



Board of Zoning Appeals

NOTICE

Chairperson
Eric Lowenberg

Vice Chairman
Henry Szymanski

Members
Jennifer Current
Marjorie Rucker
Lindsey St. Arnold Bell

Alternates
Kevin Kuschel
Michael Wright

Secretary
India Gaar

DATE: July 29, 2025

TO: Lafayette L. Crump, Commissioner, Department of City Development
Jerrel Kruschke, Commissioner, Department of Public Works
Jezamil Arroyo-Vega, Commissioner, Department of Neighborhood Services

FROM: India Gaar, Secretary

RE: **Premises:** 6418 W MILL RD
Case No: BZZA-25-00271
Petitioner: Continental A1 Corporation, petitioner
Contact: Ajit S. Walia; 414-588-0554
Type of Appeal: Special Use
Reason: to construct a motor vehicle filling station
Zoning: IL1
Section Being Appealed: 295-803-1

On July 1, 2025, Continental A1 Corporation filed an application to construct a motor vehicle filling station. Please review the enclosed materials and provide any comments, concerns, or recommendations relating to the proposed Special Use.

The Board must determine whether the application for the Special Use requested is consistent with the findings that must be made pursuant to s. 295-311 of the Milwaukee Code of Ordinances.

To enable the Board to be apprised of all the facts, and how this use will affect the present and future use of neighboring property, we would appreciate it if your Department would review the enclosed material and send us your comments on how this proposed use will affect the existing uses in the neighborhood. A complete record of the information submitted is available in the Board office.

If you have any questions or require additional information, please do not hesitate to contact the Board office.

Encls.

C: Ald. Larresa Taylor, Dist. 9





Board of Zoning Appeals (BOZA) referral

809 N. Broadway

Milwaukee, WI 53202-3617

414-286-2501

Applicant: Continental A1 Corporation, Ajit Walia

Premises: 6418 W Mill Road

Zoning District: IL1

Associated LMS Record: COM-NEW-24-00098

In accordance with section 295-301 of the City of Milwaukee Zoning Code your project or proposal must receive approval(s) from the Board of Zoning Appeals for the following issue(s) **before** any associated construction permits or occupancy certificates are granted:

☒ **Special Use**

☐ **Use Variance**

☐ **Dimensional Variance(s)** – see associated LMS records for further details

Comments: Table 295-803-1 - A Filling Station is a Special Use in an IL1 zoned district.

Prepared by:

