



PETITION FOR A SPECIAL PRIVILEGE ccl-246 (7/15)

SP 2715

CCF

New application \$250.00 Fee

Amendment to add items to Special Privilege # 1980 (\$125.00 Fee)

Amendment to remove items from Special Privilege # (No fee)

Amendment for change of ownership for Special Privilege # (No fee).

- File petition with the Department of Public Works, Attention: Special Privileges, 841 North Broadway, Room 919, Milwaukee, WI 53202.
- Fee must be submitted with petition. Checks should be made payable to the City of Milwaukee.
- Questions? Call 414-286-2454

To the Honorable, The Common Council of the City of Milwaukee:

The Licensee

1875 Humboldt, LLC (Building/property owner)

Business Ownership = Finks of Milwaukee, Inc.
(Name of Individual, Partners, Corporation or LLC)

being the owners of the following property known by street address as 1875 N Humboldt Ave, 53202

(Street Address and Zip Code)

in the 3rd Aldermanic District respectfully petition the Common Council of the City of Milwaukee according to the provisions of Section 66.0425 of the Wisconsin Statutes, that the following privilege be granted:

Description of Special Privilege: Amendment to CCF 010450 for change of ownership, addition of handrails and railing; and removal of a retaining wall

Of which a plan or sketch is herewith submitted. Petitioner agrees to comply with all laws and all ordinances of the City of Milwaukee, to abide by any order or resolution of the Common Council affecting this privilege, to be primarily liable for damages to person or property by reason of the granting of such privilege, pay annual compensation as provided by law in the sum to be fixed by the proper city officers, and to file and keep current throughout the existence of the privilege, a certificate of insurance indicating applicant holds a public liability policy in at least the sums of \$25,000.00/\$50,000.00 bodily injury, and \$10,000.00 property damage, insuring the city against any liability that might arise by reason of the privilege.

Petitioner further agrees to remove said privilege whenever public necessity so requires when so ordered upon resolution adopted by the Common Council or other legislative body.

Should this special privilege be discontinued for any reason whatsoever, petitioner agrees to remove all construction work executed pursuant to this special privilege, to restore to its former condition and to the approval of the Commissioner of Public Works, any curb, pavement, or other public improvement which was removed, changed or disturbed by reason of the granting of this special privilege. Petitioner further agrees not to contest the validity of Section 66.0425 of the Wisconsin Statutes, or the legality of this special privilege in any way.

Name (Please Print):

Wisconsin Statutes, or the legality of this special privilege in any way.

Name (Please Print):

Kristyn Eitel

(Individual, Partner, or Agent if corporation or LLC as shown above)

Signature:

Kristyn Eitel

Date:

10/14/15

(Individual, Partner, or Agent if corporation or LLC)

Corporation or LLC Name:

Property Owner: 1875 Humboldt, LLC
Business Owner: Finks of Milwaukee, Inc.
(If applicable, as shown above) DBA - FINKS

Mailing Address (If different than property address above):

(OVER)

City:

State:

Zip:

Telephone: 414.

E-

Mail:

Architect/Engineer/Contractor (If Applicable)

Name:

JOEL KRUEGER

Address:

4746 IDLE WILD WFB 53211

City:

WHITEFLSA BAY

State:

WI

Zip:

53211

Telephone:

4146887605 E- JKRUER@TKWA.COM

Mail:

IMPORTANT NOTICE FOR CUSTOMERS PAYING BY CHECK

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account or to process the payment as a check transaction.

PROJECT INFORMATION

BUILDING CODE:
 Wisconsin Administrative Code, Safety and Professional Services,
 Wisconsin Commercial Building Code (09-01-2011), Chapters SPS 360-366
 Adopted by Reference:
 IBC International Building Code - 2009
 IECC The International Energy Conservation Code - 2009
 IMC The International Mechanical Code - 2009
 IFGC The International Fuel Gas Code - 2009

LIFE SAFETY CODE:
 NFPA 101: Life Safety Code, 2009 Edition

ACCESSIBILITY:
 ANSI Standard A117.1-2007

FIRE PREVENTION CODE:
 Wisconsin Administrative Code, Safety and Professional Services,
 Chapter SPS 314 - Fire Prevention
 NFPA 1, Fire Code - 2009

FIRE SUPPRESSION:
 National Fire Protection Association,
 NFPA 13: 2010 Standard for the Installation of Sprinkler Systems

ELECTRICAL:
 Wisconsin Administrative Code, Safety and Professional Services,
 Chapter SPS 316 - Electrical

PLUMBING:
 Wisconsin Administrative Code, Safety and Professional Services,
 Chapters 361-367 - Plumbing

USE & OCCUPANCY
 A2- TAVERNS AND BARS

TYPE OF CONSTRUCTION
 TYPE VB (Not Sprinkled)

NUMBER OF STORIES
 (1) STORY BUILDING

ALLOWABLE BUILDING HEIGHT AND AREA

TYPE VB (Not Sprinkled)
 A2- TAVERNS AND BARS 40' / 1 STORIES/ 6,000 SQ. FT.

BUILDING HEIGHT
 13'-8" +/-

GROSS BUILDING AREA

NEW PAVILION	1,055 GR. SQ. FT.
SITE (Ramp, Stairs and Circulation)	665 GR. SQ. FT.
(EXISTING BUILDING)	1,100 GR. SQ. FT.

FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS

TABLE 601
 PRIMARY STRUCTURAL FRAME 0 HR

BEARING WALLS:
 EXTERIOR 0 HR
 INTERIOR 0 HR

NONBEARING WALLS AND PARTITIONS:
 EXTERIOR 0 HR
 INTERIOR 0 HR

ROOF CONSTRUCTION AND SECONDARY MEMBERS 0 HR

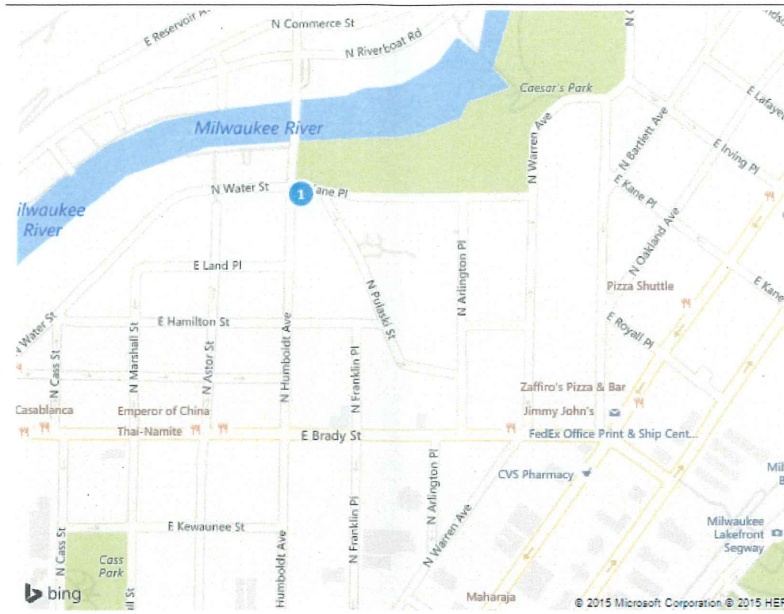
FIRE-RESISTANCE RATING REQUIREMENTS BASED ON

