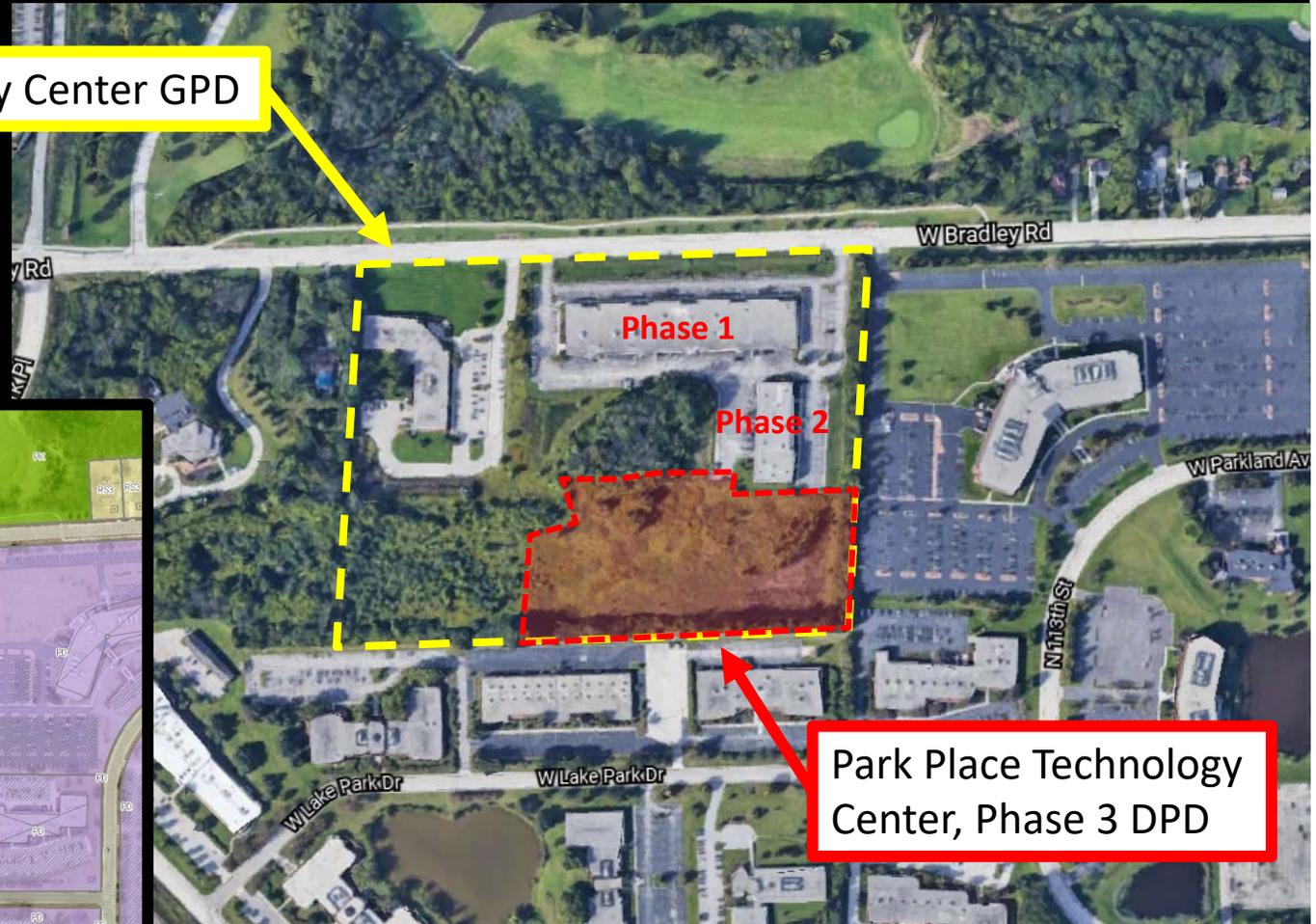


File No. 201471. A substitute ordinance relating to the 2nd Amendment to the General Planned Development, GPD, known as Park Place Technology Center (f/k/a Jacobus Company Development) and the change in zoning from GPD to a Detailed Planned Development, DPD, known as Park Place Technology Center, Phase 3 to allow construction of an industrial building on the southern portion of the property located at 11601-11745 West Bradley Road, on the south side of West Bradley Road, east of West Park Place, in the 5th Aldermanic District.

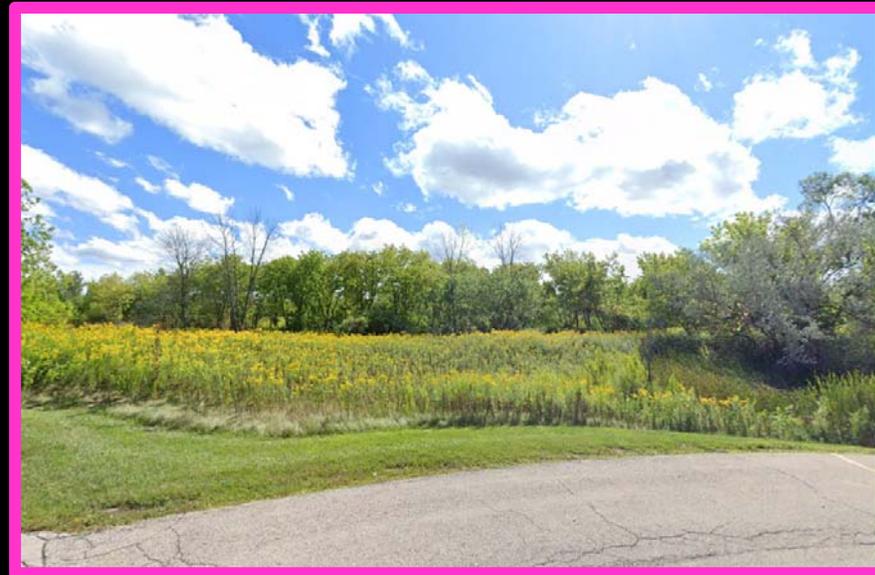
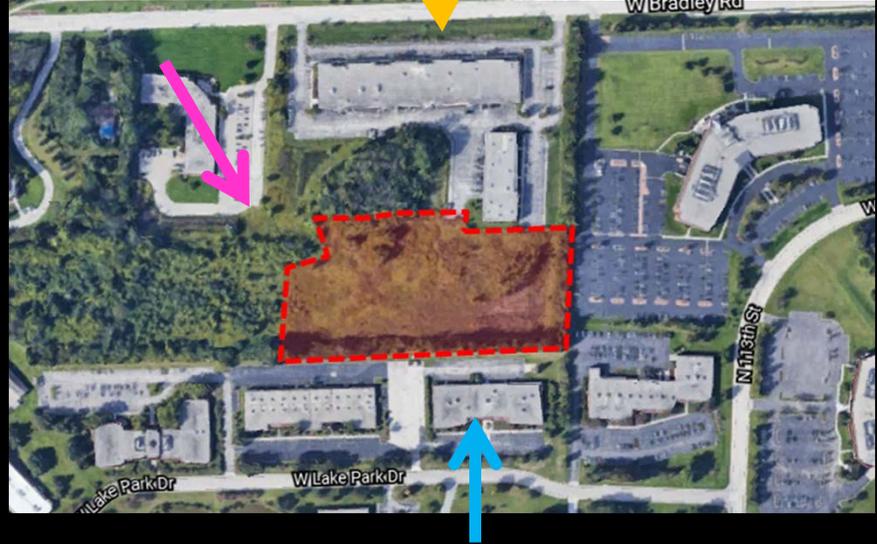
Park Place Technology Center GPD



