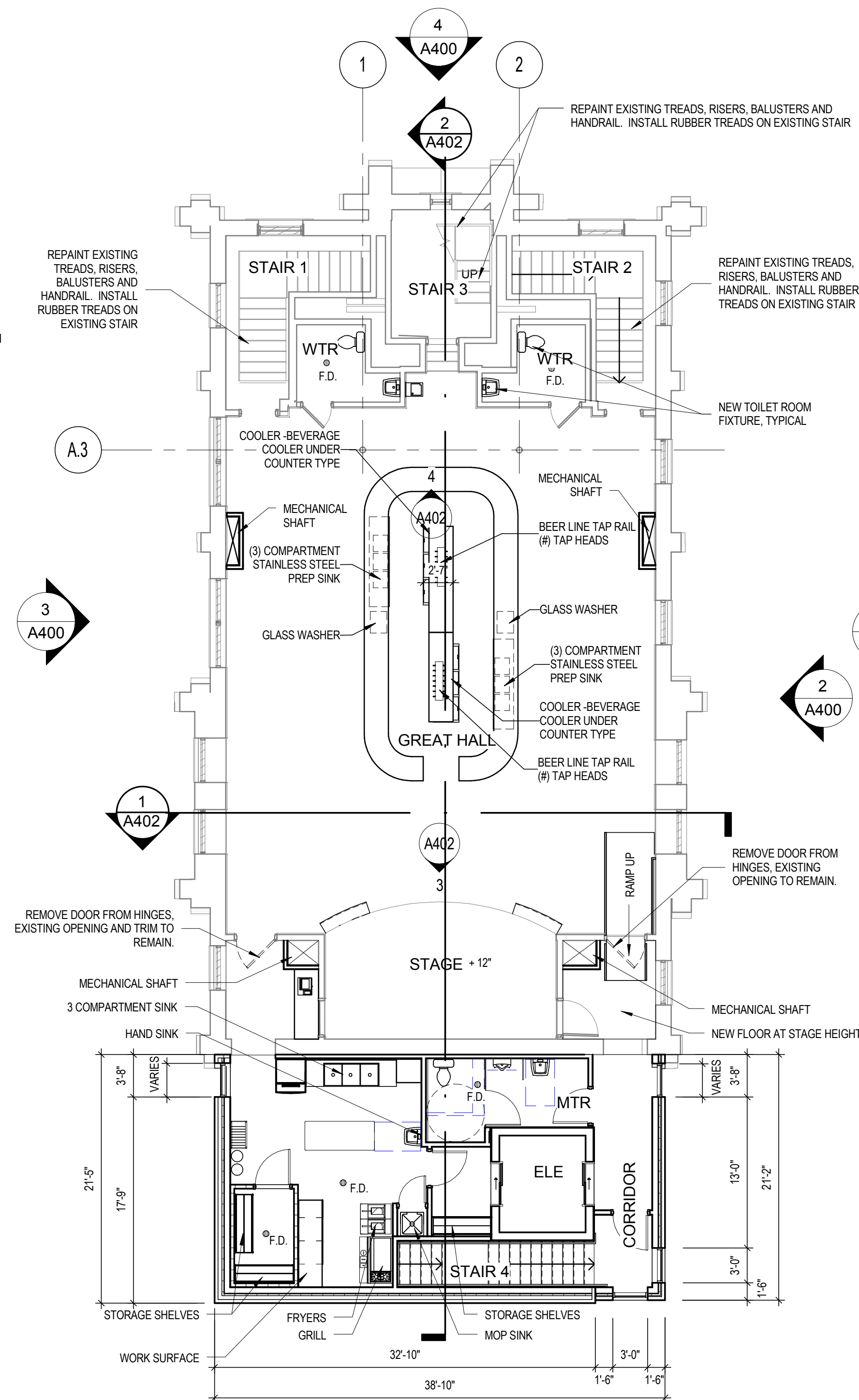
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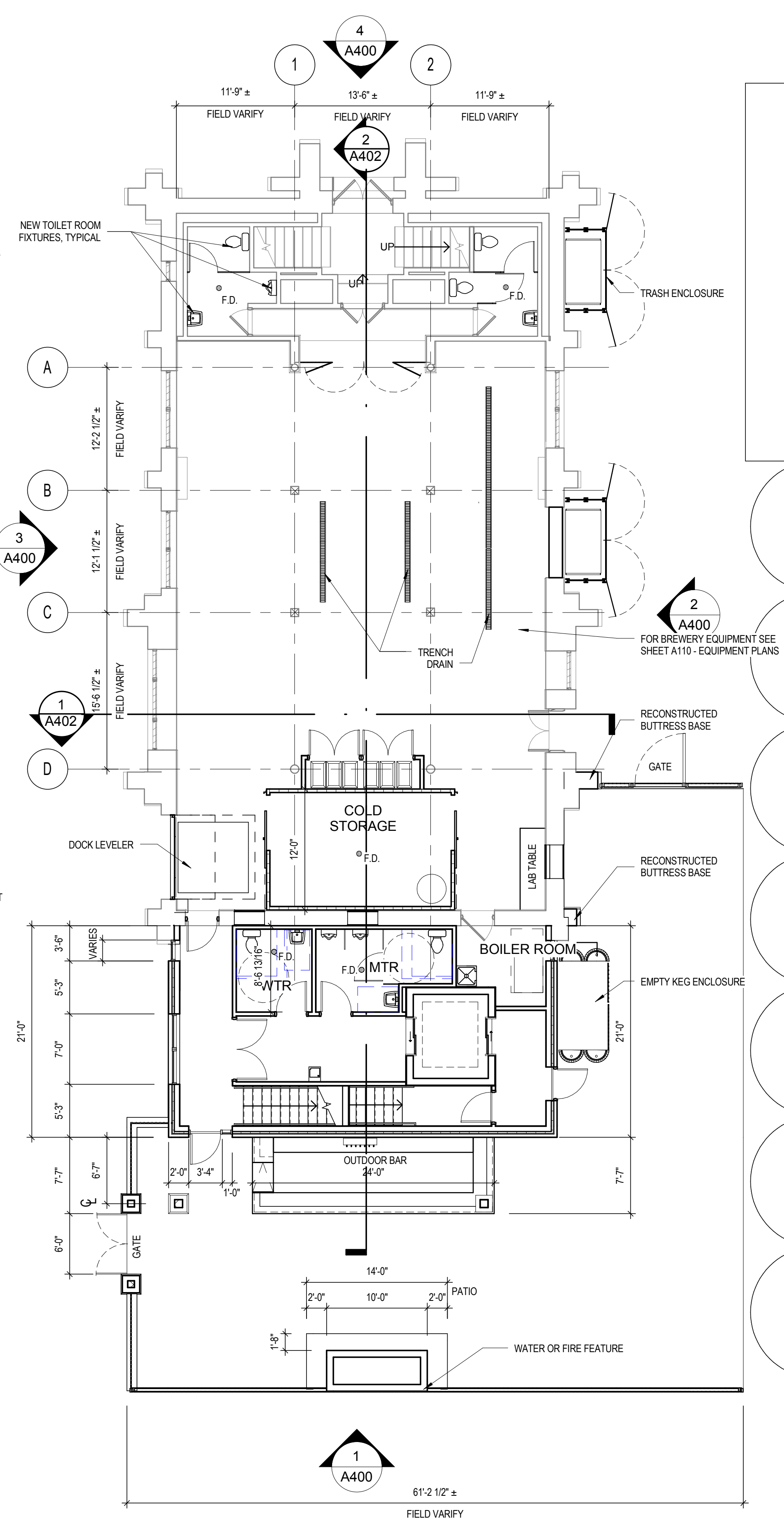
FLOOR PLANS