FIRE SEPARATION DISTANCE

TABLE 602 - TYPE VB

X<5'	1-HR
5'≤X≤10'	1-HR
10'≤X≤30'	1-HR
X≥30'	0-HR

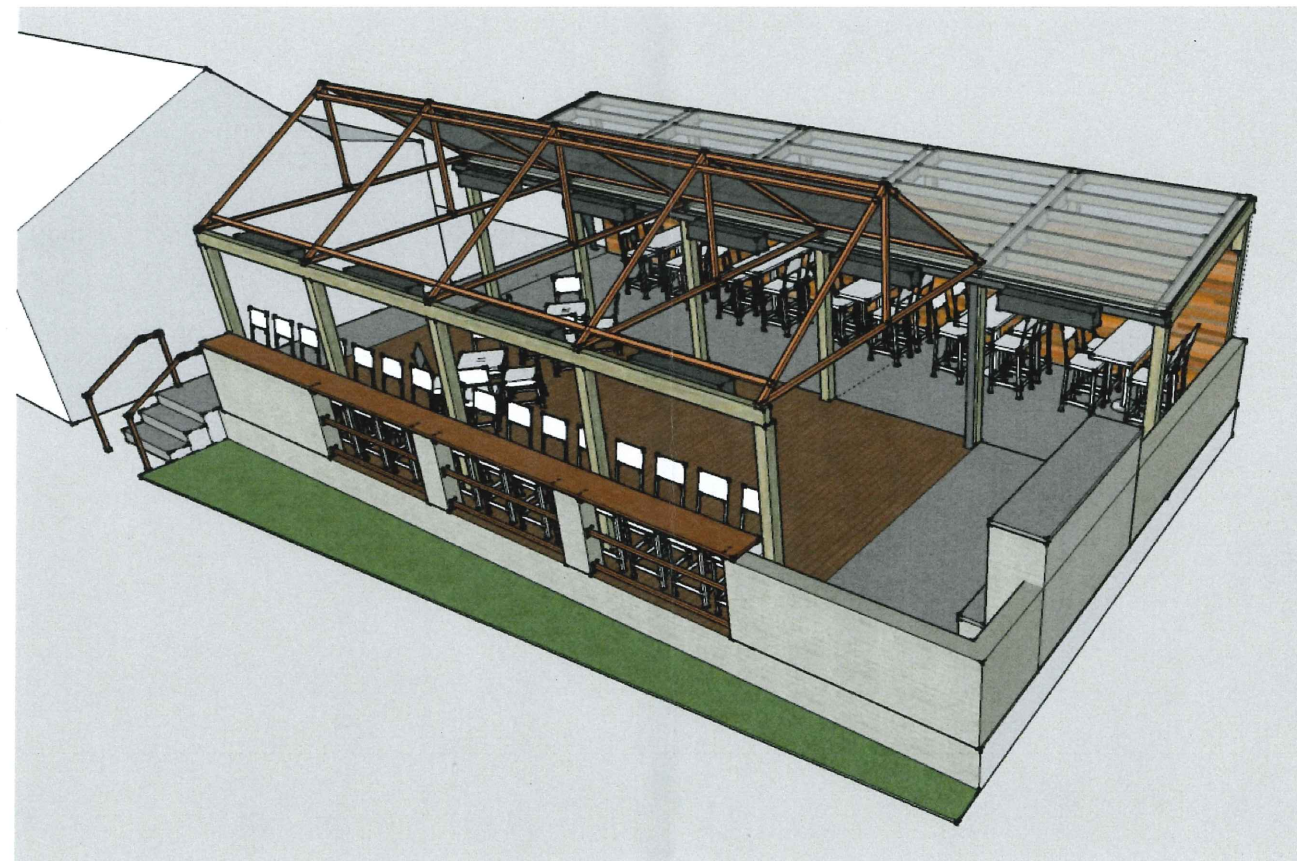
AREA MAP



DRAWING LIST

- C1.0 Plat of Survey
- L1.0 Site Plan / Existing Diagram
- A1.0 FloorPlan
- A1.1 Roof Framing Plan
- A1.2 Roof Plan
- A3.0 Sections
- A3.1 Details
- A3.2 Details

106232



PLAT OF SURVEY WITH TOPOGRAPHIC INFORMATION

CLIENT
1875 Humboldt LLC

SITE ADDRESS
1875 N. Humboldt Avenue, Milwaukee, Wisconsin.

LEGAL DESCRIPTION
Lots 1 & 2 excepting the South 75 feet, Block 1 thereof in, of Hubbard & Pearson's Addition located in the Southeast 1/4 of the Northwest 1/4 of Section 21, Town 7 North, Range 22 East, City of Milwaukee, Milwaukee County, Wisconsin.

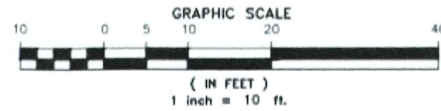
BASIS OF BEARINGS
Bearings are referenced to the West line of N. Humboldt Ave. which bears S 00°18'59" E

LAND AREA
The Land Area of the subject property is 3,000 square feet or 0.0688 acres.

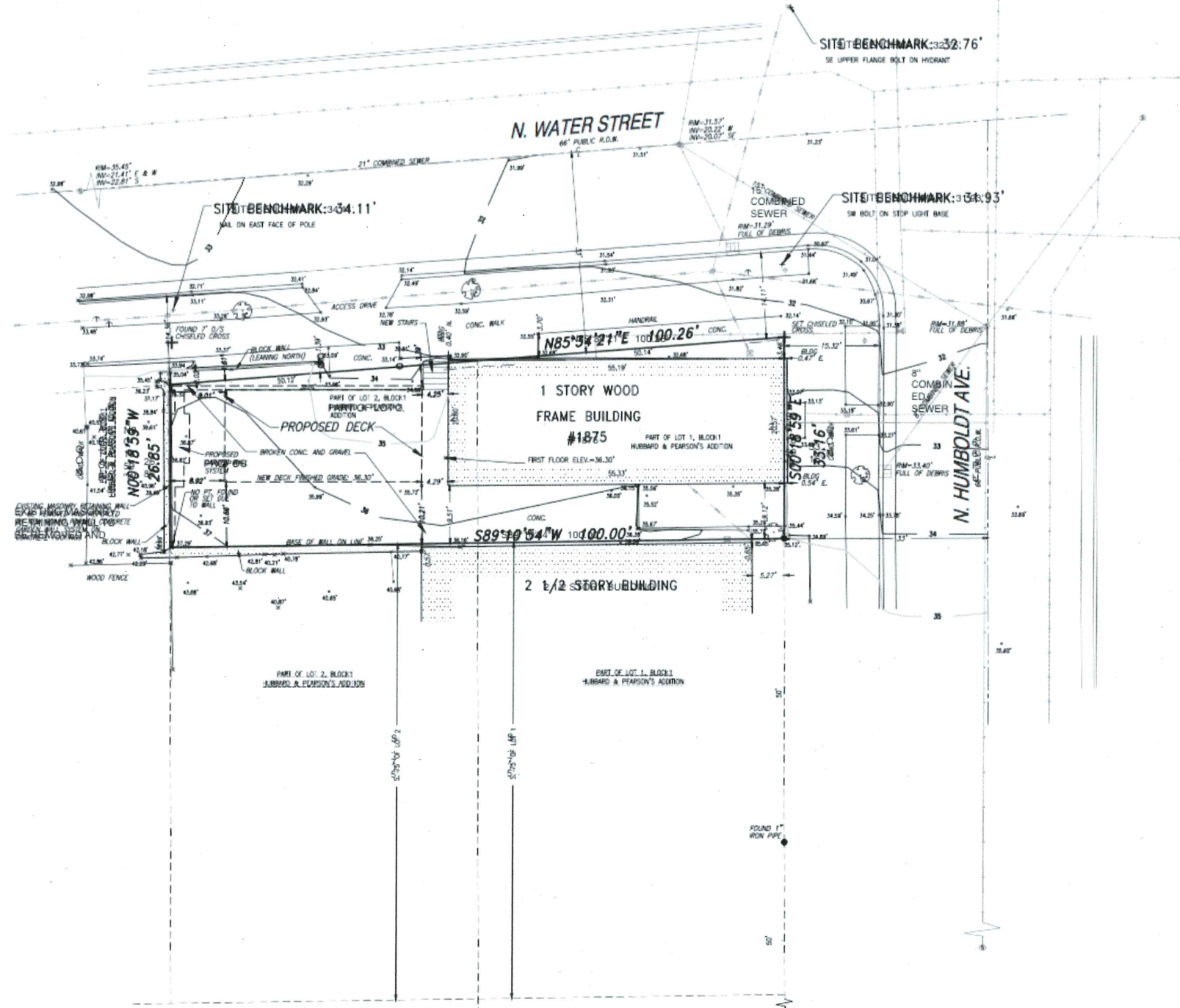
CHAPUT LAND SURVEYS LLC

LEGEND

<ul style="list-style-type: none"> ● INDICATES FOUND 1" IRON PIPE ○ INDICATES SET 1" IRON PIPE + INDICATES FOUND CHISELED CROSS ○ SANITARY MANHOLE ○ SANITARY CLEANOUT OR VENT ○ M.S. MANHOLE ○ UNKNOWN MANHOLE ○ STORM MANHOLE ○ INLET (ROUND) ○ INLET (SQUARE) ○ CURB INLET ○ STORM SEWER END SECTION ○ GAS VALVE ○ GAS METER ○ WATER VALVE 	<ul style="list-style-type: none"> ○ HYDRANT ○ WATER SERVICE CURB STOP ○ WELL HEAD ○ STAND PIPE ○ WALL INDICATOR VALVE ○ POST INDICATOR VALVE ○ LIGHT POLE ○ SPOT/YARD LIGHT ○ UTILITY POLE ○ GUY POLE ○ GUY WIRE ○ ELECTRIC MANHOLE ○ ELECTRIC PEDESTAL ○ ELECTRIC METER 	<ul style="list-style-type: none"> ○ TELEPHONE MANHOLE ○ TELEPHONE PEDESTAL ○ CABLE PEDESTAL ○ CONTROL BOX ○ FIBER OPTIC SIGN ○ TRAFFIC LIGHT ○ COMMUNICATION MANHOLE ○ BOLLARD ○ SOIL BORING/MONITORING WELL ○ WATER SURFACE ○ WETLANDS FLAG ○ MARSH ○ FLAGPOLE ○ PARKING METER ○ SIGN 	<ul style="list-style-type: none"> ○ MAILBOX ○ RAILROAD CROSSING SIGNAL ○ HANDICAP SPACE ○ CONIFEROUS TREE ○ DECIDUOUS TREE
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STARTING BENCHMARK: 83.36'
CITY OF MILWAUKEE DATUM 1988 AT N. 1/4 CORNER OF MILWAUKEE AVENUE



