
EXHIBIT A Drawings
FILE NO. 040219

FIRST PLACE CONDOMINIUMS
106 WEST SEEBOTH STREET
MILWAUKEE, WI 53204

KEY BRIDGE GROUP, INC.

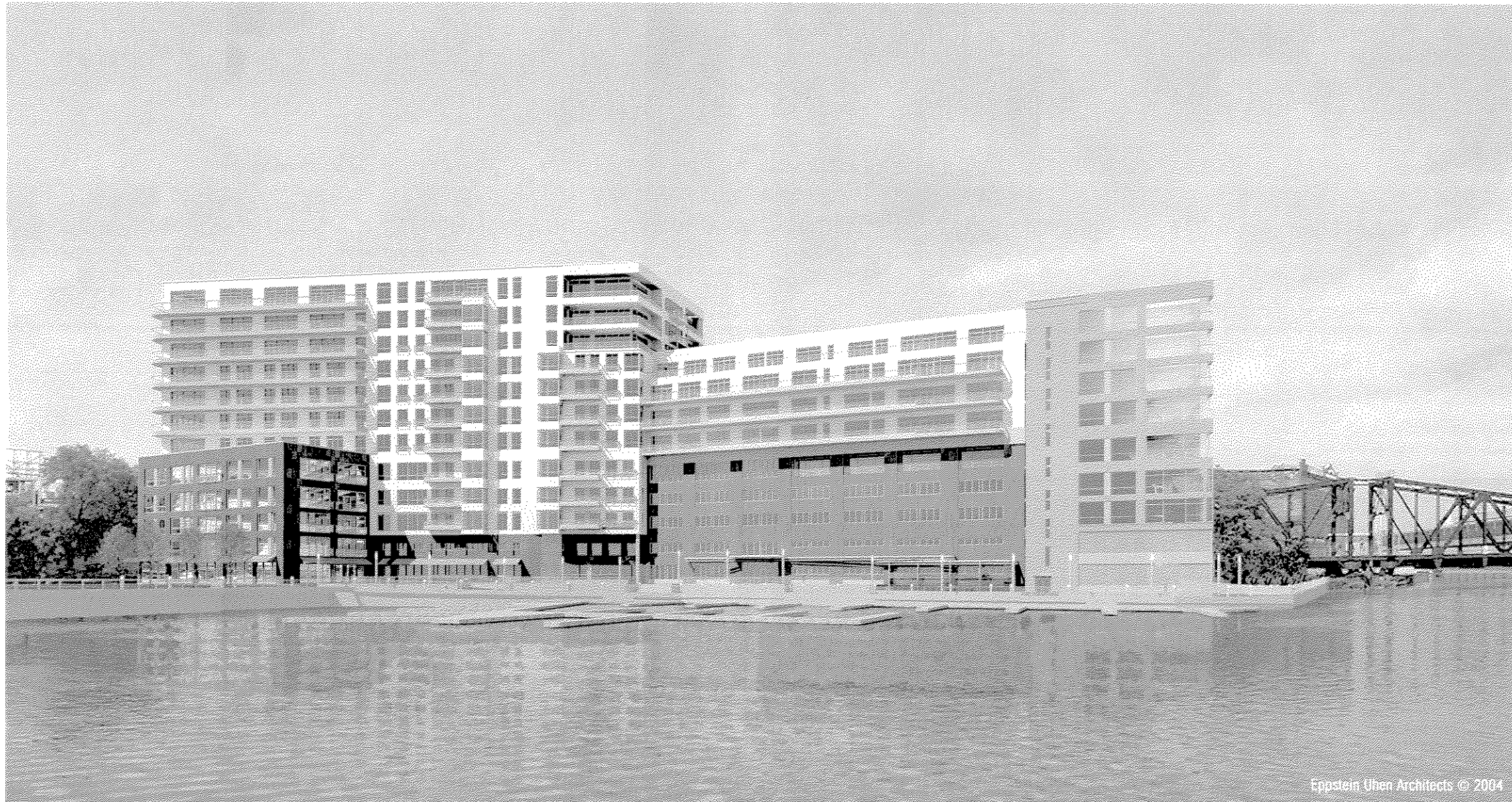


EPPSTEIN UHEN
ARCHITECTS

DETAILED PLAN DEVELOPMENT SUBMITTAL

JUNE 25, 2004

EUA PROJECT NUMBER: 103303-01



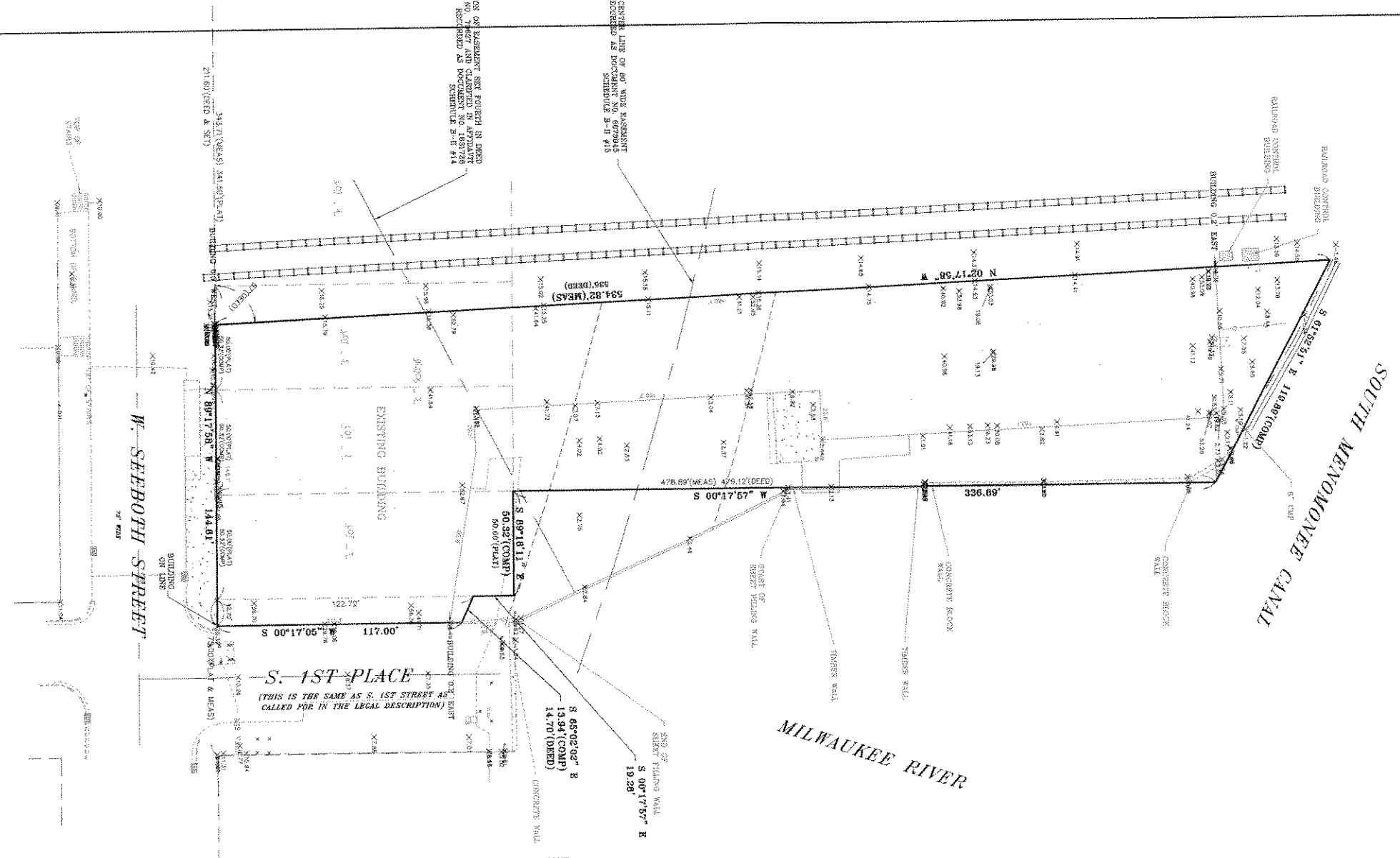
Epstein Uhen Architects © 2004

VIEW FROM THE MILWAUKEE RIVER



FIRST PLACE CONDOMINIUMS

0 30 60
Scale in Feet
NORTH



LEGAL DESCRIPTION:

PARCEL A:
 ALL THOSE PORTIONS OF LOTS 2, 3, 9, 10 AND 11, IN BLOCK 3, IN WALKER'S POINT, IN THE NORTHEAST 1/4 OF SECTION 32, IN TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, AND OF FORMER BAYOU LYING NORTH AND EAST OF THE SAME, AND OF FRACTIONAL LOT 6, IN THE SOUTHEAST 1/4 OF SECTION 29, IN TOWN 7 NORTH, RANGE 22 EAST, AND PART OF THE CLARK SHEPARDSON'S EXTENSION OF BLOCK 158 OF THE SUBDIVISION OF THE FRACTION OR LOT 6 OF SAID SECTION 29, IN TOWN 7 NORTH, RANGE 22 EAST, WHICH ARE INCLUDED WITHIN THE FOLLOWING DESCRIBED BOUNDED LINES TO-WIT:
 COMMENCING AT A POINT IN THE NORTH LINE OF WEST SEEBOTH STREET DISTANT 211.6 FEET EAST OF THE INTERSECTION OF SAID STREET LINE WITH THE EAST LINE OF SAID SOUTH SECOND STREET; THENCE EAST ALONG THE SAID STREET LINE TO THE SOUTHEAST CORNER OF LOT 2, IN SAID BLOCK 3, WALKER'S POINT; THENCE NORTHERLY ALONG THE EAST LINE OF SAID LOT 2, AND THE NORTHERLY PROLONGATION THEREOF, 479.12 FEET TO THE SOUTHERLY DOCK LINE OF THE MEMORONNE RIVER; THENCE NORTH 61°52'51" WEST ALONG SAID DOCK LINE TO AN INTERSECTION WITH A LINE MAKING AN ANGLE OF 87° TO THE RIGHT WITH SAID NORTH LINE OF WEST SEEBOTH STREET AT THE POINT OF BEGINNING; THENCE SOUTHERLY ALONG THE SAID LAST MENTIONED LINE 535 FEET TO THE PLACE OF BEGINNING.

