



12001 West Dearbourn Ave.
Wauwatosa, WI 53226
(P) 414-774-3799
www.kelmann.com

Federal Tax ID #39-1415612

Client: SWITZER, CHERYL
Property: 2933 W McKinley Blvd
Milwaukee, WI 53208

Cellular: (414) 559-9878

Operator: DDOLDENB

Estimator: Dan Oldenburg
Position: Estimator
Company: Kelmann Restoration
Business: 12001 W. Dearbourn Ave.
Wauwatosa, WI 53226

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Type of Estimate: Collision

Date Entered: 1/25/2021

Date Assigned:

Price List: WIMW8X_JAN21

Labor Efficiency: Restoration/Service/Remodel

Estimate: 21-0067-RCN-ADJ

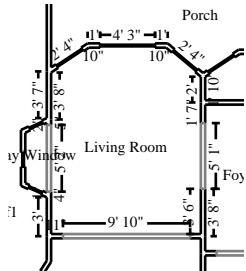
Following is our summary of restoration services to be rendered at the subject property.

Effective April 22 nd , 2010, the EPA mandates that any child occupied building built before 1978 be tested for lead-based paint prior to the disturbance of building materials. Lead-Safe Certified Restorers must use lead-safe practices until it can be determined that no lead exists in painted/finished surfaces. More information about the new lead rule is available at www.epa.gov/lead < <http://www.epa.gov/lead> >.

The State of Wisconsin is administering its own lead law with more stringent requirements. Under Wisconsin's lead rule, there is no op- out clause for the homeowner. More information about the new lead rule is available at www.dhs.wi.gov/lead/WIInfo.htm < <http://www.dhs.wi.gov/lead/WIInfo.htm> >.

21-0067-RCN-ADJ

Main Level



Living Room

Height: 9' 3"

281.74 SF Walls	161.17 SF Ceiling
442.91 SF Walls & Ceiling	161.17 SF Floor
17.91 SY Flooring	34.31 LF Floor Perimeter
49.22 LF Ceil. Perimeter	

Missing Wall - Goes to Floor	9' 10" X 6' 8"	Opens into DINING_ROOM
Missing Wall - Goes to Floor	5' 1" X 6' 8"	Opens into FOYER
Window	2' 4" X 5' 5"	Opens into PORCH
Window	4' 3" X 5' 5"	Opens into PORCH
Window	2' 4" X 5' 5"	Opens into PORCH
Missing Wall - Goes to neither Floor/Ceiling	5' 2" X 5'	Opens into BAY_WINDOW

DESCRIPTION

QTY

PREP WORK

1. Contents - move out then reset	1.00 EA
2. Mask and prep for paint - plastic, paper, tape (per LF)	49.22 LF
3. Dust control barrier per square foot	48.00 SF

Opening to foyer

4. Floor protection - plastic and tape - 10 mil	161.17 SF
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FRAMING

5. R&R Stud wall - 2x4 (per BF)	219.00 BF
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Reframe new exterior wall of living room

CEILING

6. 5/8" drywall - hung, taped, ready for texture	161.17 SF
7. Texture drywall - light hand texture	161.17 SF
8. Seal/prime then paint the ceiling twice (3 coats) - 2 colors	161.17 SF

WALLS

9. Batt insulation - 4" - R13 - unfaced batt	138.51 SF
10. Polyethylene vapor barrier, seam taping & joint caulking	138.51 SF
11. 1/2" drywall - hung, taped, ready for texture	281.74 SF
12. Texture drywall - light hand texture	281.74 SF
13. Seal/prime then paint the walls twice (3 coats) - 2 colors	281.74 SF