I certify that I have surveyed the above described property (Property), and the above map is correct to the best of my professional knowledge and belief and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements and roadways and visible encroachments, if any. This survey is made for the exclusive use of the present owners of the Property, and also those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

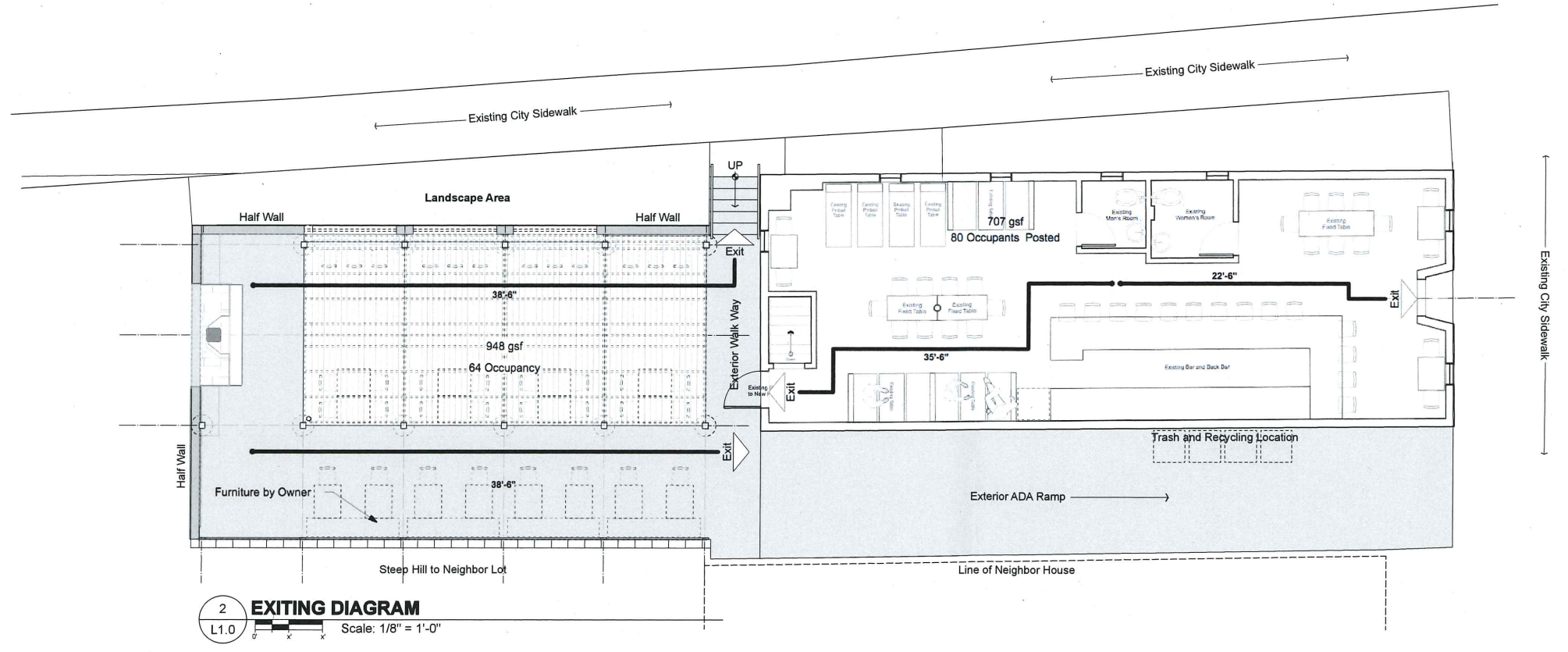
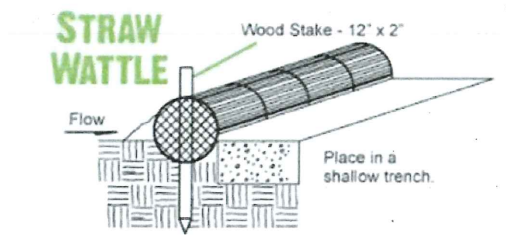
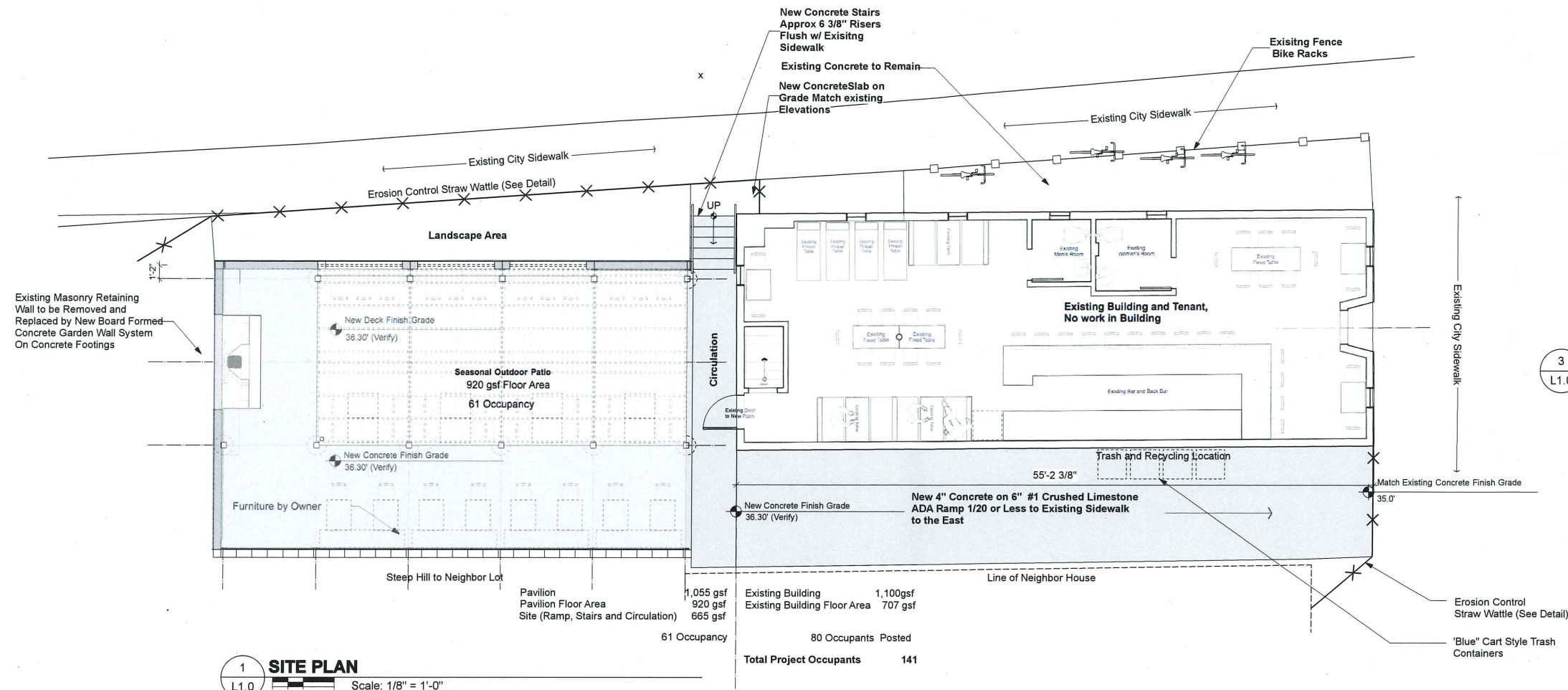
Date: May 22, 2015
Revised: September 18, 2015

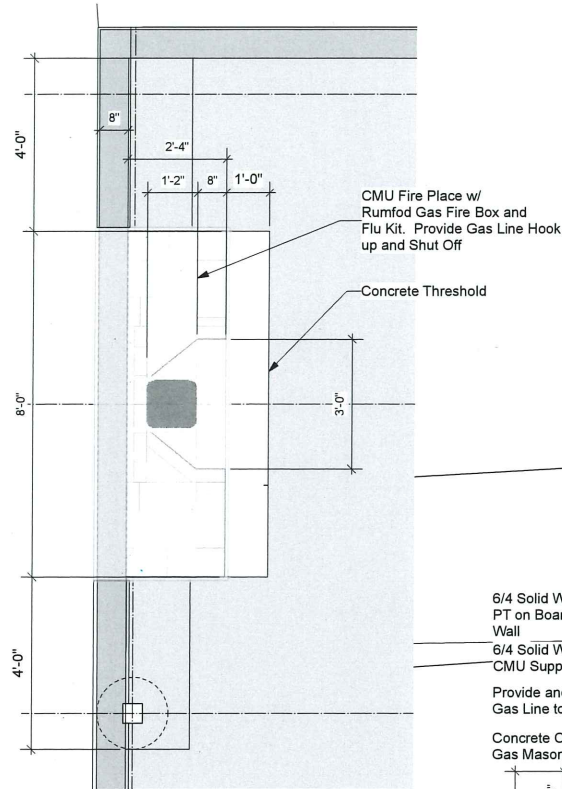


Chaput
Donald C. Chaput
Professional Land Surveyor
Registration Number S-1316

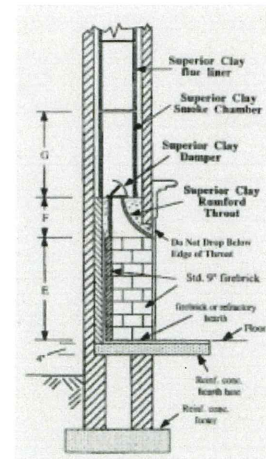
CHAPUT LAND SURVEYS LLC
211 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com