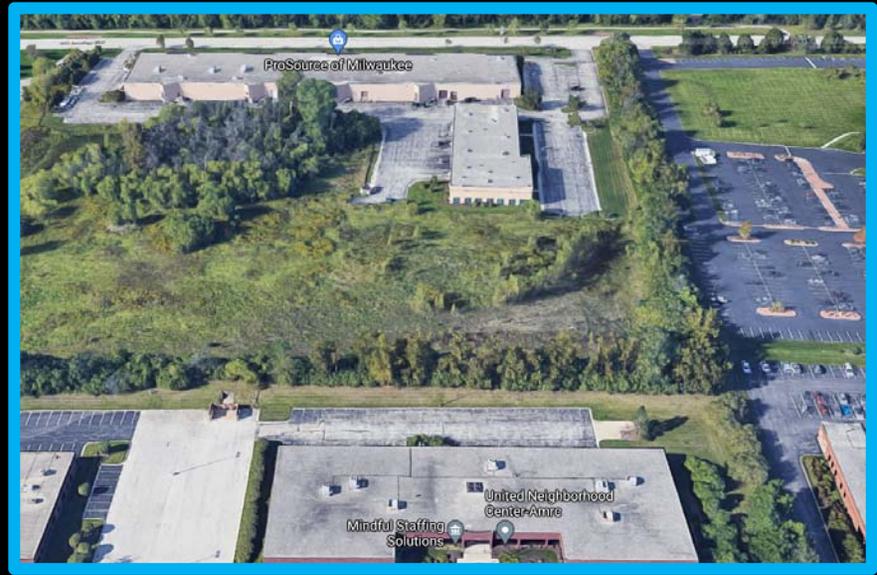
File No. 201471. Site Context Photos.



Aerial view looking south

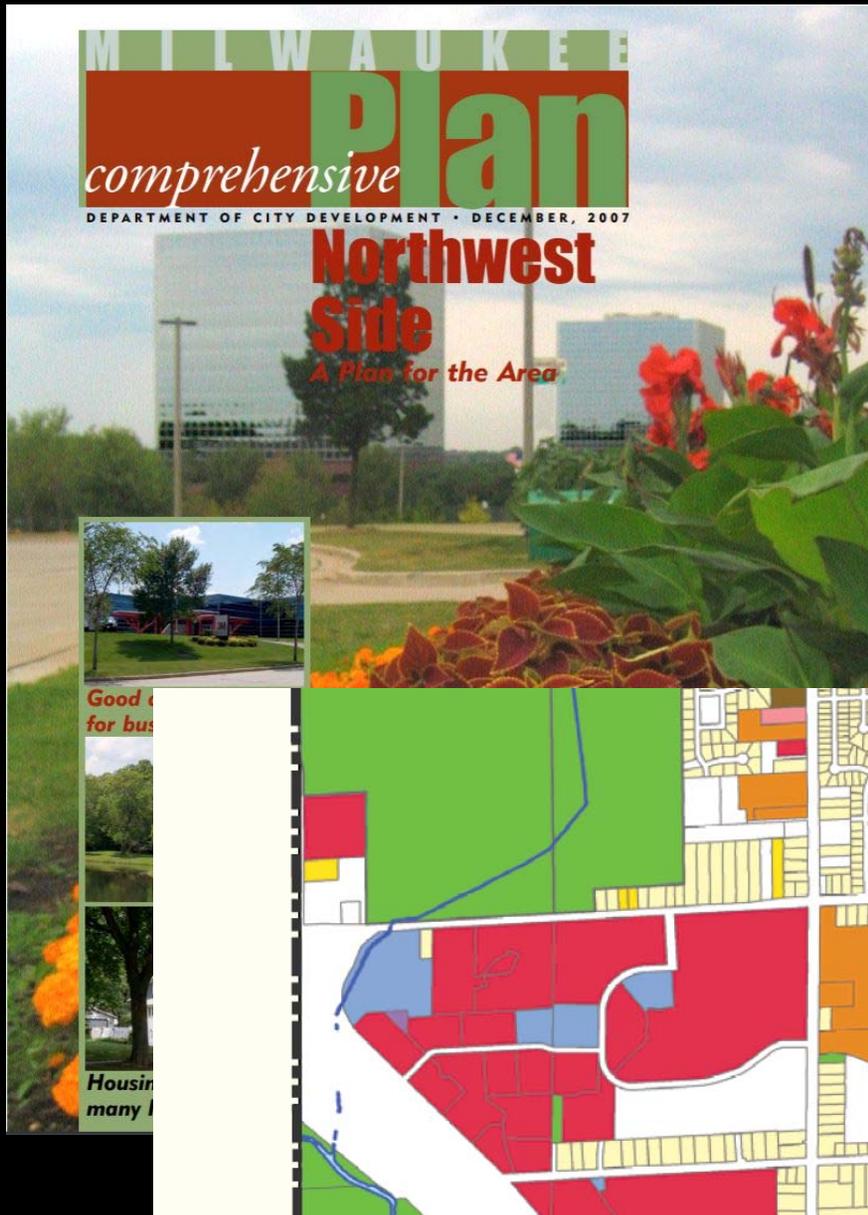


View from internal drive looking south-east



Aerial view looking north

File No. 201471. Consistency with Area Plan.



