

The Hills Luxury Commons: Block B

1937 N. Hubbard Street
Milwaukee, WI 53202

Amendment to the Detailed Plan Development known as
Brewer's Hill Commons Phase VI, File 160114



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Project Team

OWNER

ROYAL CAPITAL
Group LLC

ARCHITECT



CIVIL & LANDSCAPE



CONSTRUCTION MANAGER



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Owner's Statement of Intent & Detailed Plan Project Description

Owners Statement of Intent:

Brewers Hill DPD - File No. 160114, Phase VI (Block B)

The Brewers Hill neighborhood is the benefactor of a strategic General Planned Development (GPD). Initiated in 1999, the GPD (File No. 990181, and subsequently amended in 2003 as File No. 030976) encompassed the revitalization and repurpose of former manufacturing sites in the near downtown area. The housing plan called for the development of single family, town homes, and multifamily apartments/condos to be constructed in a series of 7 phases, 4 of which have been constructed (Phases I, II, III and IV). The success of the GPD has created a vibrant neighborhood full of diversity, energy, and economic activity. In 2004, a Detailed Plan Development (DPD) was approved for the parcel located on the SW corner of Hubbard/Brown (Phase VI-Block B, File No. 030624). The current development team, Royal Capital Group, is proposing an amendment to the GPD (File No. 160113 - to allow an increase in number of units and other site-related factors) and the Phase VI DPD to approve a new site plan and building elevations for the undeveloped site known as phase VI of the Brewers Hill Commons (Block B).

Phase VI-Block B

The development team is proposing a change to the Detailed Development Plan (DDP) for the parcel(s) located at the SW Corner of Hubbard and Brown. The amended DDP will include (84) residential units with 1 and 3 bedroom unit types, and at least one parking space per residence. Maintaining the same character of the approved DDP (file number 030624), the proposed development will feature two buildings (East & West), with up to fifty (50) covered parking spaces located at-grade, and up to thirty Eight 38 surface parking spaces located between the two buildings. Each of the buildings will be four (4) stories tall featuring four (4) direct-entry walk-up units on Brown street, along with a grand entrance to access the units on floors 2-4. The development will include high end finishes including stainless steel appliances, luxury wood style plank floors, quartz/granite counter tops, private balconies, roof top terraces, a club/ party room, fitness center, and enclosed heated parking.

Planned Development Project Description

Uses:

Multi-family dwelling, parking lot accessory use, parking structure accessory use.

Space Between Structures:

At the midblock condition along Brown Street, the two buildings dogleg towards each other to create a more urban streetwall. The gap between the building at this condition is 50'-0". At the parking court, the gap between the buildings is 173'.

Setbacks:

The East building is zero lot line building along Brown Street, and is set back three feet from the Hubbard Street property line to allow for a landscape buffer. The West building's primary structure is set back five feet from the Brown street property line, allowing for patios with garden walls along the main facade. The West building is set back approximately three feet from the Palmer Street property line to allow for a landscape buffer.

Screening:

All utility and HVAC equipment, with the possible exception of the electrical transformer, will not be visible from the street. They will be housed in the building or located on the roof. If possible, the transformer will be located in the parking court and screened appropriately.

Open Spaces:

The primary open space for the project is the parking courtyard that is created between the east and west buildings. Although primarily a parking lot, there are opportunities for usable green space in this area. The other main open space is a roof terrace on the South end of each parking structure.

Circulation, Parking and Loading:

Each building contains an enclosed, heated garage at ground level, with up to 25 parking stalls in each building. These garages are accessed from Hubbard and Palmer Streets respectively. There is a central surface parking lot, accessed from Brown Street, with one way in and out dual curb cuts mid block.

The main pedestrian entrance of each building is centrally located on the Brown street facades. Each building lobby is flanked by two walk up units on each side; there are ten total entrances on Brown Street.

Bicycle parking will be located internal to the parking structures at the north end(s), with overflow racks outdoors if needed.

Refuse for both structures is handled via internal trash rooms in the interior parking areas. Dumpsters will be rolled out for collection through the parking entrances. Move in and move out are anticipated to occur on Brown Street due to elevator proximity.

Landscaping:

The landscape theme developed for The Hill- Block B is a rather simple approach. The clean, linear lines of the architecture dictate the simple, block-massing of perennials, grasses and shrubs. New street trees are introduced on the public fronts of the project, fully integrating this new building to the block. The project features an assortment of raised planters and garden walls along the three (3) public sides. These planters will aid in lessening and navigating the slope of the site (North to South). These planters will serve as step/retaining walls at the various unit entries. One of the proposed planter/ garden wall area (the North side of the east Building) is contingent upon the receipt of a special privilege, which the developer will apply for. The site is buffered from the adjoining south property with an evergreen/ornamental tree screen/buffer.

