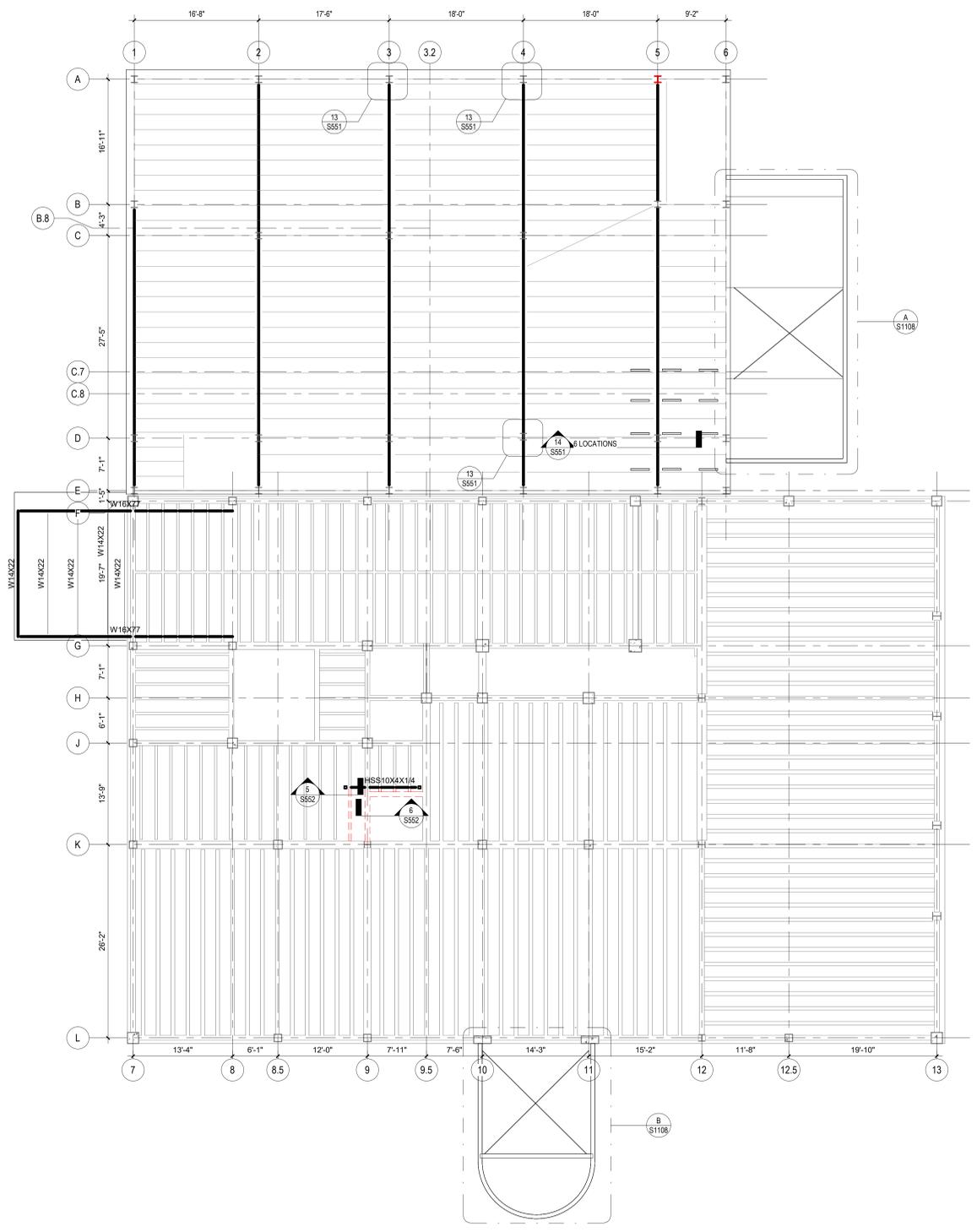


NOTE IN REGARD TO EXISTING CONDITIONS
 INFORMATION SHOWN ON THESE DRAWINGS, WITH RESPECT TO EXISTING CONDITIONS, TO THE BEST OF OUR KNOWLEDGE, REPRESENTS THE GENERAL AND CURRENT FIELD CONDITIONS. ZS MAKES NO WARRANTY AS TO THE COMPLETENESS OR ACCURACY OF ANY AND ALL EXISTING CONDITIONS SHOWN ON THESE DRAWINGS. CONTRACTOR(S) SHALL VERIFY ALL EXISTING CONDITIONS RELATED TO THE NEW WORK AND REPORT TO THE AE FOR REVIEW ANY DISCREPANCIES BEFORE PERFORMING ANY WORK. ANY WORK PERFORMED PRIOR TO AE REVIEW AND SUBSEQUENT RESOLUTION OF DISCREPANCIES BY THE AE IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST OR BURDEN TO THE CONTRACT.



1 2ND FLOOR

1/8" = 1'-0"



Revisions

PERMIT SET

Drawing Date
 DECEMBER 10, 2025

**UNIVERSITY CLUB
 RENOVATION**

924 EAST WELLS STREET
 MILWAUKEE WISCONSIN, 53202

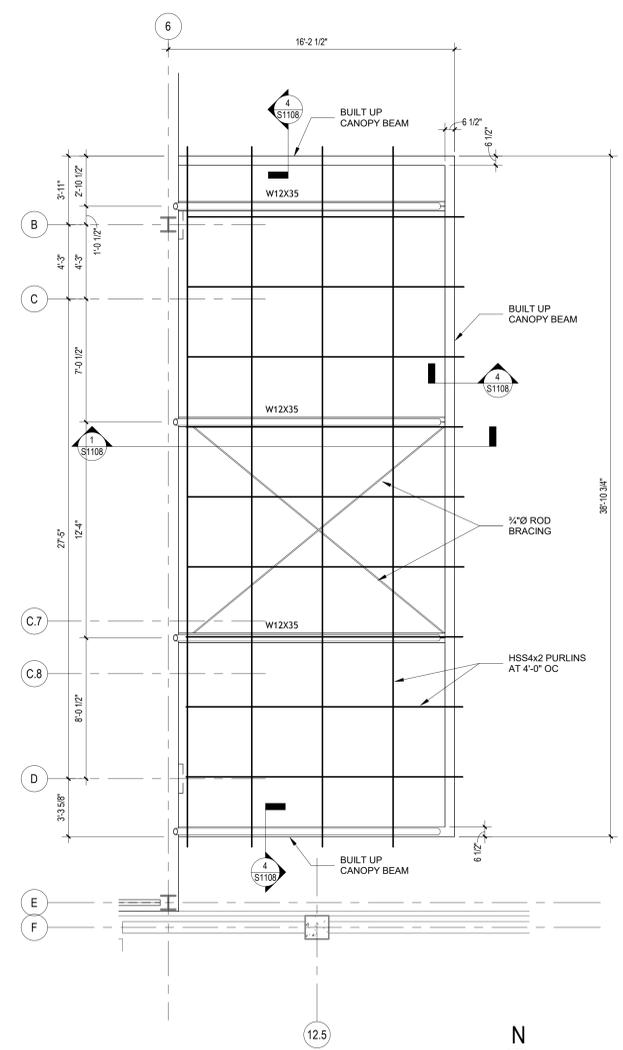
Project No. WELLS ST., LLC
 224011.00

Sheet Title
2ND FLOOR PLAN

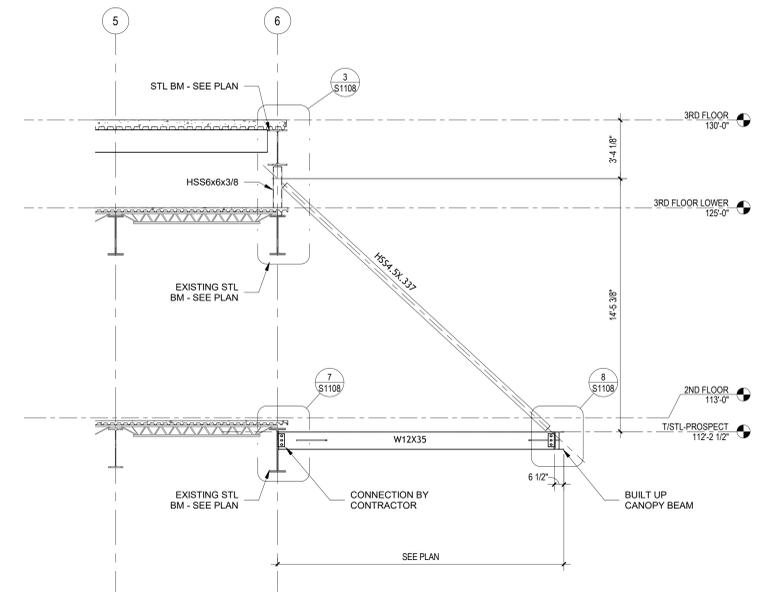
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Sheet No.
S1102