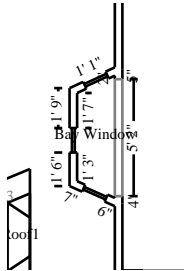
CONTINUED - Living Room

DESCRIPTION	QTY
<u>WINDOW</u>	
14. R&R Vinyl window - double hung, 9-12 sf - High grade	1.00 EA
15. Additional charge for a retrofit window, 3-11 sf	1.00 EA
16. Window drapery - hardware - Detach & reset	3.00 EA
17. Window trim set (casing & stop)	39.50 LF
18. R&R Window stool & apron	7.00 LF
19. Seal & paint window stool and apron	7.00 LF
20. Seal & paint window opening - Large (per side)	3.00 EA
21. Urethane foam sealant	15.50 LF
22. Seal & paint window trim & jamb - Large (per side)	3.00 EA
23. Seal & paint wood window (per side) - Large	3.00 EA
<u>RADIATOR</u>	
24. Clean radiator cover	1.00 EA
25. Prime & paint radiator unit	1.00 EA
26. Radiator cover - Large - Detach & reset	4.00 LF
<u>BASE</u>	
27. R&R Baseboard - 3 1/4" stain grade	34.31 LF
28. R&R Base shoe - stain grade	34.31 LF
29. Stain & finish base shoe or quarter round	34.31 LF
30. Stain & finish baseboard	34.31 LF
<u>FLOOR</u>	
31. Floor protection - cardboard and tape	161.17 SF
<i>During demo, protect hardwood flooring</i>	
32. Sand, stain, and finish wood floor	161.17 SF
33. Add for dustless floor sanding	161.17 SF
<u>ELECTRICAL</u>	
34. Rewire - average residence - copper wiring	161.17 SF
35. R&R Switch - 3 way	1.00 EA
36. R&R Ground fault interrupter (GFI) outlet - tamper resistant	1.00 EA
<u>POST-CONSTRUCTION CLEANING</u>	
37. Final cleaning - construction - Residential	161.17 SF

CONTINUED - Living Room

DESCRIPTION **QTY**

NOTES:



Bay Window

Height: 8'

60.21 SF Walls	7.75 SF Ceiling
67.96 SF Walls & Ceiling	7.75 SF Floor
0.86 SY Flooring	12.96 LF Floor Perimeter
12.96 LF Ceil. Perimeter	

Missing Wall - Goes to neither Floor/Ceiling	5' 2" X 5'	Opens into LIVING_ROOM
Window	1' 1" X 5' 5"	Opens into Exterior
Window	1' 1" X 5' 5"	Opens into Exterior
Window	1' 1" X 5' 5"	Opens into Exterior

DESCRIPTION **QTY**

PREP WORK

38. Mask and prep for paint - plastic, paper, tape (per LF)	12.96 LF
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CEILING

39. 5/8" drywall - hung, taped, ready for texture	7.75 SF
40. Texture drywall - light hand texture	7.75 SF
41. Seal/prime then paint the ceiling twice (3 coats)	7.75 SF

WALLS

42. Material Only Stud wall - 2" x 4" x 8' load bearing - 16" oc	12.96 LF
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Materials to frame out bay window

43. Carpenter - General Framer - per hour	8.00 HR
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Labor to frame out bay window and retro fit new framing into existing framing

44. 1/2" drywall - hung, taped, floated, ready for paint	30.10 SF
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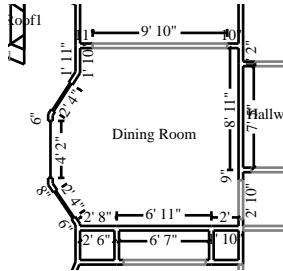
CONTINUED - Bay Window

