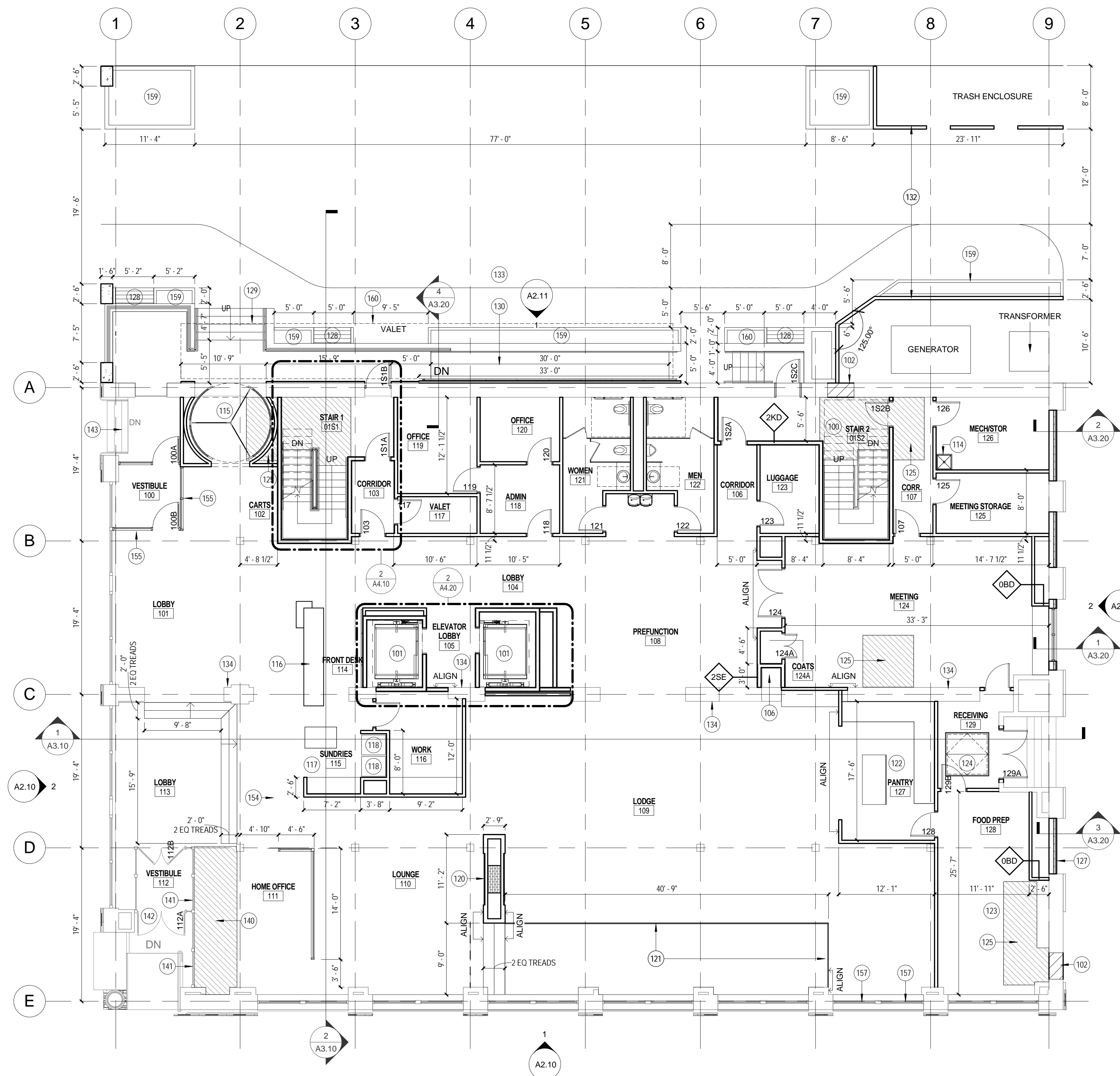


GENERAL NOTES - FLOOR PLAN

- BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN THE HOMEWOOD SUITES BY HILTON DESIGN STANDARDS. PROVIDE APPROPRIATE MATERIALS AND LEVELS OF WORKMANSHIP TO MEET THIS STANDARD.
- VERIFY DIMENSIONS, CONDITIONS AND FINISHES BEFORE PRICING AND/OR PROCEEDING WITH WORK. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS WHETHER SHOWN ON THE DRAWINGS OR NOT, UNLESS NOTED OTHERWISE.
- PROVIDE METAL PLATE BACKING AND/OR FIRE TREATED WOOD BLOCKING IN WALLS WHERE WALL-MOUNTED EQUIPMENT OR ARTWORK IS SHOWN ON PLANS OR ELEVATIONS. VERIFY HEIGHT AND LENGTH WITH ACTUAL EQUIPMENT OR ARTWORK.
- REFER TO ENLARGED PLANS FOR FURTHER DESCRIPTION, DIMENSIONS AND WALL TYPES.
- ALL INTERIOR PARTITIONS TO BE 04D UNLESS OTHERWISE NOTED.

KEYED NOTES

- METAL PAN STAIR WITH CONCRETE TREADS
- PROVIDE ELEVATORS - FINAL HOIST WAY DIMENSIONS TO BE DETERMINED PER MANUFACTURER'S REQUIREMENTS
- INFILL EXISTING OPENING WITH BRICK TO MATCH. ALIGN FINISH FACE OF NEW WALL PARTITION WITH FINISH FACE OF EXISTING WALL PARTITION. PATCH AND REPAIR AS REQUIRED
- LINE CHUTE - COORDINATE FLOOR OPENING WITH STRUCTURAL DRAWINGS
- MOP SINK SEE PLUMBING DRAWINGS
- PROVIDE 10" DIAMETER REVOLVING DOOR ASSEMBLY
- CHECK IN DESK CASEWORK PER HILTON STANDARDS
- SUNDRIES CASEWORK PER HILTON STANDARDS
- FOOD AND BEVERAGE COOLERS BY OTHERS.
- DOUBLE SIDED GAS FIREPLACE. VENT TO EAST EXTERIOR WALL. COORDINATE WITH MEP DRAWINGS.
- RAISED FLOOR FOR LOUNGE SEATING - GLASS PANEL AND METAL RAILING @ PERIMETER
- PANTRY CASEWORK PER HILTON STANDARDS
- FOOD SERVICE EQUIPMENT BY OTHERS
- ALUMINUM FLOOR HATCH. SEE STRUCTURAL DRAWINGS FOR OPENING FRAMING.
- INFILL EXISTING FLOOR SLAB OPENING - SEE STRUCTURAL DWG
- EXHAUST PENETRATION AS REQUIRED FOR LAUNDRY EQUIPMENT. VERIFY SIZE AND LOCATION W/ MECHANICAL.
- WOOD BENCH
- CONCRETE STAIRS WITH GLASS AND METAL RAILINGS
- CONCRETE RAMP WITH GLASS AND METAL RAILINGS
- WOOD SCREEN WALL AROUND ELECTRICAL EQUIPMENT AND TRASH ENCLOSURE
- DROP-OFF LANE
- EXISTING BRICK BEARING WALL TO REMAIN EXPOSED
- NEW RAISED FLOOR TO MATCH EXISTING FIRST FLOOR LEVEL.
- MODIFY EXISTING STOREFRONT TO INSTALL NEW HORIZONTAL MULLION AT 1'-0" A.F.F. INSTALL NEW SPANDREL PANELS BELOW NEW MULLION. INSTALL NEW GLAZING ABOVE NEW MULLION
- REPLACE EXISTING WOOD ENTRY DOORS WITH NEW ALUMINUM DOORS TO MATCH INTERIOR VESTIBULE DOORS. EXISTING ALUMINUM FRAME TO REMAIN.
- PATCH EXISTING CONCRETE STAIR AND STOOP. PROVIDE NEW SEALANT COAT.
- NEW CONCRETE STAIRS - SEE FINISH PLAN FOR FINISHES
- NEW ALUMINUM STOREFRONT ENTRY SYSTEM
- NEW CLEAR INSULATED GLASS IN EXISTING FRAMES
- RAISED CONCRETE PLANTER
- CANOPY OVERHEAD