Eric Lemmer

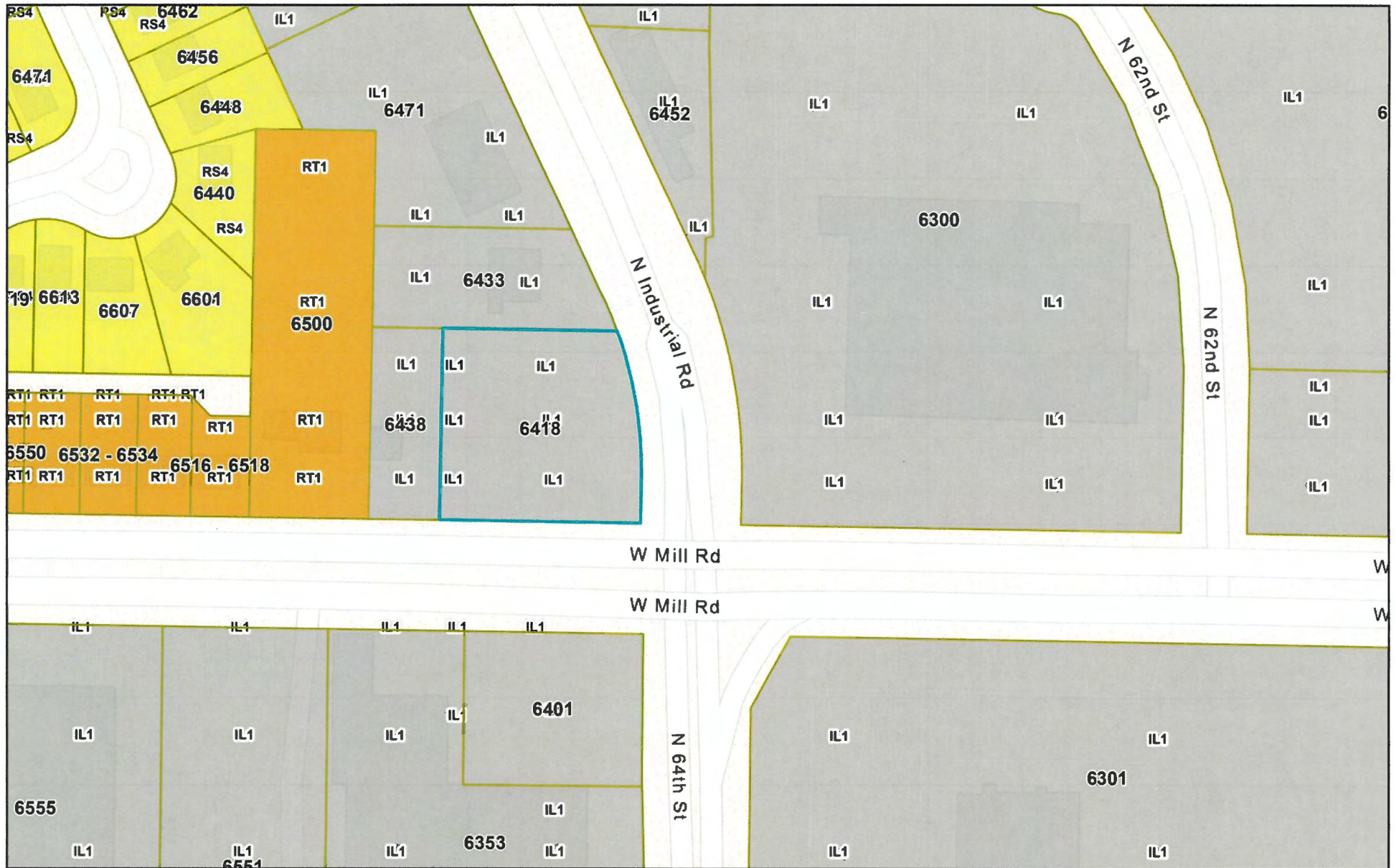
Issued: 11/JULY/2025

If you wish to pursue this request, you must file an application with the Board of Zoning Appeals. An informational booklet is available to assist you in this process; additional information is also available at <http://city.milwaukee.gov/BOZA>. If you have questions about the zoning appeals process, please contact the Board of Zoning Appeals office at (414) 286-2501.

You must appeal this denial within 30 days of the issue date indicated above. If you do not file an appeal within 30 days, you will need to obtain another referral letter from the Milwaukee Development Center before pursuing your zoning appeal.

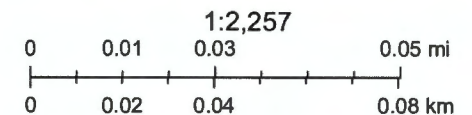
For questions regarding occupancy or building permits, please call the Development Center at (414) 286-8207. Permit and Land Management System (LMS) record details are available at <http://city.milwaukee.gov/permits>.

6418 W. Mill Rd



7/15/2025, 10:32:13 AM

- Milwaukee City Boundary
- Residential - single family
- Residential - two family
- Industrial - light



City of Milwaukee, Wisconsin, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

City of Milwaukee



HOME

SEARCH

SUMMARY

INTERIOR

EXTERIOR

ABOUT

[Printable Record Card](#) | [Previous Assessments](#) | [Sale Owner History](#) | [Permits](#)

Card 1 of 1

Location 6418 W MILL RD	Property Account Number 1400272000	Parcel ID 1400272000
		Old Parcel ID

Current Property Mailing Address

Owner **CONTINENTAL A1 CORP**
 Address **1202 W HIGHLAND AVE**

City **MILWAUKEE**
 State **WI**
 Zip **53223**
 Zoning **IL1**

Current Property Sales Information

Sale Date **1/8/1999**
 Sale Price **30,000**

Legal Reference **7665041**
 Grantor(Seller) **SHARON A GIBB**

Current Property Assessment

Year **2025**
 Land Area **0.83999 - AC**

Total Parcel Value
 Building Value **0**
 Yard Items Value **0**
 Land Value **54,900**
 Total Value **54,900**

Narrative Description

This property contains **0.83999 - AC** of land mainly classified as **Local Commercial** with a(n) **N/A** style building, built about **N/A**, having **N/A** exterior and **N/A** roof cover, with 0 commercial unit(s) and 0 residential unit(s), **0** total room(s), **0** total bedroom(s), **0** total bath(s), **0** total half bath(s), **0** total 3/4 bath(s).

Legal Description

CERTIFIED SURVEY MAP NO 4157 IN SE 1/4 SEC 22-8-21 PARCEL 2 BID #31

Property Images

No Sketch
 Available

No Picture
 Available



BOARD OF ZONING APPEALS - CITY OF MILWAUKEE

NOTICE OF APPEAL AND APPLICATION FOR REVIEW

Address of Property: 6418 W Mill Road , Milwaukee, WI

Petitioner Info

Petitioner Name: Continental A1Corp.

(petitioner must have interest in land)

Mailing Address: 4725 North 159th Street

City / State: Brookfield

Zip Code 53005

Phone: 414-588-0554

Email or Fax: jasonsingh@aol.com

Contact Info

Primary Contact Atty. Ajit S Walia

Mailing Address: Same

City / State:

Zip Code

Phone:

Email or Fax:

Relationship to
petitioner

Attorney/Agent

(e.g. Architect, Attorney, Contractor)

Property Information:

Present Use of

Property: Vacant

Proposed Use of

Property: Gas Station

Investment in

Property*: \$500,000

*Please provide the estimated dollar amount
necessary to complete the proposed project or
implement the proposed use.

Do you:



Own the property?



Lease the property?

Term of the lease: _____



Have an offer to purchase the property?



Have another type of interest in the property _____

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE

Petitioner's Signature:

Date: 6-30-25

Validation for \$60.00 fee must appear here

Type 0209

Staff Use Only:

Previous BOZA history

at this site: Yes

Lot Area: 36,590

Previous case no: B22A-16-00165

Zoning: IL1

Hearing date: 1-18-2018

Qtr Section: _____

Property use changing? Yes

Ald. District: 9

Is this a new operator? Yes

B22A-25-00271

Please make checks payable to :
"City of Milwaukee"

Note: Depending upon your application, additional fees may be required prior to your hearing. For a complete list of fees, please refer to s.200-33-65 MCO. This application will not be accepted for review unless the validation block indicates that the FEE has been paid. ALL FEES ARE NON-REFUNDABLE.