Northwest Side Plan

- Industrial Land Use Policies seek to preserve and improve existing industrial parks within the Northwest Side, and allow room for new industrial growth.
- Calls for the provision of enhanced landscape buffers between industrial buildings/parking lots and adjacent land uses and articulation of buildings to avoid blank walls
- **This proposed second amendment to the GPD and the DPD Phase 3 are consistent with the Northwest Side Area Plan.**

-  Public Parks and Quasi-Public Open space
-  Public Schools and Buildings, Churches, Cemeteries, and Quasi-Public Buildings
-  Commercial
-  Mixed Commercial and Residential

11601
Bradley Road
Development



11601 W BRADLEY ROAD VICINITY MAP



PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005 | WWW.PINNACLE-ENGR.COM |

PLAN | DESIGN | DELIVER

05/10/2020

PEGJOB# 1426.00

PLANT KEY: TREES & GROUND COVER

- TREES**
- BOTANICAL / COMMON NAME**
- CANOPY TREE**
 Acer Freemanii / Autumn Fantasy / Autumn Fantasy Maple
 Acer saccharum / Sugar Maple
 Diabola laevis / Shadblow / Shadblow Locust
 Symptlocos alba / Hornbury Cotton Tree
 Quercus rubra / Red Oak
 Quercus alba / Swamp White Oak
 Tax canadensis / Eastern White Pine
 Taxus canadensis / Canadian Red Pine
- EVERGREEN TREE**
 Abies concolor / White Fir
 Juniperus virginiana / Canadian Juniper
 Picea canadensis / Mill Spruce
 Picea mariana / Black Hills Spruce
 Pinus strobus / White Pine
- ORNAMENTAL TREE**
 Anemone sp. / Autumn Brilliance Serviceberry
 Cornus canadensis / Spicebush / Spicebush
 Cornus florida / Flowering Dogwood
 Cornus rugosa / Eastern Redbud
 Cotinus cogycia / Smoky Alamo
 Malus x 'Royal Raindrops' / Royal Raindrops Crabapple - MS
 Malus x 'Sugar Tyme' / Sugar Tyme Crabapple
 Syringa reticulata / Ivory Silk / Ivory Silk Tree Lilac
- NATIVE TREES**
- BOTANICAL / COMMON NAME**
- Quercus rubra / Red Oak (X)
- GROUND COVERS**
- BOTANICAL / COMMON NAME**
- RAINWATER RENEWAL MIX**
 Rain Garden / AGRECO, RAINWATER RENEWAL MIX
- TURF**
 Turf Hybridized / Reinders - Gallet 70/30 Prescure/Blue Mix
- NO MOW TURF**
 Turf Hybridized Low Grow / Reinders No Mow/Low Grow Mix

- NOTES**
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED
 - REFER TO INDIVIDUAL SHEETS FOR SHRUB PLANTING KEY AND SPECIES CALLOUTS
 - ALL TURF AREAS TO BE SEEDED

PARKING LOT INTERIOR LANDSCAPE REQUIREMENTS

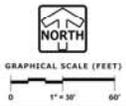
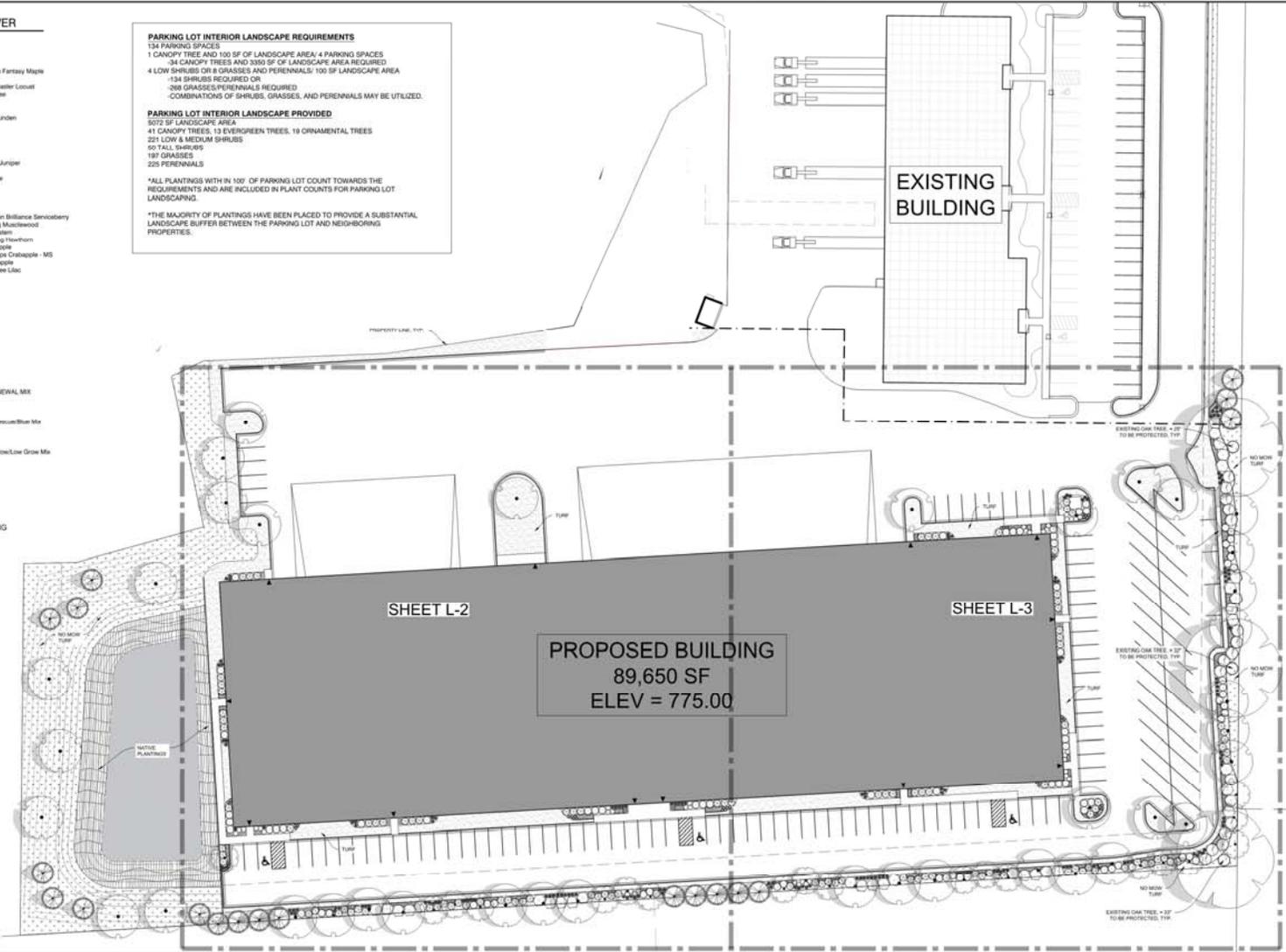
134 PARKING SPACES
 1 CANOPY TREE AND 100 SF OF LANDSCAPE AREA 4 PARKING SPACES
 34 CANOPY TREES AND 3300 SF OF LANDSCAPE AREA REQUIRED
 4 LOW SHRUBS OR 8 GRASSES AND PERENNIALS/ 100 SF OF LANDSCAPE AREA
 134 SHRUBS REQUIRED OR
 268 GRASSES/PERENNIALS REQUIRED
 *COMBINATIONS OF SHRUBS, GRASSES, AND PERENNIALS MAY BE UTILIZED.