PARCEL B:
 LOT 1, IN BLOCK 3, IN WALKER'S POINT, IN THE NORTHEAST 1/4 OF SECTION 32, IN TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, AND THAT PART OF THE VACATED SOUTH FIRST STREET BETWEEN WEST SEEBOTH STREET AND THE MILWAUKEE RIVER, BOUNDED AND DESCRIBED AS FOLLOWS:
 COMMENCING AT A POINT IN THE SOUTHEAST CORNER OF LOT 1, IN BLOCK 3, IN WALKER'S POINT, SAID POINT ALSO LYING IN THE NORTHERLY CORNER OF SOUTH FIRST STREET AND WEST SEEBOTH STREET; THENCE EAST ALONG THE NORTH LINE OF WEST SEEBOTH STREET EXTENDED EAST, 12.70 FEET; THENCE NORTH ALONG A LINE 117 FEET TO A POINT, LYING 12.67 FEET EAST OF THE WEST LINE OF SOUTH FIRST STREET; THENCE NORTHWESTERLY ALONG THE LINE 14.70 FEET TO A POINT IN THE WEST LINE OF SOUTH FIRST STREET, SAID POINT ALSO LYING 122.72 FEET NORTH OF THE NORTH LINE OF WEST SEEBOTH STREET; THENCE SOUTH ALONG THE WEST LINE OF SOUTH FIRST STREET 122.72 FEET TO THE PLACE OF BEGINNING.

TAX KEY NO. 428-0212-110-X
 ADDRESS 110 W. SEEBOTH STREET

STATE OF WISCONSIN }
 MILWAUKEE COUNTY }
 I hereby certify that I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of principal buildings thereon, boundary lines, adjacent easements, roadway and visible encroachments, if any.
 This survey is made for the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within 15 year from date hereof.
 Dated at MILWAUKEE, this 23RD day of JUNE, 2004
 Recertified _____



PLAT OF SURVEY
FIRST PLACE CONDOMINIUMS
 SOUTH 1ST STREET & W. SEEBOTH AVENUE
 MILWAUKEE, WISCONSIN
 FILE NAME: F:\LANDPROJECTS\1\DATA\DWG\0406XBLD.WG