1 1st FLOOR PLAN
1/8" = 1'-0"

NOT FOR CONSTRUCTION

Revisions

PLAN LEGEND

- FD FLOOR DRAIN
- FEC FIRE EXTINGUISHER CABINET (FEC)
- FE FIRE EXTINGUISHER (FE)
- ALIGN ALIGN FACE OF WALLS
- ♿ INDICATES ACCESSIBLE GUESTROOM
- ♿ INDICATES HEARING IMPAIRED GUESTROOM

DESIGN DEVELOPMENT

Drawing Date
OCTOBER 15, 2015

BUTTON BLOCK BUILDING - HOTEL

500 N. WATER ST.
MILWAUKEE, WI 53202

Project No.
215021.00

Sheet Title
FLOOR PLAN - FIRST FLOOR

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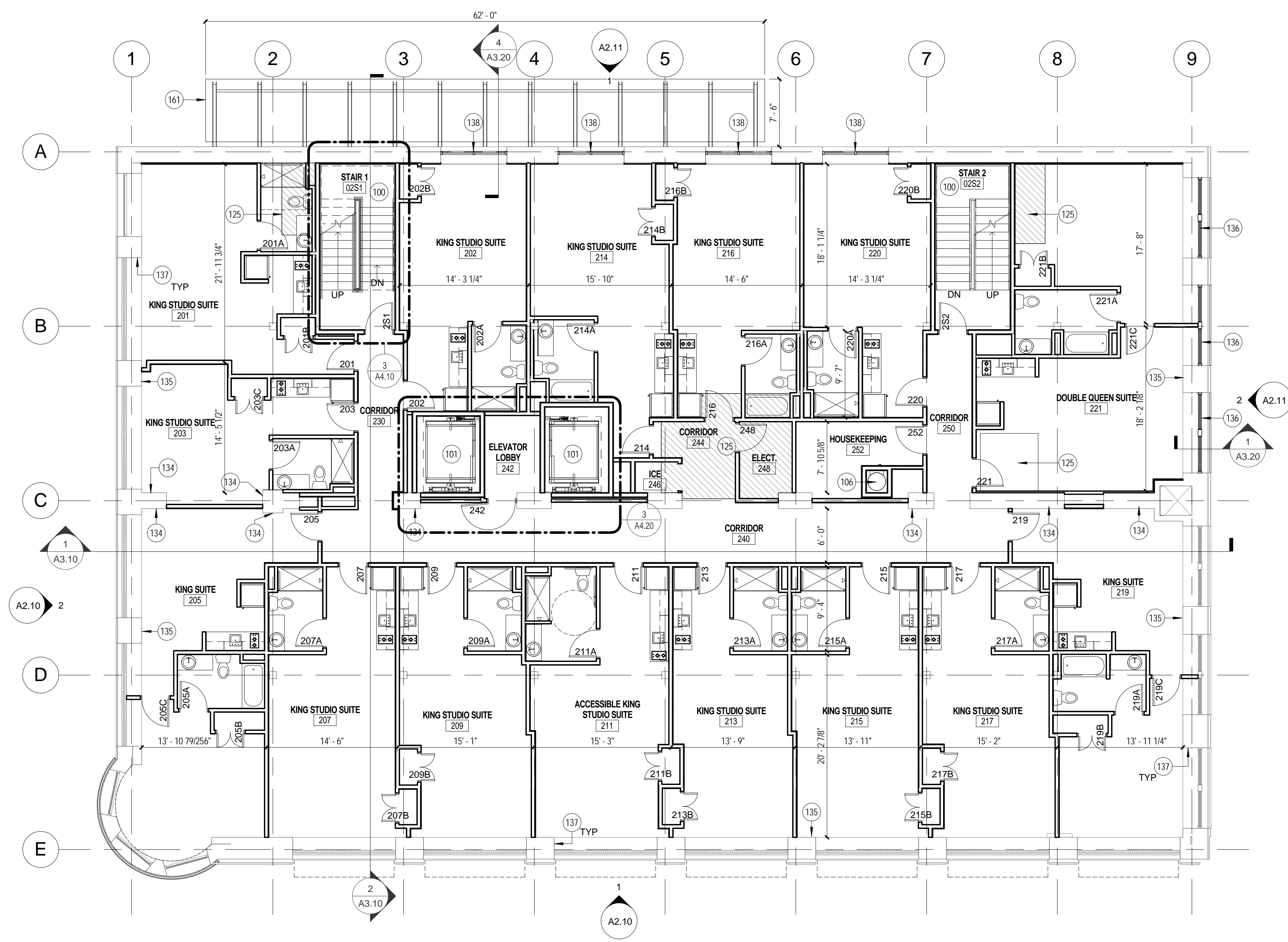
Sheet No.
A1.11

GENERAL NOTES - FLOOR PLAN

- 1 BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN THE HOMEWOOD SUITES BY HILTON DESIGN STANDARDS. PROVIDE APPROPRIATE MATERIALS AND LEVELS OF WORKMANSHIP TO MEET THIS STANDARD.
- 2 VERIFY DIMENSIONS, CONDITIONS AND FINISHES BEFORE PRICING AND/OR PROCEEDING WITH WORK. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- 3 COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- 4 PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS WHETHER SHOWN ON THE DRAWINGS OR NOT, UNLESS NOTED OTHERWISE.
- 5 PROVIDE METAL PLATE BACKING AND/OR FIRE TREATED WOOD BLOCKING IN WALLS WHERE WALL-MOUNTED EQUIPMENT OR ARTWORK IS SHOWN ON PLANS OR ELEVATIONS. VERIFY HEIGHT AND LENGTH WITH ACTUAL EQUIPMENT OR ARTWORK.
- 6 REFER TO ENLARGED PLANS FOR FURTHER DESCRIPTION, DIMENSIONS AND WALL TYPES.
- 7 ALL INTERIOR PARTITIONS TO BE OHD UNLESS OTHERWISE NOTED.

KEYED NOTES

- 100 METAL PAN STAIR WITH CONCRETE TREADS
- 101 PROVIDE ELEVATORS - FINAL HOIST WAY DIMENSIONS TO BE DETERMINED PER MANUFACTURER'S REQUIREMENTS
- 106 LINEN CHUTE - COORDINATE FLOOR OPENING WITH STRUCTURAL DRAWINGS
- 125 INFILL EXISTING FLOOR SLAB OPENING - SEE STRUCTURAL DWG
- 134 EXISTING BRICK BEARING WALL TO REMAIN EXPOSED
- 135 FURR OUT EXISTING WALL TO ALIGN WITH PLANE OF EXISTING PLASTER FURRING REMOVED DURING DEMOLITION
- 136 NEW WINDOW IN EXISTING OPENING. EXTERIOR WOOD TRIM TO REMAIN IN PLACE. SALVAGED WOOD TRIM ON INTERIOR TO BE RE-INSTALLED. WHERE EXISTING WOOD TRIM WAS MISSING OR DAMAGED BEYOND REPAIR, NEW WOOD TRIM TO MATCH IS TO BE INSTALLED
- 137 EXISTING WOOD TRIM SALVAGED FROM DEMO TO BE RE-INSTALLED ON NEW FURRED WALL. WHERE EXISTING WOOD TRIM WAS MISSING OR DAMAGED BEYOND REPAIR, NEW WOOD TRIM TO MATCH IS TO BE INSTALLED
- 138 NEW WINDOWS IN NEW OPENINGS.
- 161 PAINTED STEEL BEAM AND MONOLITHIC GLASS CANOPY - WELDED TO STEEL CHANNEL AND THROUGH-BOLTED TO EXISTING BRICK WALL ASSEMBLY