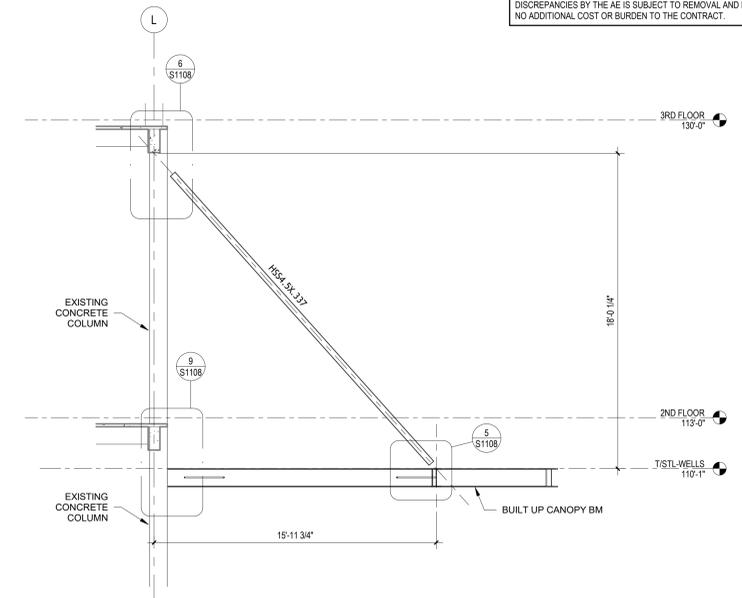
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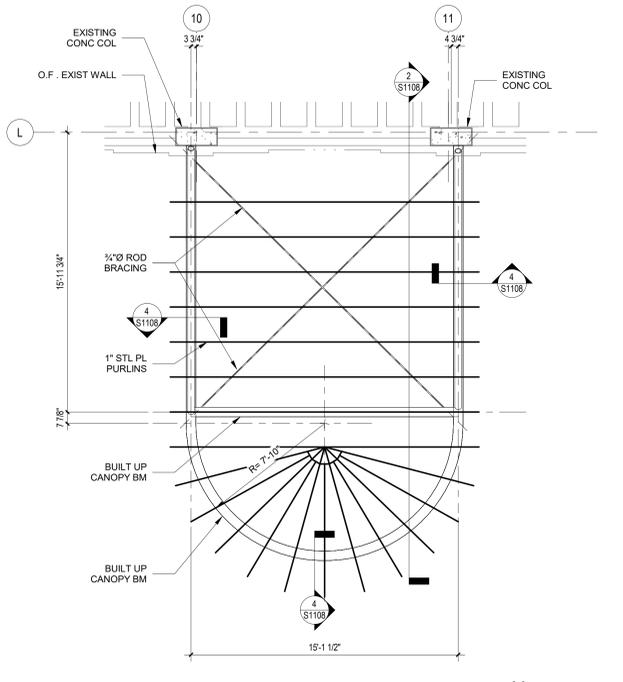
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 1/4" = 1'-0"



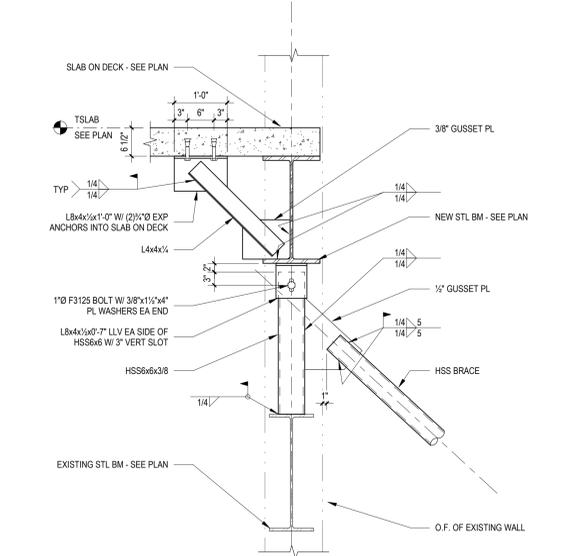
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 1/4" = 1'-0"



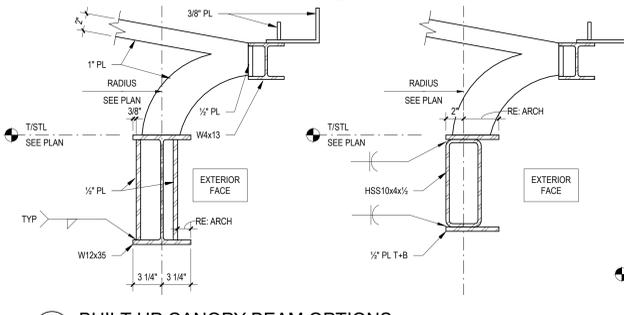
2 WELLS CANOPY SECTION
 1/4" = 1'-0"



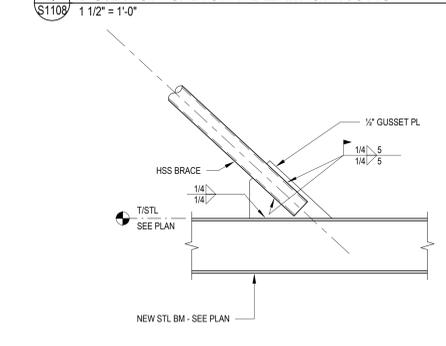
2 WELLS CANOPY FRAMING PLAN
 1/4" = 1'-0"



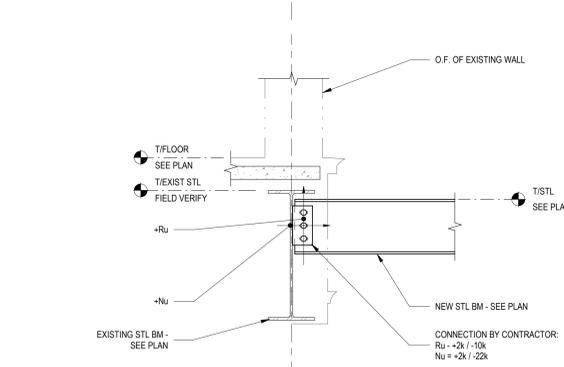
3 PROSPECT CANOPY CONNECTION
 3/4" = 1'-0"



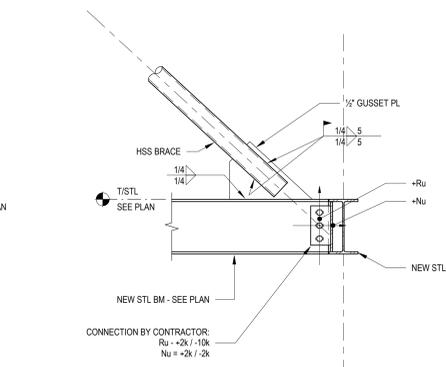
4 BUILT UP CANOPY BEAM OPTIONS
 1 1/2" = 1'-0"



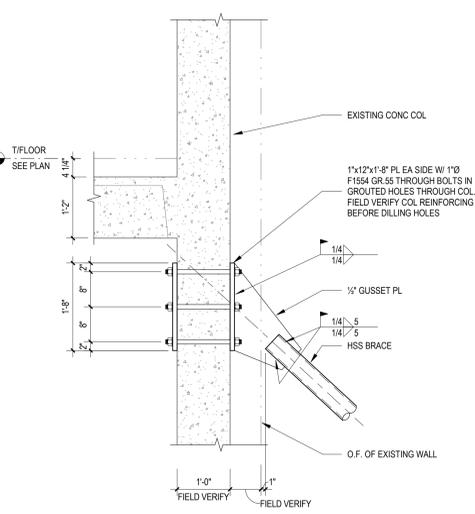
5 WELLS CANOPY CONNECTION
 3/4" = 1'-0"