DESCRIPTION	QTY
45. Texture drywall - light hand texture	30.10 SF
46. Seal/prime then paint part of the walls (2 coats)	30.10 SF
<u>WINDOW</u>	
47. Additional charge for bay and bow windows	10.83 LF
48. Add on for leaded stained glass in windows	17.61 SF
49. Install Wood window - picture (fixed), 3-11 sf	3.00 EA
<i>See quote/budget for material price</i>	
50. Storm window - wood, 12 - 24 sf	3.00 EA
51. Window trim set (casing & stop)	13.00 LF
52. Seal & paint wood window (per side)	3.00 EA
53. Paint window trim & jamb - 2 coats (per side)	3.00 EA
54. Window seat - paint grade	5.42 LF
55. Seal & paint window stool and apron	5.42 LF
<u>POST-CONSTRUCTION CLEANING</u>	
56. Final cleaning - construction - Residential	7.75 SF

NOTES:

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Dining Room

Height: 9' 3"

333.64 SF Walls	166.57 SF Ceiling
500.22 SF Walls & Ceiling	166.57 SF Floor
18.51 SY Flooring	37.70 LF Floor Perimeter
50.37 LF Ceil. Perimeter	

Missing Wall - Goes to Floor	9' 10" X 6' 8"	Opens into LIVING_ROOM
Missing Wall - Goes to Floor	2' 10" X 6' 8"	Opens into ROOM4
Window	2' 4" X 5' 5"	Opens into Exterior
Window	4' 2" X 5' 5"	Opens into Exterior
Window	2' 4" X 5' 5"	Opens into Exterior

DESCRIPTION

QTY

PREP WORK

57. Contents - move out then reset	1.00 EA
58. Mask and prep for paint - plastic, paper, tape (per LF)	50.37 LF
59. Mask and cover light fixture	1.00 EA
60. Dust control barrier per square foot	32.00 SF
61. Peel & seal zipper	1.00 EA

CEILING

62. 5/8" drywall - hung, taped, ready for texture	166.57 SF
63. Texture drywall - light hand texture	166.57 SF
64. Seal/prime then paint the ceiling twice (3 coats)	166.57 SF

WALLS

65. Batt insulation - 4" - R13 - unfaced batt	84.07 SF
66. Polyethylene vapor barrier, seam taping & joint caulking	84.07 SF
67. 1/2" drywall - hung, taped, ready for texture	333.64 SF
68. Texture drywall - light hand texture	333.64 SF
69. Seal/prime then paint the walls twice (3 coats)	333.64 SF

WINDOWS

70. Window drapery - hardware - Detach & reset	3.00 EA
71. R&R Casing - 2 1/4"	39.50 LF
72. R&R Window stool & apron	7.00 LF
73. Seal & paint window stool and apron	7.00 LF
74. Seal & paint window trim & jamb - Large (per side)	3.00 EA
75. Seal & paint wood window (per side) - Large	3.00 EA

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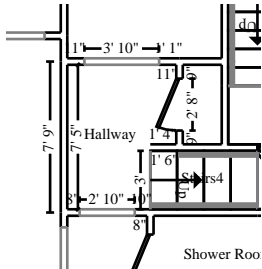
CONTINUED - Dining Room

DESCRIPTION	QTY
<u>RADIATOR</u>	
76. Clean radiator cover	1.00 EA
77. Prime & paint radiator unit	1.00 EA
78. Radiator cover - Large - Detach & reset	4.00 LF
<u>BASE</u>	
79. R&R Baseboard - 3 1/4" stain grade	37.70 LF
80. R&R Base shoe - stain grade	37.70 LF
81. Stain & finish base shoe or quarter round	37.70 LF
82. Stain & finish baseboard	37.70 LF
<u>FLOOR</u>	
83. Floor protection - cardboard and tape	166.57 SF
<i>During demo, protect hardwood flooring</i>	
84. Sand, stain, and finish wood floor	166.57 SF
85. Add for dustless floor sanding	166.57 SF
<u>ELECTRICAL</u>	
86. Detach & Reset Chandelier	1.00 EA
87. Clean chandelier - above average detail	1.00 EA
88. Rewire - average residence - copper wiring	166.57 SF
89. R&R Dimmer switch	1.00 EA
90. R&R Switch - 3 way	1.00 EA
91. R&R Ground fault interrupter (GFI) outlet - tamper resistant	1.00 EA
<u>POST-CONSTRUCTION CLEANING</u>	
92. Final cleaning - construction - Residential	166.57 SF