1 TYPICAL GUEST FLOOR PLAN
1/8" = 1'-0"

NOT FOR CONSTRUCTION

Revisions

DESIGN DEVELOPMENT

Drawing Date
OCTOBER 15, 2015

BUTTON BLOCK BUILDING - HOTEL

500 N. WATER ST.
MILWAUKEE, WI 53202

Project No.
215021.00

Sheet Title
TYPICAL GUEST FLOOR PLAN

PLAN LEGEND

- FD FLOOR DRAIN
- FEC FIRE EXTINGUISHER CABINET (FEC)
- FE FIRE EXTINGUISHER (FE)
- ALIGN ALIGN FACE OF WALLS
- ♿ INDICATES ACCESSIBLE GUESTROOM
- ♻ INDICATES HEARING IMPAIRED GUESTROOM

GUESTROOM TYPE % - TOTAL

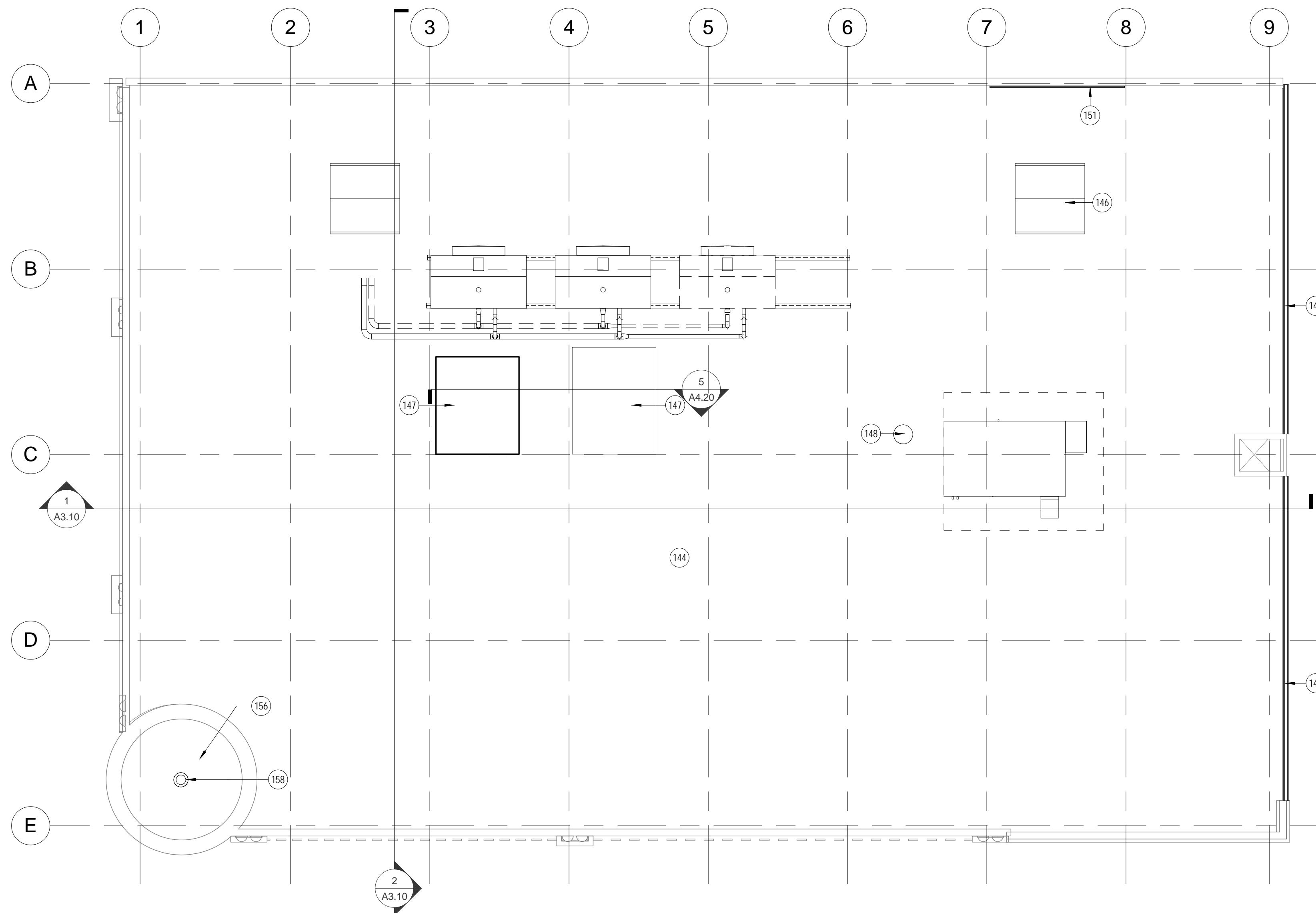
ROOM TYPE	ROOM OCCUPANCY	ROOM COUNT	ROOM TYPE %
DOUBLE QUEEN SUITE	1	1%	
DOUBLE QUEEN SUITE - ADA	1	1%	
KING STUDIO - ADA	3	3%	
KING STUDIO SUITE	77	82%	
KING SUITE	11	12%	
KING SUITE - ADA	1	1%	
	94	100%	

GENERAL NOTES - ROOF PLAN

- 1 COORDINATE LOCATION AND SIZE OF ALL OPENINGS THROUGH ROOF WITH MECHANICAL CONTRACTOR. PROVIDE APPROPRIATE FLASHING AS REQUIRED TO MAKE WATERTIGHT.
- 2 PROVIDE ROOF INSULATION SADDLES AT ANY ROOF INTERFERENCES. SLOPE ON SADDLE TO BE 1/2" PER FOOT.

KEYED NOTES

- 144 ROOF WITH NEW EPDM ROOFING SYSTEM (ROOF ASSEMBLY 1) - PROVIDE MIN R-24 ROOF INSULATION
- 145 PROVIDE NEW GUTTER AND DOWNSPOUTS
- 146 ROOF ACCESS HATCH
- 147 ELEVATOR HOIST WAY ROOF (ROOF ASSEMBLY 2)
- 148 LINEN CHUTE VENT CAP
- 151 GUARDRAIL - 1 1/2" PIPE AT 3'-6" WITH INTERMEDIATE RAIL - MOUNTED TO SIDE OF PARAPET WALL
- 156 REPLACE EXISTING ASPHALT SHINGLES OF TURRET ROOF WITH NEW SIMILAR SHINGLES.
- 158 NEW 10' FLAGPOLE SECURELY MOUNTED IN TURRET ROOF FRAMING.