PLAN OF OPERATION
Continental A1 Corp d/b/a Pantry 4l#64 6418 W. Mill
Road

1. **LOCATION**
6418 W. Mill Rd
2. **NATURE AND TYPE OP BUSINESS**
Gas Station/Convenience store/food
3. **ZONING**
Industrial
4. **DESCRIPTION OF HOW NEIGHBORING PROPERTY IS BEING USED**
EAST-Commercial, WEST-used for commercial (Non- Profit Organisation),
SOUTH-COMMERCIAL, NORTH-Commercial
5. **NUMBRROFEMPLOYEES**
6-10EMPLOYEES, 1-2 EMPLOYEES/SHIFT
6. **HOUR OPERRATION**
24 HRS/7DAYS if allowed otherwise 5AM to 12 am/7days
7. **NUMBER OF TRUCKS**
NO TRUCKS OWNED. GASOLINE DELIVERIES 3 TRUCKS PER WEEK,
INSIDE STORE DELIVERIES-6PER WEEK
8. **ON-SITE AND OEF-STREET PARKING**
ON-SITE PARKING SPACES AND ADDITIONALLY 8 CAR SPACES
AROUND GASOLINE PUMPS. FURTHER, STREET PARKING IS ALSO
AVAILABLE ALONG SIDE OF THE STREET.
9. **TRAFFIC PATTERN**
2 WAY TRAFFIC ON Mill Road
10. **BUFFER AREA GROUNDELEVATION LOADING AND UNLOADING**
No change. LOADING AND UNLOADING AT ENTRANCE TO BUILDING.
11. **AREA BEING SERVRED BY OUR USE**
IMMEDIATE NEIGHBORHOOD
12. **STATEMENT REGARDING NUISANCES THAT WILL OR WILL NOT**
WE WILL INSTALL SEVERAL TRASH CONTAINERS INSIDE AND OUTSIDE
OF BUILDING FOR COLLECTION OF CANDY WRAPPERS, DISCARDED
PAPERS ETC. WE WILL INSTALL A COLOR MONITOR SYSTEM INSIDE
THE STORE TO PROTECT PUCLIC. MORE CONTAINERS AS NEEDED.

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE

ALL RESPONSES MUST BE TYPED!!!

Additional Information for Motor Vehicle Repair Facilities, Sales Facilities, and Car Washes:

Repair Facilities: Will your business install car rims, alarms, and/or stereos?	NO
Sales Facilities: How many sales vehicles will be displayed at any one time?	None
Car Washes: Please provide a brief explanation of any mechanical washing or drying equipment.	No
Will you see clients by appointment only or will you take walk-ins?	N/A

Additional Information for Filling Stations:

Will there be any merchandise located outside the building? If so, please list the items and their location, and add the location to the site plan as well.	NO
---	----

RECEIVED

JUL 08 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE

STATEMENT OF SPECIAL USE

Continental Al Corp d/b/a Pantry 41#64
6418 W. Mill Road

Continental Al Corporation submits this statement of Special Use to show how the project meets the criteria for a special use in s. 295-59-5.5-c., Ordinances.

Protection of Public Health, Safety and Welfare.

The project is located at the northwest corner of Mill Road and Industrial Road. Most of the uses on Industrial Road are industrial. Cintas warehouse complex is located at Northeast corner of Mill Road and Industrial Road, The School Buses garage is located at southeast corner. A residential structure on the western parcel is occupied by a roofing company that supports our project.

The project includes a food convenience mart and automotive products and gasoline will be sold from automated pumps underneath a protected canopy.

The zoning on the parcel is industrial.

The project will be constructed with significant room for parking. All of the customer activities will be fully contained on the Site. Continental Al Corp. does not anticipate any off-site noise or traffic impacts.

• Protection of Property.

As above noted, Continental Al Corp. strongly believes that the project will generate no adverse impacts on neighboring properties.

Landscaping elements will be added. A new enclosed and screened dumpster area will be built.

Continental Al Corp. strongly believes that the project will have a positive impact on the neighborhood and may help spur additional redevelopment projects.

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE

Traffic and Pedestrian Safety.

- As noted above, Continental Al Corp. strongly believes that the project will not generate any off-site impacts. Cars will be able to enter and exit the site quickly which is important because of the traffic volumes on Mill Road. There is also sufficient room on-site for cars on the busiest days.
- Southbound traffic on Industrial Road is low. Accordingly; potential conflicts between cars existing the site and street traffic should be minimal.
- Continental Al Inc. does not anticipate any significant increase in on-site pedestrian traffic. The project will not pose a hazard to either pedestrian or vehicular traffic in that the site has been designed with adequate on-site parking for customers which does not interfere with pedestrian access to the building.

4. Consistency with Comprehensive plan

The project is consistent with the Comprehensive Plan which envisions commercial/industrial uses on the parcel.

Respectfully submitted this 30 day of June, 2025

Continental Al Corp.

By: [Signature]

P.O. Address:
1202 W. Highland Avenue
Milwaukee, WI 53223
414-588-0554

State of Wisconsin

Milwaukee County

This document was subscribed and sworn
before me on this 30th day of June, 2025
by Ajit J. Walia.

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE

[Signature]
My commission expires 10/10/25.