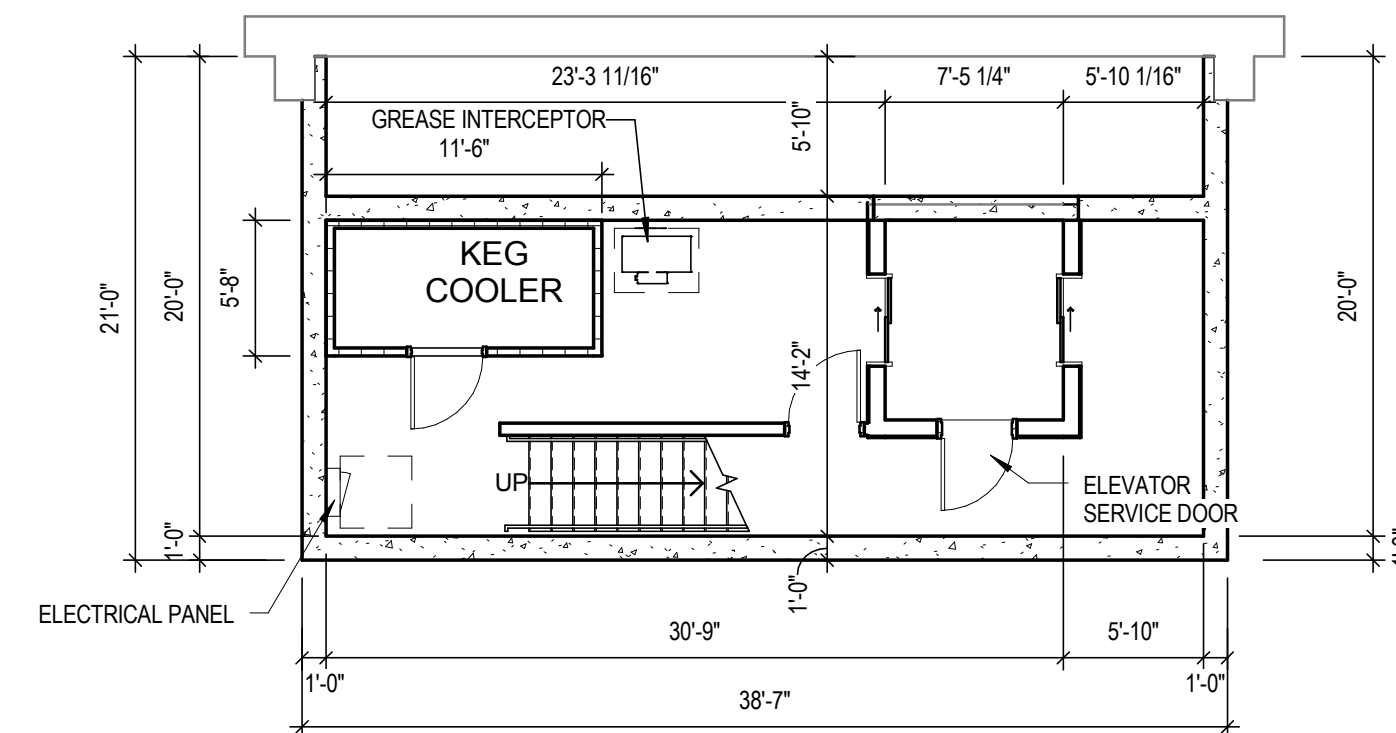
1 BALCONY PLAN
SCALE: 1/8" = 1'-0"



2 MAIN LEVEL
SCALE: 1/8" = 1'-0"



3 LOWER LEVEL
SCALE: 1/8" = 1'-0"



4 BASEMENT
SCALE: 1/8" = 1'-0"



GENERAL NOTES

1. ALL EXISTING FLOORS TO BE SANDED AND REPAIRED THEN REFINISHED.
2. ALL EXISTING WINDOWS TO BE RESTORED IN PLACE. REPLACEMENT PIECES SHALL MATCH WOOD SPECIES AND PROFILE OF EXISTING WINDOW.
3. THE FLOOR AT THE FIRST FLOOR LEVEL WILL NEED TO BE REMOVED TO ACCOMMODATE NEW SLOPE AND DRAINS. FLOOR FINISH WILL BE THE REINSTALLED AS A SIMILAR CERAMIC TILE SYSTEM.
4. STAIR RAILINGS SHALL BE REFINISHED. REPAIR ANY BROKEN BALUSTERS AND NEWEL POSTS.
5. REPLACE WOOD ACCESS LADDER WITH A NEW LADDER. INSTALL A SAFETY GATE AT THE BOTTOM OF SHIPS LADDER. SECURE AT THE TOP OF THE ACCESS LADDER WITH A HATCH.
6. MEP & FP WILL BE CONCEALED AT THE SECOND FLOOR LEVEL AND MEZZANINE.
7. AT THE FIRST FLOOR LEVEL SOME NON PERMANENT MECHANICAL EQUIPMENT WILL BE EXPOSED AS THE PROCESSED PIPING FOR THE BREWING PROCESS WILL BE EXPOSED.
8. AT THE MEZZANINE LEVEL, SLEEPER JOISTS AND FLOOR TO BE ADDED TO MAKE FLOOR EXISTING FLOOR FLAT. FLOOR SHALL NOT BE PERMANENTLY ATTACHED TO EXISTING FLOOR SYSTEM SO IT CAN BE REMOVED AT A FUTURE DATE. PROVIDE REQUIRE STEPS UP TO NEW PLATFORM.
9. INSTALL HISTORICALLY ACCURATE TRIM WHERE INACCURATE TRIM IS REMOVED FROM OPENINGS.

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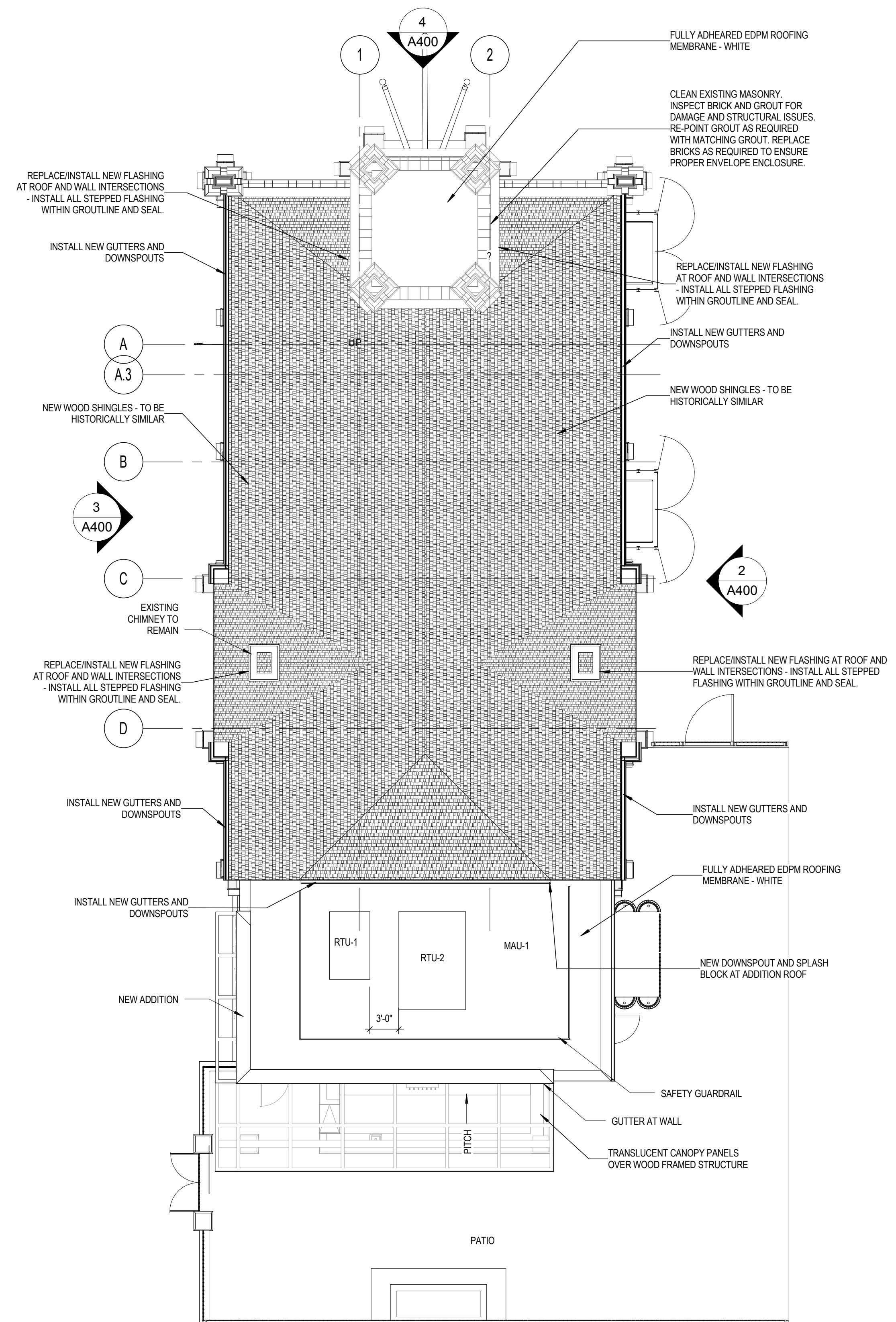
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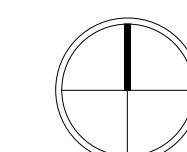
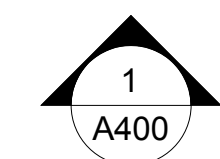
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ROOF PLAN