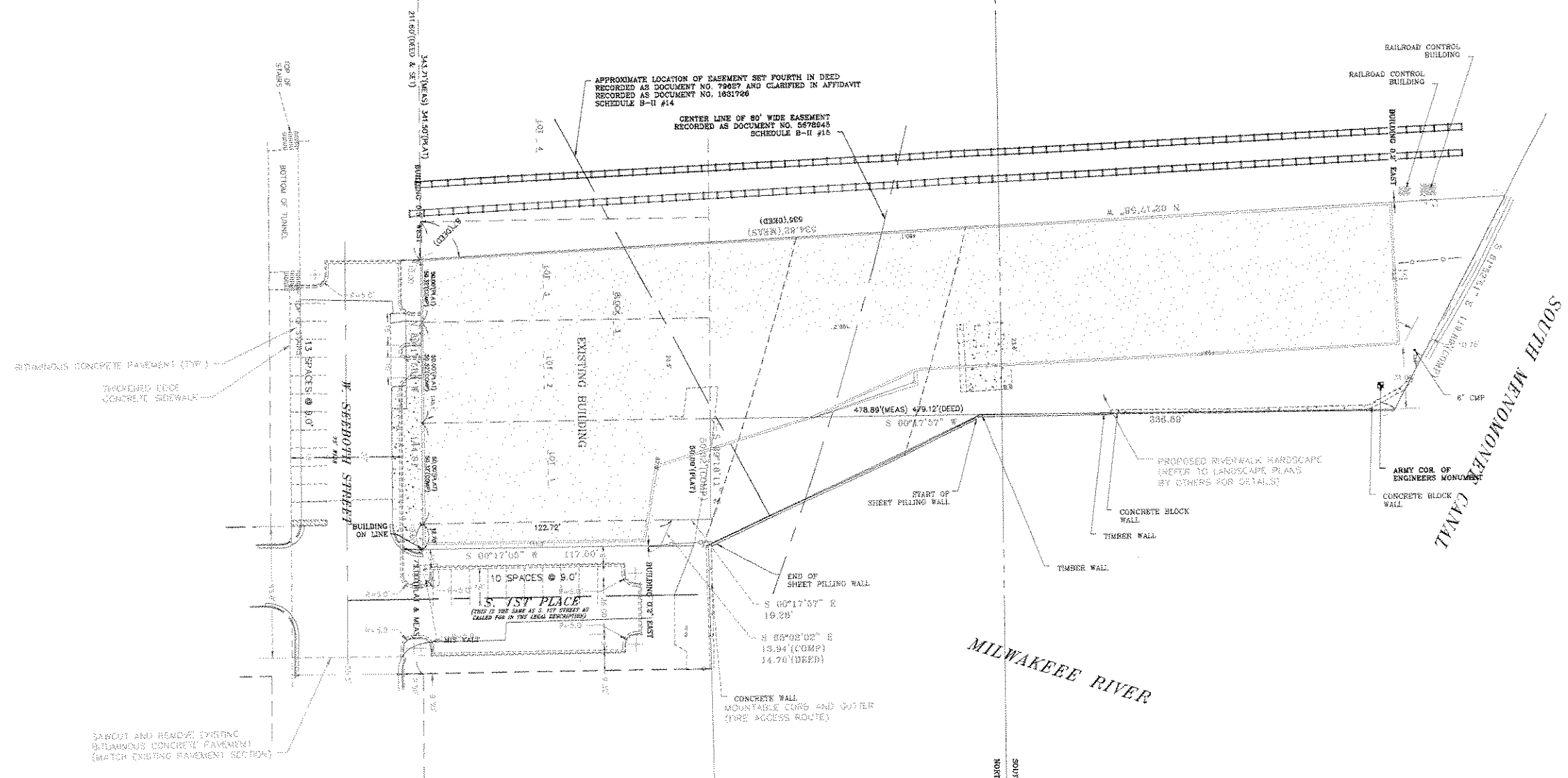
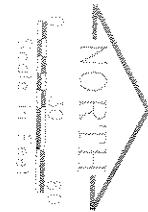
McCLURE ENGINEERING ASSOCIATES, INC.
 Milwaukee, Wisconsin 53226
 (414) 616-4880
 FAX (414) 616-4886

PLOTTING SCALE: H: 1" = 30'
 DRAWN BY: J.L.J.
 CHECKED BY:
 DATE: JUNE 23, 2004

NO.	REVISIONS	DATE

SHEET NO. **C**
 08-15-04-302

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GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING CURB MARKERS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REPERCUSSING SPERM CONSPIRATES TO EXISTING PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. ALL ANGLES FOR ROADWAY, PARKING LOT AND BUILDING LAYOUTS ARE 90° UNLESS NOTED OTHERWISE.
4. DIMENSIONS THAT LOCATE THE BUILDINGS ARE MEASURED TO THE FACE OF BUILDINGS.
5. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
6. ALL DIMENSIONS AND DIMENSIONS ARE REFERENCED TO THE FACE OF PAVEMENT, UNLESS NOTED OTHERWISE.
7. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK.
8. THE CITY OF MILWAUKEE SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK.
9. A PRECONSTRUCTION MEETING SHALL BE HELD PRIOR TO THE START OF ANY WORK.

LEGEND

- PROPERTY LINE
- - - - - RIGHT-OF-WAY LINE/PROPERTY LINE
- - - - - EASEMENT LINE
- ===== EXISTING CONCRETE CURB AND OUTER
- ===== PROPOSED CONCRETE CURB AND OUTER
- ◻ CURB AND OUTER ISLAND
- ▨ EXISTING BUILDING
- ▨ PROPOSED STRIPING
- ♿ HANDICAP PARKING SYMBOLS

**"SUBJECT TO AGENCY REVIEW"
NOT FOR CONSTRUCTION**

I hereby certify that this engineering document (Sheet 01) (Project 03) was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.

Signature: _____
Date: _____ Reg. No.: _____
My registration renewal date is: 01/31/2004

SITE PLAN

FIRST PLACE CONDOMINIUMS



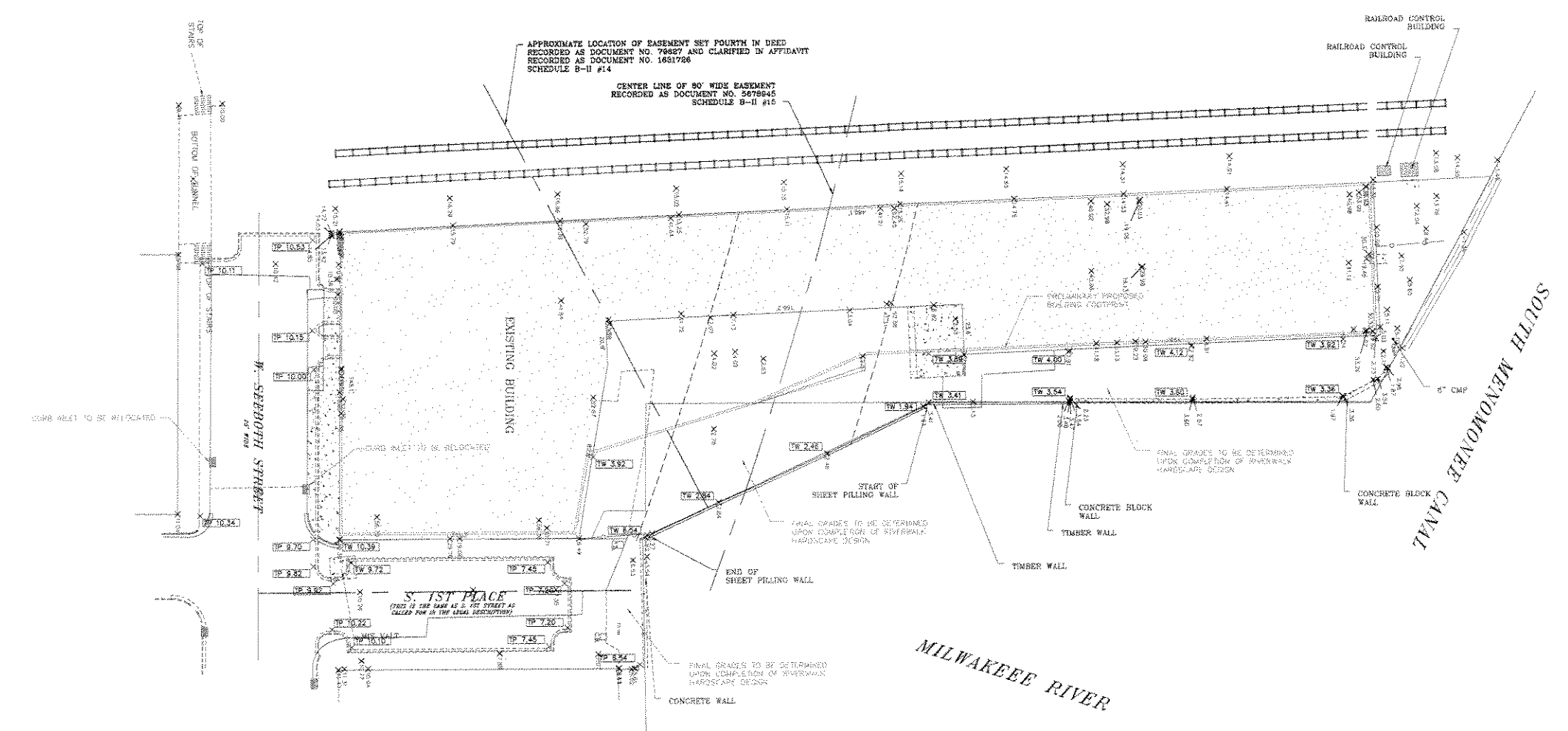
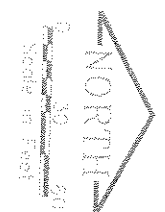
Scale: 1/4" = 1'-0"