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Hallway

Height: 9' 3"

147.67 SF Walls	37.06 SF Ceiling
184.73 SF Walls & Ceiling	37.06 SF Floor
4.12 SY Flooring	13.36 LF Floor Perimeter
22.69 LF Ceil. Perimeter	

Missing Wall - Goes to Floor	2' 10" X 6' 8"	Opens into ROOM4
Missing Wall	3' X 9' 3"	Opens into STAIRS4
Door	2' 8" X 6' 8"	Opens into Exterior
Missing Wall - Goes to Floor	3' 10" X 6' 8"	Opens into FOYER

DESCRIPTION

QTY

PREP WORK

105. Contents - move out then reset - Small room	1.00 EA
106. Mask and prep for paint - plastic, paper, tape (per LF)	22.69 LF
107. Floor protection - plastic and tape - 10 mil	37.06 SF

CEILING

108. Plaster patch / small repair - ready for paint	1.00 EA
109. Thin coat plaster (no lath)	37.06 SF
110. Texture drywall - light hand texture	37.06 SF
111. Seal/prime then paint the ceiling twice (3 coats) - 2 colors	37.06 SF

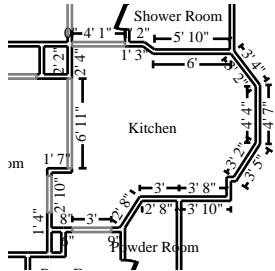
WALLS

112. Plaster patch / small repair - ready for paint	1.00 EA
113. Thin coat plaster (no lath)	147.67 SF
114. Texture drywall - light hand texture	147.67 SF
115. Seal/prime then paint the walls twice (3 coats) - 2 colors	147.67 SF

POST-CONSTRUCTION CLEANING

116. Final cleaning - construction - Residential	37.06 SF
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NOTES:

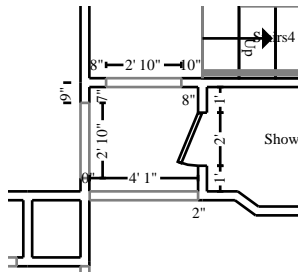


Kitchen

Height: 9' 3"

412.86 SF Walls	168.87 SF Ceiling
581.73 SF Walls & Ceiling	168.87 SF Floor
18.76 SY Flooring	45.60 LF Floor Perimeter
55.52 LF Ceil. Perimeter	

Missing Wall - Goes to Floor	3' X 6' 8"	Opens into REAR_ENTRY
Missing Wall - Goes to neither Floor/Ceiling	6' 11" X 5'	Opens into FAMILY_ROOM
Missing Wall - Goes to Floor	2' 10" X 6' 8"	Opens into FAMILY_ROOM



Subroom: Room4 (1)

Height: 9' 3"

70.12 SF Walls	16.09 SF Ceiling
86.21 SF Walls & Ceiling	16.09 SF Floor
1.79 SY Flooring	4.30 LF Floor Perimeter
16.05 LF Ceil. Perimeter	

Missing Wall - Goes to Floor	4' 1" X 6' 8"	Opens into KITCHEN
Door	2' X 6' 8"	Opens into SHOWER_ROOM
Missing Wall - Goes to Floor	2' 10" X 6' 8"	Opens into HALLWAY
Missing Wall - Goes to Floor	2' 10" X 6' 8"	Opens into DINING_ROOM

DESCRIPTION

QTY

PREP WORK

117. Contents - move out then reset	1.00 EA
118. Mask and prep for paint - plastic, paper, tape (per LF)	71.57 LF
119. Recessed light fixture - Detach & reset trim only	3.00 EA
120. Floor protection - plastic and tape - 10 mil	184.96 SF