1 ROOF PLAN
SCALE: 1/8" = 1'-0"



Plan North

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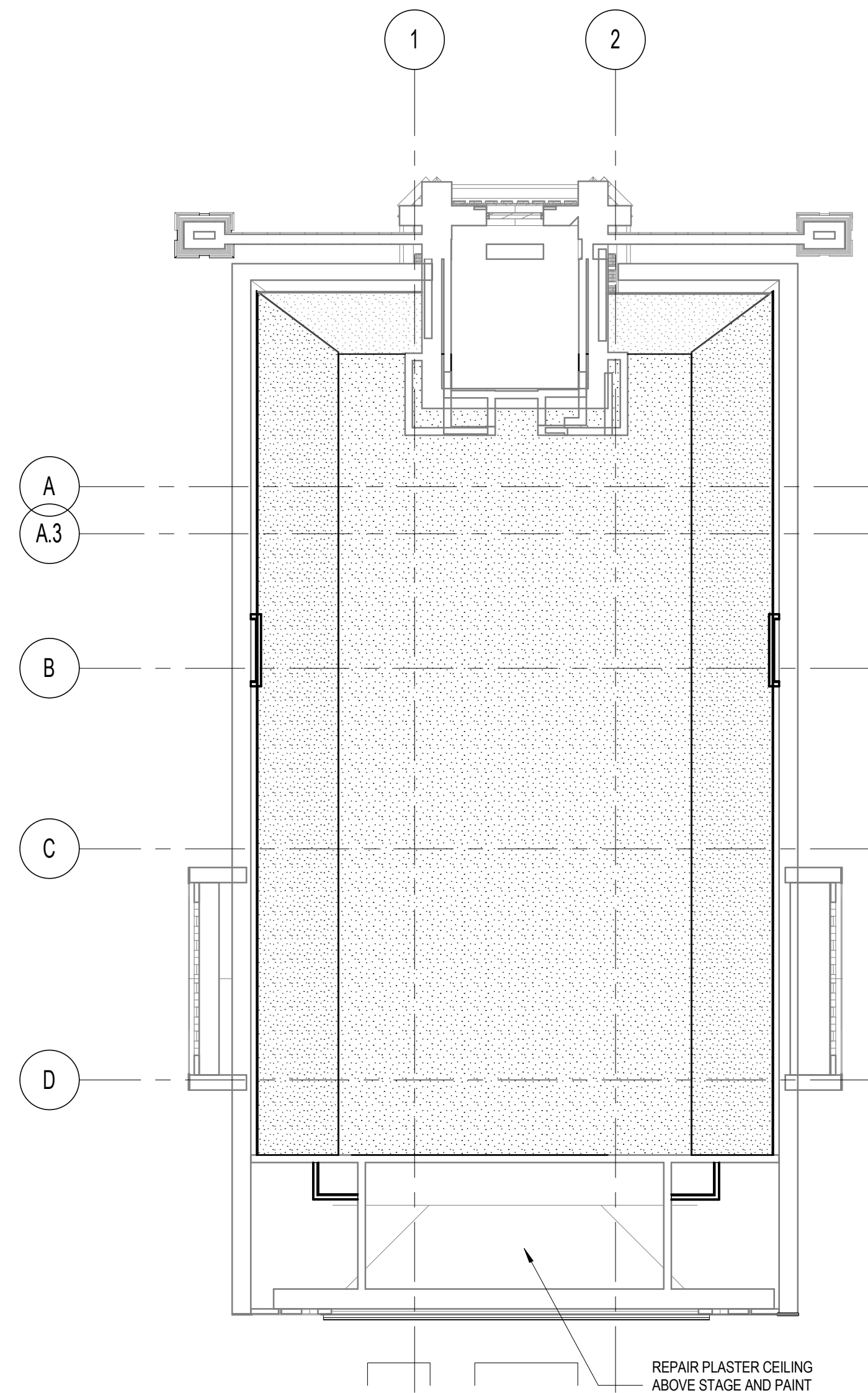
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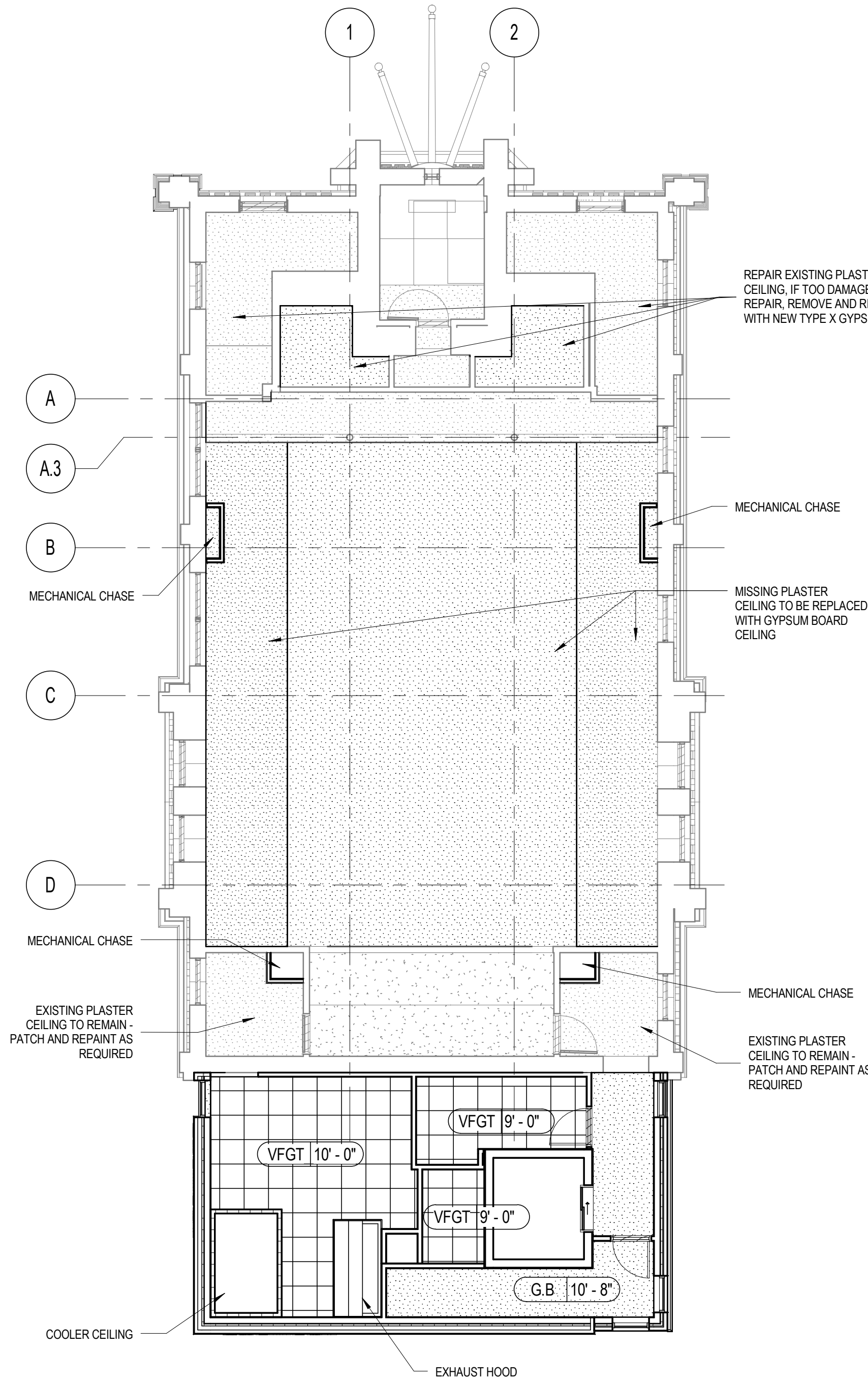
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**REFLECTED
CEILING PLAN**