Drawing No. 1986-dmb

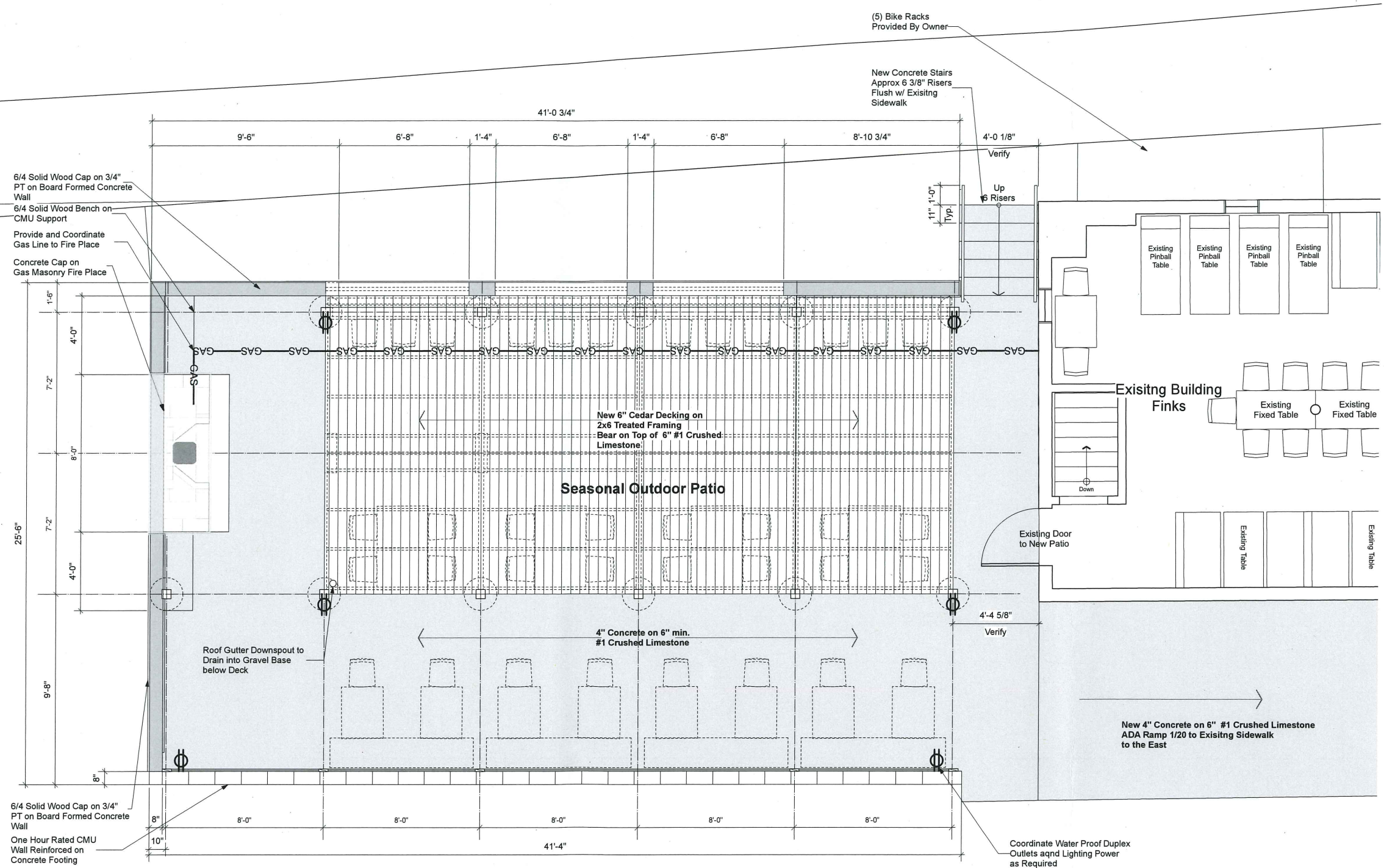




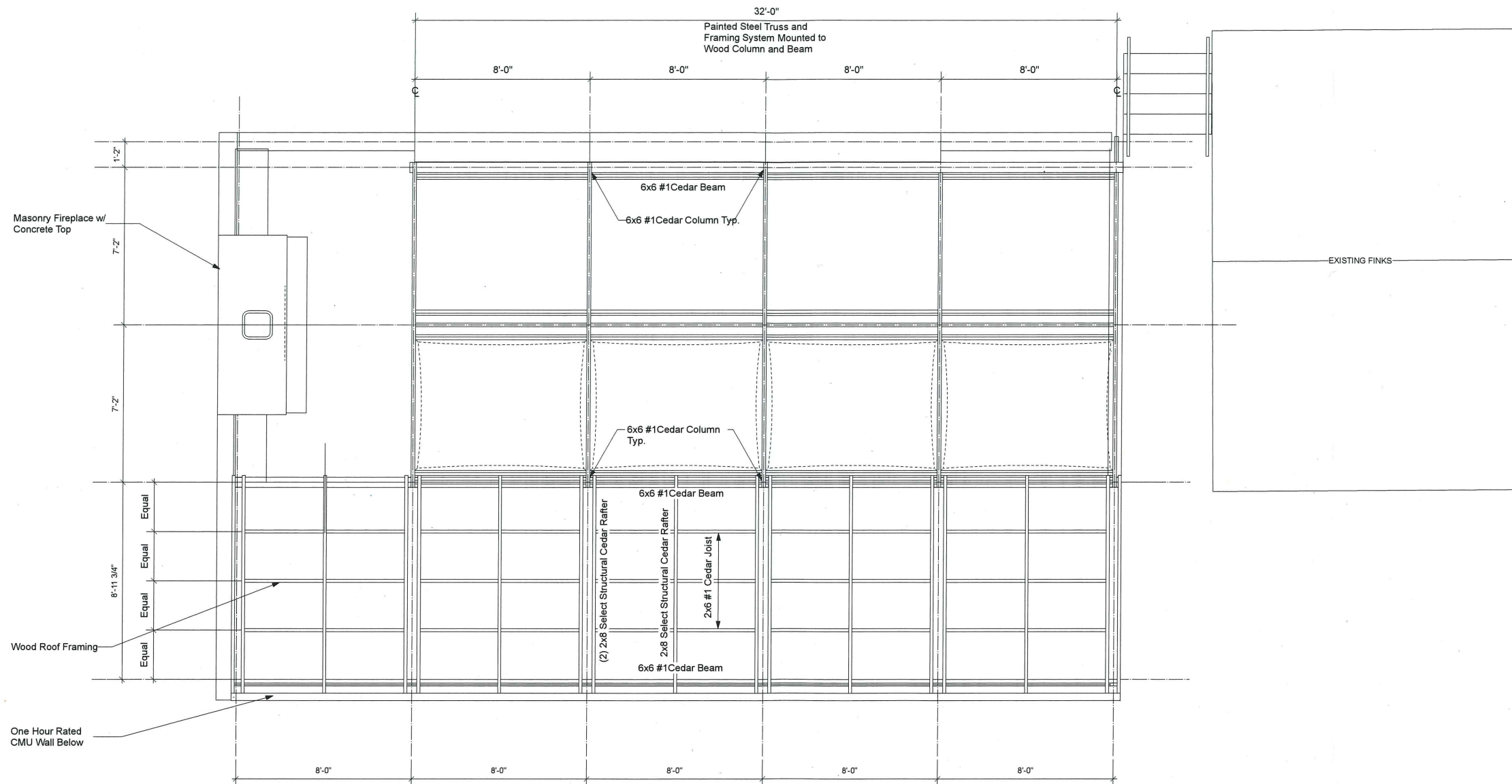
2 FIREPLACE DETAIL
A1.0 Scale: 1/2" = 1'-0"