Block B has a small drive opening in the mid-block area of East Brown Street for safe parking lot access. The actual parking lot served by this access drive is set back behind/between the proposed buildings of Block B. The parking lot landscaping on this project will follow the Type A landscaping (per 295-405 of the Milwaukee Zoning Code). All required vegetation and plantings in the interior areas shall be of a quality consistent of the American Association of Nurserymen (ANSO 260.1). All required vegetation shall be maintained on an ongoing basis, including seasonal tree and plant replacement.

Lighting:

Adequate lighting shall be provided for both structures along the North elevation, as well as along the East and West elevations. The lighting shall comply with requirements outlined in section 295-409.2 of the City of Milwaukee City Charter and Code of Ordinances.

Utilities:

All utility lines shall be installed underground if allowed, otherwise existing poles will remain in place.. Transformers and substations will be installed within buildings or otherwise screened from view.

Signs:

Building signage for Phase VI will include up to two wall mounted address signs located at the northeast and northwest corners of the site, as well as address signs located at the entrances to the eight walkup units, and an additional address sign at the shared lobby of each building. Address signs will be either surface mounted raised metal characters or frosted glass. Signs will be Type A (only letters and logos illuminated) and constructed with high quality building materials that match the building. Signs will not exceed approximately 4 feet in height and 36 square feet overall. Temporary signage during construction and leasing will consist of up to two (2) 4 foot by 8 foot banners with a printed graphic of the project and contact information attached to the construction fence.

Block B (Phase VI) Overview:

Total lot square footage: 57,247 SF (1.31 Acres)