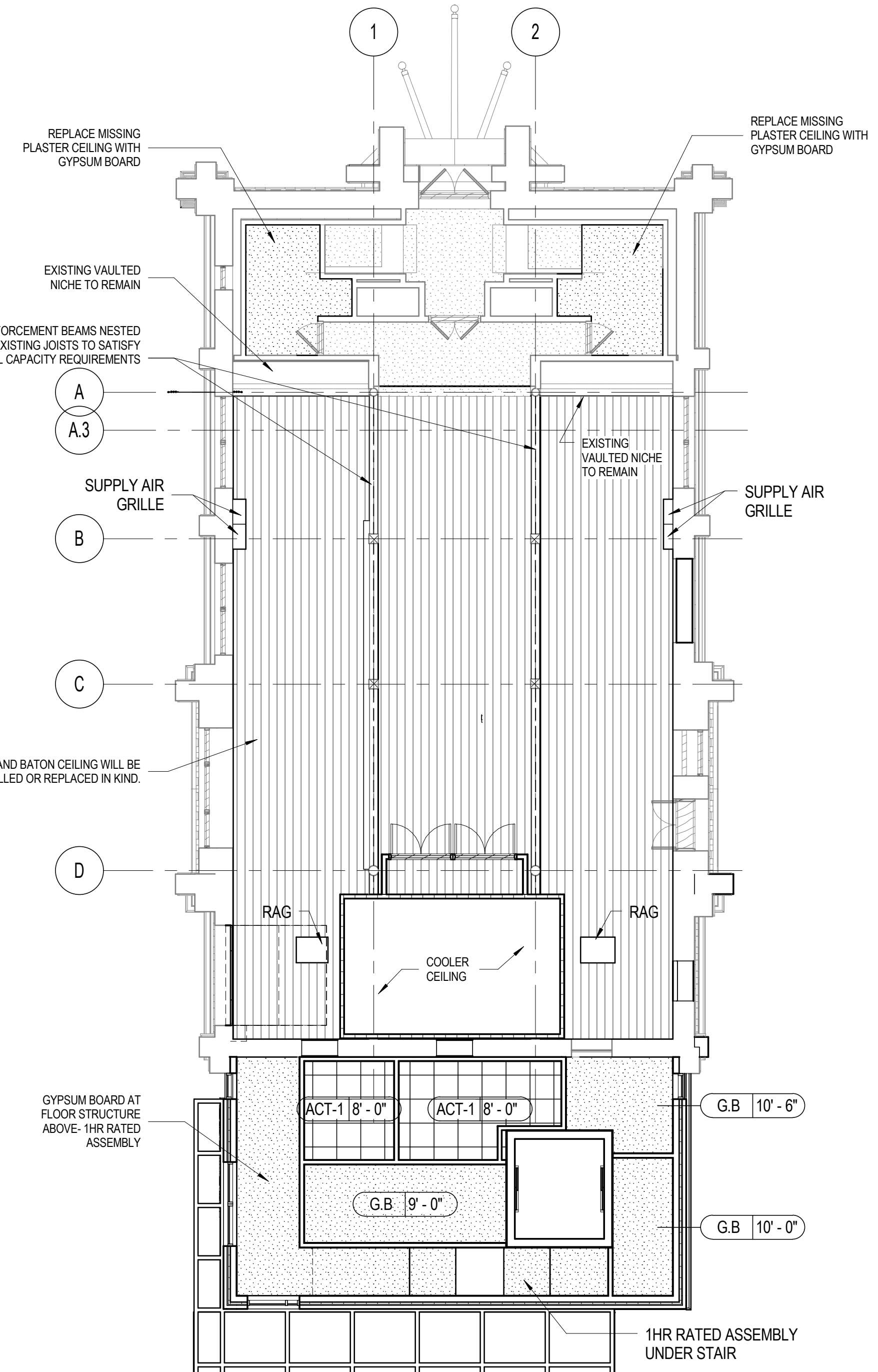
A200



3 MEZZANINE
SCALE: 1/8" = 1'-0"



2 2nd LEVEL
SCALE: 1/8" = 1'-0"



1 LOWER LEVEL REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES - REFLECTED CEILING PLANS

1. IN THE EXISTING HISTORIC BUILDING ALL CEILINGS SHALL BE GYPSUM BOARD FASTENED TO THE UNDERSIDE OF EXISTING JOISTS UNLESS NOTED OTHERWISE. WHERE EXISTING PLASTER IS INTACT AND IN REASONABLE CONDITION, THE EXISTING PLASTER SHALL STAY IN PLACE, GET REPAIRED AND PAINTED.

GRAPHIC SYMBOLS

	2x2 CEILING TILE SYSTEM - CEILING TILE TYPES: ACT ACOUSTICAL CEILING TILE VFGT VINYL FACED GYPSUM TILE
	PAINTED GYP BOARD CEILING
	COOLER CEILING AS PART OF EQUIPMENT
	CEILING MATERIAL AND TYPE CEILING HEIGHT AFF