NO. _____ DATE _____

REVISIONS



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GRADING NOTES

- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INTERIORS, FLOOR ELEVATIONS, OR PAVEMENT WHERE VISIBLE INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN DIMENSIONS TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
 - ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND BE SEEDED, MULCHED AND WATERED UNTIL A NEARBY STAND OF GRASS IS OBTAINED.
 - THIS GRADING PLAN IS BASED ON A TOPOGRAPHICAL SURVEY DATED JUNE 22, 2004, SUPPLY INFORMATION BY MCLURE ENGINEERING ASSOCIATES, INC. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED GRADES MEET EXISTING. REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.
 - THE MAXIMAL SLOPE RATE ON CUT/FILL SLOPES IS 3 HORIZONTAL TO 1 VERTICAL.
 - PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL TOPSOIL SAMPLES SHALL BE COMPLYING ENCLOSED WITH Silt FENCE.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH SUBSECTION 10.72, FHD SECTION 828, OF THE "STATE SPECIFICATIONS" AND THE DETAILS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL REPORT TO THE CITY OF MILWAUKEE (FORM WATER MANAGEMENT AND EROSION CONTROL BENCHMARK, LATEST EDITION).
- THE CONTRACTOR SHALL USE THE PROVISIONS OF THE "EROSION CONTROL BEST MANAGEMENT PRACTICE BOOK", LATEST EDITION, PREPARED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES, AS A REFERENCE AND GUIDELINE FOR EROSION CONTROL PRACTICES.
- EROSION CONTROL PLAN:
 - PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE EMPLOYED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
- IMPLEMENTATION:
 - THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
 - EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - SHEET UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - PREVENT DOWNSTREAM OF ADJACENT WATERWAY AND WETLANDS WITH Silt FENCE.
 - INSTALL STRIPPING FUNNEL UNITS, ALIGNED FOR DOWNSTREAM.
 - PLACE Silt FENCE OR EROSION CONTROL BARRIERS IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.

- CONSTRUCT SEDIMENTATION BASINS.
- PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF DULVERTS WITH Silt FENCE OR EROSION CONTROL BARRIERS.
- PROMPT REMOVAL OF EXCAVATED MATERIAL.
- PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING Silt FENCE OR EROSION CONTROL BARRIERS ON THE DOWNWIND SIDE OF SPILL PILES.
- CONSTRUCTION OF GRAVEL ACCESS ROADS TO CONSTRUCTION SITES TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
- PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
- IMMEDIATE RESTORATION OF DAMAGE SURFACE AREAS.
- TEMPORARY SEEDING ALL AREAS THAT WILL REMAIN DISTURBED AFTER SEPTEMBER 15, MUST BE TEMPORARY SEEDS AS OF THAT DATE.
- TEMPORARY EROSION CONTROL MEASURES:
 - THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES WHERE EROSION IS LIKELY TO BE A PROBLEM. PRIOR TO BEGINNING WORK ON THOSE SECTIONS OF THE PROJECT, TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEDIMENT BARRIERS, HAS BEEN ESTABLISHED.
 - IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.

LEGEND

- TOP OF PAVEMENT ELEVATION
- FINISHED GRADE ELEVATION
- PROPOSED CONTOUR
- EXISTING CONTOUR
- DIRECTION OF SHEET FLOW
- STORM SEWER FLOWING
- EXISTING STORM SEWER
- PROPOSED STORM MANHOLE
- EXISTING STORM MANHOLE
- PROPOSED INLET
- EXISTING INLET
- FILTER FABRIC INLET PROTECTION
- EXISTING INLET
- PROPOSED Silt FENCE

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 MILWAUKEE AREA (414) 259-1181
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 WWW.DIGGERSHOTLINE.COM