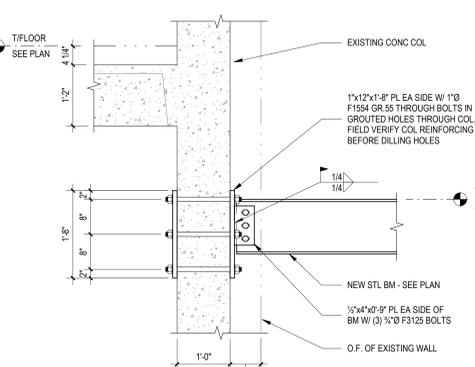
7 PROSPECT CANOPY CONNECTION
 3/4" = 1'-0"



8 PROSPECT CANOPY CONNECTION
 3/4" = 1'-0"



6 WELLS CANOPY CONNECTION
 3/4" = 1'-0"



9 WELLS CANOPY CONNECTION
 3/4" = 1'-0"

Revisions

PERMIT SET

Drawing Date
 DECEMBER 10, 2025

UNIVERSITY CLUB
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 MILWAUKEE WISCONSIN, 53202

Project No. WELLS ST., LLC.
 224011.00

Sheet Title
**CANOPY PARTIAL
 PLANS + SECTIONS**

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S1108

FLOOR PLAN LEGEND

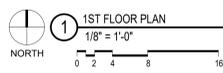
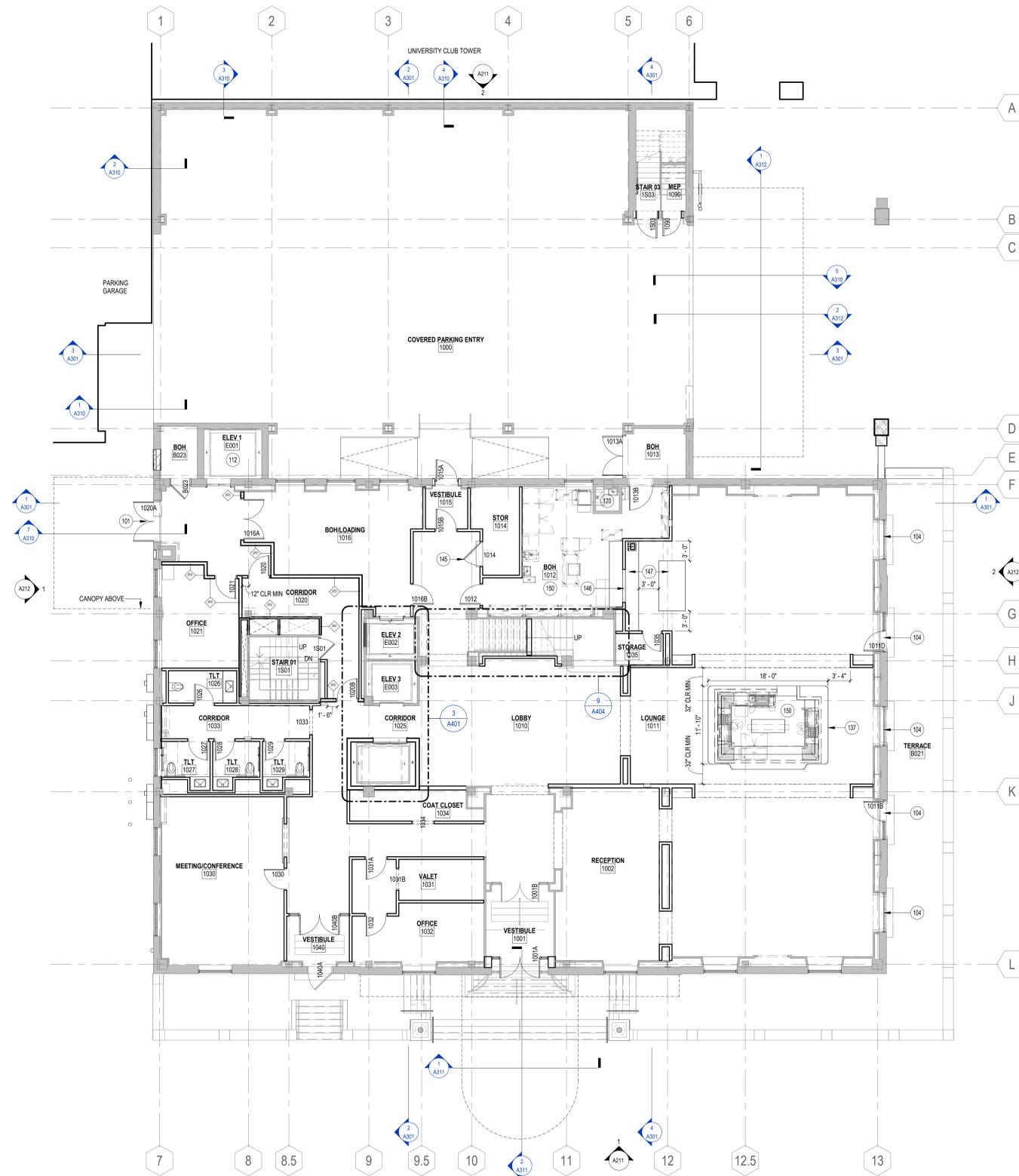
- EXISTING CONSTRUCTION TO REMAIN
- NEW PARTITION
- EXISTING DOOR TO REMAIN
- NEW DOOR
- ALIGN
- ALIGN FACE OF WALLS

FLOOR PLAN GENERAL NOTES:

1. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. PIPING, CONDUIT, AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
5. PROVIDE BLOCKING IN ALL WALLS AND PARTITIONS FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
6. MATCH FINISHED WALL OR PARTITION THICKNESS WHERE WALLS OR PARTITIONS OCCUR IN LINE WITH EXISTING WALLS.
7. PATCH HOLES IN SURFACES WHERE EQUIPMENT HAS BEEN REMOVED OR DEMOLITION HAS OCCURRED. PREPARE SURFACES AS REQUIRED FOR FINISHES. PATCH TO MATCH ADJACENT SURFACE IF NOT SCHEDULED.
8. FILL AND LEVEL FLOORS AS REQUIRED TO RECEIVE FLOOR FINISHES.
9. SCRAPE, REPAIR, AND REPAINT PLASTER AND/OR WOOD WALL, CEILING, AND COLUMN/MOLDING FINISHES WHERE DEFECTS ARE VISIBLE.
10. ALL STRUCTURAL ELEMENTS (COLUMNS, GIRDERS, BEAMS) ARE REQUIRED TO CARRY HOURLY RATING IDENTIFIED IN CODE SUMMARY. APPLY FIREPROOFING TO UNPROTECTED COLUMNS AND BEAMS IN SUB-BASEMENT AND ATTIC AREAS AS NEEDED. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITIONS WHERE STRUCTURAL ELEMENTS ARE UNPROTECTED.
11. LAYOUTS FOOD SERVICE AREAS AND ALL AREAS INCLUDING OWNER-SUPPLIED EQUIPMENT ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURER'S TO INDICATE FINAL LAYOUT, QUANTITIES, ETC.
12. EXISTING PARTITIONS SHOWN IN GRAY ARE ASSUMED TO BE FINISHED IN FRONT OF HOUSE AREAS. CONTRACTOR TO VERIFY EXISTING FRONT OF HOUSE FINISHES AND PROVIDE MIN. DEPTH FURRING FOR DEVICES AND FINISH SUBSTRATE (WHETHER SHOWN ON DRAWINGS OR NOT) AS REQUIRED.
13. EXISTING PARTITIONS SHALL BE PATCHED, REPAIRED OR REPLACED TO MEET RATED WALL ASSEMBLY REQUIREMENTS. CONTRACTOR TO VERIFY REQUIRED WALL RATINGS WITH LIFE SAFETY PLANS AND/OR APPLICABLE MECHANICAL AND ELECTRICAL CODES.
14. INTERIOR PARTITIONS TO BE 00D UNLESS NOTED OTHERWISE. FURRING PARTITIONS TO BE 0B0 UNLESS NOTED OTHERWISE.