PARKING LOT INTERIOR LANDSCAPE PROVIDED

5072 SF LANDSCAPE AREA
 41 CANOPY TREES, 13 EVERGREEN TREES, 19 ORNAMENTAL TREES
 90 TALL SHRUBS
 197 GRASSES
 225 PERENNIALS

*ALL PLANTINGS WITH IN 100' OF PARKING LOT COUNT TOWARDS THE REQUIREMENTS AND ARE INCLUDED IN PLANT COUNTS FOR PARKING LOT LANDSCAPING.

*THE MAJORITY OF PLANTINGS HAVE BEEN PLACED TO PROVIDE A SUBSTANTIAL LANDSCAPE BUFFER BETWEEN THE PARKING LOT AND NEIGHBORING PROPERTIES.



PLAN | DESIGN | DELIVER

PINNACLE ENGINEERING GROUP

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 2075 WASHINGTON AVENUE, SUITE 200
 MILWAUKEE, WI 53233
 (414) 774-8888
 WWW.PINNACLE-ENGINEERING.COM

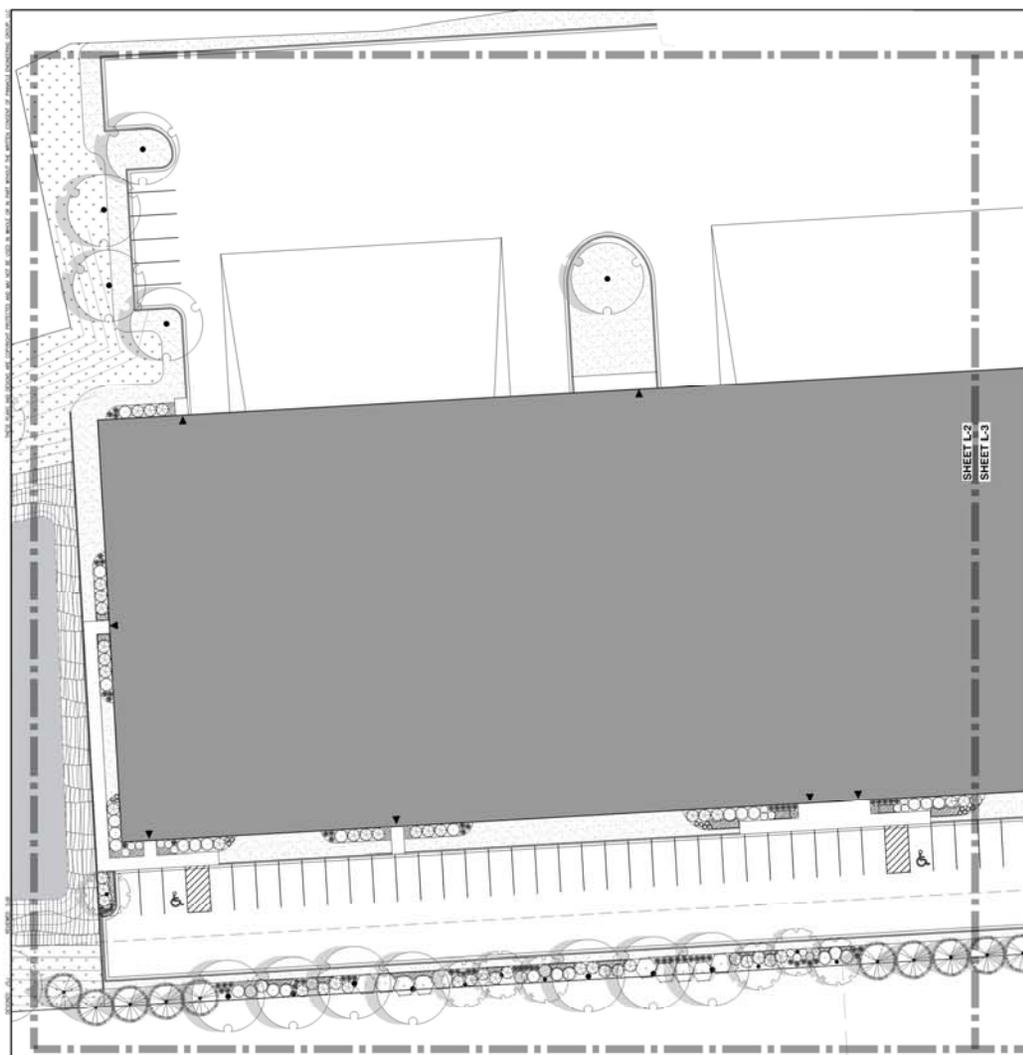
BRADLEY RD

11601 BRADLEY RD, MILWAUKEE, WI

LANDSCAPE OVERVIEW & TREE PLAN

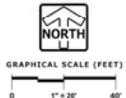
REVISIONS	

SHEET
L-1
L-5



PLANT KEY: SHRUBS & PERENNIALS

- SHRUBS**
- BOTANICAL / COMMON NAME**
- LARGE EVERGREEN SHRUB**
 Juniperus chinensis 'Low' / Low Juniper
 Juniperus chinensis 'LX' / Select Blue / Star Power Juniper
 Juniperus chinensis 'Mountain' / Mountain Juniper
 Juniperus communis depressa / Dwarf Common Juniper
- LARGE DECIDUOUS SHRUB**
 Aronia arbutifolia / Brilliantissima / Brilliant Red Chokeberry
 Cornus canadensis / Frog Pong / Frog Pong Bush
 Hamamelis virginiana / Common Witch Hazel
 Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark
- MEDIUM EVERGREEN SHRUB**
 Juniperus chinensis 'Sea Green' / Sea Green Juniper
 Juniperus chinensis 'Sea of Gold' / Sea of Gold Juniper
 Juniperus horizontalis 'Youngstown' / Youngstown Juniper
 Juniperus virginiana 'Grey Owl' / Eastern Redcedar Juniper
 Picea abies 'Pumila' / Pumila Spruce
 Taxus x media 'Densiformis' / Dense Yew
 Taxus x media 'Everlow' / Everlow Yew
 Taxus x media 'Taurion' / Taurion Yew
- MEDIUM DECIDUOUS SHRUB**
 Aronia melanocarpa 'Data' / Glossy Black Chokeberry
 Hydrangea sp. 'Vanilla Strawberry' / Vanilla Strawberry Hydrangea
 Rosa rugosa 'Purple Pavement' / Purple Pavement Rugosa Rose
 Sambucus nigra 'Black Lace' / Black Lace Elderberry
 Spiraea japonica 'Anthony Waterer' / Anthony Waterer Spiraea
 Syringa meyeri 'Palibin' / Dwarf Korean Lilac
- SMALL EVERGREEN SHRUB**
 Pinus mugo 'Stemound' / Stemound Mugo Pine
- SMALL DECIDUOUS SHRUB**
 Cornus stolonifera / Arctic Fire Dogwood
 Doronicum laetevirens / Dwarf Bush Honesty
 Hydrangea paniculata 'Bobo' / Bobo Hydrangea
 Spiraea japonica 'Magic Carpet' / Magic Carpet Spiraea