JENNIFER L HUERTAS
NOTARY PUBLIC
STATE OF WISCONSIN

AFB	Above Finished Floor	FG	Fire Code	NG	Not In Contract	T	Tread
ALUM	Aluminum	FD	Fire Drain	NH	Number	T & G	Tongue & Groove
ARCH	Architect	FDN	Foundation	NONCOM	Noncombustible	TBP	Temporary
		FG	Fiberglass		Not to Scale	THK	Thick
BLDS	Building	FIN	Finished	O	On Over	TOF	Top of Footing
BLDG	Building	FIR	Fire	ON	On Center	TRTD	Treated
BRG	Bearing	FT	Floor or Feet	OPEN	Opening	TV	Television
		FTG	Footing	OPP	Opposite	TYP	Typical
CLS	Ceiling	GYP	Gypsum	OH	Overhead		
CONC	Concrete	HT	Height	PLY	Plywood	UL DES	Underlayment
CONSTR	Construction	HC	Handicap	PROP	Property		Degradation
CONT	Continuous	HDR	Header	PT	Point	UNO	Unless Noted
CONTR	Contractor	HR	Hour	PVMT	Pavement		Otherwise
GTR	Center	HVAC	Heating, Ventilating & Air-Conditioning	PFR	Pounds per Square Foot	VB	Vapor Barrier
				PSF	Panels per Square Foot	VCT	Vinyl Composite Tile
				PSL	Parallel Structure	VEN	Veneer
				PLF	Per Linear Foot		
				R	Riser	H	Hide
				RAD	Radiola	W	With
				REF	Refrigerator	WD	Wood
				REIN	Reinforcing	WIN	Window
				REQD	Required	W/O	Without
				REV	Revision	W/F	Weatherproof
				RM	Room		weided Htre Fabric
				RO	Rough Opening		
				SECT	Section	#	And
				SHT	Sheet	&	Center Line
				SHTS	Sheeting	DIA	Diameter
				SIM	Similar		
				SPEC	Specified		
				STD	Standard		
				STOR	Storage		
				STYP	Southern Yellow Pine		
EA	Each	MAX	Maximum				
ELEC	Electrical	MC	Moisture Content				
ELEV	Elevation	MECH	Mechanical				
EP	Electrical Panel	MET	Metal				
EXT	Exterior	MFR	Manufacturer				
		MIN	Minimum				
		MISC	Miscellaneous				

ARCHITECTURAL SYMBOLS

Left Column:

- TITLE** (V.I.E.H. NUMBER, V.I.E.H. NAME, 1/4" = 1'-0")
- DETAIL CALL OUT**
- SECTION CALL OUT**
- ELEVATION CALL OUT**
- ELEVATION DATUM** (0'-0" 0'-0")

Right Column:

- HALL TAG**
- DOOR TAG**
- REVISION TAG**
- KEYNOTE TAG**
- FINISHES TAG**
- ROOM TAG**
- NORTH ARROW**

Bottom Row:

- EXISTING CONSTRUCTION**
- DEMOLITION**
- PROPOSED CONSTRUCTION**

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DESIGNS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND THE EXACT LOCATION OF EXISTING PLUMBING, MECHANICAL, AND STRUCTURAL COMPONENTS AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

1. ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING FOR THE ACCURACY OF THE CONTRACTORS MUST REVIEW ALL DETAILS OF THEIR TRADES AND BE RESPONSIBLE FOR THE SAME.
2. DO NOT SCALE DIMENSIONS FROM DRAWINGS. CONSULT THE ARCHITECT WITH ANY QUESTIONS.
3. ALL INTERIOR WALLS ARE DIMENSIONED FINISH TO FINISH UNLESS NOTED OTHERWISE. (SEE WINDOW TYPES FOR ACTUAL DIMENSIONS)
4. PLACEMENT OF BUILDINGS COMPONENTS, MECHANICAL EQUIP. APPLIANCES AND ELECTRICAL COMPONENTS IS SUBJECT TO FIELD ADJUSTMENT. ACTUAL CONSTRUCTION MAY NOT CONFORM EXACTLY TO THE LOCATIONS INDICATED ON THESE DRAWINGS

1. THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
2. CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION - FOR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS, FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING AND SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.) FOR COORDINATION OF THE VARIOUS TRADES, FOR SAFE CONDITIONS ON THE JOB SITE, AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
3. THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
4. UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
5. UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY NECESSARY HANGARS, PIPE SLEEVES, HOLES OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL, OR ELECTRICAL EQUIPMENT.
6. THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS.
7. ALL STATE OF MICHIGAN, LOCAL AND O.S.H.A. SAFETY CODES SHALL BE A PART OF THESE PLANS, AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PARTIES THAT WORK AT OR VISIT THE JOB SITE COMPLY WITH SAME.

USE AND OCCUPANCY CLASSIFICATION; (chapter-3)		HNON-Separated MIXED USE; "M" B - MERCANTILE OCCUPANCY (G-STORE) B ⁻ - BUSINESS OCCUPANCY (CAR WASH)
ALLOWABLE AREA AND HEIGHT;		"M"(B-) ONE STORY - 9,000 sq. ft.
ACTUAL AREA:	TOTAL BUILDING AREA: AFTER REMODEL G-STORE AREA: AFTER REMODEL CAR WASH AREA:	5
SPRINKLERS;	COMPLETE PER NFPA-13	
CONSTRUCTION TYPE; (Table-601)	"A-B"	
FIRE RATINGS (per table GOI # 602)		
STRUCTURAL FRAME;	O - HR. RATING	
BEARING WALLS EXTERIOR;	O - HR. RATING	
BEARING WALLS INTERIOR;	O - HR. RATING	
NON-BEARING WALLS EXTERIOR;	O - HR. RATING	
NON-BEARING WALLS INTERIOR;	O - HR. RATING	
FLOOR CONSTRUCTION:	O - HR. RATING	
ROOF CONSTRUCTION;	O - HR. RA	
EXIT TRAVEL DISTANCE; (table O17.2)	200 feet	
COMMON PATH OF TRAVEL; (per 1006.2.1)	75 FEET 100 FEET	
TOTAL OCCUPANCY LOADING (per TABLE 1004.1.1)	100 PEOPLE IN BUILDING MERCANTILE AREAS = 1 PER 30 S.F. OFFICE AREAS = 1 PER 30 S.F. RETAIL AREAS = 1 PER 200 S.F. MECH AREAS = 1 PER 300 S.F.) STORAGE AREAS = 1 PER 100 S.F.) CLOSET AREAS = 1 PER 100 S.F.) OFFICE / CASHIER (BUSINESS) AREAS = 1 PER 100 S.F.) (259 S.F. / 100 = 3)	
PLUMBING FIXTURES (per TABLE 2501.1)		> 1 UNISEX REQUIRED (PER 2902.2. EX #3)
WATER CLOSURES REQUIRED*	= .96 REQUIRED	<u>2 PROPOSED</u>
MALWARE REQUIRED*	= .96 REQUIRED	<u>2 PROPOSED</u>
LAVATORIES	= 1.5 REQUIRED	<u>4 PROPOSED</u>
TOILETS "B BUSINESS"		
MALE (1 PER 25)	(5 / 25) = .2 REQUIRED	
FEMALE (1 PER 25)	(5 / 25) = .2 REQUIRED	
URINALS (1 PER 40)	(10 / 40) = .25 REQUIRED	
LOCKER CLOSETS "M MERCANTILE"		
MALE (1 PER 500)	(47 / 500) = .094 REQUIRED	
FEMALE (1 PER 500)	(47 / 500) = .094 REQUIRED	
LAVATORIES (1 PER 750)	(94 / 750) = .125 REQUIRED	