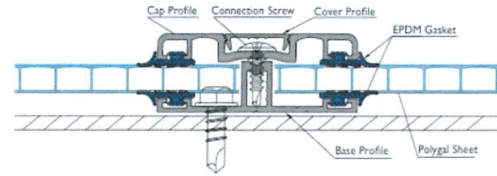
3 FIREPLACE DETAIL
A1.0 Not to Scale



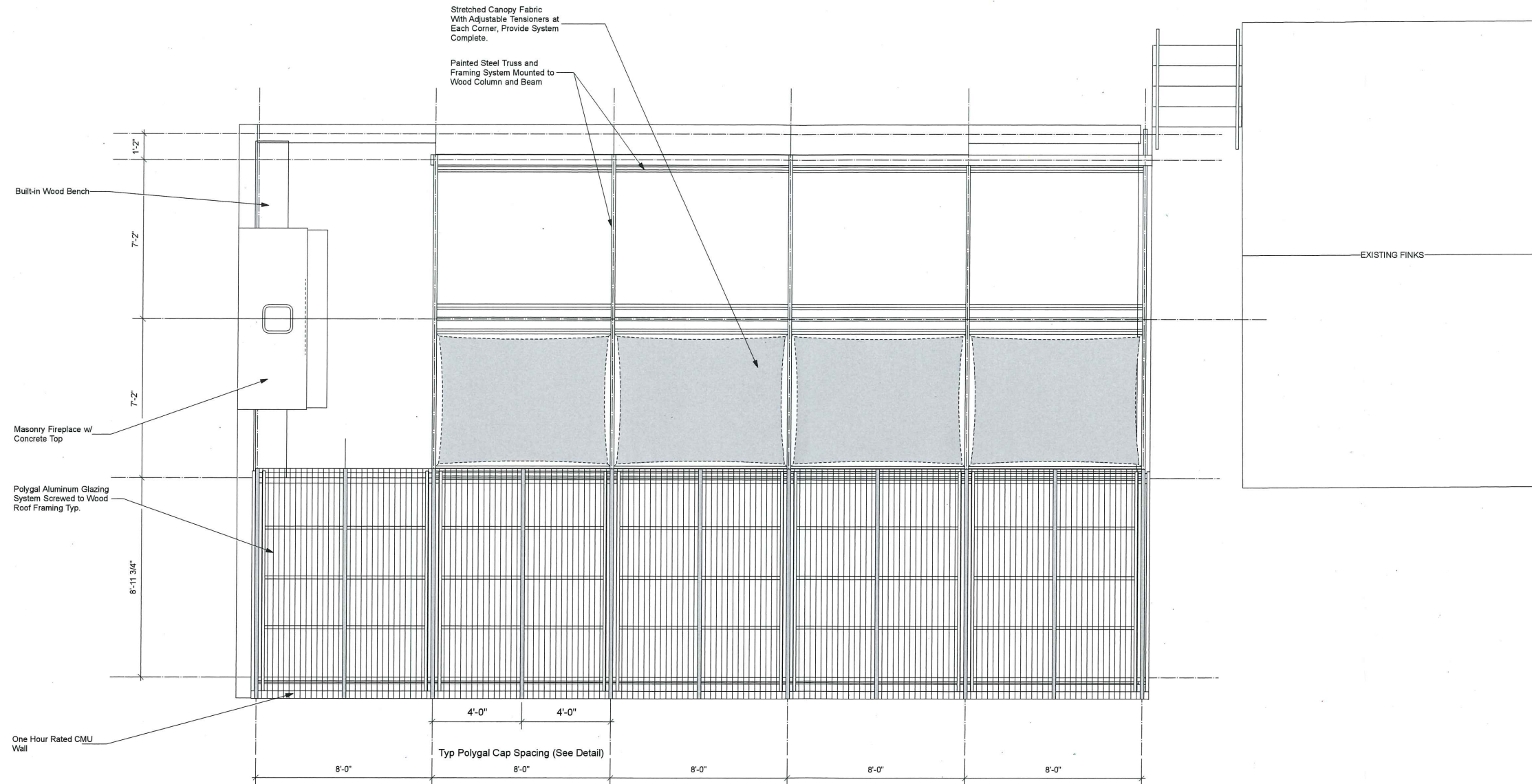
1 FLOOR PLAN
A1.0 Scale: 3/8" = 1'-0"



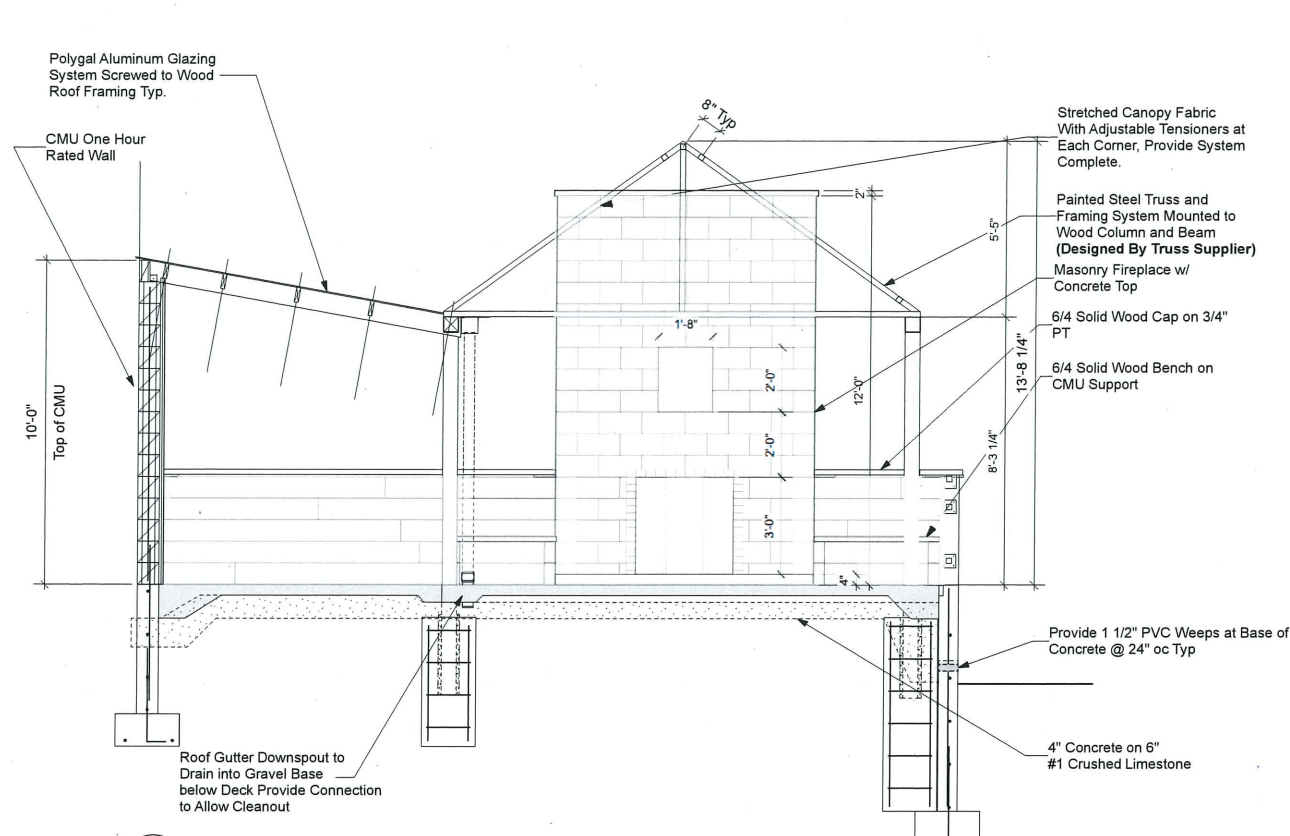
1 ROOF FRAMING PLAN
A1.1 Scale: 3/8" = 1'-0"