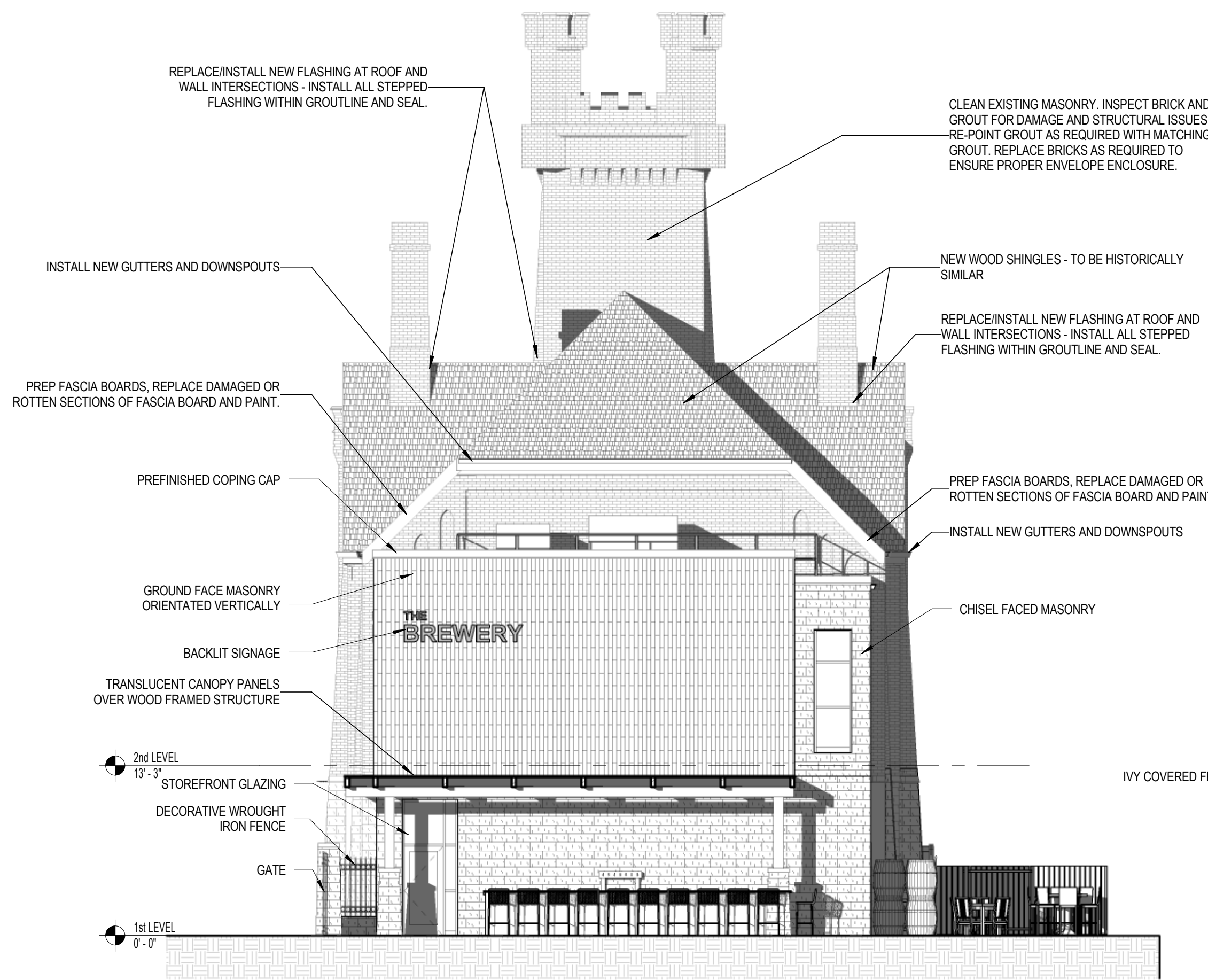
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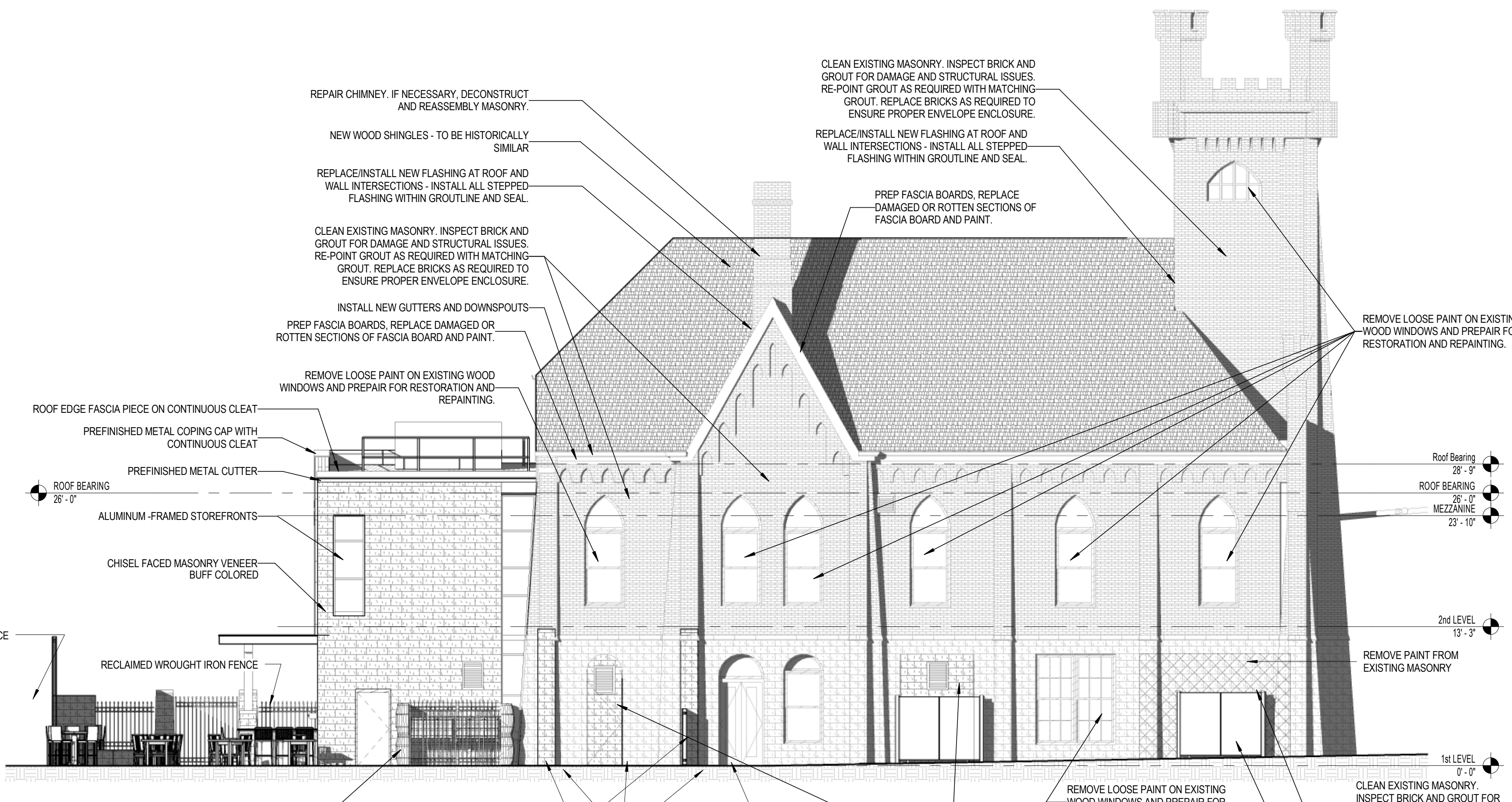
PROJECT NUMBER 152450.00