KEYNOTES - FLOOR PLAN

101	NEW ENTRY DOOR IN EXISTING LOCATION - WHERE PRESENT, HISTORIC TRANSOM, SIDELIGHTS AND DECORATIVE WOOD COLUMNS AND ENTABLATURE TO REMAIN
104	TERRACE DOOR 01 - NEW TERRACE DOOR IN EXISTING LOCATION - GRAHAM (OR EQUAL) BASIS OF DESIGN - MATCH HISTORIC DIVIDED LIGHT PATTERN AND DIMENSIONS - CUSTOM BRICK MOLD PANNING AND FINISH COLOR TO MATCH PREVIOUSLY APPROVED AND INSTALLED REPLACEMENT WINDOWS.
112	SEE KONE ELEVATOR MODERNIZATION SUMMARY DATED FEBRUARY 4, 2024.
120	COORDINATE RETROFIT/REFURBISHMENT OF EXISTING DUMMATER W/ OPERATOR - SHAFT SHALL BE 2-HOUR RATED
137	PERMANENT BARBACK BAR STRUCTURE
145	COAT CHECK OUTCH DOOR
146	KITCHEN PASS THROUGH WINDOW
147	DISPLAY KITCHEN ISLAND AND COUNTER TO BE COORDINATED W/ OPERATOR, ID AND FOOD SERVICE CONSULTANT
150	FOOD SERVICE EQUIPMENT LAYOUT AND SPECIFICATIONS TO BE COORDINATED W/ OPERATOR



Revisions

PERMIT SET

Drawing Date
DECEMBER 10, 2025

UNIVERSITY CLUB RENOVATION

924 EAST WELLS STREET
MILWAUKEE, WISCONSIN 53202

Project No. WELLS ST., LLC
224011.00

Sheet Title
1ST FLOOR PLAN

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Telephone 608.263.6300 Fax 608.263.6317
150 N Wacker Drive, Suite 1700, Chicago, Illinois 60606
Telephone 312.789.4516

Sheet No.
A1101

FLOOR PLAN LEGEND

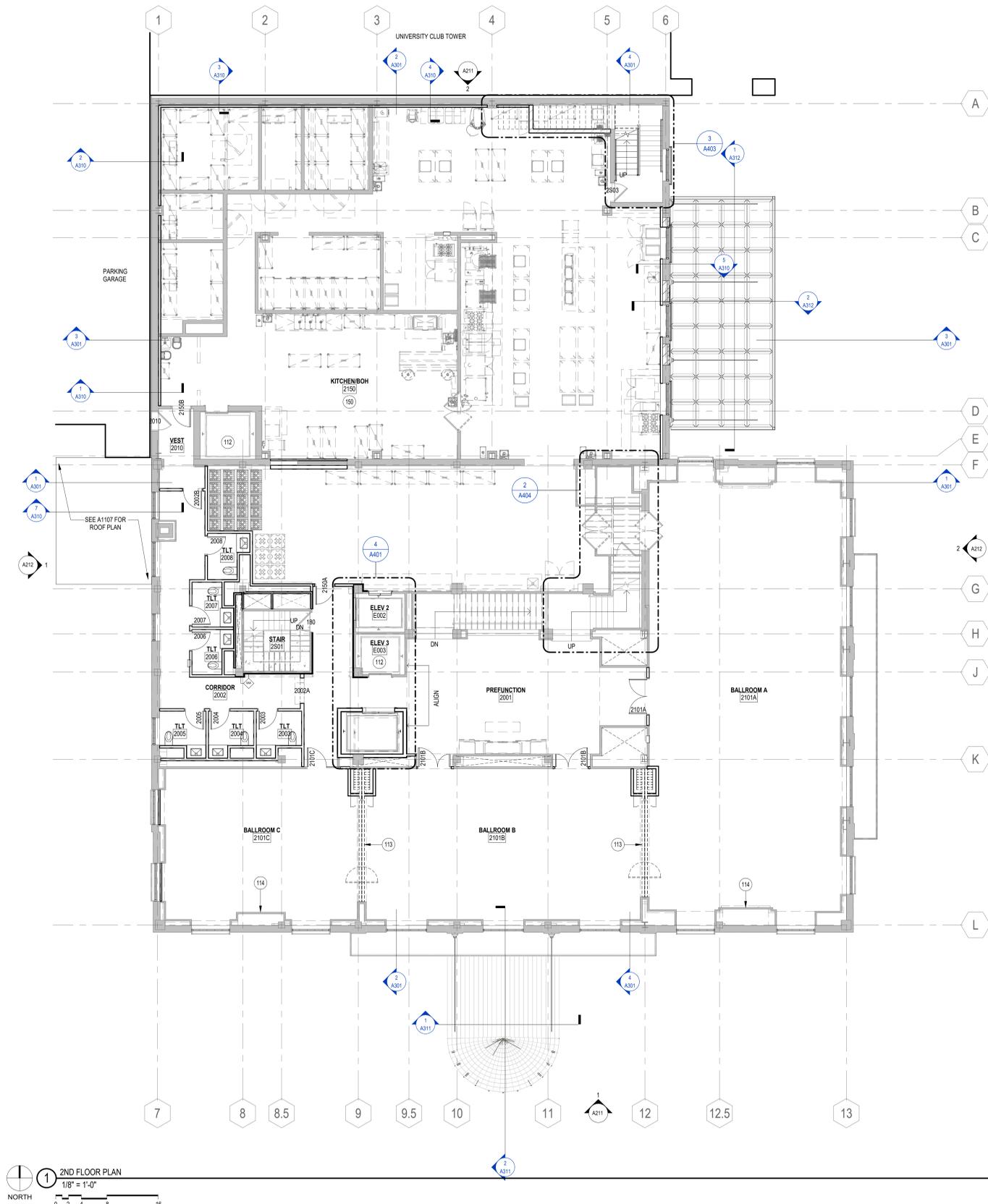
- EXISTING CONSTRUCTION TO REMAIN
- NEW PARTITION
- EXISTING DOOR TO REMAIN
- NEW DOOR
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- ALIGN FACE OF WALLS

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14. INTERIOR PARTITIONS TO BE 00D UNLESS NOTED OTHERWISE. FURRING PARTITIONS TO BE 0B0 UNLESS NOTED OTHERWISE.

KEYNOTES - FLOOR PLAN

112	SEE KONE ELEVATOR MODERNIZATION SUMMARY DATED FEBRUARY 4, 2024
113	OPERABLE PARTITION WITH EGRESS MAIN DOOR - MODERN/FOLD ACOUSTICAL ENCORE BASIS OF DESIGN - COORDINATE PANEL SUPPORT WITH STRUCTURAL ENGINEER - FINISH AND PANEL STORAGE CONFIGURATION TO BE COORDINATED W/ ID
114	PROVIDE GAS INSERT IN EXISTING FIREPLACE - COORDINATE FLUE REQUIREMENTS W/ DESIGN-BUILD MEP CONSULTANTS
150	FOOD SERVICE EQUIPMENT LAYOUT AND SPECIFICATIONS TO BE COORDINATED W/ OPERATOR



Revisions

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Drawing Date
DECEMBER 10, 2025

UNIVERSITY CLUB RENOVATION

924 EAST WELLS STREET
MILWAUKEE, WISCONSIN 53202

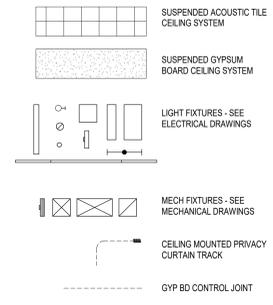
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Sheet Title
2ND FLOOR PLAN