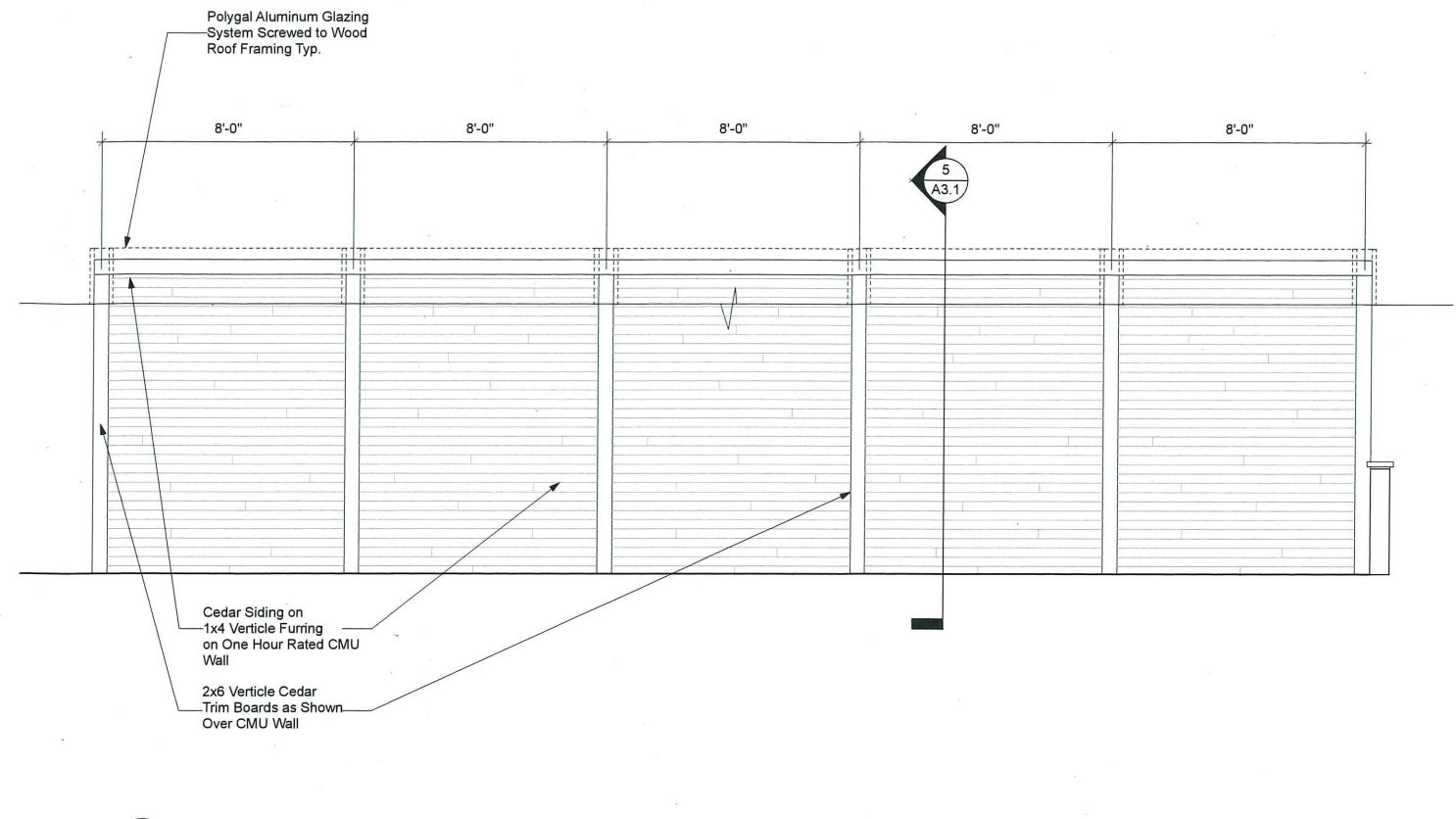
2 **Polygal Connector Rib Detail**
 A1.2 Scale: 3/8" = 1'-0"



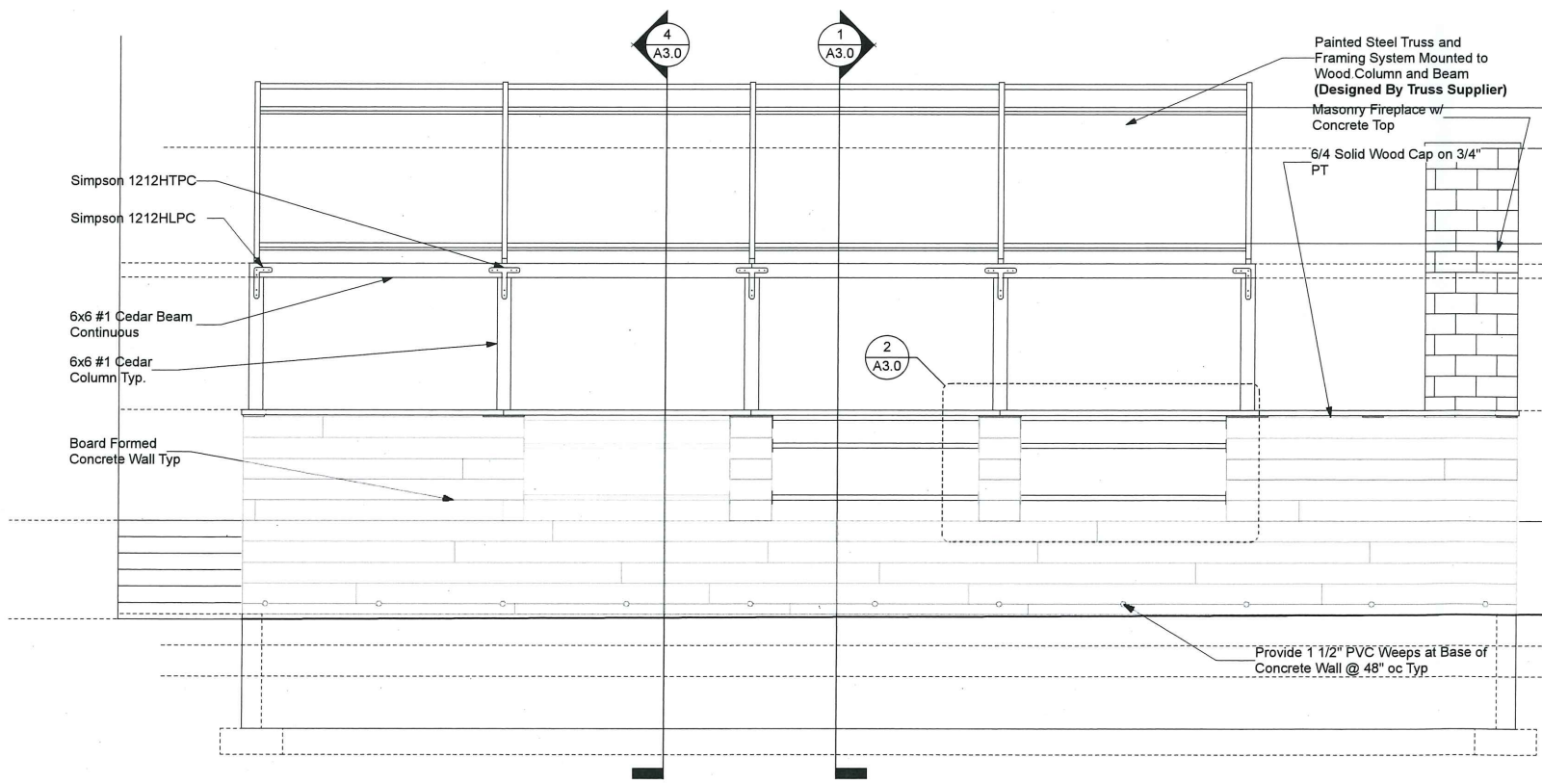
1 **ROOF PLAN**
 A1.2 Scale: 3/8" = 1'-0"



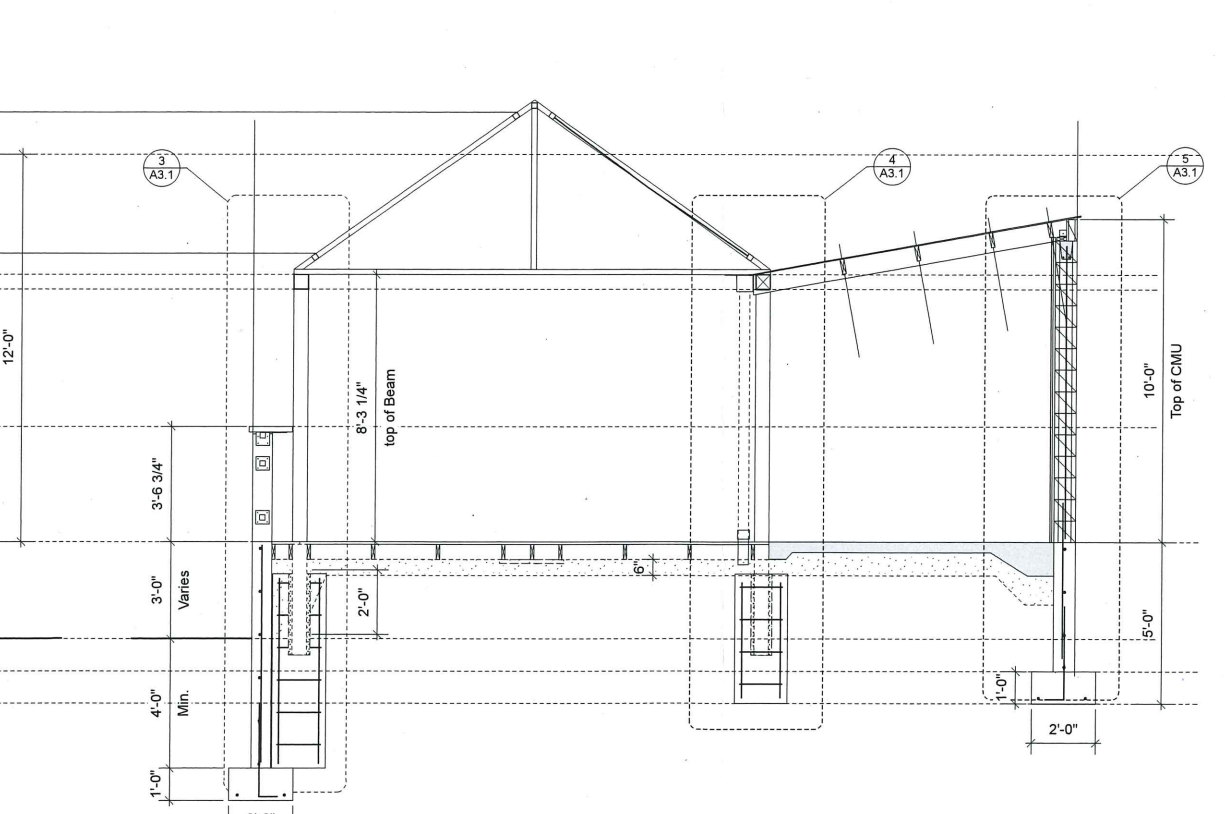
1 SECTION LOOKING WEST
 A3.0 Scale: 3/8" = 1'-0"