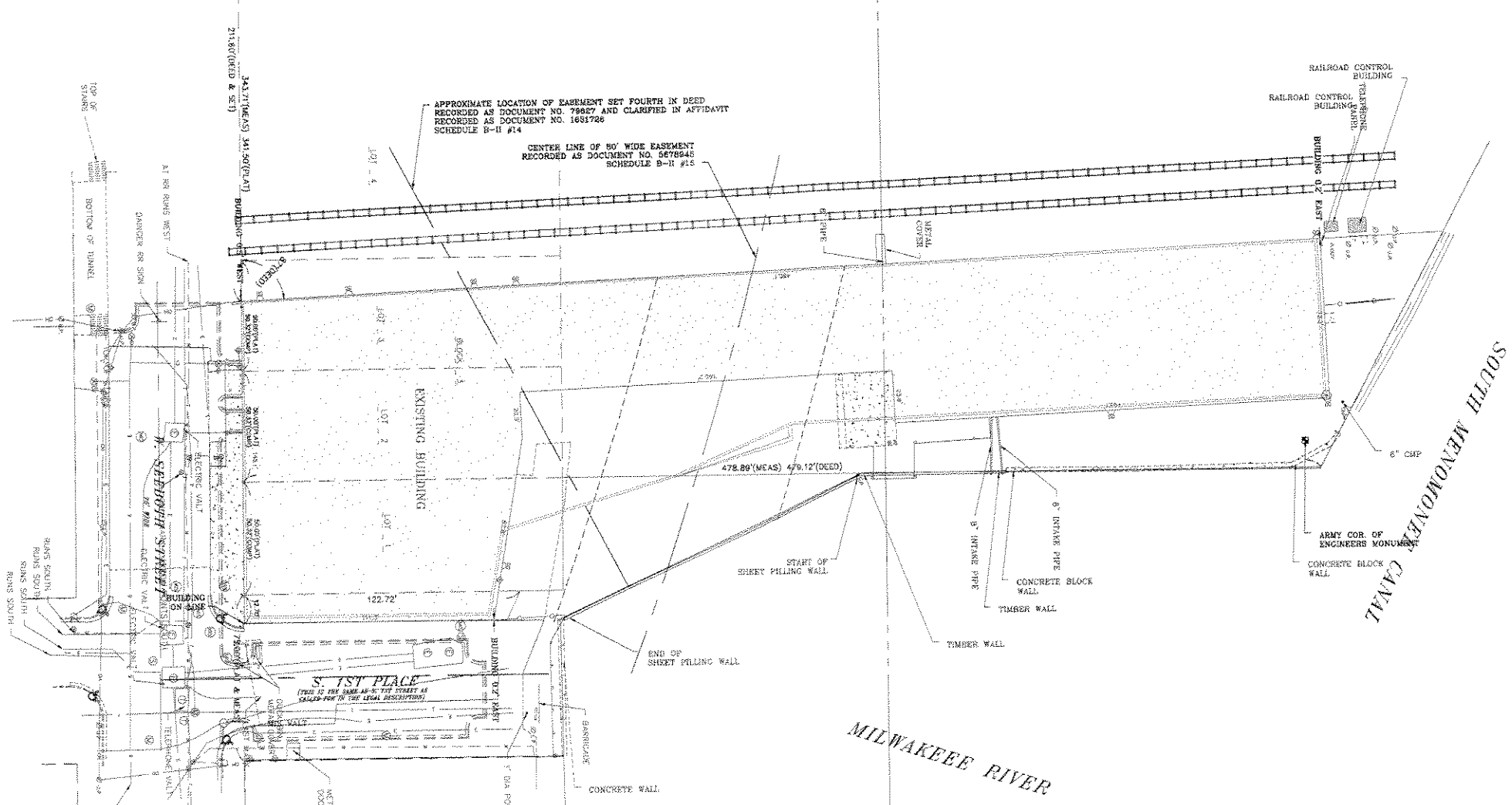
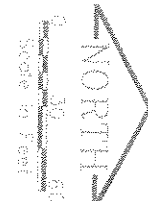
GRADING AND DRAINAGE PLAN
 FIRST PLACE CONDOMINIUMS
 Prepared for completion of "Proprietary Report" by MCLURE ENGINEERING ASSOCIATES, INC.

MCLURE ENGINEERING ASSOCIATES, INC.
 5411 North Sherman Road
 Milwaukee, WI 53212
 TEL: (414) 259-1181

DATE: 07/15/04
 DRAWN BY: J. J. JONES
 CHECKED BY: J. J. JONES

REVISIONS:
 NO. 1: 07/15/04
 NO. 2: 07/15/04

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UTILITY NOTES

- 1. SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION.
- 2. EXISTING UTILITY INFORMATION IS SHOWN FROM TOPOGRAPHIC SURVEY FIELD BY MCCLURE ENGINEERING ASSOCIATES, INC. DATED MAY 12, 2007. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. (CHECK TO FIND THIS AS REQUIRED)
- 3. CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES IN FRONT PRIOR TO ANY EXCAVATION, DUGOUT OR REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 4. THE CONTRACTOR SHALL HOLD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO HOLD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES AND VERIFY FOUND CHANGES OF ELEVATIONS WHERE VERTICAL AND HORIZONTAL CONTROL BY THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL HOLD VERIFY HORIZONTAL CONTROL BY THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL HOLD VERIFY HORIZONTAL CONTROL BY THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 5. REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
- 6. REFER TO ARCHITECTURAL AND/OR PLUMBING PLANS FOR DIMITER WITHIN 5' OF BUILDING WALL.
- 7. PRELIMINARY UTILITY SIGNS SHOWN FOR WATER AND SANITARY SYSTEM BUILDER TO TURN IN AND PROVIDE SITE FOR FINAL APPROVAL.
- 8. CONTACT APPROPRIATE UTILITY COMPANIES FOR LOCATIONS OF GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION UTILITIES.

LEGEND

—•—	LIGHT POLE AND FIX (CURLS)
—•—	EXISTING WATERMAIN
—•—	EXISTING SANITARY SEWER
—•—	EXISTING GAS MAIN
—•—	EXISTING ELECTRIC SERVICE
—•—	EXISTING TELEPHONE SERVICE
• U.P.	FORMER POLE
○	EXISTING MANHOLE
□	EXISTING FIRE HYDRANT (SEWER)
X	EXISTING WATER VALVE
•	FIRE HYDRANT ASSEMBLY
•	VALVE BOX
•	MANHOLE
• C.O.	CLEARDOUT
—•—	WATERMAIN
—•—	SANITARY SEWER (FLOW TO THE LEFT)

80'-7"-66" NORTH 20' 1/4" WEST 230' 0" EAST 1/4" NORTH 30' 0" WEST 230' 0" EAST 1/4" SOUTH 20' 1/4" WEST 230' 0" EAST

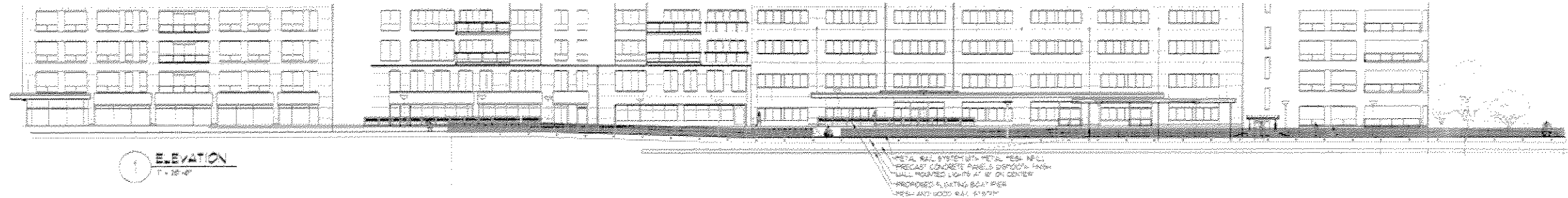
UTILITY PLAN
FIRST PLACE CONDOMINIUMS

McClure Engineering Associates, Inc.
 5417 North 15th Court
 Milwaukee, Wisconsin 53225
 TEL: (414) 616-4800
 FAX: (414) 616-4801