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A1102

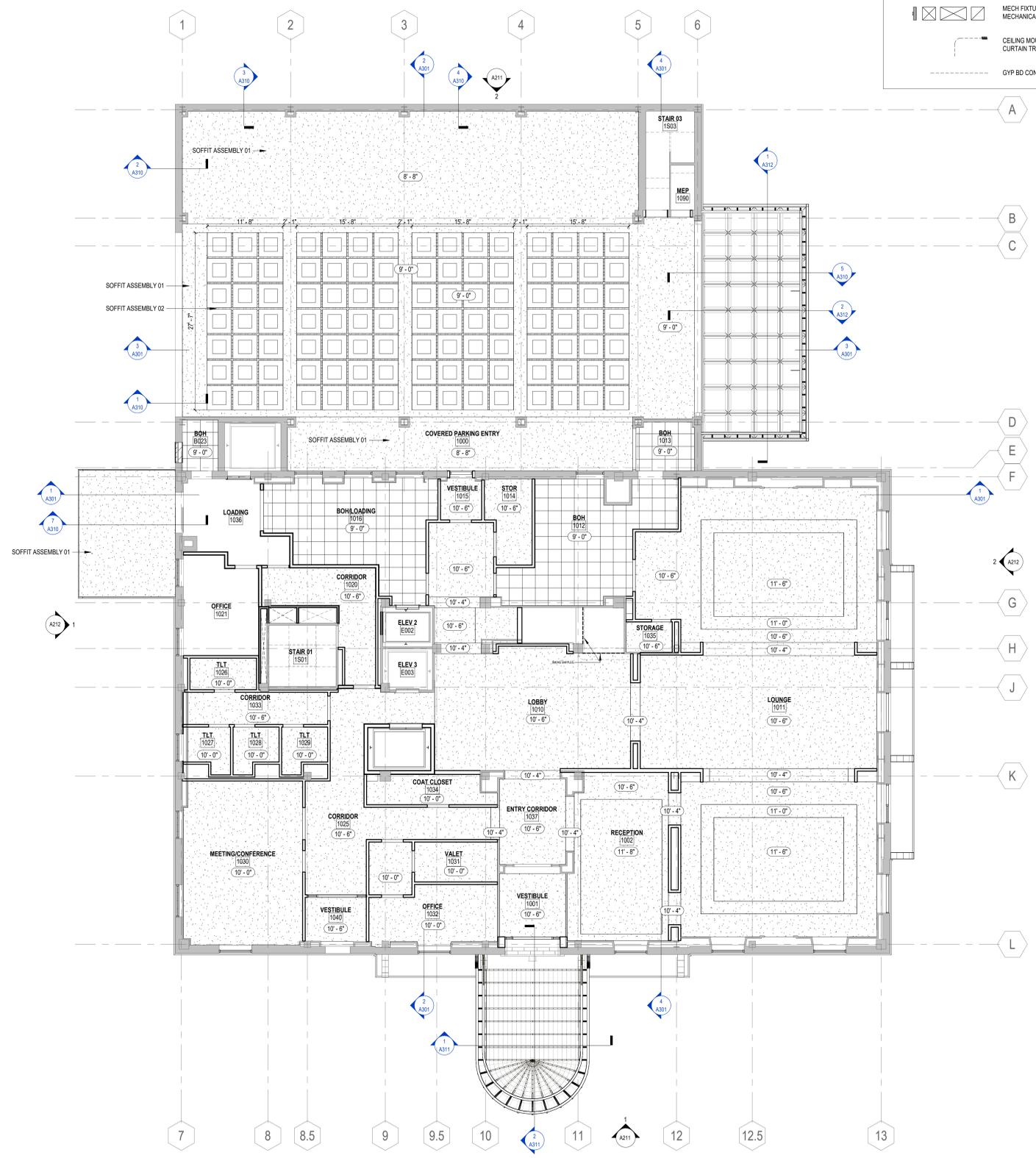
RCP LEGEND



REFLECTED CEILING PLAN GENERAL NOTES:

1. CEILING HEIGHTS ARE 9'-0" ABOVE CURRENT FLOOR PLAN ELEVATION UNLESS NOTED OTHERWISE ON THE DRAWINGS.
2. BALANCE OR CENTER CEILING GRIDS WITHIN ROOMS OR SPACES EACH TO MINIMIZE TILES CUT TO LESS THAN 1'-0". TILE WIDTHS LESS THAN 4" ARE NOT PERMITTED. CUT DOWN LARGER PANELS AS REQUIRED.
3. THIS PLAN SHALL BE USED TO ESTABLISH THE LOCATIONS OF THE MAJOR CEILING PENETRATIONS EXPOSED FIXTURES INCLUDING: LIGHTING, HVAC GRILLES, ACCESS PANEL, SPRINKLERS, SPEAKERS, ETC. SEE I.E.P. DRAWINGS FOR MORE SPECIFIC INFORMATION REGARDING EACH DISCIPLINE. IF CONFLICTS ARE DISCOVERED REGARDING LOCATION OF CEILING PENETRATIONS EXPOSED FIXTURES, CONTACT ARCHITECT FOR FURTHER INFORMATION.
4. PROVIDE CUT-OUTS AND OPENINGS FOR ITEMS WHICH PENETRATE THROUGH CEILING SYSTEMS (INCLUDING SPECIAL EQUIPMENT HANGERS AND DEVICES, CONDUIT, PIPING, ELECTRICAL REQUIREMENTS, ETC.).
5. CONTROL JOINTS SHALL BE INSTALLED TO DIVIDE GYPSUM CEILINGS & WALLS INTO 30' MAX. LENGTHS & WIDTHS. JOINTS SHALL ALSO BE INSTALLED AT EXPANSION OR CONTRACTION JOINTS IN THE STRUCTURAL FRAMEWORK OVER WHICH GYPSUM BOARD IS REQUIRED.
6. CENTER ALL LIGHTS, SPEAKERS, SPRINKLERS, HVAC GRILLES, SMOKE DETECTORS, ETC. IN CENTER OF CEILING TILES UNQ.
7. ACCESS PANELS SHOULD BE PAINTED TO MATCH CEILING.
8. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES.
9. NO ACCESS PANELS ARE PERMITTED IN SUSPENDED GYPSUM WALLBOARD CEILING ASSEMBLIES AT TOILET ROOMS AND BULKHEADS. LOCATE VALVES AND ITEMS NEEDING ACCESS IN ADJACENT ACT CEILINGS.
10. SEE WINDOW COVERING SCHEDULE IN SPECIFICATION FOR LOCATIONS OF WINDOW COVERINGS.
11. TYPICAL AT ALL CASEWORK SOFFITS. SOFFIT TO EXTEND 1" BEYOND FACE OF CASEWORK IN ALL DIRECTIONS NOT BOUND BY WALL. ANY EXCEPTIONS WILL BE NOTED WITH DIMENSIONS ON REFLECTED CEILING PLANS.

KEYNOTES - REFLECTED CEILING PLAN



1 1ST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"
NORTH

Revisions

PERMIT SET

Drawing Date
DECEMBER 10, 2025

UNIVERSITY CLUB
RENOVATION

924 EAST WELLS STREET
MILWAUKEE, WISCONSIN 53202

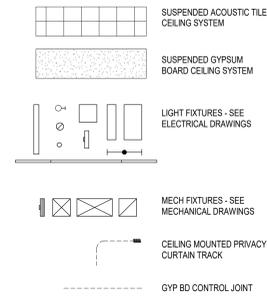
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Sheet Title
1ST FLOOR REFLECTED
CEILING PLAN