- TALL ORNAMENTAL GRASS**
 Andropogon gerardii 'Dancing Wind' / Dancing Wind Big Blue Stem
 Calamagrostis x 'Karl Foerster' / Karl Foerster Reed Grass
 Calamagrostis x 'Overdam' / Overdam Reed Grass
 Miscanthus sinensis 'October' / October Miscanthus
 Panicum virgatum 'Northwind' / Northwind Switch Grass
- SHORT ORNAMENTAL GRASS**
 Deschampsia cespitosa / Tufted Hair Grass
 Eriogonum speciosum / Purple Low Grass
 Sporobolus heliopsis 'Tara' / Prairie Dropper
- PERENNIAL**
- BOTANICAL / COMMON NAME**
- PERENNIALS**
 Alchemilla x 'Summer Beauty' / Summer Beauty Alum
 Anemone x 'Halleys Starburst' / Halleys Starburst Anemone
 Anemone daboecia / Goutweed
 Anemone chinensis 'Violet in Red' / Violet in Red Anemone
 Anemone x 'Deutschland' / Deutschland False Spirea
 Anemone x 'Holland' / Holland Anemone
 Brunnera macrophylla 'Jack Frost' / Jack Frost Brunnera
 Callanthe nativa / Callant
 Chionodoxa lynchii 'Pink Lace' / Pink Turkestan
 Coreopsis verticillata 'Zagreb' / Zagreb Coreopsis
 Echinacea purpurea 'Magnus Superior' / Magnus Superior Coneflower
 Geranium x carolinense 'Bokoro Camina' / Bokoro Camina Crane's Bill
 Gaillardia x 'Mik' / Mik Tall Garden Rose
 Hebe x 'RUBY Tuesday' / Ruby Tuesday Hebe x Flower
 Hemerocallis 'Stella De Oro' / Stella De Oro Daylily
 Hemerocallis 'Summer Wine' / Summer Wine Daylily
 Hemerocallis x 'Purple D' / Purple D Daylily
 Hosta x 'Big Daddy' / Big Daddy Hosta
 Hosta x 'Frances Williams' / Frances Williams Hosta
 Hosta x 'Gold Standard' / Gold Standard Hosta
 Nepeta x 'Walker's Low' / Walker's Low Catmint
 Rudbeckia 'Violet x Little Sisy' / Violet x Little Sisy Shoney Coneflower
 Salvia nemorosa 'May Night' / May Night Sage
 Sedum 'Autumn Joy' / Autumn Joy Sedum
- GROUND COVERS**
- BOTANICAL / COMMON NAME**
- RAINWATER RENEWAL MIX**
 Rain Garden / AGRECLO RAINWATER RENEWAL MIX
- TURF**
 Turf Hydroseed / Reinders - Carpet 70/30 Fescue/Blue Mix
- NO MOW TURF**
 Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix



PLAN | DESIGN | DELIVER

PINNACLE ENGINEERING GROUP

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ENGINEERING | NATURAL RESOURCES | SURVEYING

BRADLEY RD

11601 BRADLEY RD, MILWAUKEE, WI

LANDSCAPE ENLARGEMENT

REVISIONS	

DATE: 08/26/2019	DATE: 08/26/2019	DATE: 08/26/2019	DATE: 08/26/2019
BY: JAV	BY: JAV	BY: JAV	BY: JAV
CHECK: JAV	CHECK: JAV	CHECK: JAV	CHECK: JAV
SCALE: 1"=20'	SCALE: 1"=20'	SCALE: 1"=20'	SCALE: 1"=20'
SHEET	SHEET	SHEET	SHEET
L-2	L-2	L-2	L-2
L-5	L-5	L-5	L-5