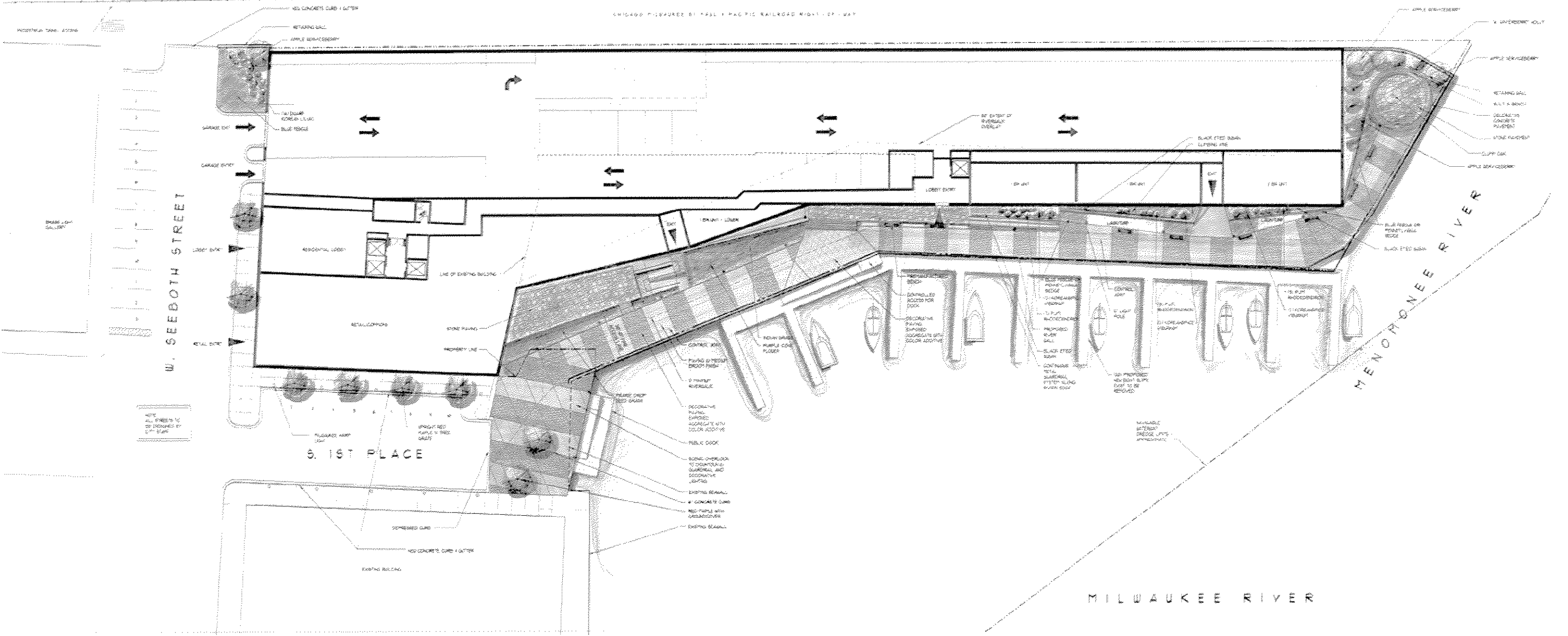
PLATTING SCALE: 1" = 30' (SHEET B)

NO.	DATE

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 MILWAUKEE AREA (414) 259-1181
 HEARING IMPAIRED TDD (800) 342-2289
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1 ELEVATION
1" = 32'-0"



2 SITE PLAN
1" = 32'-0"



BALCONY RAILING SYSTEM W/ METAL AND GLASS INFILL PANELS

E.I.F.S.

BALCONY RAILING SYSTEM W/ METAL AND GLASS INFILL PANELS

E.I.F.S.