A.100	TITLE SHEET, BUILDING DATA, LOCATION PLAN, GENERAL NOTES, & SHEET INDEX
C.100	PROPOSED & EXISTING SITE PLANS
A.001	STANDARD MOUNTING HEIGHTS GENERIC ACCESSIBILITY STANDARDS
A.100	LOWER LEVELS & FIRST FLOOR PLANS, & WALL TYPES
A.101	SECOND & THIRD FLOOR PLANS, & WALL TYPES
A.200	ELEVATIONS
A.201	ELEVATIONS
A.202	ELEVATIONS
A.300	SECTIONS & DETAILS
A.301	SECTIONS & DETAILS
A.302	SECTIONS & DETAILS
A.303	SECTIONS & DETAILS

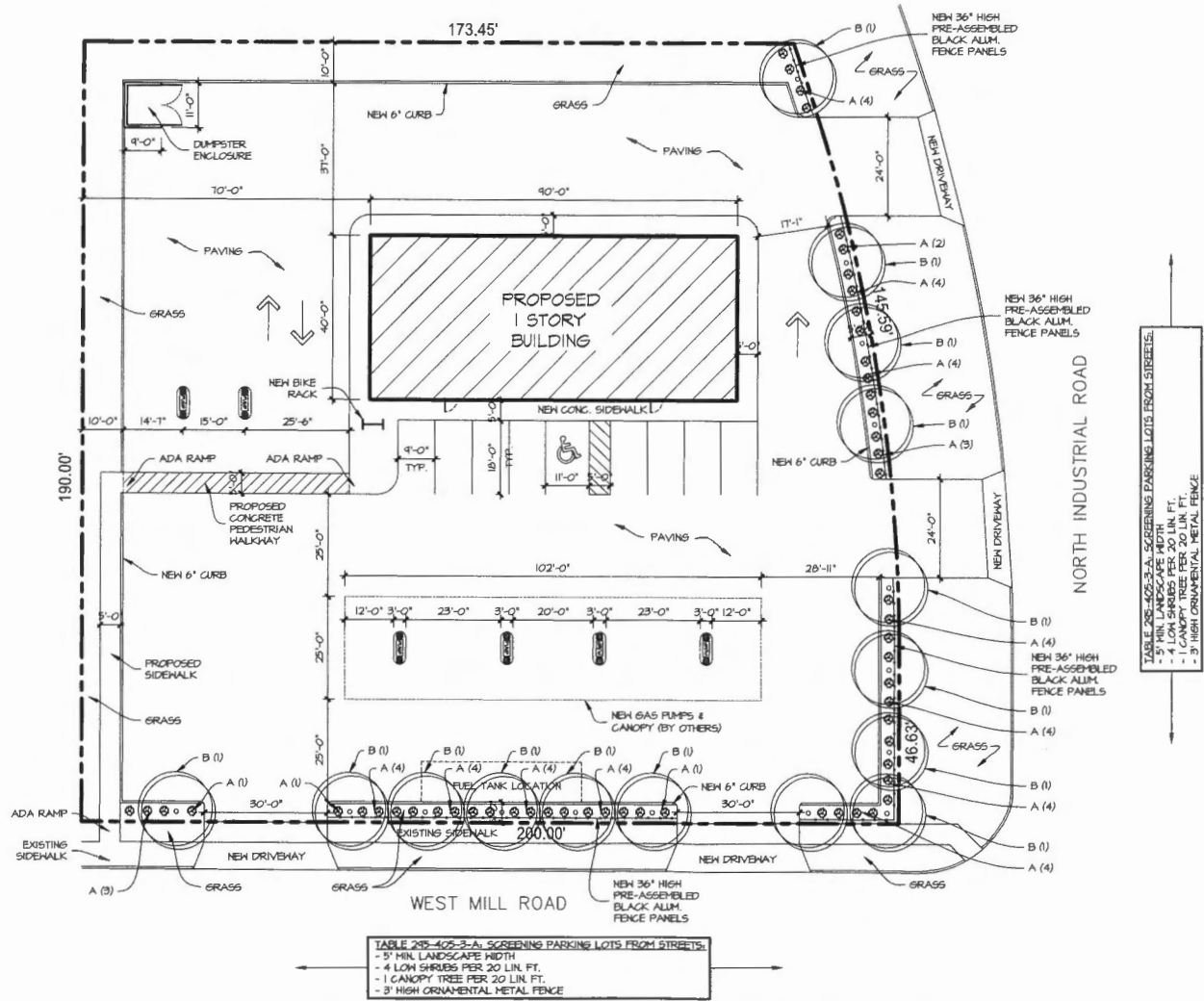


PROJECT NUMBER: 24-473

BUILDING DATA, SATELLITE IMAGE, SHEET INDEX, & GENERAL NOTES

COPYRIGHT: PATERA LLC... IT IS UNLAWFUL FOR ANYONE TO USE OR REPRODUCE BY ANY MEANS ALL OR ANY PORTION OF THESE CONSTRUCTION DOCUMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF PATERA LLC.