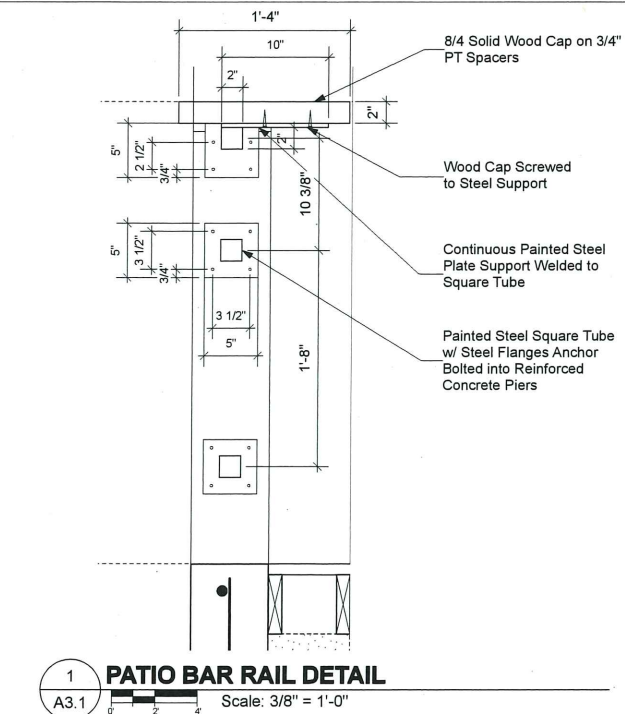
2 SECTION LOOKING WEST
 A3.0 Scale: 3/8" = 1'-0"



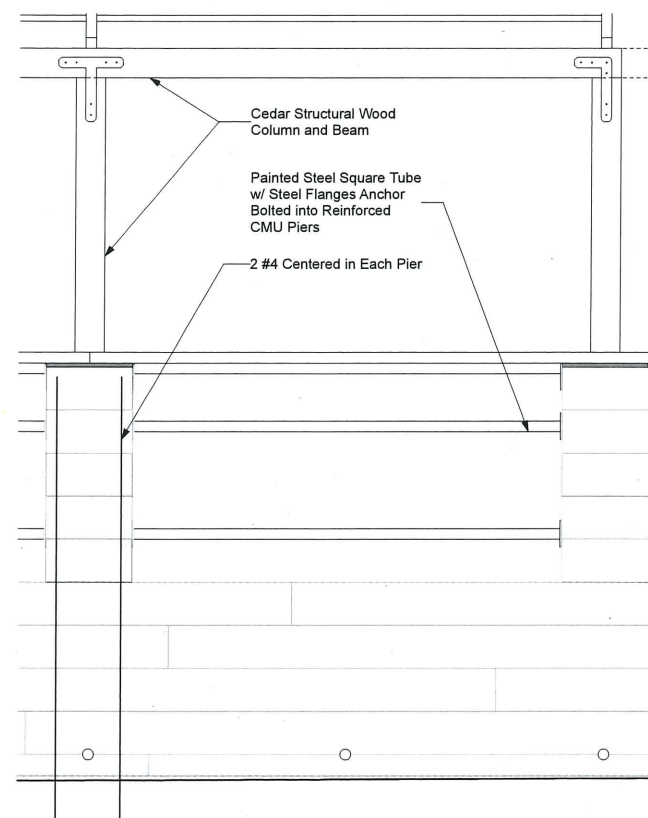
3 NORTH ELEVATION
 A3.0 Scale: 3/8" = 1'-0"



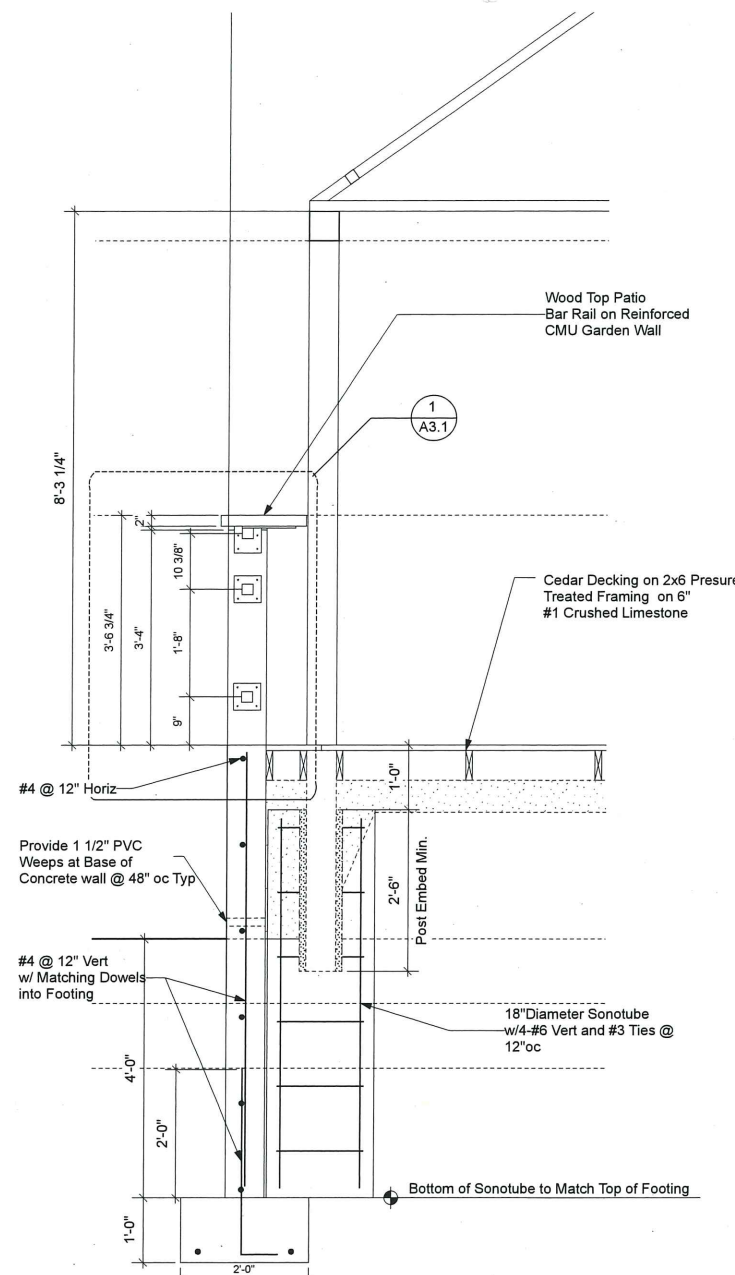
4 SECTION LOOKING EAST
 A3.0 Scale: 3/8" = 1'-0"