WOOD PANELS AND/OR BRICK
METAL PANELS

STOREFRONT WINDOW SYSTEM AT FIRST FLOOR RETAIL
WOOD PANELS AND/OR BRICK

METAL TRELLIS AND CANOPY

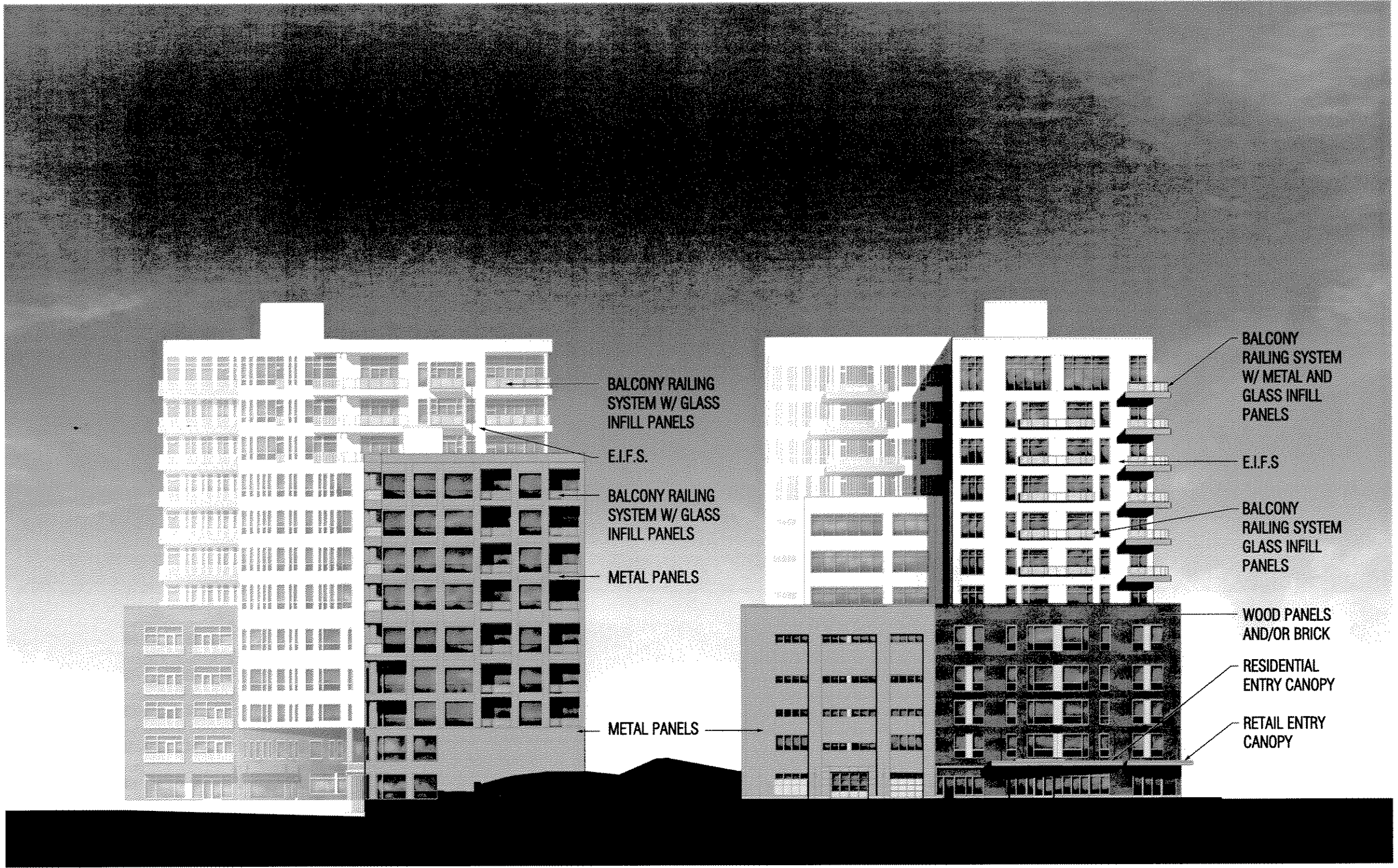
EAST ELEVATION

SCALE: 1/16" = 1'-0"

FIRST PLACE CONDOMINIUMS



July 23, 2004
EIA PROJECT # 1-03303-01



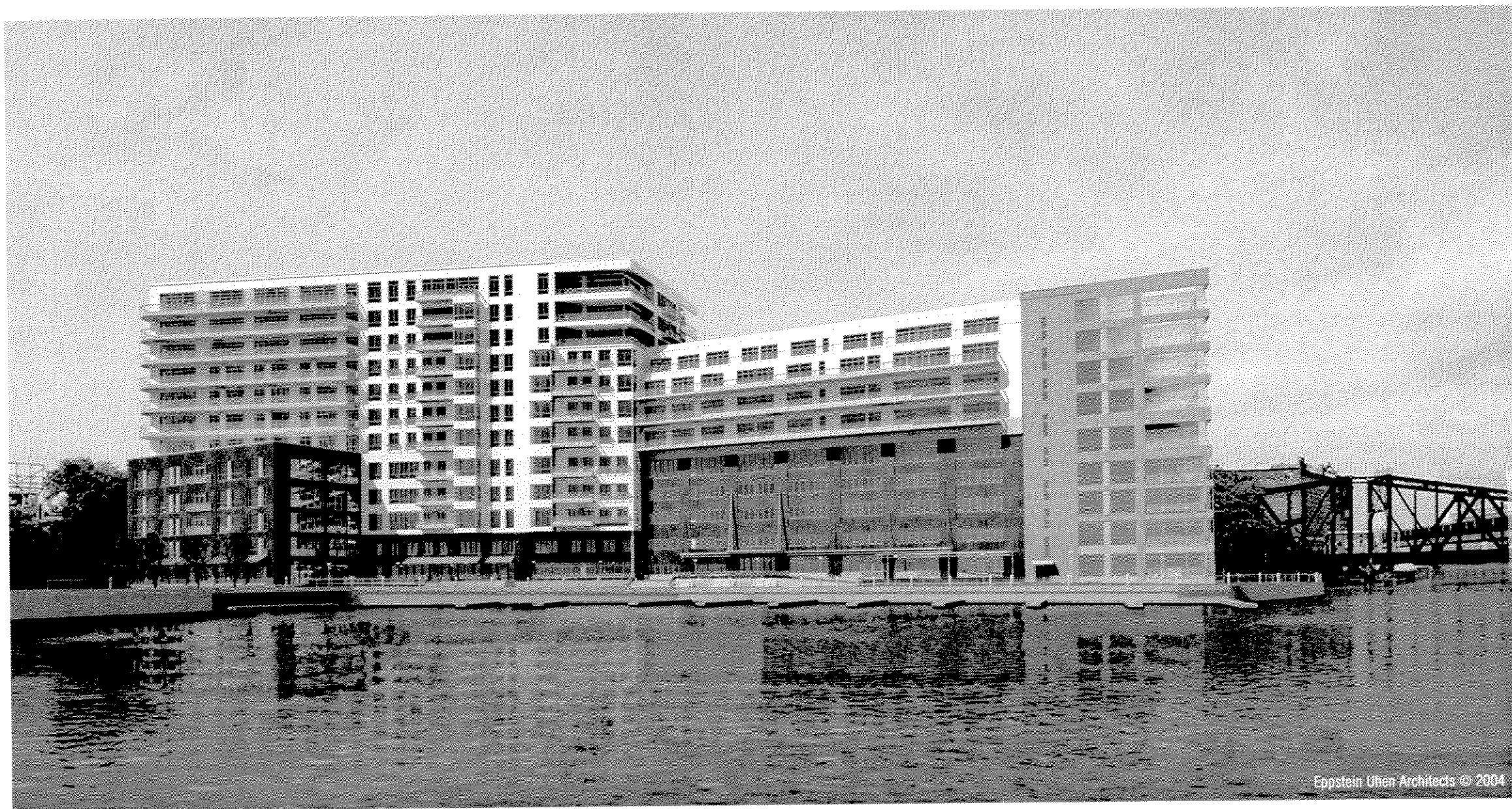
NORTH ELEVATION

SCALE: 1/16" = 1'-0"

SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

FIRST PLACE CONDOMINIUMS



VIEW FROM THE MILWAUKEE RIVER



TO PENTHOUSE
100'-0"

TO PARAPET
98'-0"

TO ROOF
94'-0"

PROPOSED FLOORS

EXISTING FLOORS

RAILROAD

TO GRADE
0'-0"

TO FIRST FLOOR
100'-0"

TO RIVERWALK
96'-0"

1 BUILDING CROSS SECTION
10' x 7'-0"

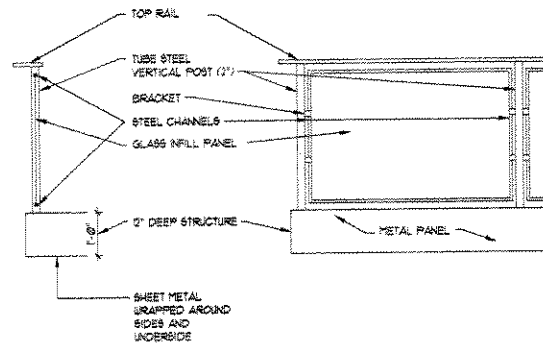


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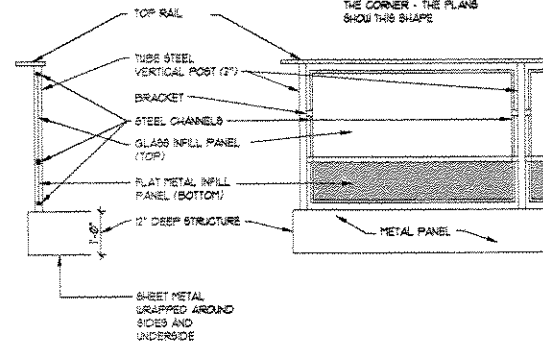
FIRST PLACE CONDOMINIUMS