SITE PLAN



11601 W. BRADLEY ROAD
NEW MULTI-TENANT INDUSTRIAL DEVELOPMENT



PARK PLACE
TECHNOLOGY CENTER



SOUTH EAST CORNER



11601 W. BRADLEY ROAD
NEW MULTI-TENANT INDUSTRIAL DEVELOPMENT



PARK PLACE
TECHNOLOGY CENTER

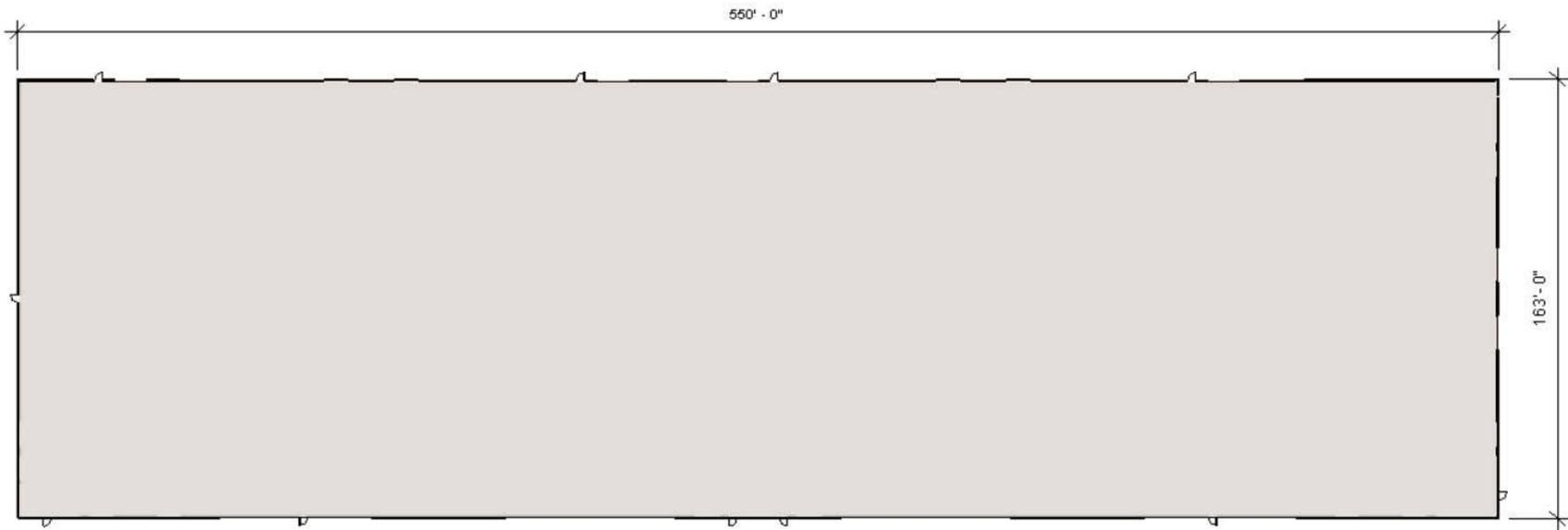


SOUTH EAST CORNER



11601 W. BRADLEY ROAD
NEW MULTI-TENANT INDUSTRIAL DEVELOPMENT



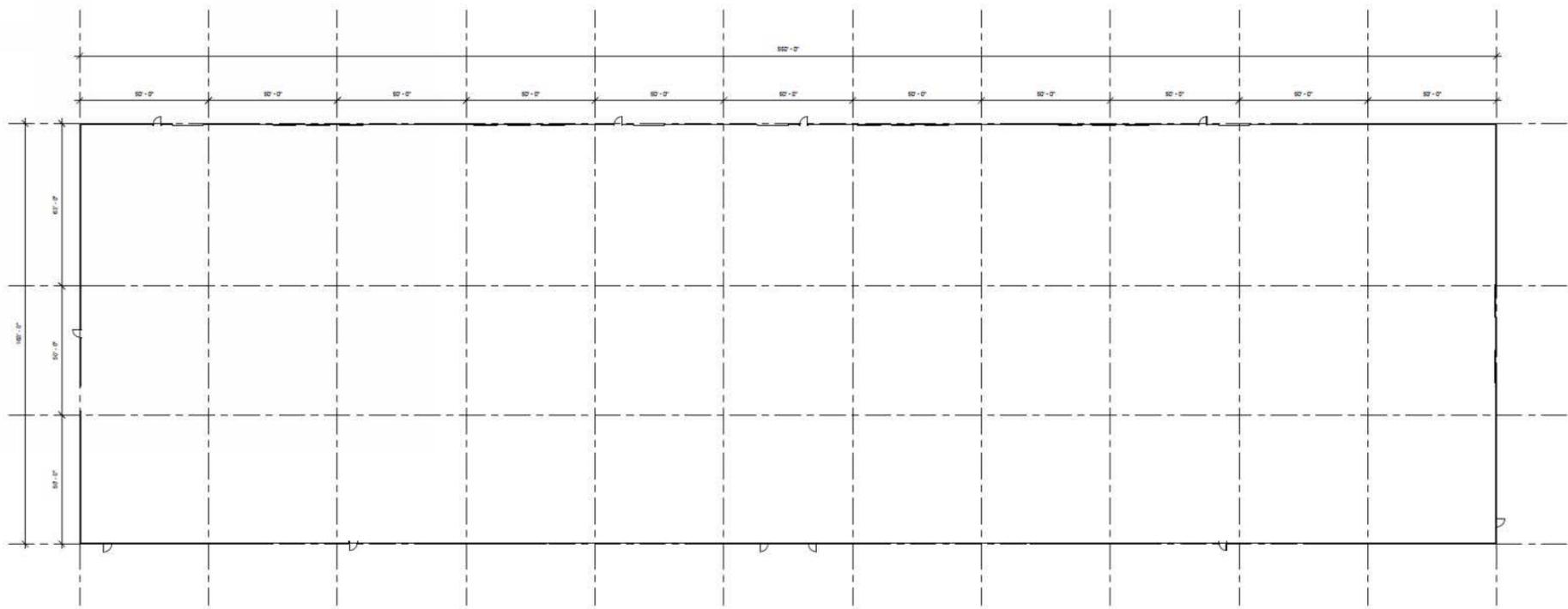


 PROPOSED FIRST FLOOR PLAN



11601 W. BRADLEY ROAD
NEW MULTI-TENANT INDUSTRIAL DEVELOPMENT





 PROPOSED FIRST FLOOR PLAN



11601 W. BRADLEY ROAD
NEW MULTI-TENANT INDUSTRIAL DEVELOPMENT



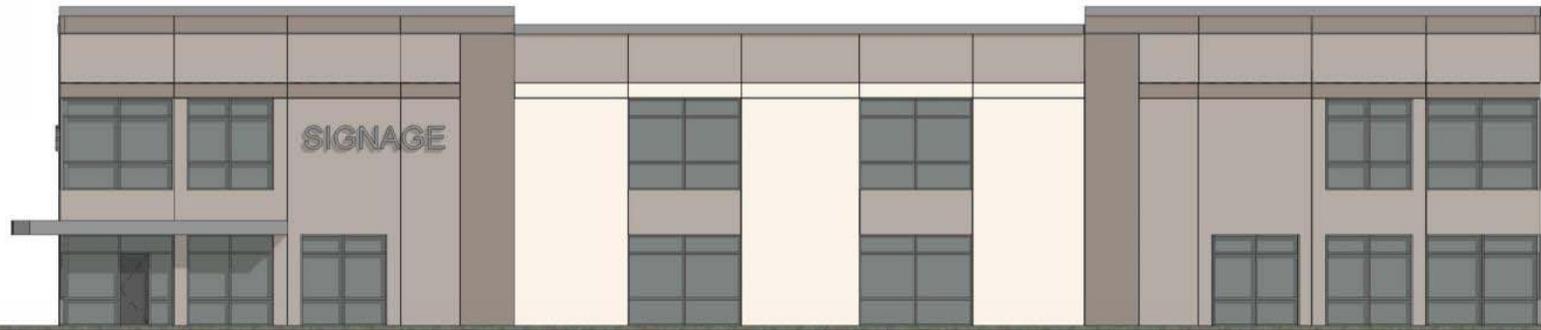


PROPOSED NORTH & SOUTH ELEVATION



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NEW MULTI-TENANT INDUSTRIAL DEVELOPMENT