1 08 - ROOF PLAN
1/8" = 1'-0"

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Revisions

DESIGN DEVELOPMENT

Drawing Date
OCTOBER 15, 2015

BUTTON BLOCK BUILDING - HOTEL

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Sheet Title
ROOF PLAN

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A1.15

ASSEMBLIES AND COMPONENTS

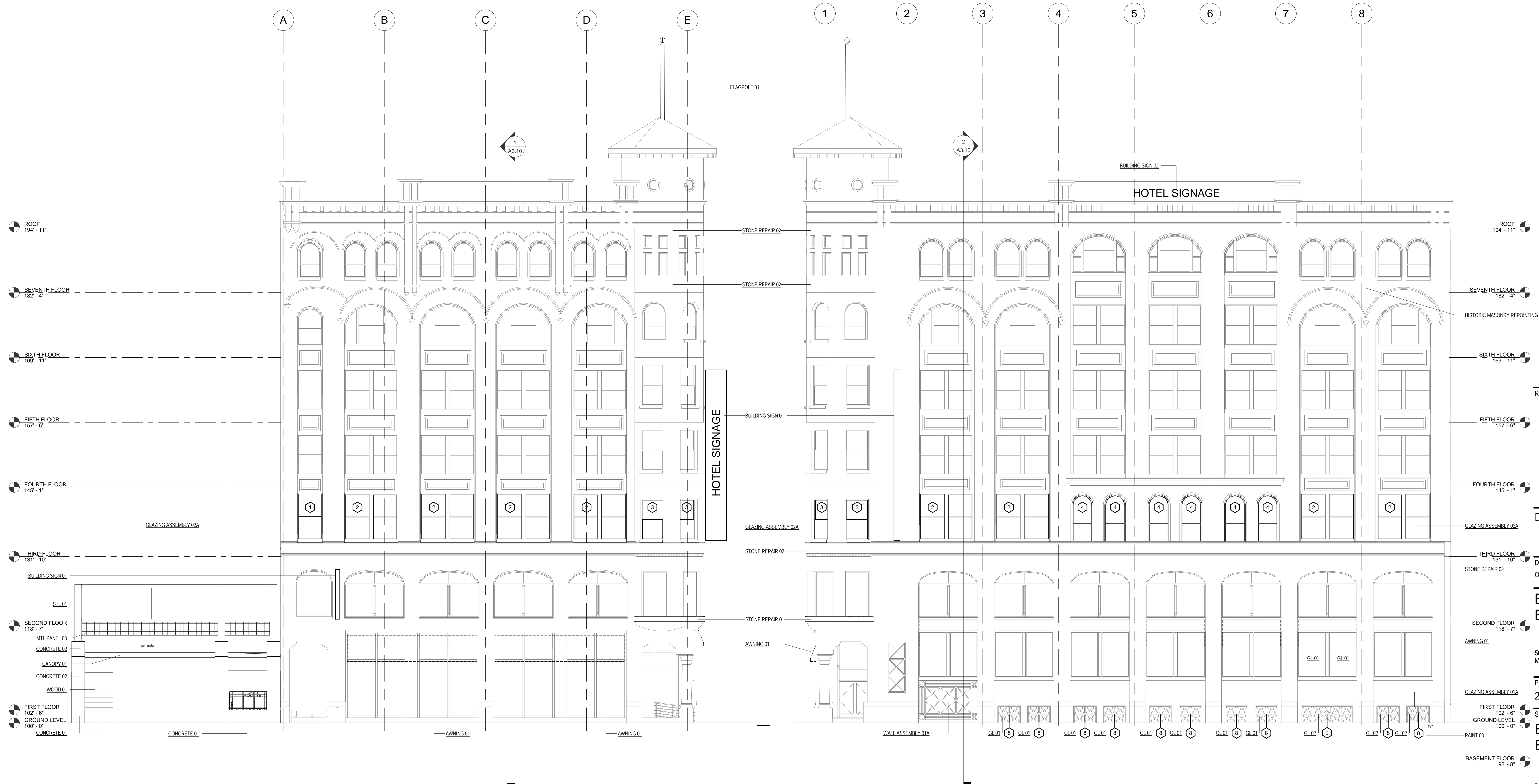
AWNING 01	AWNINGS - NEW FABRIC AWNING OVER EXISTING METAL FRAME
BUILDING SIGN 01	BUILDING MOUNTED SIGNAGE - BLADE SIGN
BUILDING SIGN 02	BUILDING MOUNTED SIGNAGE - STEEL TUBE AND PLATE CANOPY WITH EDGE-CLAMPED OF POINT-SUPPORTED GLASS DECKING
CANOPY 01	STEEL TUBE AND PLATE CANOPY WITH EDGE-CLAMPED OF POINT-SUPPORTED GLASS DECKING
CONCRETE 01	CAST-IN-PLACE CONCRETE - BOARD-FORM FINISH
CONCRETE 02	CAST-IN-PLACE CONCRETE - SMOOTH FINISH
FLAGPOLE 01	ALUMINUM FLAGPOLE
GL 01	GLAZING - 1" IGU - VISION - GLAZING ASSEMBLY 01A/02A
GL 02	GLAZING - 1" IGU - SPANDREL - GLAZING ASSEMBLY 01A/02A
GLAZING ASSEMBLY 01A	STOREFRONT - 6" CENTER-GLAZED FRAMING w/1" INSULATED GLAZING UNITS COLOR TBD
GLAZING ASSEMBLY 02A	ALUMINUM WINDOW - SINGLE-HUNG OFFSET CONFIGURATION w/ 1" INSULATED GLAZING UNITS RE-POINT BRICK AS REQUIRED. JOINTS TO MATCH EXISTING.
HISTORIC MASONRY REPOINTING	PERFORATED METAL PANEL - COLOR TBD
MTL PANEL 03	EXTERIOR PAINTING - EXISTING METAL SECURITY SCREEN - BRONZE TO MATCH WINDOW TRIM FINISH
PAINT 03	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL FRAMING w/ HIGH PERFORMANCE COATING SEE STRUCTURAL DRAWINGS
STL 01	STONE REPAIR - STONE REMOVAL AND REPLACEMENT
STONE REPAIR 01	STONE REPAIR - STONE PATCHING
STONE REPAIR 02	METAL COMPOSITE MATERIAL WALL PANELS - COLD FORMED METAL FRAMING BACK UP
WALL ASSEMBLY 01A	LUMBER SIDING - WOOD SLAT SCREEN WALL
WOOD 01	



④ VIEW FACING NORTHWEST



③ VIEW FACING NORTHEAST



② WEST ELEVATION
1/8" = 1'-0"

① SOUTH ELEVATION
1/8" = 1'-0"