EPPSTEIN UHEN
ARCHITECTS
EUA PROJECT 1100A.01

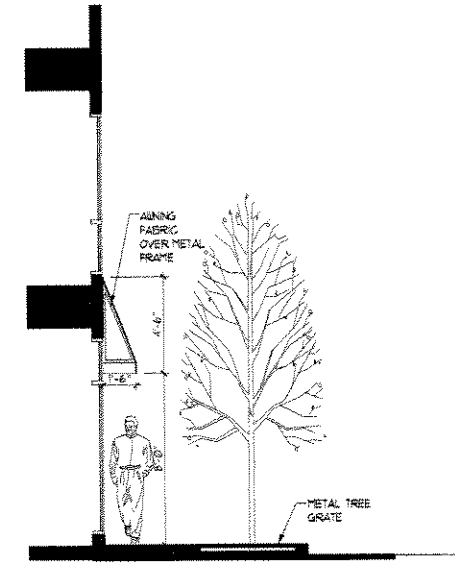


1 BALCONY DETAILS I
1/2" x 1'-0"

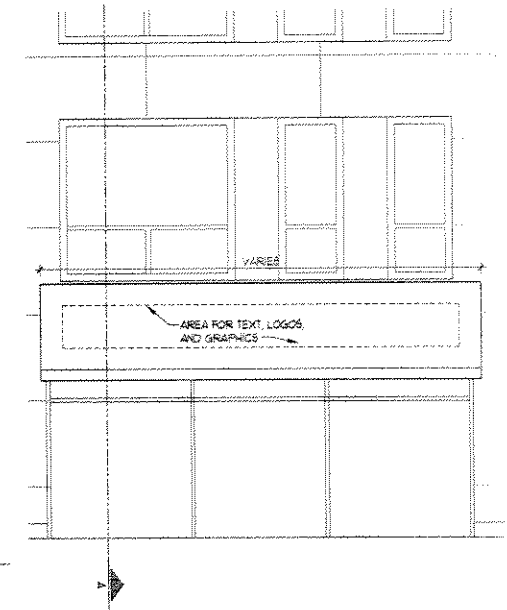


2 BALCONY DETAILS I
1/2" x 1'-0"

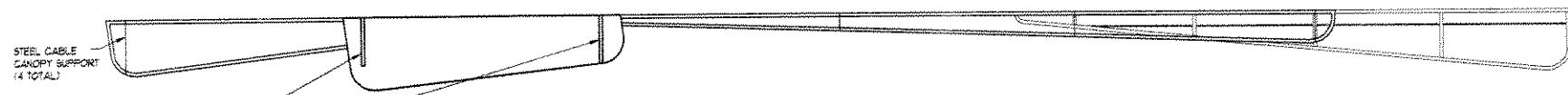
NOTE: BALCONY RAILING IS ACTUALLY CURVED AT THE CORNER - THE PLANS SHOW THIS SHAPE



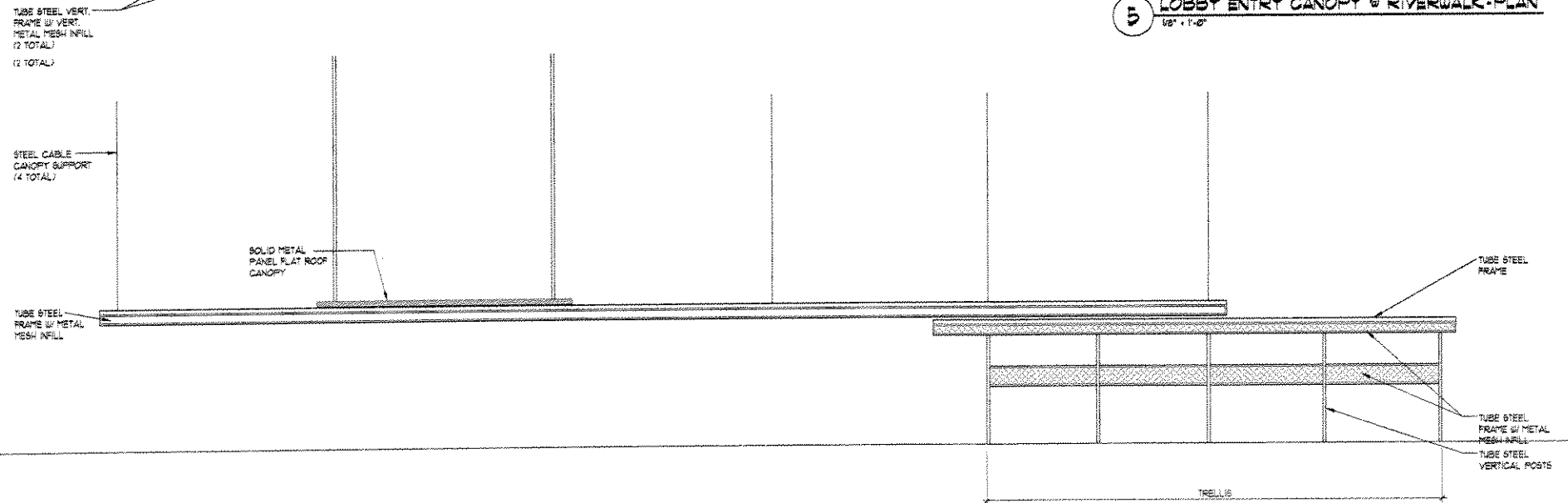
3 SECTION 'A' - @ AWNINGS
1/4" x 1'-0"



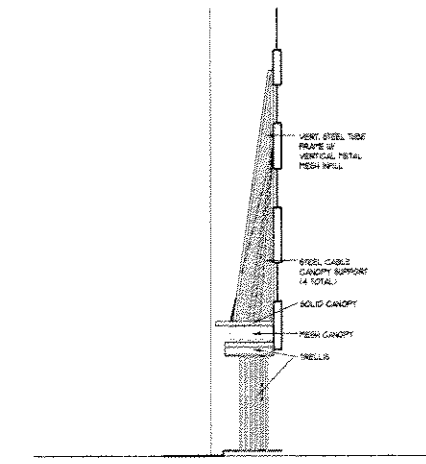
4 PARTIAL ELEVATION @ AWNINGS
1/4" x 1'-0"



5 LOBBY ENTRY CANOPY @ RIVERWALK - PLAN
1/8" x 1'-0"



6 LOBBY ENTRY CANOPY @ RIVERWALK - ELEVATION
1/8" x 1'-0"



7 LOBBY ENTRY CANOPY @ RIVERWALK - SIDE ELEVATION
1/8" x 1'-0"