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Sheet No.
A1201

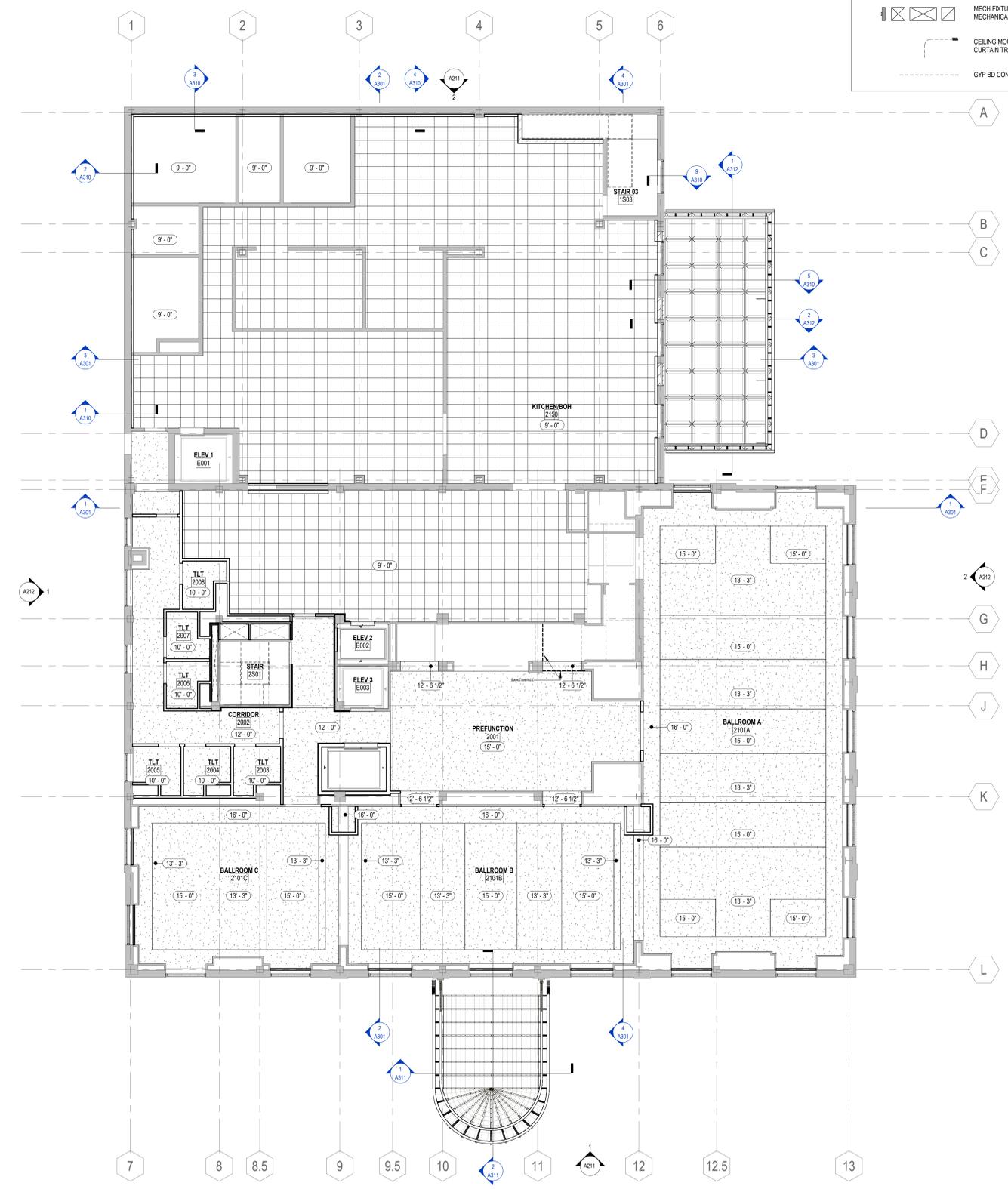
RCP LEGEND



REFLECTED CEILING PLAN GENERAL NOTES:

1. CEILING HEIGHTS ARE 9'-0" ABOVE CURRENT FLOOR PLAN ELEVATION UNLESS NOTED OTHERWISE ON THE DRAWINGS.
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4. PROVIDE CUT-OUTS AND OPENINGS FOR ITEMS WHICH PENETRATE THROUGH CEILING SYSTEMS (INCLUDING SPECIAL EQUIPMENT HANGERS AND DEVICES, CONDUIT, PIPING, ELECTRICAL REQUIREMENTS, ETC.).
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KEYNOTES - REFLECTED CEILING PLAN



1 2ND FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"
NORTH

Revisions

PERMIT SET

Drawing Date
DECEMBER 10, 2025

UNIVERSITY CLUB
RENOVATION

924 EAST WELLS STREET
MILWAUKEE, WISCONSIN 53202

Project No. WELLS ST., LLC.
224011.00

Sheet Title
2ND FLOOR REFLECTED
CEILING PLAN

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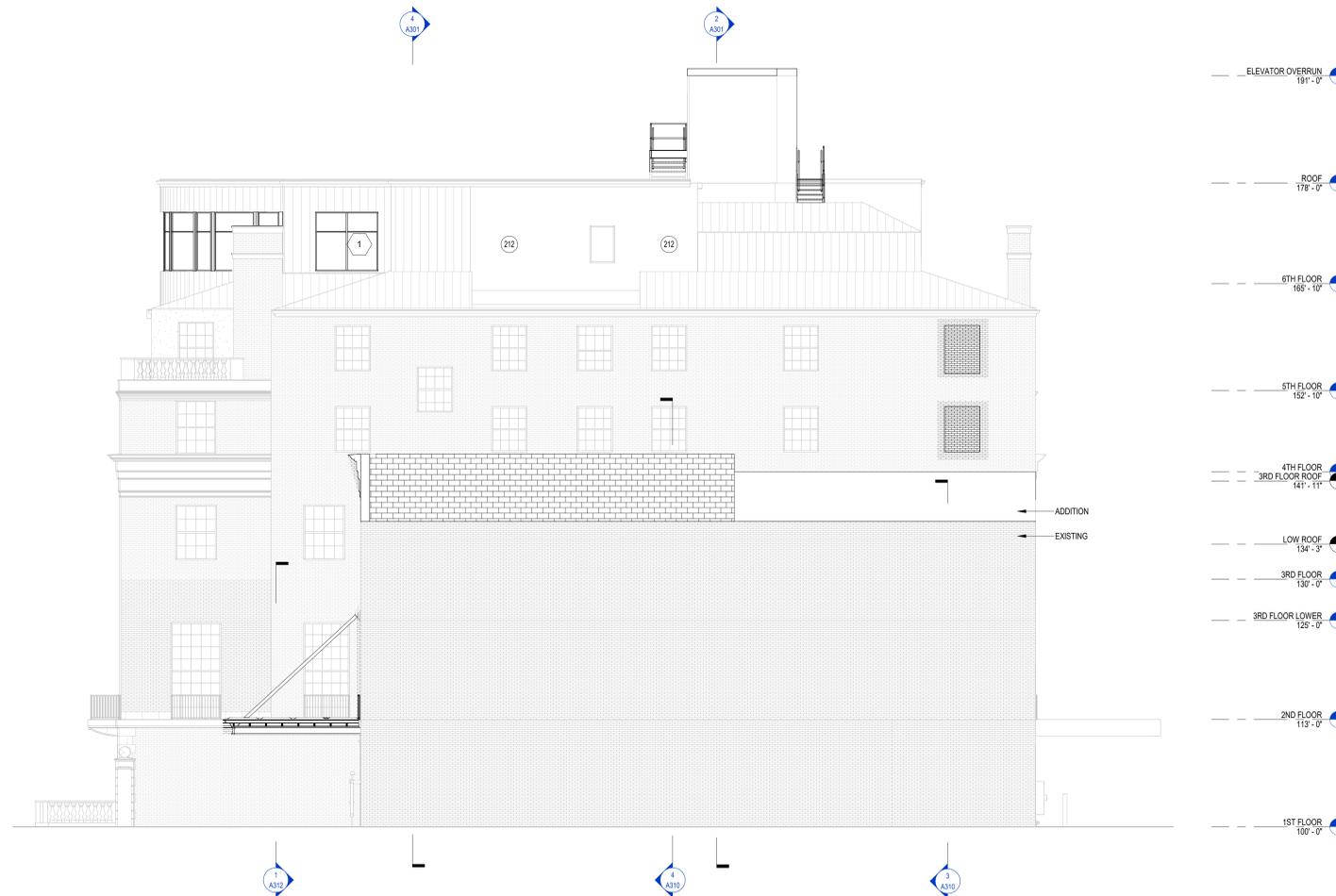
Sheet No.
A1202