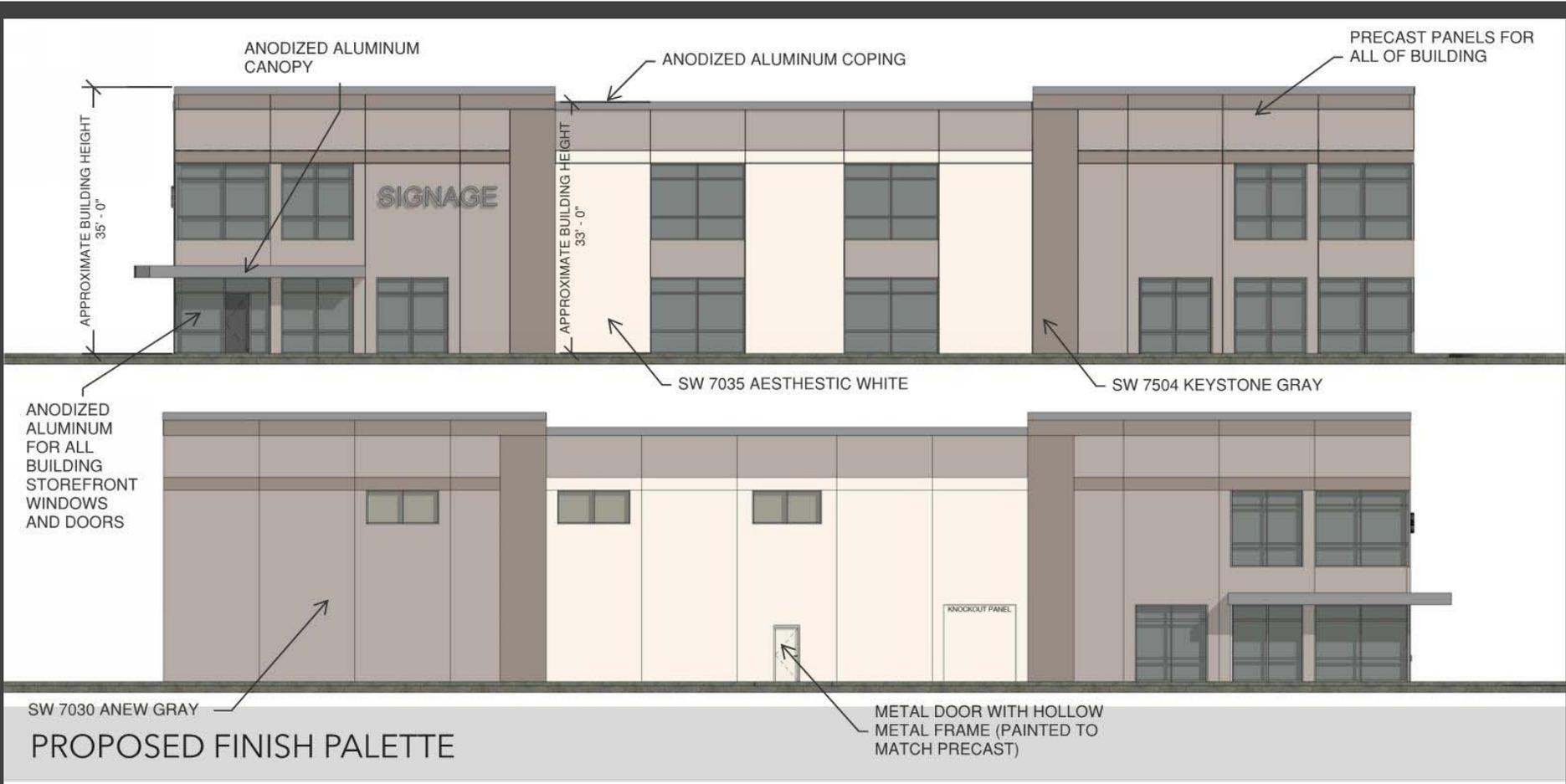


PROPOSED EAST & WEST ELEVATION



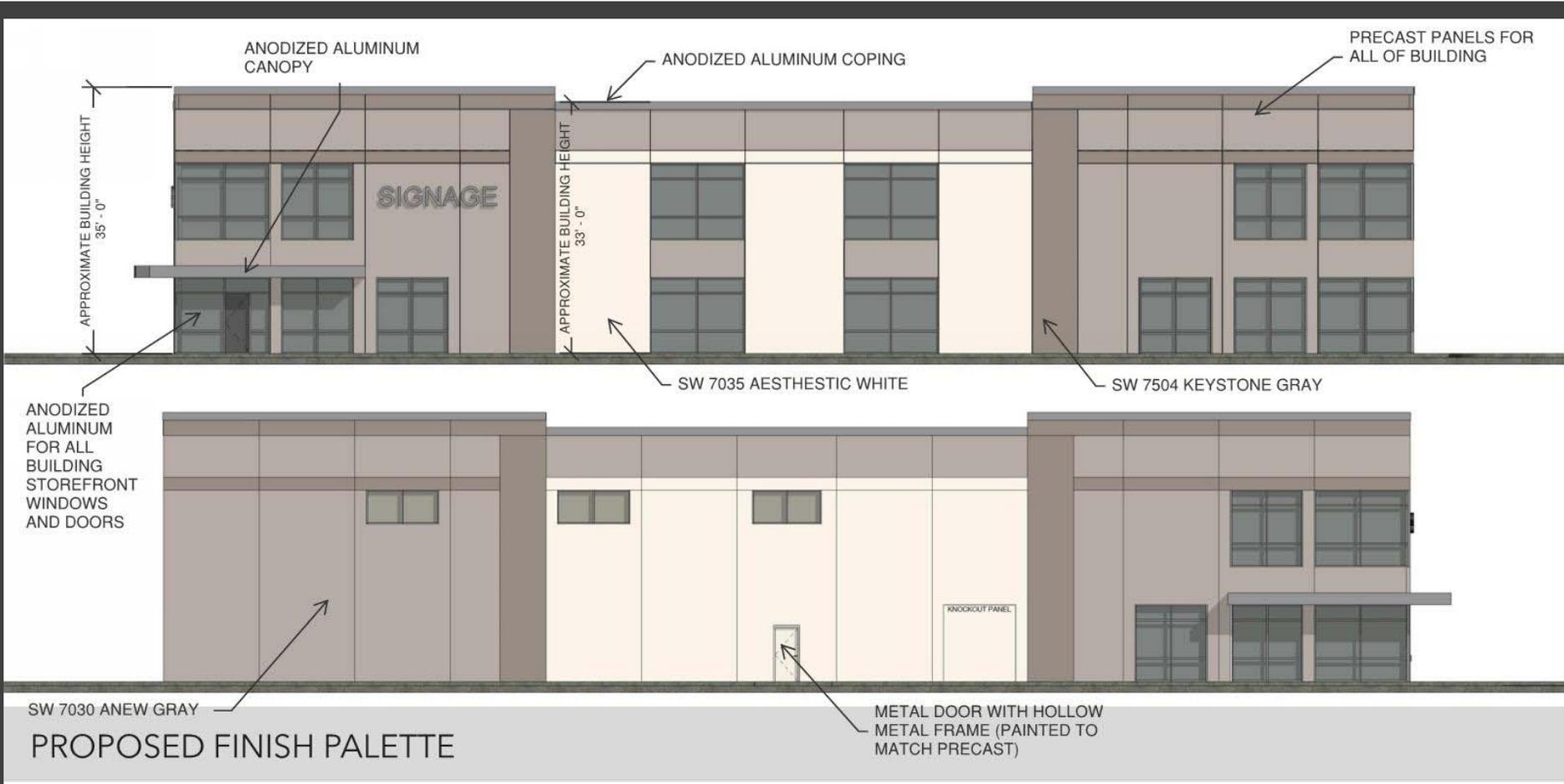
11601 W. BRADLEY ROAD