SEAL

ISSUED FOR:	CPC SBMITTAL	09-02-2015
REVISION FOR:	NO. DESCRIPTION	DATE



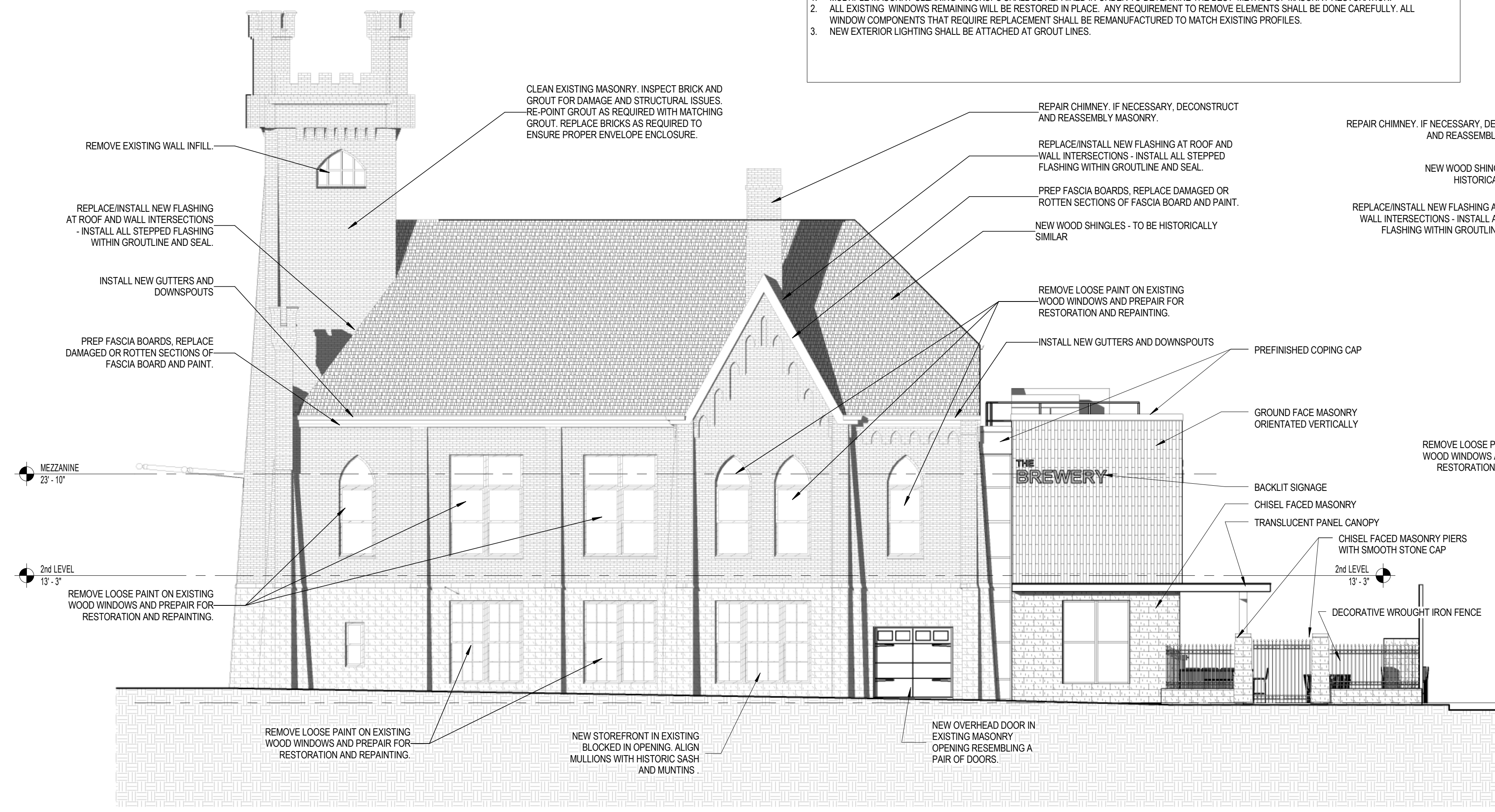
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



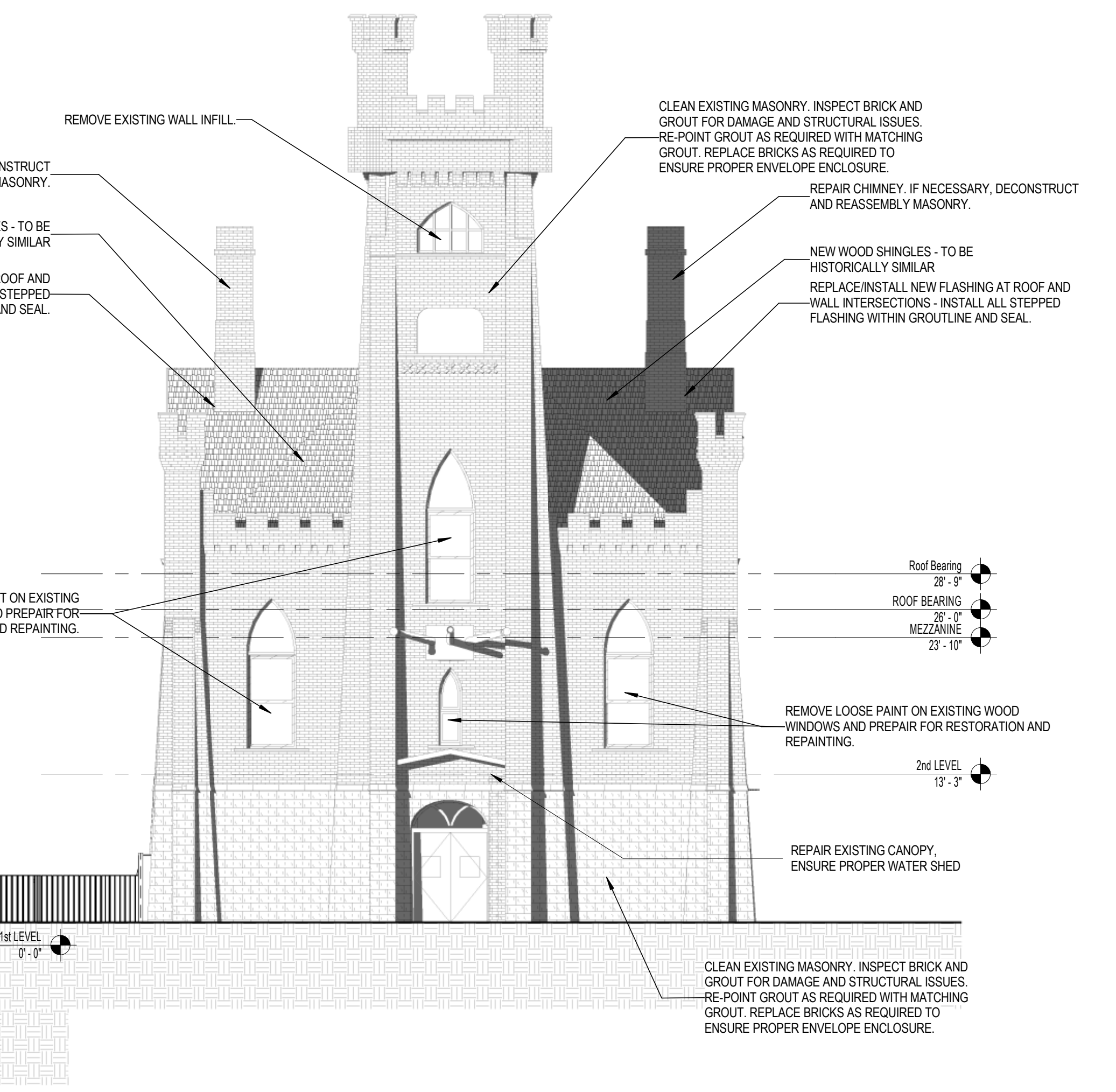
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- MULTIPLE MASONRY CLEANING MOCKUPS SHALL BE REPAIRED IN ORDER TO DETERMINE THE BEST METHOD OF MASONRY RESTORATION.
- ALL EXISTING WINDOWS REMAINING WILL BE RESTORED IN PLACE. ANY REQUIREMENT TO REMOVE ELEMENTS SHALL BE DONE CAREFULLY. ALL WINDOW COMPONENTS THAT REQUIRE REPLACEMENT SHALL BE REMANUFACTURED TO MATCH EXISTING PROFILES.
- NEW EXTERIOR LIGHTING SHALL BE ATTACHED AT GROUT LINES.