EXTERIOR ELEVATION GENERAL NOTES

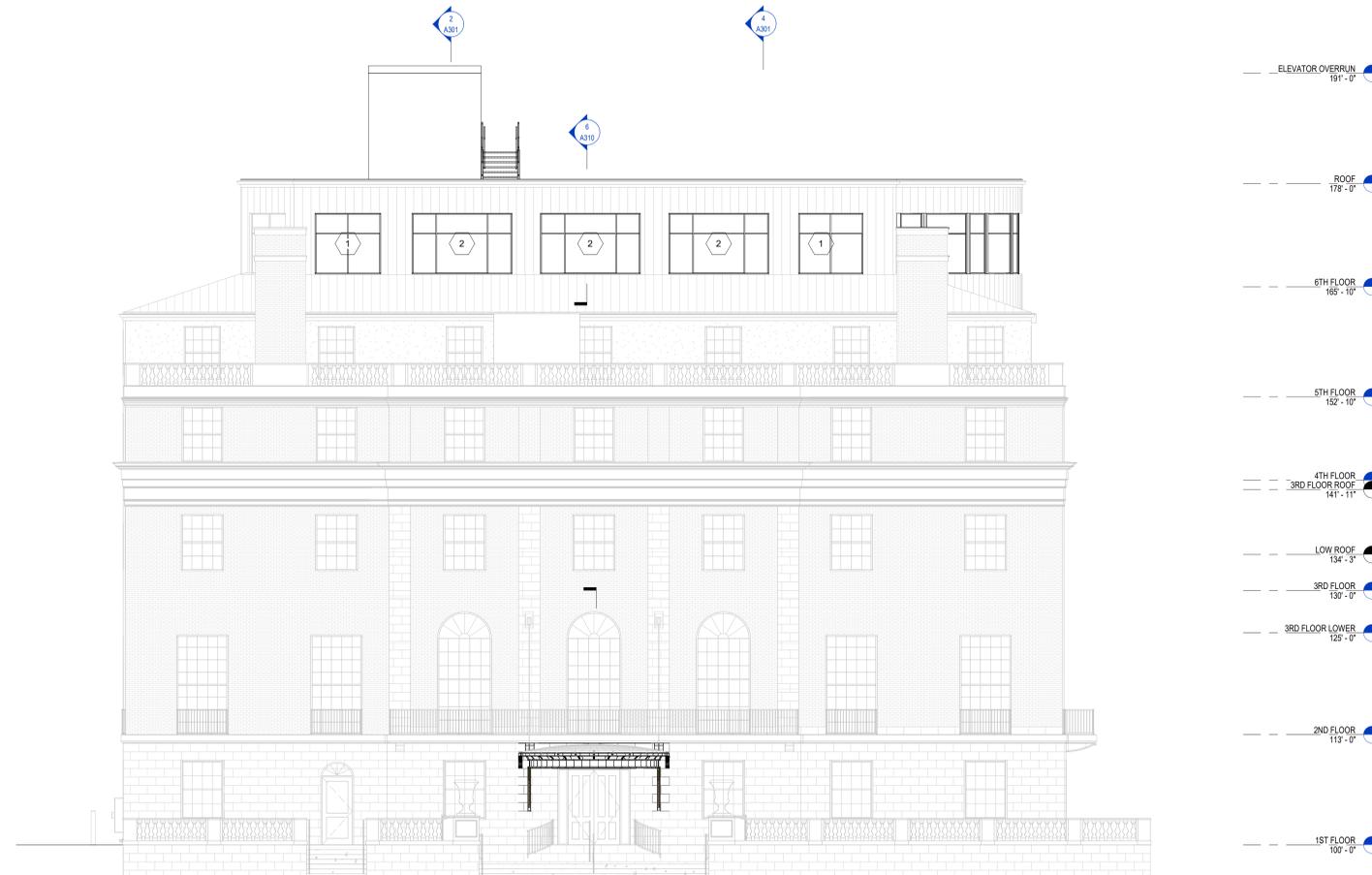
1. ALL EXISTING SEALANT AND MORTAR WITHIN BRICK AND STONE MASONRY JOINTS ON THE BUILDING FACADES SHALL BE INSPECTED AND TESTED FOR SOUNDNESS. SEE MASONRY RESTORATION PROPOSAL DATED JULY 3, 2023 FOR COMPLETE EXTERIOR MASONRY RESTORATION SCOPE.
2. SEAL/CAULK ALL SKYWARD FACING JOINTS IN STONE WATER TABLES, BELTLINES AND COPINGS.
3. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC) SHALL BE PAINTED, U.N.O.
4. PREPARE AND PAINT ALL CURRENTLY PAINTED SURFACES.

KEYNOTES - EXTERIOR ELEVATION

212 INFILL EXISTING ROUGH OPENINGS TO MATCH ADJACENT WALL ASSEMBLY AND EXTERIOR FINISH



2 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

Revisions

PERMIT SET

Drawing Date
DECEMBER 10, 2025

UNIVERSITY CLUB
RENOVATION

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EXTERIOR ELEVATIONS

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Sheet No.
A211

EXTERIOR ELEVATION GENERAL NOTES

1. ALL EXISTING SEALANT AND MORTAR WITHIN BRICK AND STONE MASONRY JOINTS ON THE BUILDING FACADES SHALL BE INSPECTED AND TESTED FOR SOUNDNESS. SEE MASONRY RESTORATION PROPOSAL DATED JULY 3, 2023 FOR COMPLETE EXTERIOR MASONRY RESTORATION SCOPE.
2. SEAL/CALULK ALL SKYWARD FACING JOINTS IN STONE WATER TABLES, BELTLINES AND COPINGS.
3. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED, U.N.O.
4. PREPARE AND PAINT ALL CURRENTLY PAINTED SURFACES.

KEYNOTES - EXTERIOR ELEVATION

212 INFILL EXISTING ROUGH OPENINGS TO MATCH ADJACENT WALL ASSEMBLY AND EXTERIOR FINISH



2 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



1 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

Revisions

PERMIT SET

Drawing Date
DECEMBER 10, 2025

UNIVERSITY CLUB
RENOVATION

924 EAST WELLS STREET
MILWAUKEE, WISCONSIN 53202

Project No. WELLS ST., LLC.
224011.00

Sheet Title
EXTERIOR ELEVATIONS

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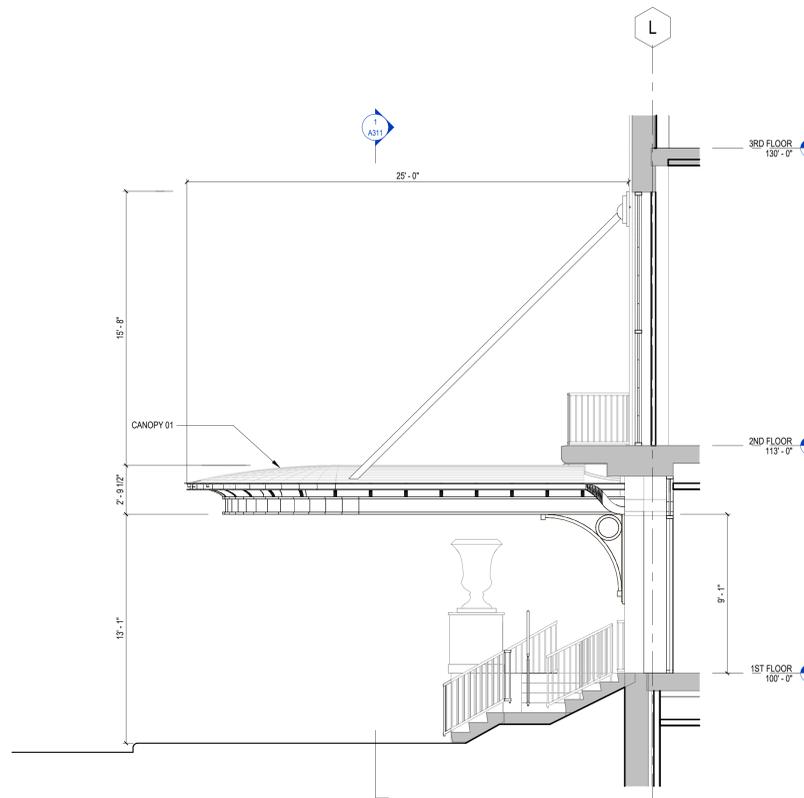
Sheet No.
A212