CEILING

121. Seal/prime then paint the ceiling (2 coats)	184.96 SF
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WALLS

122. Drywall patch / small repair, ready for paint	1.00 EA
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@ Soffit

123. Texture drywall - light hand texture	95.63 SF
124. Seal/prime then paint the walls (2 coats)	482.99 SF

POST-CONSTRUCTION CLEANING

125. Final cleaning - construction - Residential	184.96 SF
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CONTINUED - Kitchen

DESCRIPTION

QTY

NOTES:



Family Room

Height: 9' 3"

356.51 SF Walls	160.57 SF Ceiling
517.08 SF Walls & Ceiling	160.57 SF Floor
17.84 SY Flooring	39.02 LF Floor Perimeter
50.69 LF Ceil. Perimeter	

Missing Wall - Goes to neither Floor/Ceiling

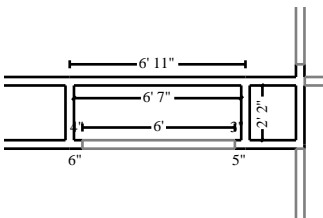
6' 11" X 5'

Opens into KITCHEN

Missing Wall - Goes to Floor

2' 10" X 6' 8"

Opens into KITCHEN



Subroom: Room9 (2)

Height: 9' 3"

121.65 SF Walls	14.18 SF Ceiling
135.83 SF Walls & Ceiling	14.18 SF Floor
1.58 SY Flooring	11.48 LF Floor Perimeter
17.48 LF Ceil. Perimeter	

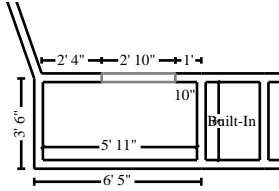
Missing Wall - Goes to Floor

6' X 6' 8"

Opens into FAMILY_ROOM

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Subroom: Room13 (1)

Height: 9' 3"

146.30 SF Walls	17.79 SF Ceiling
164.08 SF Walls & Ceiling	17.79 SF Floor
1.98 SY Flooring	15.02 LF Floor Perimeter
17.86 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

2' 10" X 6' 8"

Opens into FAMILY_ROOM

DESCRIPTION

QTY

PREP WORK

126. Contents - move out then reset	1.00 EA
127. Mask and prep for paint - plastic, paper, tape (per LF)	86.02 LF
128. Floor protection - plastic and tape - 10 mil	192.54 SF

CEILING

129. Seal/prime then paint the ceiling (2 coats)	192.54 SF
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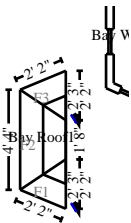
WALLS

130. Seal/prime then paint the walls (2 coats)	624.46 SF
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POST-CONSTRUCTION CLEANING

131. Final cleaning - construction - Residential	192.54 SF
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NOTES:



Bay Roof1

10.85 Surface Area	0.11 Number of Squares
14.86 Total Perimeter Length	
4.96 Total Hip Length	

DESCRIPTION

QTY

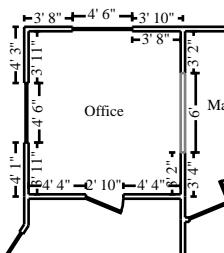
ROOFING

CONTINUED - Bay Roof1

DESCRIPTION	QTY
132. Carpenter - General Framer - per hour <i>Labor to repair damage to roof framing above bay window</i>	2.00 HR
133. Material Only Sheathing - plywood - 1/2" CDX	10.85 SF
134. Material Only Laminated - comp. shingle rfg. - w/ felt <i>Materials to replace shingles</i>	1.00 SQ
135. Material Only Step flashing	6.17 LF
136. Roofer - per hour <i>Labor to perform roofing</i>	4.00 HR
137. R&R Corbel - wood - over 4" wide w/ intricate detail	3.00 EA

NOTES:

2nd Level



Office

Height: 9' 2"

328.56 SF Walls	141.83 SF Ceiling
470.39 SF Walls & Ceiling	141.83 SF Floor
15.76 SY Flooring	38.83 LF Floor Perimeter
47.67 LF Ceil. Perimeter	

Window	4' 6" X 5' 6"	Opens into Exterior
Door	2' 10" X 6' 8"	Opens into DAUGHTERS_B
Missing Wall - Goes to Floor	6' X 6' 8"	Opens into MASTER_BEDRO
Window	4' 6" X 5' 6"	Opens into Exterior

DESCRIPTION	QTY
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PREP WORK

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CONTINUED - Office

DESCRIPTION	QTY
138. Contents - move out then reset - Large room	1.00 EA
139. Mask and prep for paint - plastic, paper, tape (per LF)	47.67 LF
140. Dust control barrier per square foot	48.00 SF
141. Peel & seal zipper	1.00 EA
142. Floor protection - plastic and tape - 10 mil	141.83 SF
<u>CEILING</u>	
143. Plaster patch / small repair - ready for paint	1.00 EA
144. Thin coat plaster (no lath)	141.83 SF
145. Texture drywall - light hand texture	141.83 SF
146. Seal/prime then paint the ceiling twice (3 coats)	141.83 SF
<u>WALLS</u>	
147. Plaster patch / small repair - ready for paint	1.00 EA
148. Thin coat plaster (no lath)	12.33 SF
149. Texture drywall - light hand texture	12.33 SF
150. Seal/prime then paint the walls twice (3 coats)	328.56 SF
151. Seal & paint trim - two coats	38.83 LF
<i>Plate rail</i>	
<u>WINDOWS</u>	
152. Seal & paint window trim & jamb - Large (per side)	2.00 EA
153. Seal & paint wood window (per side) - Large	2.00 EA
<u>DOOR</u>	
154. Seal & paint door opening - Large (per side)	2.00 EA
155. Seal & paint door opening (per side)	2.00 EA
156. Seal & paint door slab only (per side)	2.00 EA
<u>POST-CONSTRUCTION CLEANING</u>	
157. Final cleaning - construction - Residential	141.83 SF

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CONTINUED - Daughter's Bedroom

DESCRIPTION	QTY
172. Seal & paint window trim & jamb - Large (per side)	3.00 EA
173. Seal & paint wood window (per side) - Large	3.00 EA
DOOR	
174. Seal & paint door opening (per side)	4.00 EA
175. Seal & paint door slab only (per side)	4.00 EA
POST-CONSTRUCTION CLEANING	
176. Final cleaning - construction - Residential	189.48 SF

NOTES:

Exterior

DESCRIPTION	QTY
EXTERIOR/SIDING	
177. R&R Siding - plywood - fir face	128.00 SF
<i>Exterior sheathing</i>	
178. R&R House wrap (air/moisture barrier)	128.00 SF
179. Seal & paint wood siding	48.69 SF
180. Finish Carpenter - per hour	6.00 HR
<i>Labor to carefully detach historical wood trim and crown from bay window and return at a later date to reset</i>	
181. Timber frame knee brace - Decorative	2.00 EA
182. Corbel - wood - over 4" wide w/ intricate detail	2.00 EA
183. Painter - per hour	2.00 HR
<i>Labor and materials to paint wood trim and knee braces</i>	
GUTTER/DOWNSPOUT	
184. R&R Gutter / downspout - aluminum - up to 5"	12.00 LF

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CONTINUED - Exterior

DESCRIPTION	QTY
185. Prime & paint gutter / downspout	12.00 LF

NOTES:

General Conditions

DESCRIPTION	QTY
<u>INDOOR ENVIRONMENTAL QUALITY CONTROLS</u>	
186. Neg. air fan/Air scrub.-Large (per 24 hr period)-No monit. <i>1 Unit, rental capped at 3 days.</i> <i>Reference: National Institute for Occupational Safety and Health (NIOSH) . Maintaining indoor environmental quality (IEQ) during construction and renovation projects. By Burton N, Afanuh S. Cincinnati, OH: U.S. Department of Health and Human Services, Centers for Disease Control and Prevention, National Institute for Occupational Safety and Health, DHHS (NIOSH) Publication No. 2020110.</i>	3.00 DA
https://www.cdc.gov/niosh/docs/wp-solutions/2020-110/pdfs/2020-110.pdf?id=10.26616/NIOSH PUB2020110	
187. Equipment setup, take down, and monitoring (hourly charge)	2.00 HR
<u>HAZARDOUS MATERIALS TESTING</u>	
188. Lead swab test - self test (per sample) <i>Note - property constructed pre-1978, impacted surfaces will be tested for lead prior to any activities on the impacted surfaces that would generate dust. In the event that test(s) are positive, supplement to this scope and estimate would be presented for additional containment, cleaning and PPE in compliance with EPA-mandated RRP rules.</i>	2.00 EA
189. Asbestos test fee - self test (per sample) <i>Testing for possible ACBM. In the event that test(s) are positive, supplement to this scope and estimate would be presented for additional containment, cleaning, disposal, and PPE in compliance with EPA and OSHA mandated rules.</i>	2.00 EA
<u>CLEANUP AND DEBRIS REMOVAL</u>	
190. Add for personal protective equipment (hazardous cleanup) <i>As required to ensure worker's safety while performing operations in a restoration environment.</i>	12.00 EA
191. Dumpster load - Approx. 20 yards, 4 tons of debris	1.00 EA

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CONTINUED - General Conditions

DESCRIPTION	QTY
192. Material Only Underlayment - 1/2" OSB <i>Tracking pad for dumpster placement.</i>	128.00 SF
<u>SUPERVISION / PROJECT MANAGEMENT</u>	
193. Residential Supervision / Project Management - per hour	40.00 HR
<i>Note: This is for a Superintendent/Project Manager used to manage residential jobs where Supervision/Project Management is needed to coordinate the work of subcontractors, or perform other project management duties. This item is not intended to be used for a working crew leader. Full time Supervision/Project Management may be typical on larger residential projects where the number of subcontractors and trades justifies full time. A Superintendent/Project Manager may complete tasks such as, but not limited to, create/maintain project schedules, coordinate/meet trades, order materials, inspect job sites, obtain permits, meet with inspectors, etc.</i>	
<i>Additional Project manager time to work with the City of Milwaukee Historical Preservation department.</i>	
<u>PERMITS & FEES</u>	
194. Taxes, insurance, permits & fees (Bid Item)	1.00 EA
<i>Supplement to be presented based on incurred costs.</i>	
<u>TEMP WALL / INSULATION</u>	
195. R&R Stud wall - 2x4 (per BF)	122.00 BF
196. R&R Batt insulation - 4" - R11- unfaced batt	111.00 SF
197. R&R Rigid foam insulation board - 1"	111.00 SF
221. Install Final adjustment	1.00 EA

NOTES:

Sub Contractors

DESCRIPTION	QTY
<u>INITIAL DEBRIS REMOVAL/CLEANUP</u>	
198. Hazardous Material Remediation (Bid Item)	1.00 EA

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CONTINUED - Sub Contractors

DESCRIPTION	QTY
<i>Bid from Asbestos Abatement LLC</i>	
<u>DEMO OF REMAINING WALLS/CEILING in LR/DR</u>	
199. Hazardous Material Remediation (Bid Item)	1.00 EA
<i>Bid from Asbestos Abatement LLC</i>	
<u>MASONRY</u>	
200. Masonry (Bid Item)	1.00 EA
<i>Bid from Holton Brothers</i>	
<u>STAINED GLASS/LEAD WINDOWS</u>	
201. Windows - Wood (Bid Item)	1.00 EA
<i>Budget from Tosa Glass for (3) lead lined/stained glass windows</i>	