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATIONS

DRAWN BY JMR
CHECKED BY ME

BUILDING 23

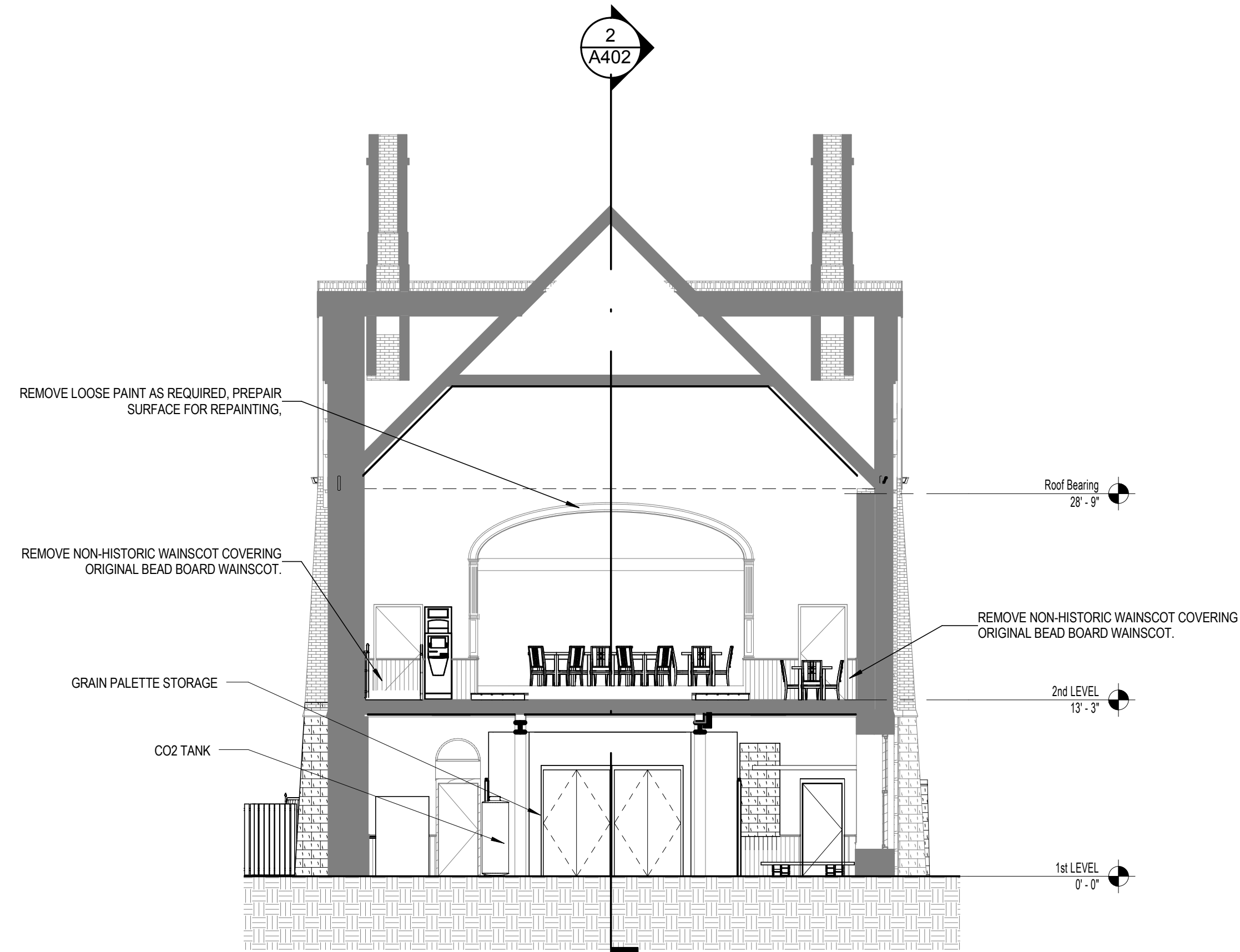
1037 W. JUNEAU AVE.
MILWAUKEE, WI 53233
BLUE RIBBON MANAGEMENT, LLC.
633 W. WISCONSIN AVE.
SUITE 408
Milwaukee, WI 53203