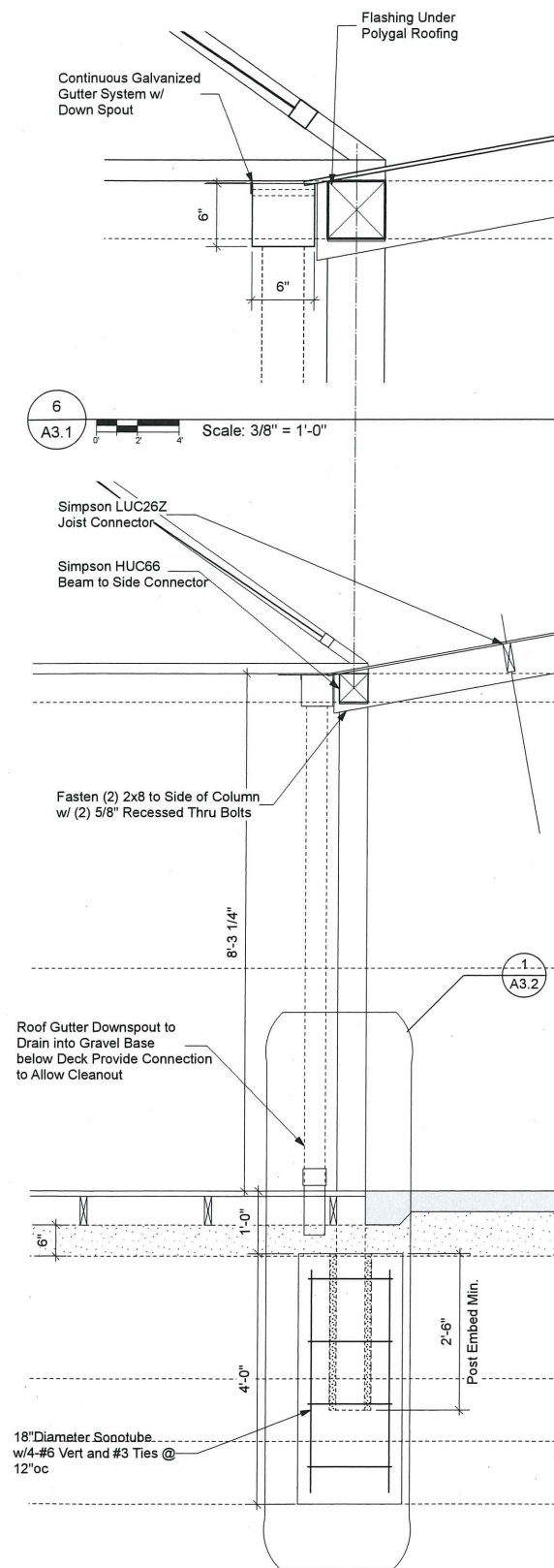
1 PATIO BAR RAIL DETAIL
A3.1 Scale: 3/8" = 1'-0"



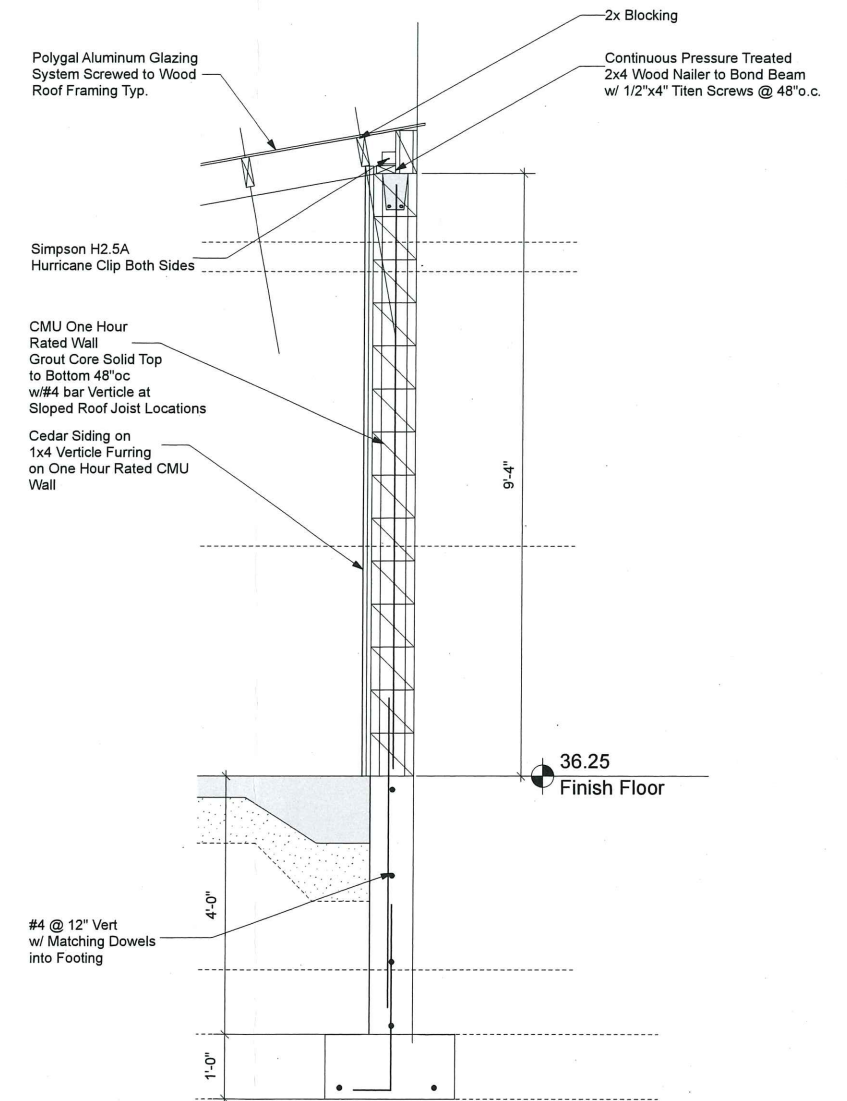
2 PATIO BAR RAIL PARTIAL ELEVATION DETAIL
A3.1 Scale: 3/4" = 1'-0"



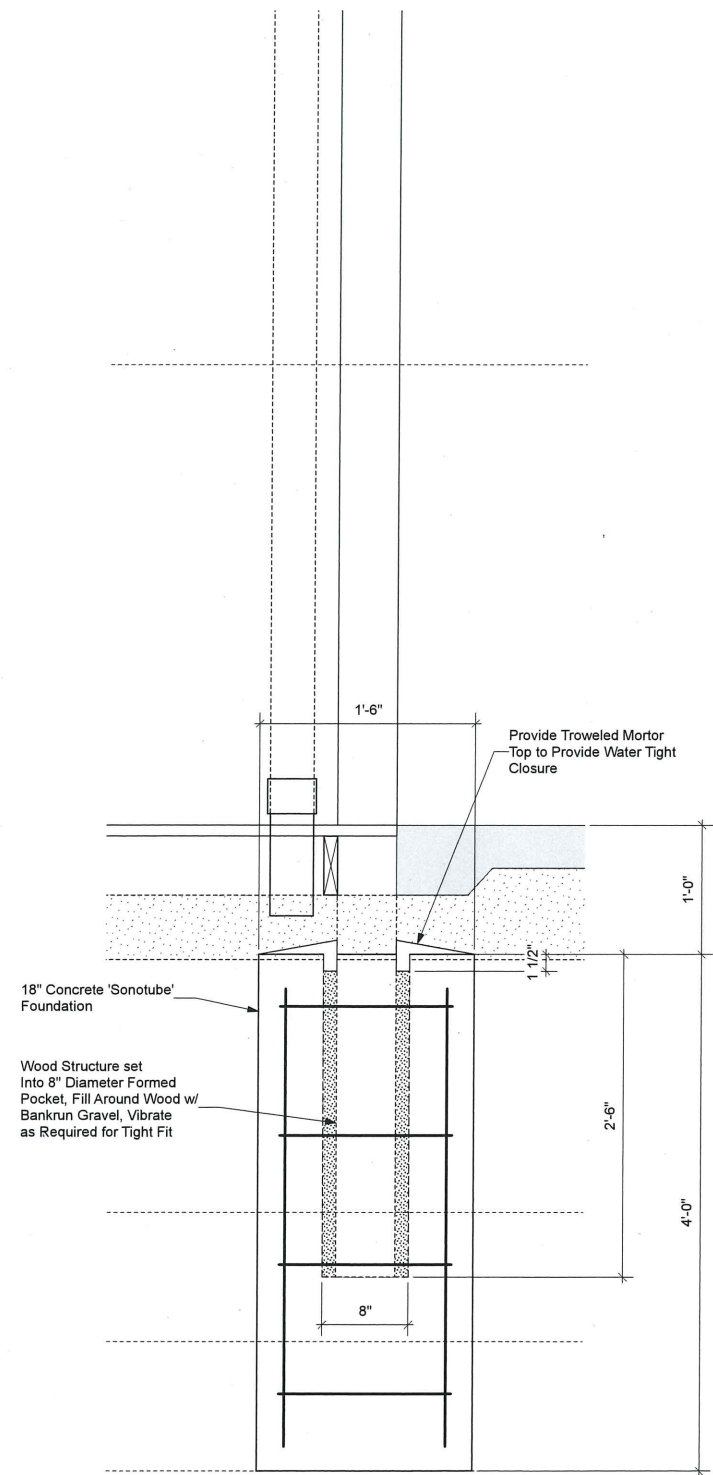
3 SECTION DETAIL AT PATIO BAR RAIL
A3.1 Scale: 3/4" = 1'-0"



4 SECTION DETAIL LOOKING EAST
A3.0 Scale: 3/4" = 1'-0"



5 SECTION DETAIL AT WOOD WALL LOOKING EAST
A3.1 Scale: 3/4" = 1'-0"



1 **WOOD POST FOUNDATION DETAIL**
 A3.2 Scale: 3/4" = 1'-0"