NOT FOR CONSTRUCTION

Revisions

DESIGN DEVELOPMENT

Drawing Date
OCTOBER 15, 2015

BUTTON BLOCK BUILDING - HOTEL

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Project No.
215021.00

Sheet Title
EXTERIOR ELEVATIONS

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Sheet No.
A2.10

ASSEMBLIES AND COMPONENTS

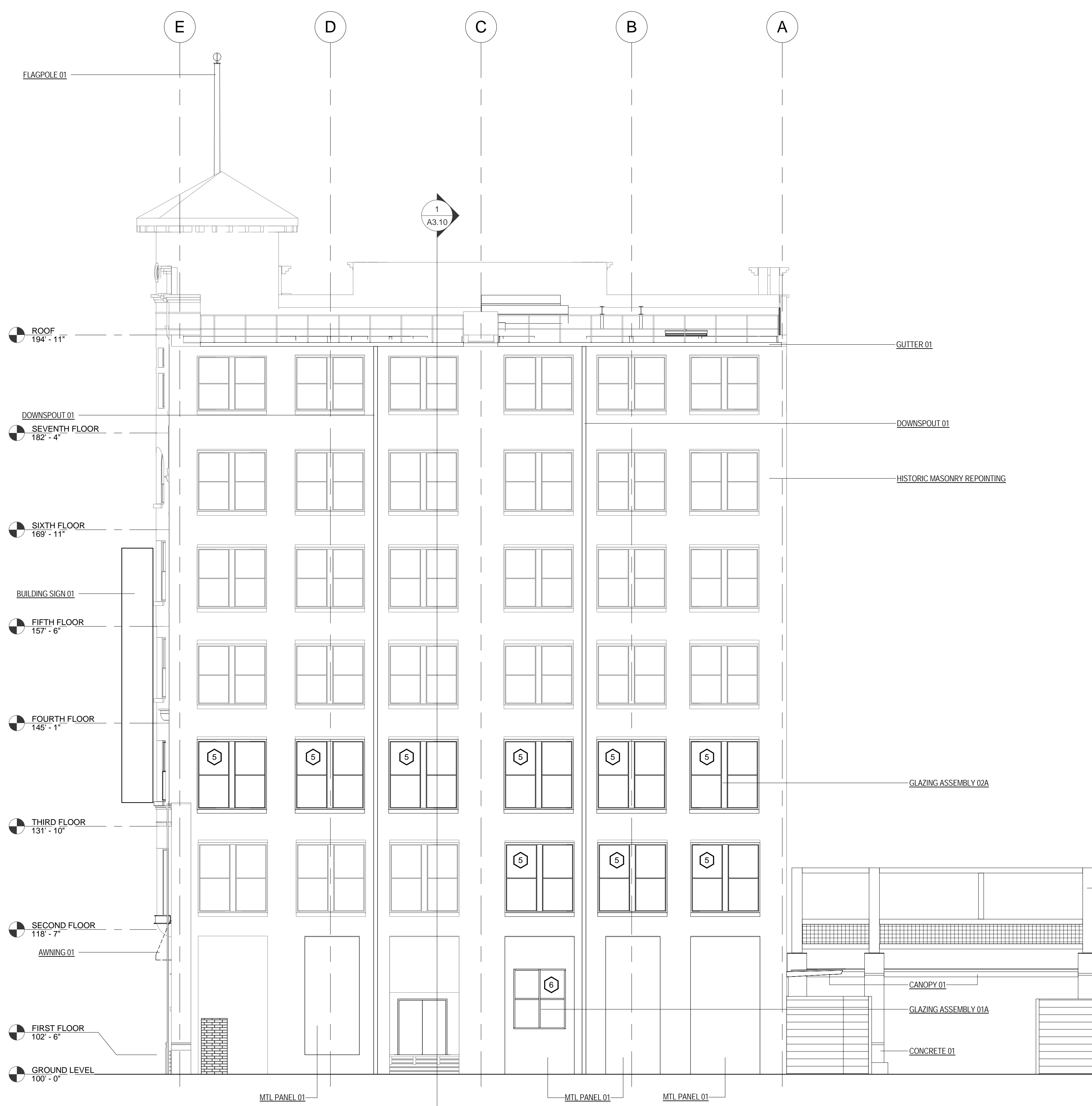
AWNING 01	AWNINGS - NEW FABRIC AWNING OVER EXISTING METAL FRAME
BRICK 01	HISTORIC BRICK UNIT MASONRY REPAIR - INFILL OPENING W/ BRICK TO MATCH EXISTING
BUILDING SIGN 01	BUILDING MOUNTED SIGNAGE - BLADE SIGN
CANOPY 01	STEEL TUBE AND PLATE CANOPY WITH EDGE-CLAMPED OF POINT-SUPPORTED GLASS DECKING
CONCRETE 01	CAST-IN-PLACE CONCRETE - BOARD-FORM FINISH
CONCRETE 02	CAST-IN-PLACE CONCRETE - SMOOTH FINISH
DOWNSPOUT 01	ROOF SPECIALTIES
FLAGPOLE 01	ALUMINUM FLAGPOLE
GLAZING ASSEMBLY 01A	STOREFRONT - 6" CENTER-GLAZED FRAMING W/1" INSULATED GLAZING UNITS COLOR TBD
GLAZING ASSEMBLY 02A	ALUMINUM WINDOW - SINGLE-HUNG OFFSET CONFIGURATION W/1" INSULATED GLAZING UNITS ROOF SPECIALTIES
GUTTER 01	RE-POINT BRICK AS REQUIRED. JOINTS TO MATCH EXISTING.
HISTORIC MASONRY REPOINTING	MECHANICAL LOUVER
LOUVER 01	METAL COMPOSITE MATERIAL WALL PANELS - COLOR TBD
MTL PANEL 01	METAL COMPOSITE MATERIAL WALL PANELS - COLOR TBD
MTL PANEL 02	METAL COMPOSITE MATERIAL WALL PANELS - COLOR TBD
MTL PANEL 03	PERFORATED METAL PANEL - COLOR TBD
RAILING 02	GLASS PANEL WITH PAINTED STEEL POSTS, HAND AND GUARD RAILS
STL 01	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL FRAMING W/ HIGH PERFORMANCE COATING SEE STRUCTURAL DRAWINGS
WOOD 01	LUMBER SIDING - WOOD SLAT SCREEN WALL
WOOD 02	IPE WOOD BENCH



4 SCREEN WALL VIEW FACING SOUTHEAST



3 CANOPY VIEW FACING SOUTHEAST



2 EAST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

NOT FOR CONSTRUCTION

Revisions

DESIGN DEVELOPMENT

Drawing Date
OCTOBER 15, 2015

BUTTON BLOCK BUILDING - HOTEL

500 N. WATER ST.
MILWAUKEE, WI 53202

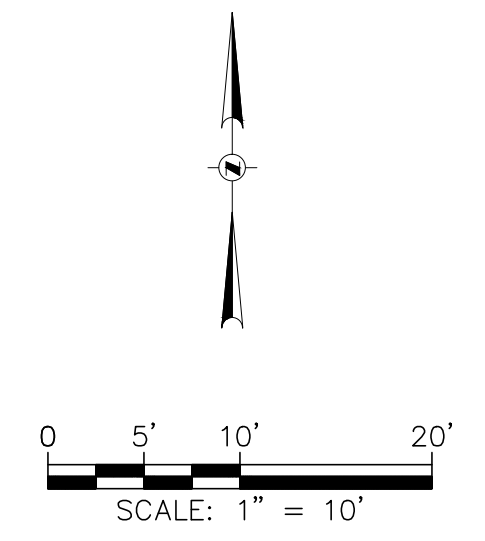
Project No.
215021.00

Sheet Title
EXTERIOR ELEVATIONS

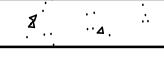
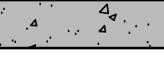
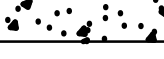