PROJECT NUMBER 152450.00

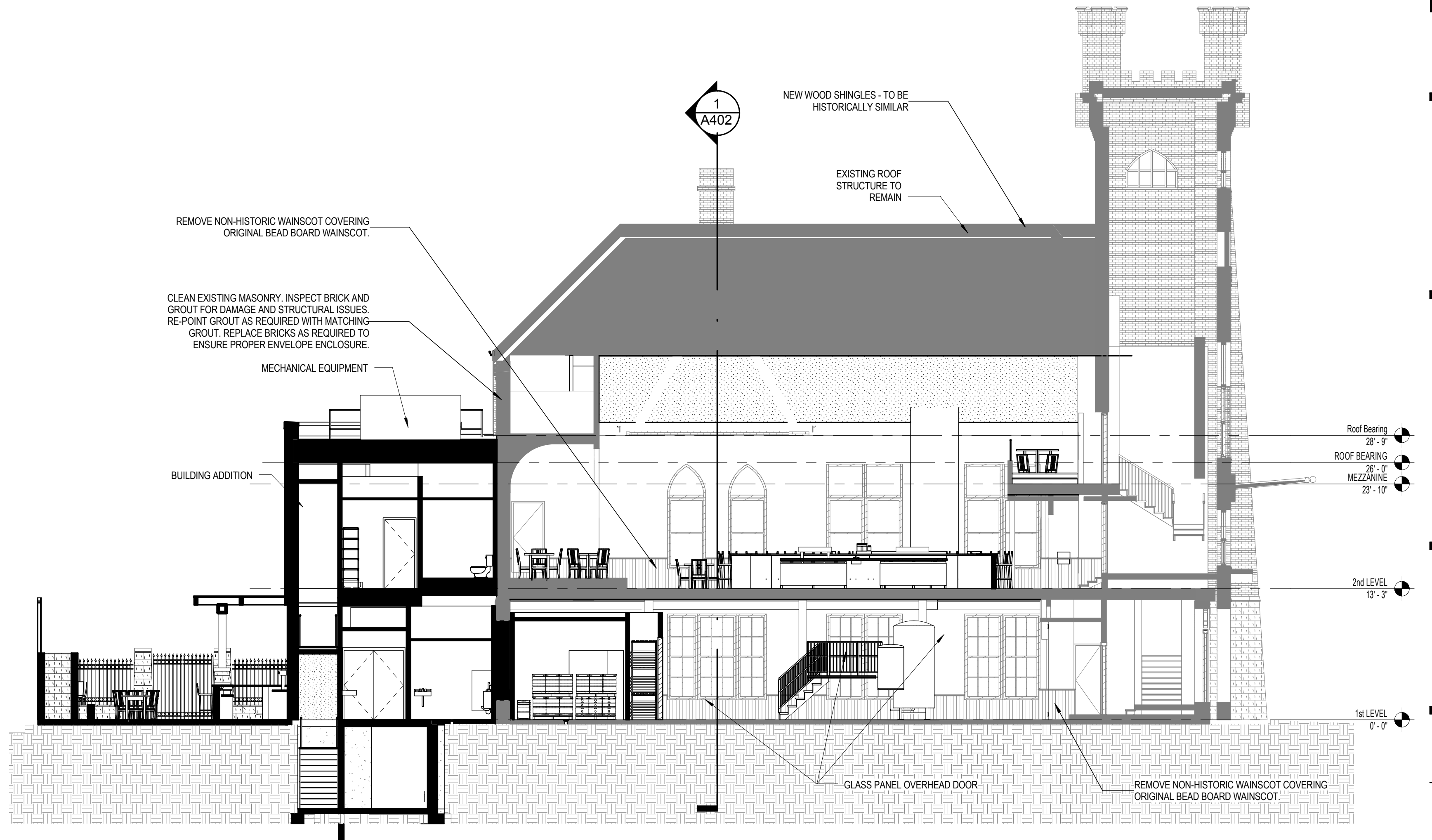
SEAL

ISSUED FOR:
CPC SBMITTAL 09-02-2015

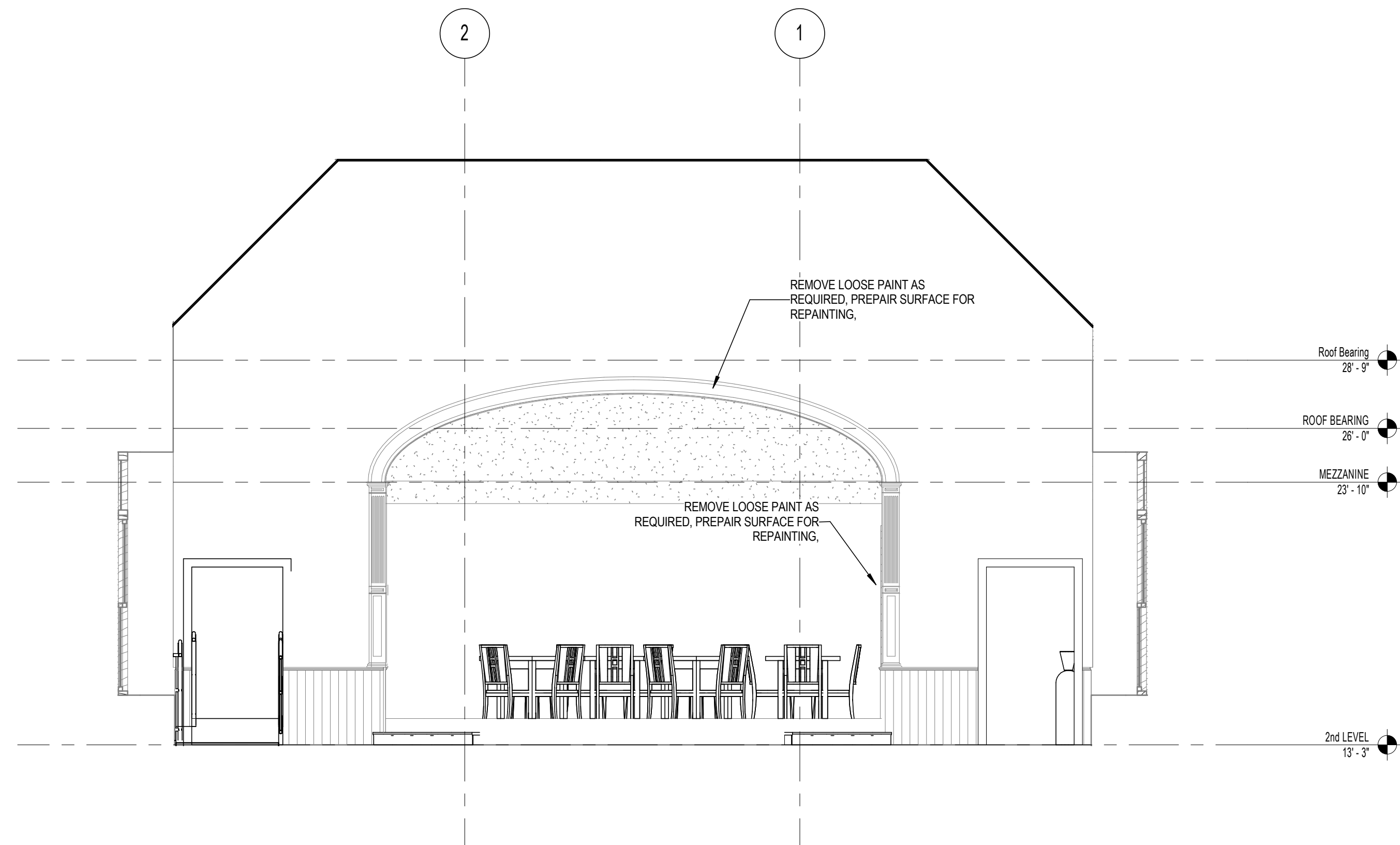
REVISION FOR:
NO. DESCRIPTION DATE



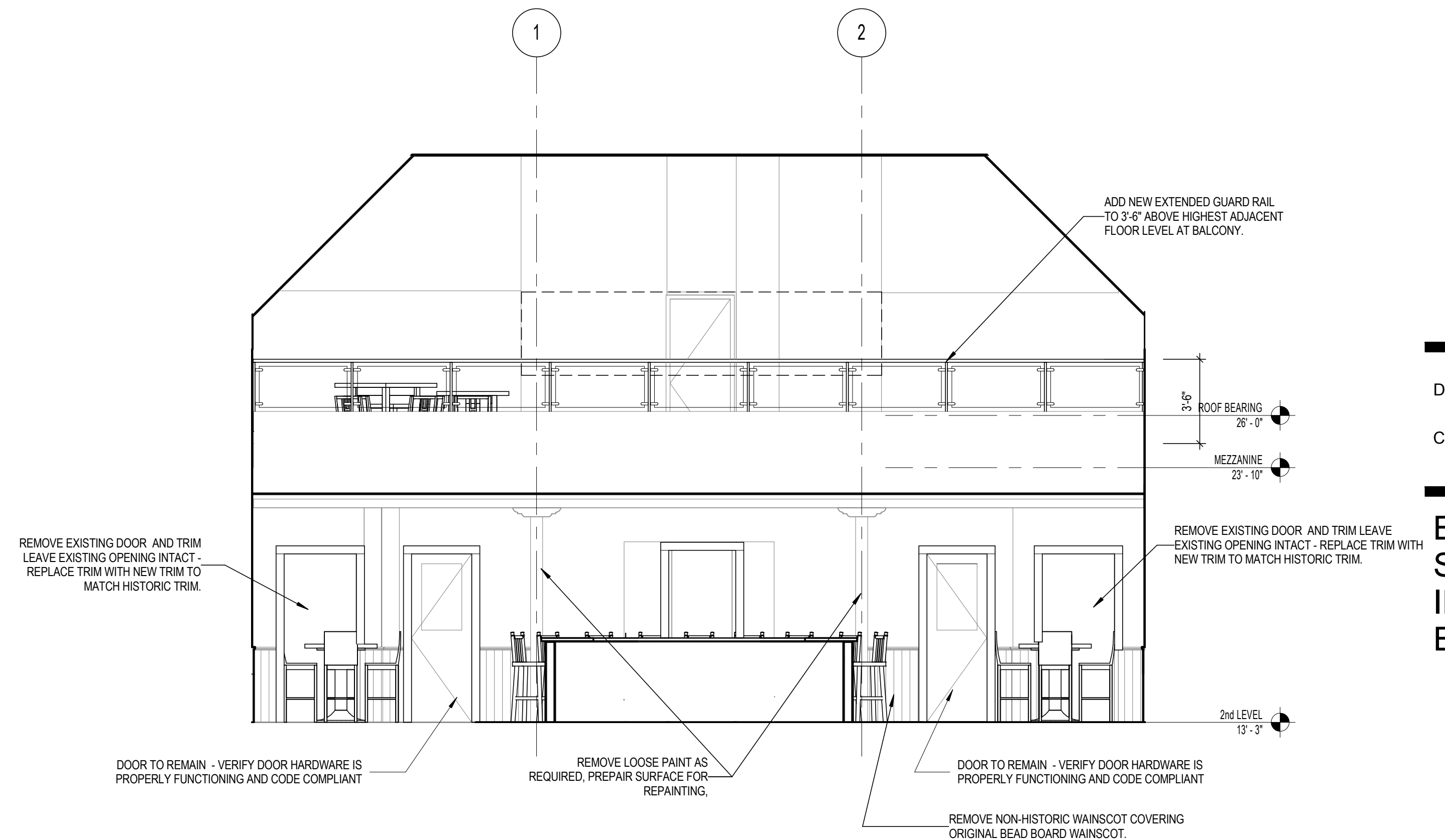
1 BUILDING SECTION LOOKING SOUTH
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION LOOKING WEST
SCALE: 1/8" = 1'-0"



3 ELEVATION OF STAGE
SCALE: 1/4" = 1'-0"



4 ELEVATION AT BALCONY LOOKING NORTH
SCALE: 1/4" = 1'-0"

DRAWN BY JMR

CHECKED BY ME

**BUILDING
SECTIONS AND
INTERIOR
ELEVATIONS**

A402