NOTES:

Labor Minimums Applied

DESCRIPTION	QTY
202. Siding labor minimum	1.00 EA
203. Gutter labor minimum	1.00 EA

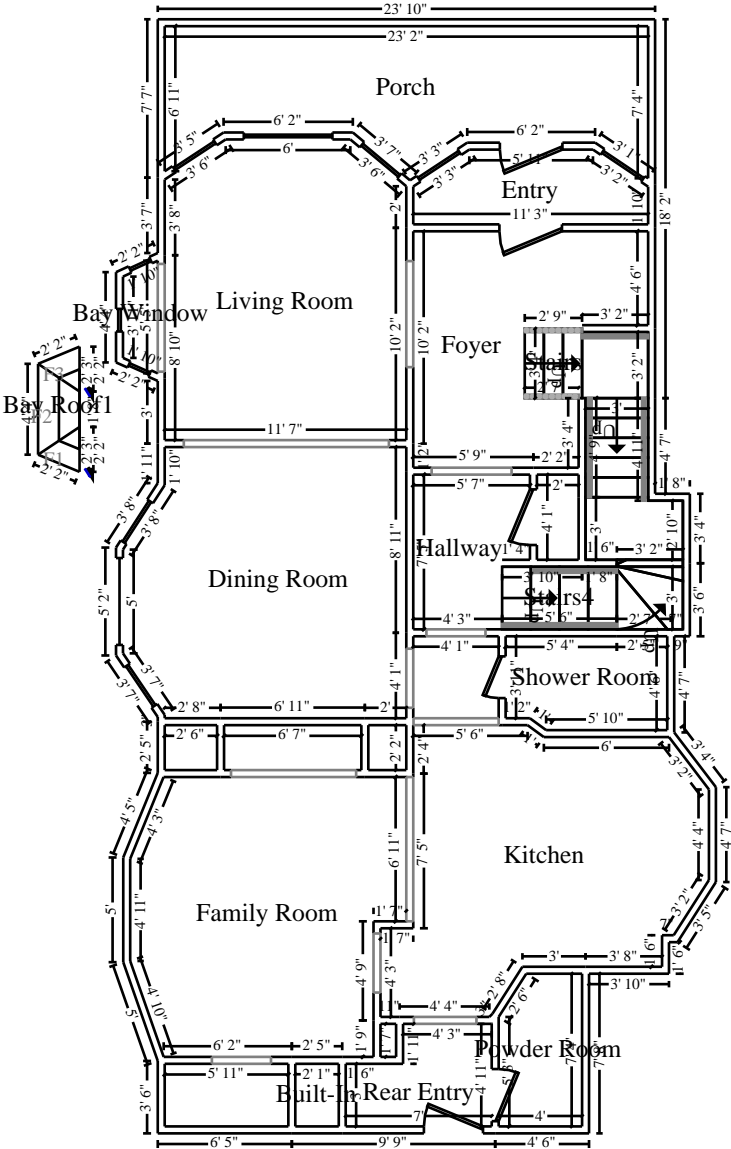
NOTES:

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Grand Total Areas:

5,391.49 SF Walls	1,704.29 SF Ceiling	7,095.77 SF Walls and Ceiling
1,736.88 SF Floor	192.99 SY Flooring	597.73 LF Floor Perimeter
0.00 SF Long Wall	0.00 SF Short Wall	757.00 LF Ceil. Perimeter
1,736.88 Floor Area	1,881.10 Total Area	4,872.56 Interior Wall Area
2,300.00 Exterior Wall Area	261.22 Exterior Perimeter of Walls	
10.85 Surface Area	0.11 Number of Squares	0.00 Total Perimeter Length
0.00 Total Ridge Length	4.96 Total Hip Length	



Main Level