PLANT SCHEDULE:					
MARK	QTY	BOTANICAL	MATERIAL	COMMON	SIZE
A	51	RYBES ALPINUM		GREEN MOUND ALPINE CURRIANT	18"
B	15	SYRINGA RETICULATA		JAPANESE TREE LILAC	8'-0"
					ROOT
					BB



ARCHITECTURAL SITE PLAN

1" = 20'-0"

REVISIONS:	
1/2/25: PRELIM #1	

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE

NEW GAS STATION

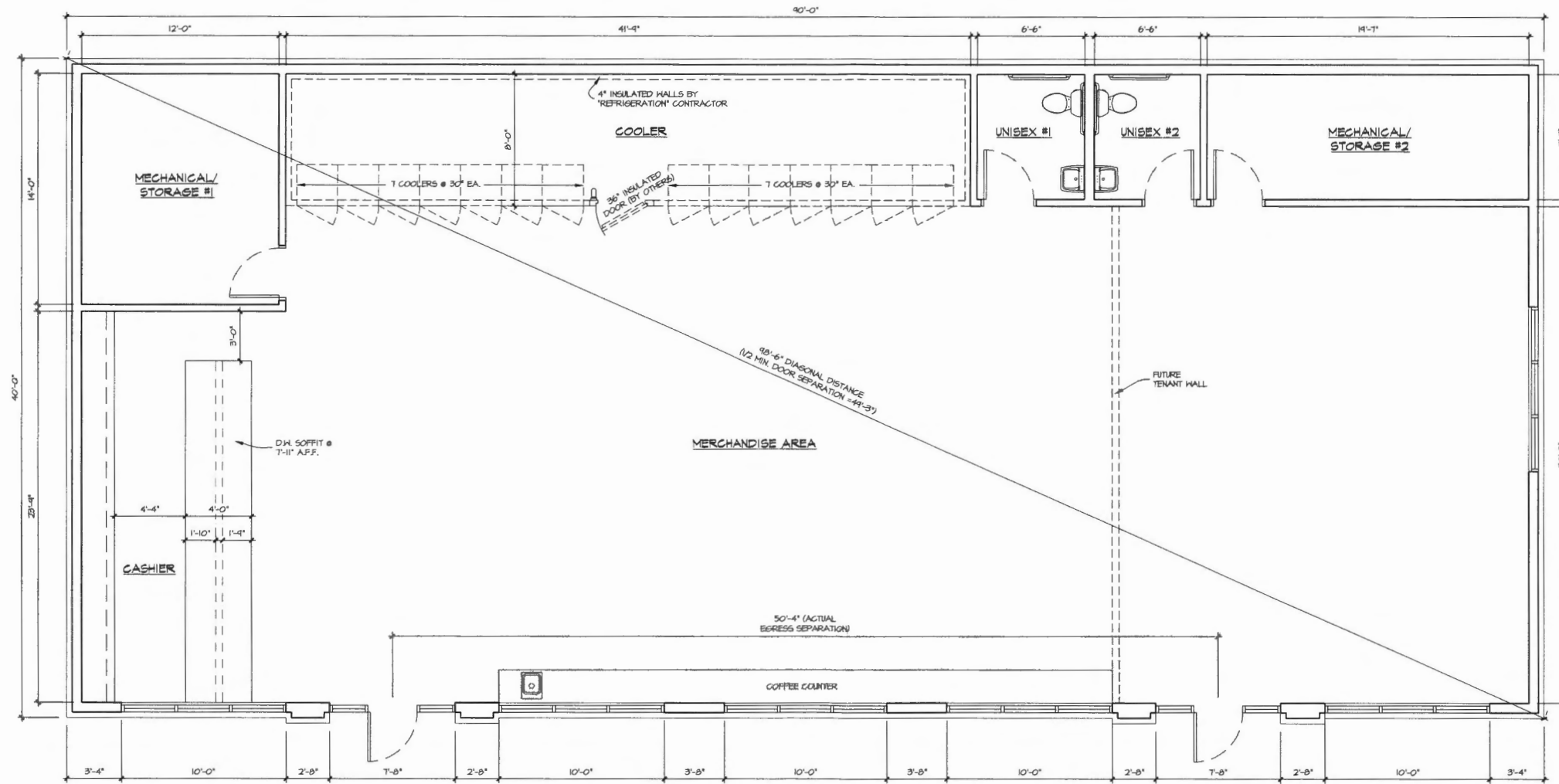
6418 W. MILL RD.
MILWAUKEE, WI

SHEET TITLE:
ARCHITECTURAL SITE PLAN

C.100

DATE: DEC. 20TH, 2024

PROJECT NUMBER: 24-473



FIRST FLOOR PLAN

1/4" = 1'-0"

REVISIONS:	
1/2/25: PRELIM #1	

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE

NEW GAS STATION

6418 W. MILL RD.
MILWAUKEE, WI

SHEET TITLE:

FIRST FLOOR PLAN

A.102

DATE: DEC. 20TH, 2024

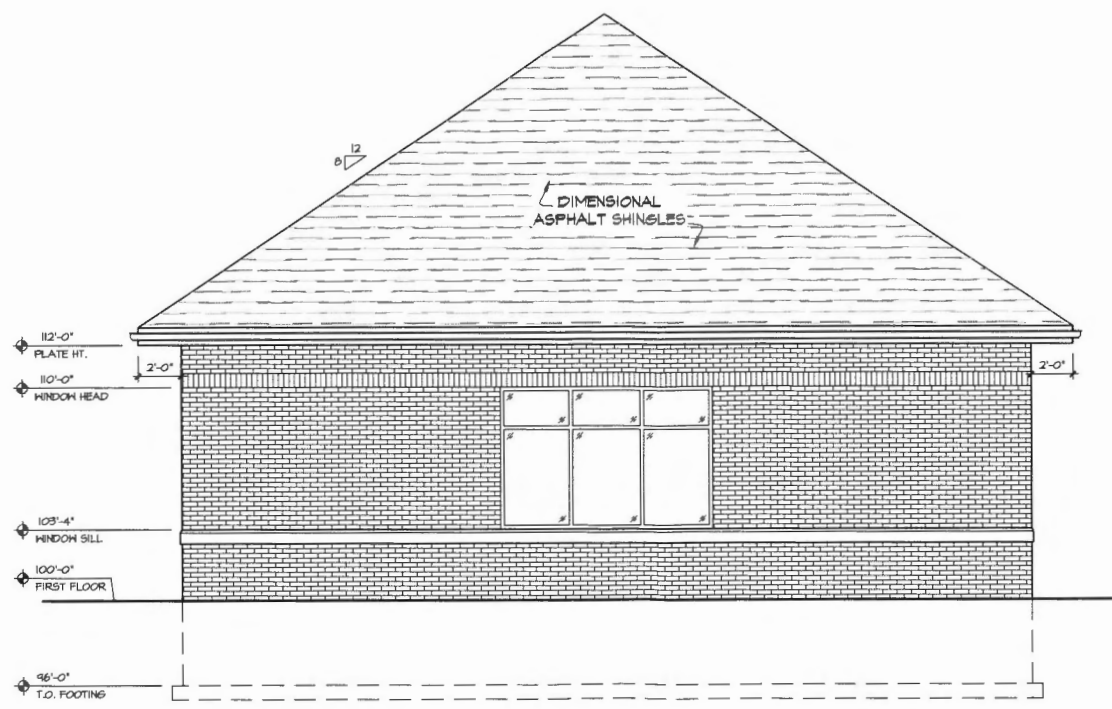
PROJECT NUMBER: 24-473



FRONT (SOUTH) ELEVATION

1/4" = 1'-0"

30% REQUIRED PRIMARY STREET GLAZING,
PER MILWAUKEE ZONING "LB1".
SOUTH LINEAL FRONTAGE = 110 LIN. FT.
PROVIDED LINEAL GLAZING = 53.66 LIN. FT. (12%)



SIDE (EAST) ELEVATION

1/4" = 1'-0"

10% REQUIRED SIDE STREET GLAZING,
PER MILWAUKEE ZONING "LB1".
SOUTH LINEAL FRONTAGE = 40 LIN. FT.
PROVIDED LINEAL GLAZING = 10 LIN. FT. (25%)

REVISIONS:

1/2/25:	PRELIM #1

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE

NEW GAS STATION

6418 W. MILL RD.
MILWAUKEE, WI

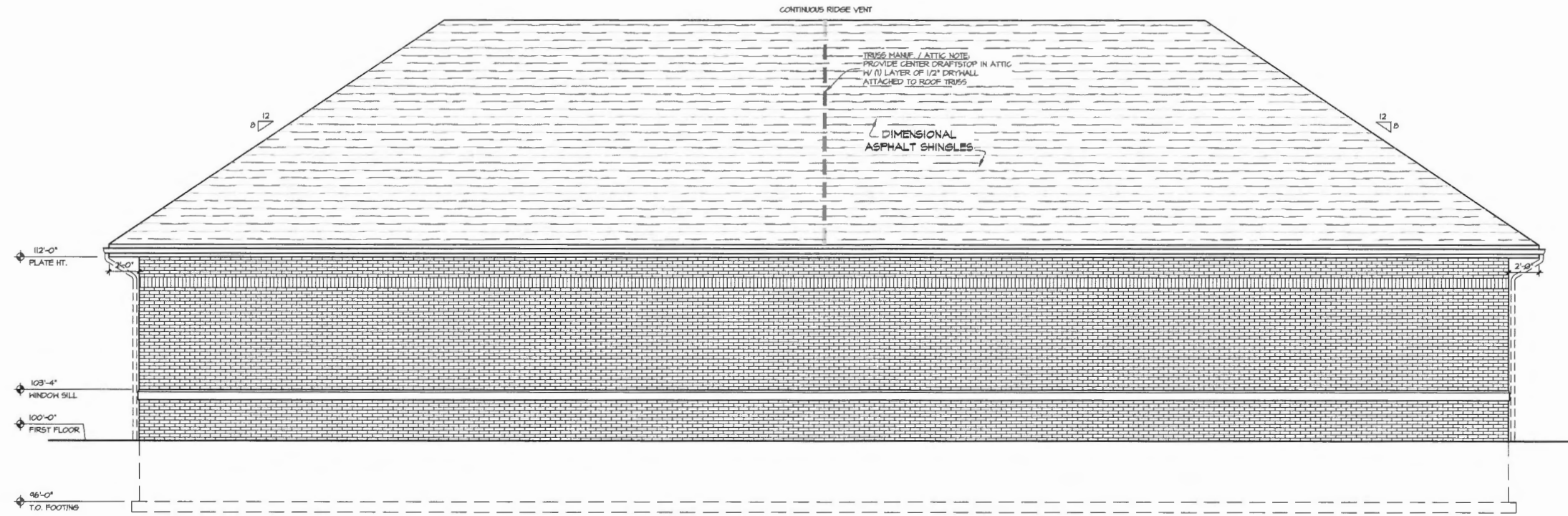
SHEET TITLE:
ELEVATIONS

A.200

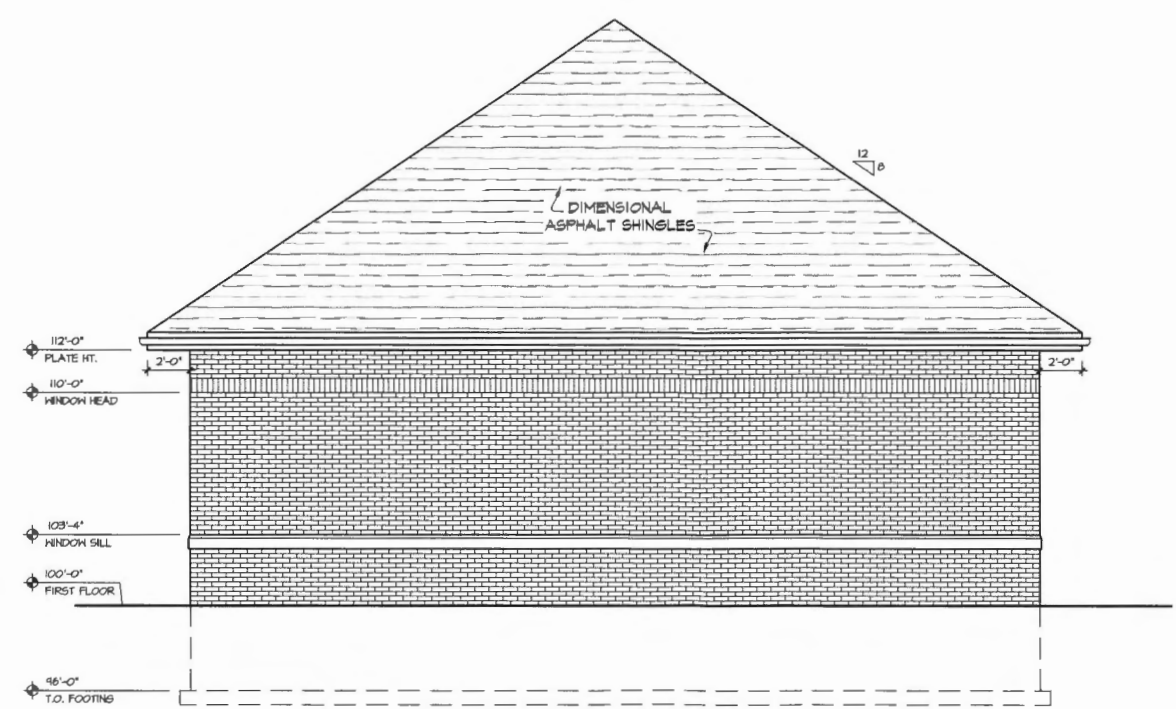
DATE: DEC. 20TH, 2024

PROJECT NUMBER: 24-473

COPYRIGHT: PATERA, LLC. IT IS UNLAWFUL FOR ANYONE TO USE OR REPRODUCE BY ANY MEANS ALL OR ANY PORTION OF THESE CONSTRUCTION DOCUMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF PATERA, LLC.



REAR (NORTH) ELEVATION
1/4" = 1'-0"



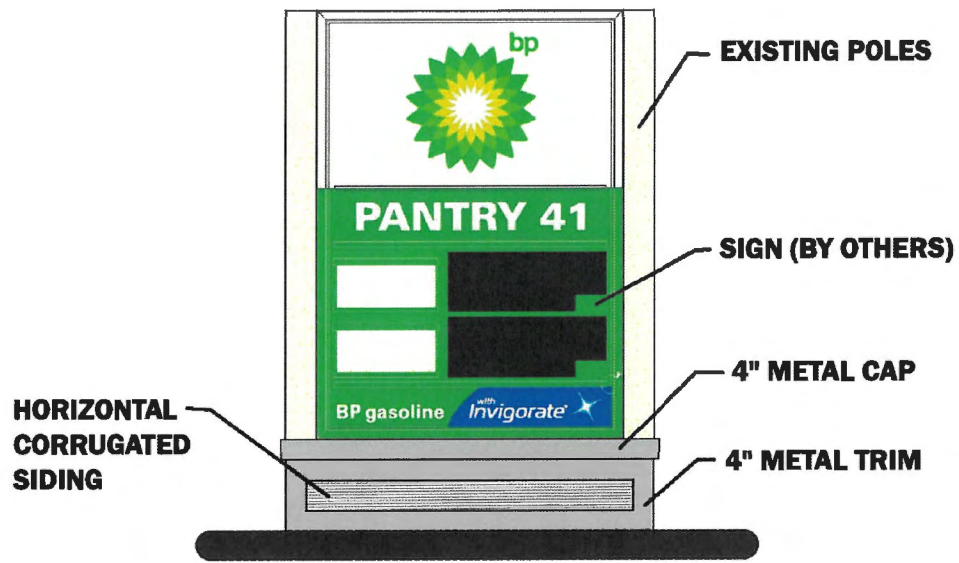
SIDE (WEST) ELEVATION
1/4" = 1'-0"

REVISIONS:	
1/2/25:	PRELIM #1

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE



CONCEPT SIGN

~~1604 E. CAPITOL "BP"~~



6418 W mill Rd
milwaukee, WI



6418 W. Mill Rd.

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE



6418 W. Mill Rd,

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE



6418 W. Mill Rd.

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE



648 W. Mill Rd

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE



6818 W. Miller Rd

RECEIVED

JUL 01 2025

BOARD OF ZONING APPEALS
CITY OF MILWAUKEE