WALL SECTION GENERAL NOTES

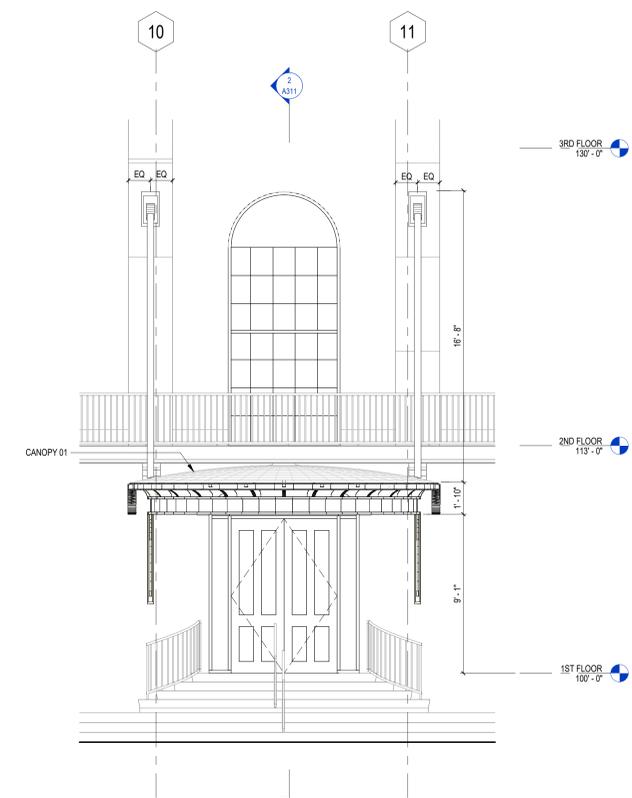
- ITEMS SHOWN IN GRAY ARE PART OF VOLUME 1 OR ARE EXISTING CONDITIONS.
- REFER TO HORIZONTAL AND VERTICAL ASSEMBLY SHEETS FOR ASSEMBLY COMPONENT.

KEYNOTES - ASSEMBLIES & COMPONENTS

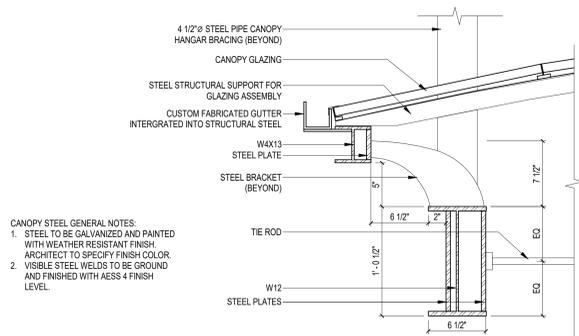
CANOPY 01 CURVED STEEL FRAMED CANOPY W/ STEEL HANGERS AND GLASS LITES - SEE STRUCTURAL ARCHITECTURAL EXPOSED STEEL TO BE DETAILED PER AESS 3. GALVANIZE AND PAINT EXPOSED STEEL. COLOR: TBD



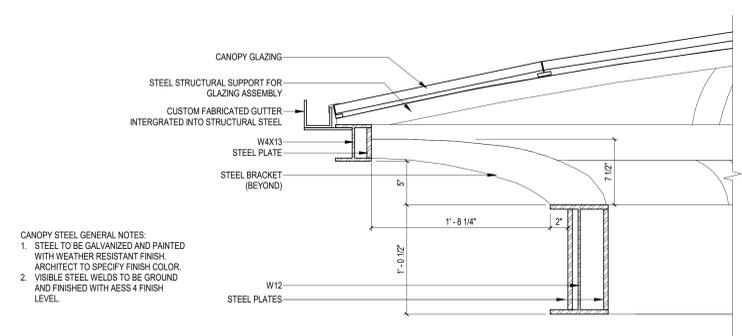
4 PROSPECT CANOPY EAST ELEVATION
1/4" = 1'-0"



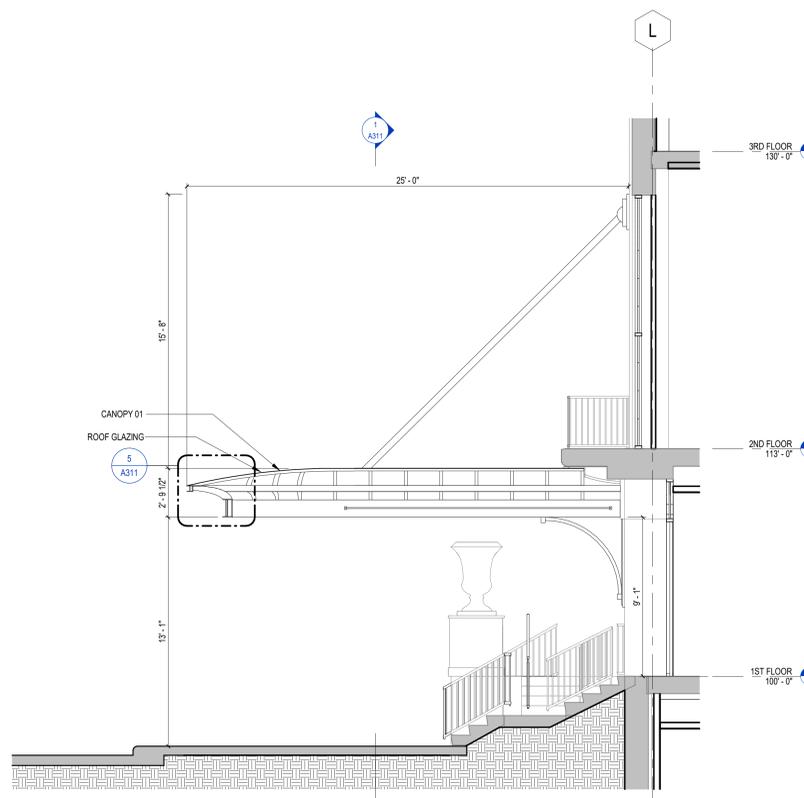
3 PROSPECT CANOPY SOUTH ELEVATION
1/4" = 1'-0"



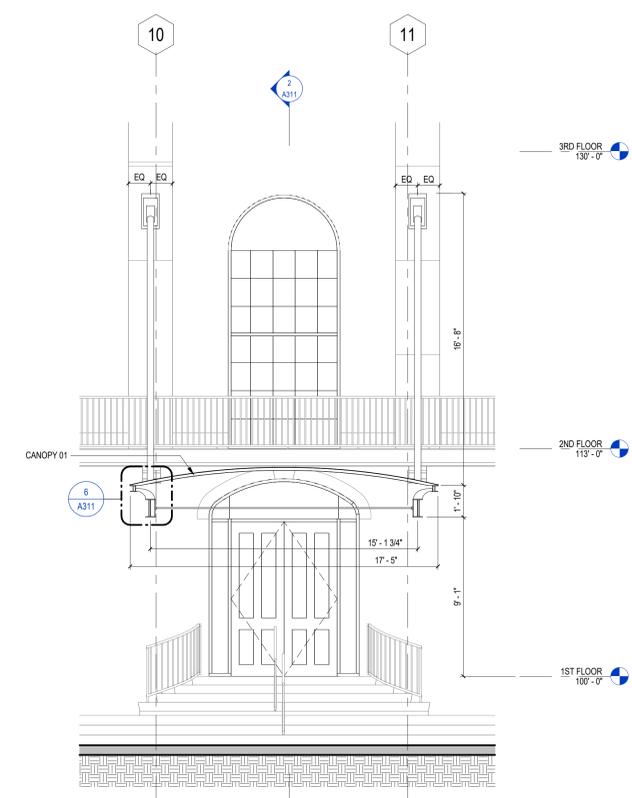
6 WELLS AVE CANOPY SIDE
1 1/2" = 1'-0"



5 WELLS AVE CANOPY FRONT
1 1/2" = 1'-0"



2 PROSPECT CANOPY SECTION N/S
1/4" = 1'-0"



1 PROSPECT CANOPY SECTION E/W
1/4" = 1'-0"

Revisions

PERMIT SET

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RENOVATION

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Sheet Title
WALL SECTIONS

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A311