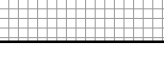



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LEGEND

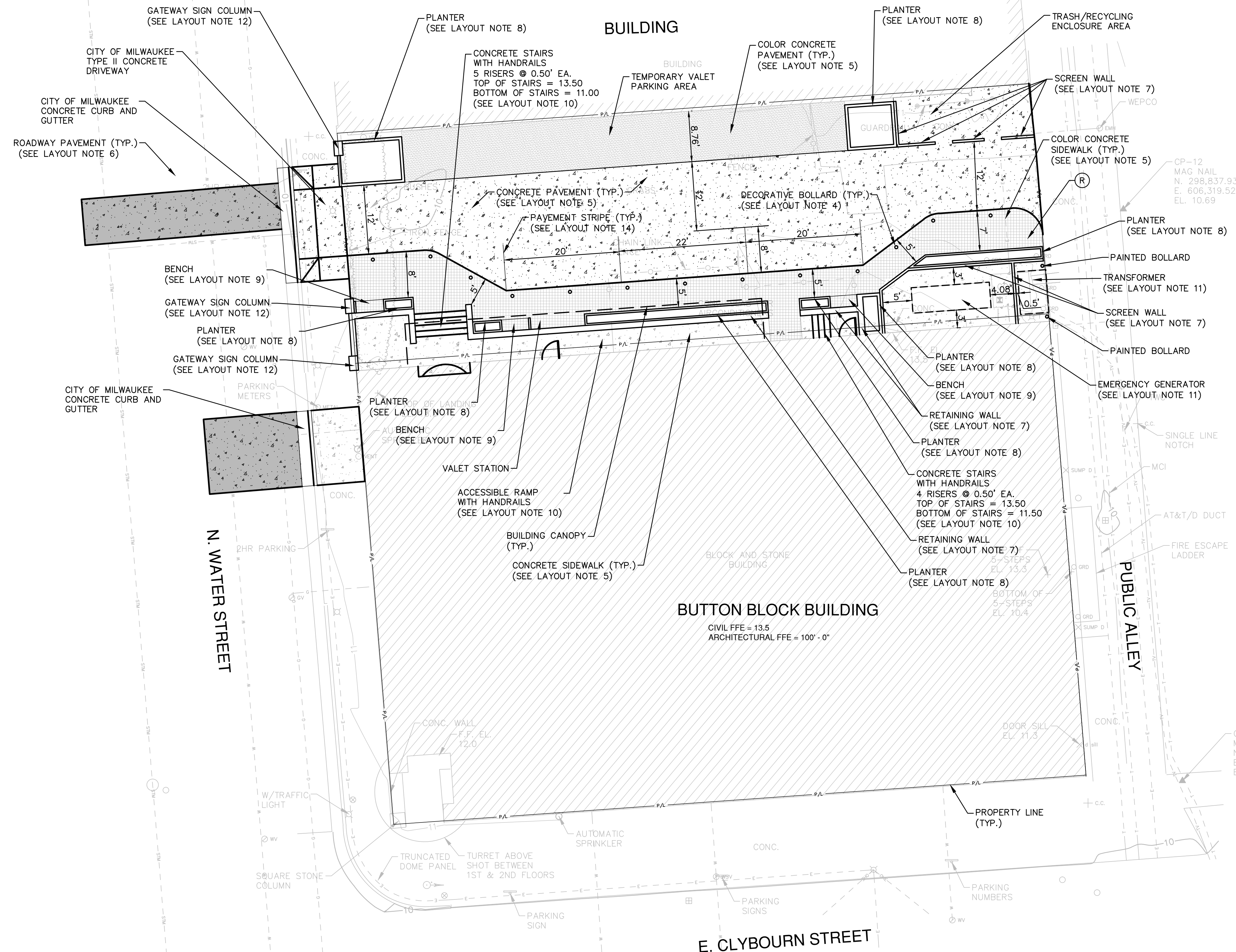
-  - CONCRETE PAVEMENT
-  - ROADWAY PAVEMENT
-  - CONCRETE SIDEWALK
-  - COLORED CONCRETE PAVEMENT
-  - COLORED CONCRETE SIDEWALK
-  - CITY OF MILWAUKEE 31" CONCRETE CURB AND GUTTER
-  - TRUNCATED DOME PANELS
-  - PAINTED BOLLARD / DECORATIVE BOLLARD

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN MAY 2015. UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. REFER TO SHEET CO.01 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.

LAYOUT NOTES

1. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CURB AND GUTTER IS SHOWN.
2. THE BUILDING OUTLINE SHOWN IS FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES.
3. PUBLIC SIDEWALK RAMPS AND DRIVEWAY APPROACH SHALL CONFORM WITH THE CITY OF MILWAUKEE STANDARDS.
4. REFER TO ARCHITECTURAL PLANS FOR DETAIL DESIGN INFORMATION ON DECORATIVE BOLLARDS.
5. PROVIDE ENGINEER WITH A CONCRETE PAVING AND JOINTING PLAN FOR REVIEW AND APPROVAL PRIOR TO STARTING WORK. CONTRACTOR SHALL INDICATE POUR SEQUENCE, AND LOCATION OF CONSTRUCTION, CONTRACTION, AND ISOLATION JOINTS FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK.
6. REMOVE AND REPLACE ROADWAY PAVEMENT WITH PAVEMENT OF LIKE KIND AND GRADE IN A MANNER TO MATCH EXISTING GRADES AND ENSURE POSITIVE DRAINAGE.
7. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR DETAIL DESIGN INFORMATION ON RETAINING WALL AND SCREEN WALLS.
8. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR DETAIL DESIGN INFORMATION ON PLANTERS AND THE LANDSCAPE PLANS FOR DETAIL DESIGN INFORMATION ON PLANTS AND PLANTING MEDIA.
9. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR DETAIL DESIGN INFORMATION ON BENCHES.
10. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR DETAIL DESIGN INFORMATION ON CONCRETE STAIRS AND HANDRAILS FOR THE STAIRS AND THE ACCESSIBLE RAMP.
11. REFER TO MECHANICAL/ELECTRICAL PLANS FOR DETAIL DESIGN INFORMATION ON THE TRANSFORMER, EMERGENCY GENERATOR, AND THEIR RESPECTIVE CONCRETE PADS.
12. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR DETAIL DESIGN INFORMATION ON THE GATEWAY SIGN.
13. TRUNCATED DOME PANELS SHALL BE NATURAL IRON COLOR AND WEATHERED A MINIMUM OF ONE YEAR.
14. ALL PAVEMENT STRIPING SHALL BE WHITE IN COLOR.



NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

NOT FOR CONSTRUCTION

Revisions

DESIGN DEVELOPMENT

Drawing Date
OCTOBER 14, 2015

BUTTON BLOCK - BUILDING HOTEL

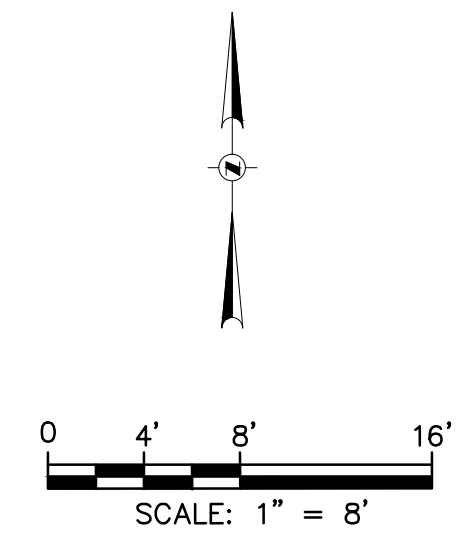
500 N. WATER ST.
MILWAUKEE, WI

Project No.
215021.00

Sheet Title
SITE LAYOUT PLAN

LANDSCAPE LEGEND

- LIMIT OF LANDSCAPE CONSTRUCTION
- ORNAMENTAL TREE
- ORNAMENTAL GRASS
- PERENNIALS
- ▨ SEASONAL ANNUALS BY OWNER



GENERAL NOTES

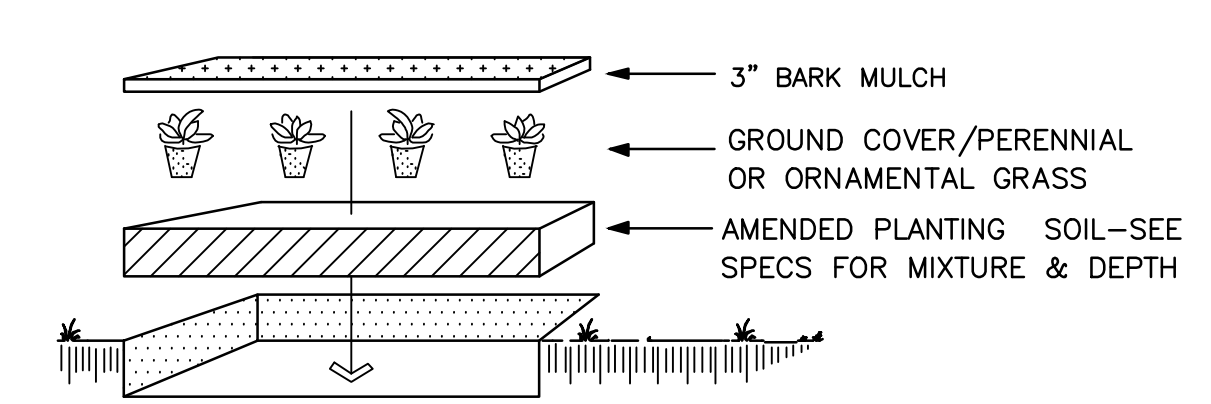
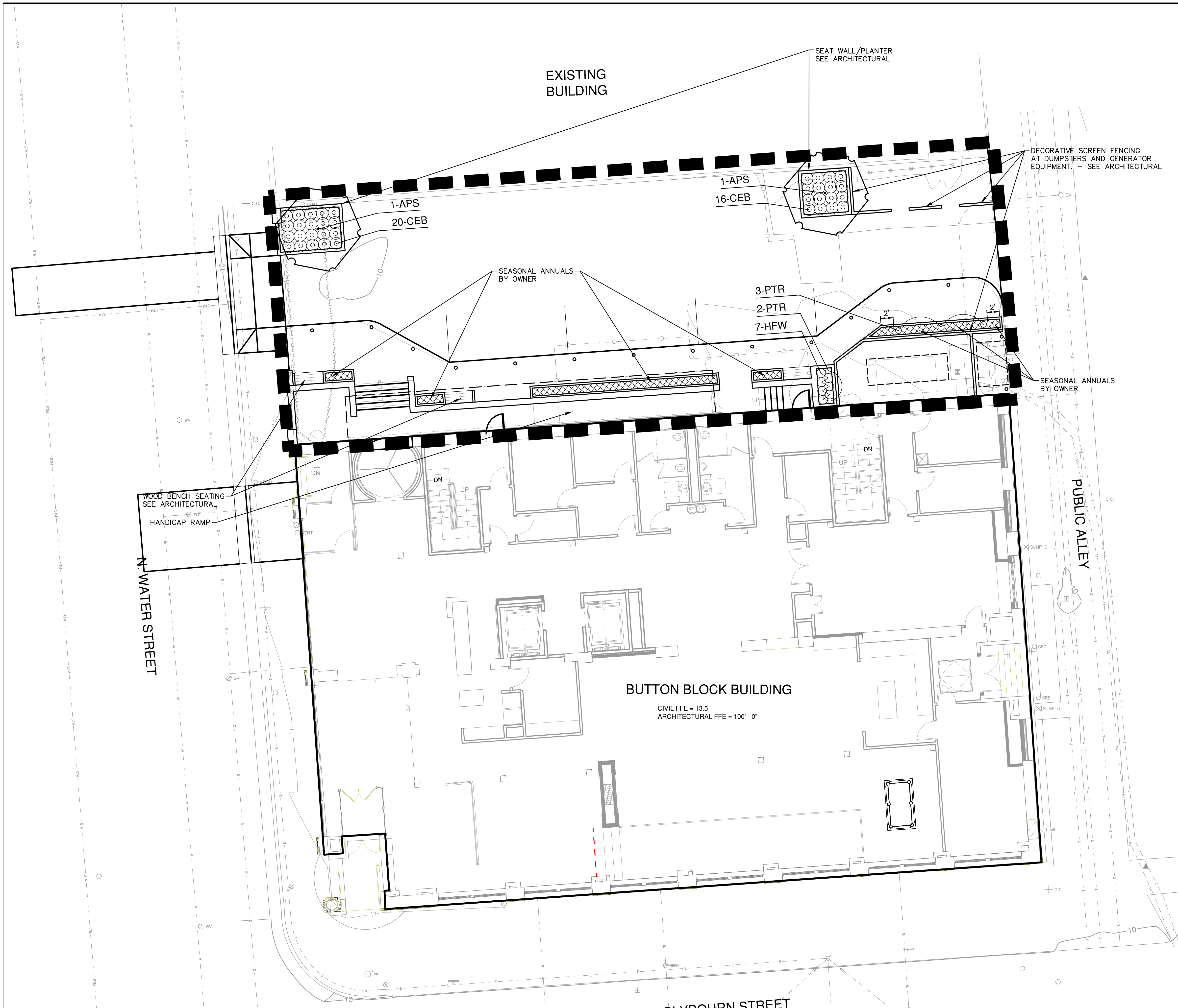
1. THE BASE SURVEY WAS PREPARED BY GRAEF IN MAY 2015. UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THEREOF.
2. REFER TO SHEET CO.01 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.

PLANT LIST

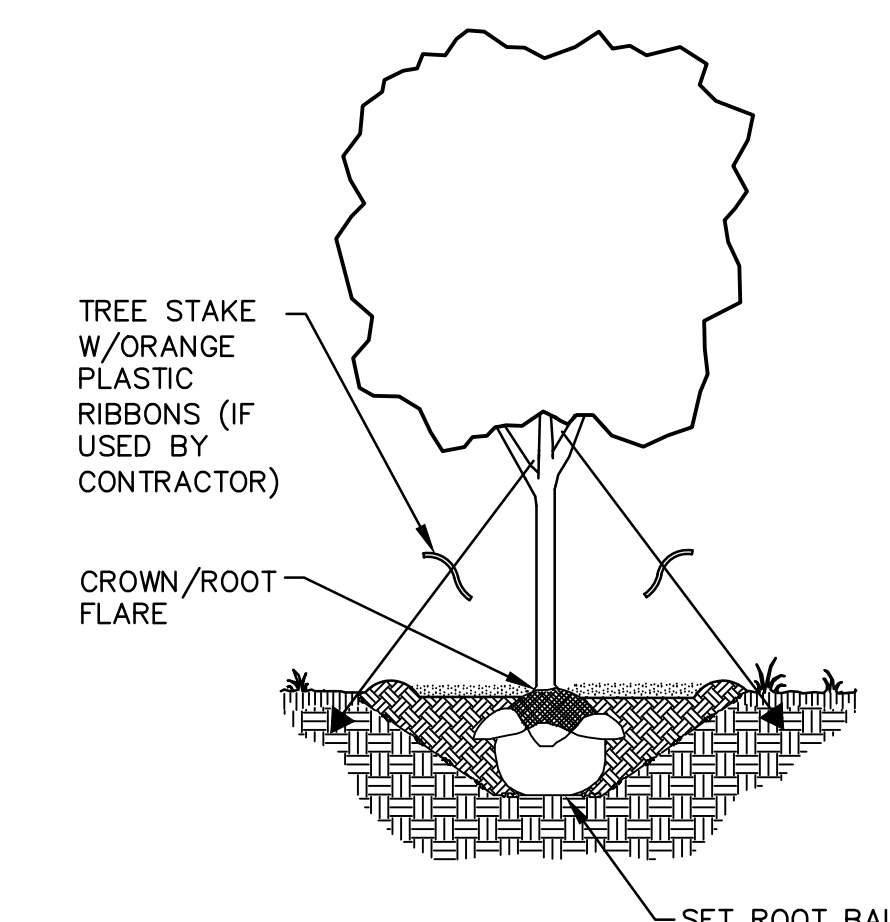
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE SIZE
ORNAMENTAL TREES					
APS	Acer pseudo-sieboldiana	Korean Maple	8'-10' clump BB	as shown	20H x 15W
PERENNIALS					
HFW	Hosta sieboldiana 'Frances Williams'	Frances Williams Hosta	1 gal.	24"	30"h x 24"w
ORNAMENTAL GRASSES & SEDGES					
CEB	Carex elata 'Bowles Golden'	Bowles Golden Sedge	1 gal.	24"	24"h x 24"w
VINES/CLIMBERS					
PTR	Parthenocissus tricuspidata	Boston Ivy	1 gal.	as shown	30'-50' tall

LANDSCAPING NOTES:

1. BECOME AWARE OF ALL RELATED EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH ALL EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO, THE LIMITS OF CONSTRUCTION. DIGITAL COPIES OF PHOTOGRAPHS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE SUBMITTAL PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. CONTACT ALL UTILITY COMPANIES FOR FIELD LOCATION OF ALL PUBLIC UNDERGROUND UTILITY LINES, INCLUDING DEPTHS OF SAID, WITHIN THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE OWNER'S REPRESENTATIVE FOR FIELD LOCATION OF ALL PRIVATE UTILITIES WITHIN THE LIMITS OF CONSTRUCTION. LANDSCAPE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY AND ALL COST OR OTHER LIABILITIES INCURRED DUE TO DAMAGE OF SAID UTILITIES/STRUCTURES/ETC.
4. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS APPARENT THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR CLARIFICATION. THE LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL LIABILITIES, INCLUDING NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
5. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF SITE CONDITIONS, BOTH SURFACE AND SUBSURFACE. NO EXTRA PAYMENT SHALL ACCRUE BY VIRTUE OF UNKNOWN CONDITIONS FOR DIFFICULTIES IN PERFORMING THE CONTRACTED SCOPE OF WORK.
6. COORDINATE WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH LANDSCAPE WORK, PLANTING WORK, AND RELATED OPERATIONS WITHIN THE CONTRACTED SCOPE.
7. REFER TO GEOTECHNICAL REPORT FOR INFILTRATION AND SOIL TYPES / CONDITIONS.
8. SEE SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, SOIL TESTING, MATERIALS, EXECUTION AND PLANT PROTECTION, PLANT STAKING METHODS, PLANT PIT DIMENSIONS, BACKFILL AND OTHER RELATED REQUIREMENTS.
9. THE ACCEPTABLE TOLERANCES FOR THIS PROJECT ARE MINIMAL AND SPECIFIC LAYOUT IS REQUIRED AS SHOWN ON THE LAYOUT, PLANTING, AND OTHER PLANS. PLANTS SHALL BE SPACED AS PER PLANS.
10. PLANT NAMES MAY BE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR SYMBOLS, ABBREVIATIONS, BOTANICAL/COMMON NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS.
11. FURNISH ALL PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. MAINTAIN AND WARRANT ALL PLANT MATERIALS PER THE SPECIFICATIONS FOR ONE COMPLETE GROWING SEASON FOLLOWING INSTALLATION AND OWNER'S ACCEPTANCE. ALL PLANTS SHALL BE SUBJECT TO OWNER'S ACCEPTANCE PRIOR TO INSTALLATION.
12. ALL PLANT BEDS AND TREE PLANTING PITS ARE TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH AS DEFINED IN WRITTEN SPECIFICATIONS.
13. FORM 72-INCH, OR AS OTHERWISE INDICATED, WATERING BASIN AROUND ALL TREES NOT INSTALLED IN PAVED AREAS.
14. FINE GRADE, RAKE AND BE RESPONSIBLE FOR POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND THROUGHOUT SITE WITHIN THE LIMITS OF CONSTRUCTION, WITH ACCURATELY SET FLOW LINES. NO LOW SPOTS OR PONDING OF SURFACE WATER WILL BE ACCEPTED IN THE FINAL WORK. NO ROCKS OR DEBRIS WILL BE ACCEPTED. FINAL GRADE TOLERANCES ARE +/- 0.1 FOOT MAXIMUM.
15. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES ARE FOR INFORMATION ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CONDUCT QUANTITY TAKE-OFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS. THE PLANS (PLANT SYMBOLS) TAKE PRECEDENCE IN CASE OF ANY DISCREPANCIES BETWEEN CALLOUTS, THE PLANT LIST, AND THE PLANS.
16. COORDINATE WITH OTHER TRADES THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ALL ADJACENT PAVEMENTS, DRAINAGE CURB AND RELATED STRUCTURES. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
17. UNLESS OTHERWISE INDICATED: ALL SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE PLACED IN STRAIGHT ROWS, EQUALLY SPACED; AND ALL PLANTING AREAS, INCLUDING PLANTING BEDS, SHALL RECEIVE SOIL AMENDMENTS AS DESCRIBED IN WRITTEN SPECIFICATIONS.
18. "RESTORE" ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED.
19. TAKE NECESSARY SCHEDULING AND OTHER PRECAUTIONS TO AVOID WINTER, CLIMATIC, OR OTHER DAMAGE TO PLANTS.
20. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS IT CAN BE VERIFIED UNEQUIVOCALLY THAT THE PLANTS ARE NOT AVAILABLE FROM NURSERY SOURCES LOCATED A REASONABLE DISTANCE FROM THE PROJECT SITE. IF THIS SHOULD HAPPEN, ANY PROPOSED PLANT SUBSTITUTION WILL REQUIRE PRIOR REVIEW AND ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT.
21. CONTRACTOR SHALL DETERMINE THE NEED FOR TREE STAKING. IF DETERMINED NECESSARY, PROVIDE TREE STAKING AS DESCRIBED IN WRITTEN SPECIFICATIONS.
22. SEE WRITTEN SPECIFICATIONS FOR DETAILED SCHEDULE OF SERVICES.



- LANDSCAPE CONTRACTOR SHALL AMEND TOPSOIL FOR PLANT BED AREAS AS DESCRIBED IN WRITTEN SPECIFICATIONS.
 - LAYOUT PLANT MATERIAL AT SPACING AS SHOWN PER PLANT MATERIALS SCHEDULE.
 - HAND BROADCAST UNIFORM 3" HARDWOOD MULCH THROUGHOUT GROUND COVER / PERENNIAL / ORNAMENTAL GRASS BED
 - FLOOD IMMEDIATELY & WATER FREQUENTLY PER WRITTEN SPECIFICATIONS
 - PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE
- 2 GROUND COVER / ORNAMENTAL GRASS / PERENNIAL PLANTING DETAIL**



- EXCAVATE PLANTING PIT 3-TIMES THE DIA. & APPROXIMATELY THE HEIGHT OF ROOT BALL DEPTH. ROOT FLARE SHALL BE AT OR SLIGHTLY HIGHER THAN ADJACENT F.G.
 - LOOSEN SUBSOIL W/PICK TO ENSURE POROSITY.
 - SELECT BEST VIEWING ANGLE. LIFT STOCK BY BALL AND PLACE IN PLANTING PIT.
 - CUT AND REMOVE ALL STRING AND WIRE AND UNWRAP TOP HALF OF ROOT BALL. BACKFILL PLANTING PIT WITH EXISTING SOIL UP TO BASE OF ROOT FLARE.
 - PACK BACKFILL AROUND BASE OF ROOT BALL TO STABILIZE IT.
 - BACKFILL REMAINDER OF PLANTING HOLE USING WATER PERIODICALLY TO REDUCE AIR POCKETS.
 - FORM 3" HT. SAUCER IN 6"-0" DIAMETER AROUND TREE & FILL WITH 3" SHREDDED HARDWOOD BARK MULCH.
 - KEEP MULCH 1-2 INCHES AWAY FROM TRUNK.
 - WATER IMMEDIATELY & FREQUENTLY AS DESCRIBED IN WRITTEN SPECIFICATION.
 - PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE.
- 1 TREE PLANTING DETAIL**

CALL BEFORE YOU DIG
STATE LAW REQUIRES YOU TO NOTIFY OWNERS AND OPERATORS OF UNDERGROUND FACILITIES AT LEAST 3 FULL WORKING DAYS BEFORE YOU DIG
1-800-242-8511

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

NOT FOR CONSTRUCTION

Revisions

DESIGN DEVELOPMENT

Drawing Date
OCTOBER 14, 2015

BUTTON BLOCK - BUILDING HOTEL

500 N. WATER ST.
MILWAUKEE, WI

Project No.
215021.00

Sheet Title

SITE LANDSCAPE PLAN

111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
Telephone 414-272-2200 Fax 414-272-2201
44 East Millin Street, Suite 700, Madison, Wisconsin 53703
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Sheet No.
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