NEW MULTI-TENANT INDUSTRIAL DEVELOPMENT





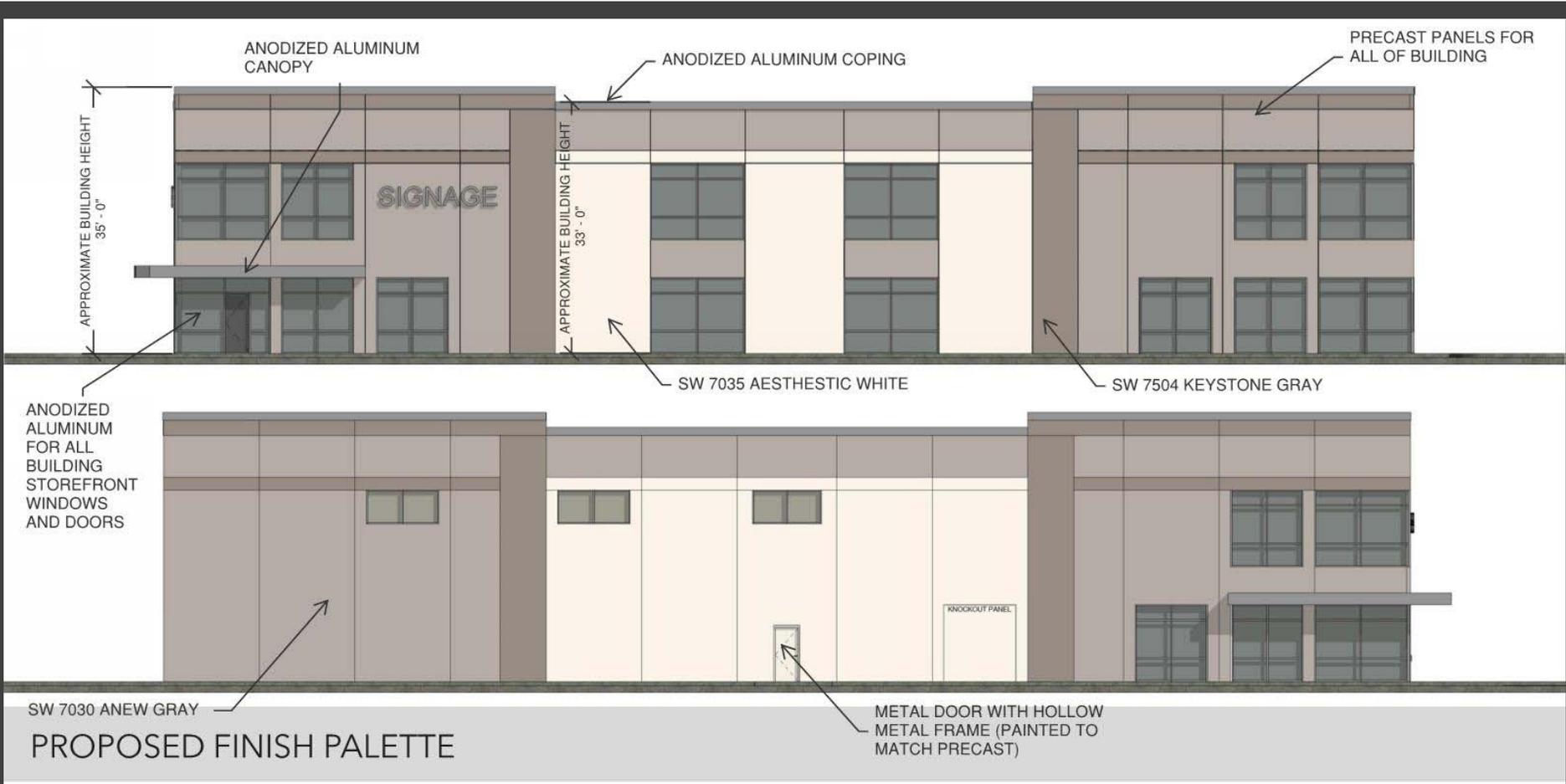
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