Maximum amount of land covered by Principal Structures: 26,706 SF - 47%

Maximum amount of land devoted to Parking structures: 16,340 SF - 29%

Maximum amount of land devoted to Parking lot and drives: 15,478 SF - 27%

Maximum amount of land devoted to Landscaped open Space: 14,951 SF - 26%

Proposed number of buildings: Two

Number of dwelling units: 84

Bedrooms per unit: One and Three - Total bedroom count: 92

Parking spaces provided: Up to 88: Approx. one per dwelling unit

Block B density: 682 SF/ Dwelling unit





Block B - Brown Street



Block B - Brown & Palmer



Block B - Hubbard Street



Block B



Block B



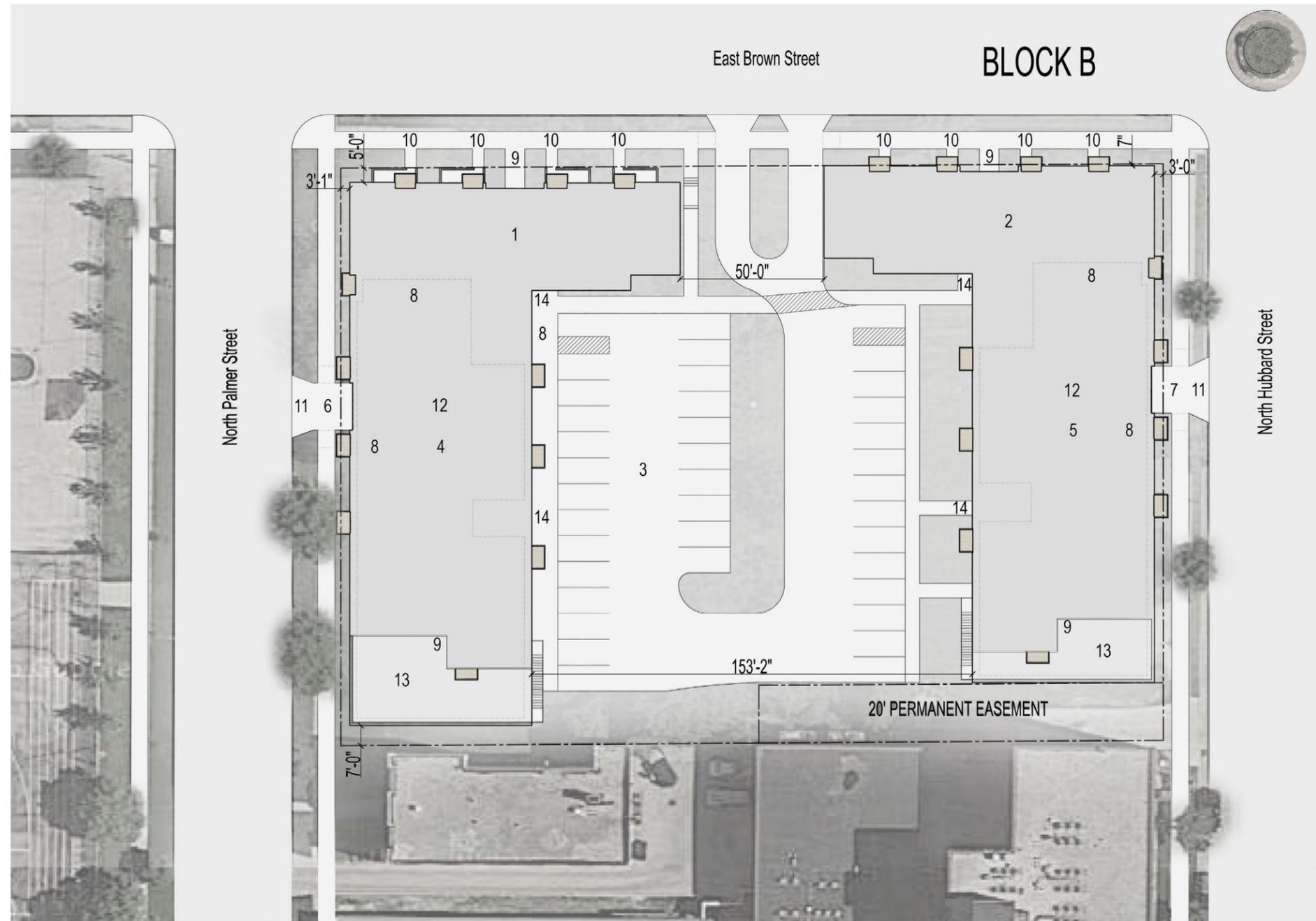
Block B

SITE PLAN KEY

1. BUILDING 1 (FOUR FLOORS)
2. BUILDING 2 (FOUR FLOORS)
3. SURFACE PARKING
4. BUILDING 1 PARKING GARAGE
5. BUILDING 2 PARKING GARAGE
6. BUILDING 1 GARAGE ENTRANCE
7. BUILDING 2 GARAGE ENTRANCE
8. BICYCLE PARKING
9. MAIN PEDESTRIAN ENTRANCE
10. WALK UP UNITS
11. REFUSE COLECTION
12. LOADING FACILITY
13. COMMUNITY DECK (ONE FLOOR)
14. PEDESTRIAN ENTRY

88 PARKING SPACES

- 38 SPACES- SURFACE PARKING
- 24 SPACES- GARAGE 1
- 24 SPACES- GARAGE 2
- 21 SPACES INTERIOR BICYCLE PARKING
- 2 SPACES- EXTERIOR BICYCLE PARKING



ALTA/NSPS LAND TITLE SURVEY

TITLE: ALTA/NSPS LAND TITLE SURVEY
PROJECT TITLE: BREWER HILL DEVELOPMENT - BLOCK B
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: SITUATED ON NORTH BROWN STREET

TITLE: ALTA/NSPS LAND TITLE SURVEY
PROJECT TITLE: BREWER HILL DEVELOPMENT - BLOCK B
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: SITUATED ON NORTH BROWN STREET

REVISIONS	DATE	DESCRIPTION

DRAWN BY KMA	DATE 05/17/2016
CHECKED BY PAK	DATE 05/17/2016

SHEET TITLE
ALTA/NSPS LAND TITLE SURVEY

AS101D30

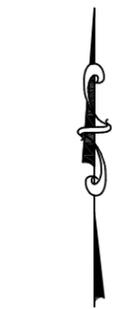
SITUATED ON E. BROWN STREET
LOTS 1, 2, 3, 4, 5, 6, 7 AND 8, IN BLOCK 31, TOGETHER WITH THE EAST 500 FEET OF VACATED N. PALMER STREET ADJACENT TO LOTS 2, 3, 4 AND 7, IN SHERMAN'S ADDITION, IN THE NORTHEAST 1/4 OF SECTION 26, IN TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.
MAY 3, 2016 BROWN STREET I, LLC SURVEY NO. 4992
BROWN STREET II, LLC



VICINITY MAP
NOT TO SCALE

IRON PIPE	LIGHT POLE
MANHOLE	CONCRETE CURB
GROUND INLET	UG ELECTRIC
INLET	UG WATER
METER	UG FIBER OPTIC
UG PIPE	UG TELEPHONE
GAS VALVE	UG GAS LINE
WATER VALVE	UG MANHOLE
POWER POLE	UG COMBINED SEWER
CONCRETE BUILDING	

LEGEND
NOT TO SCALE



0 15 30 60
GRAPHIC SCALE 1"=30'

NOTES:

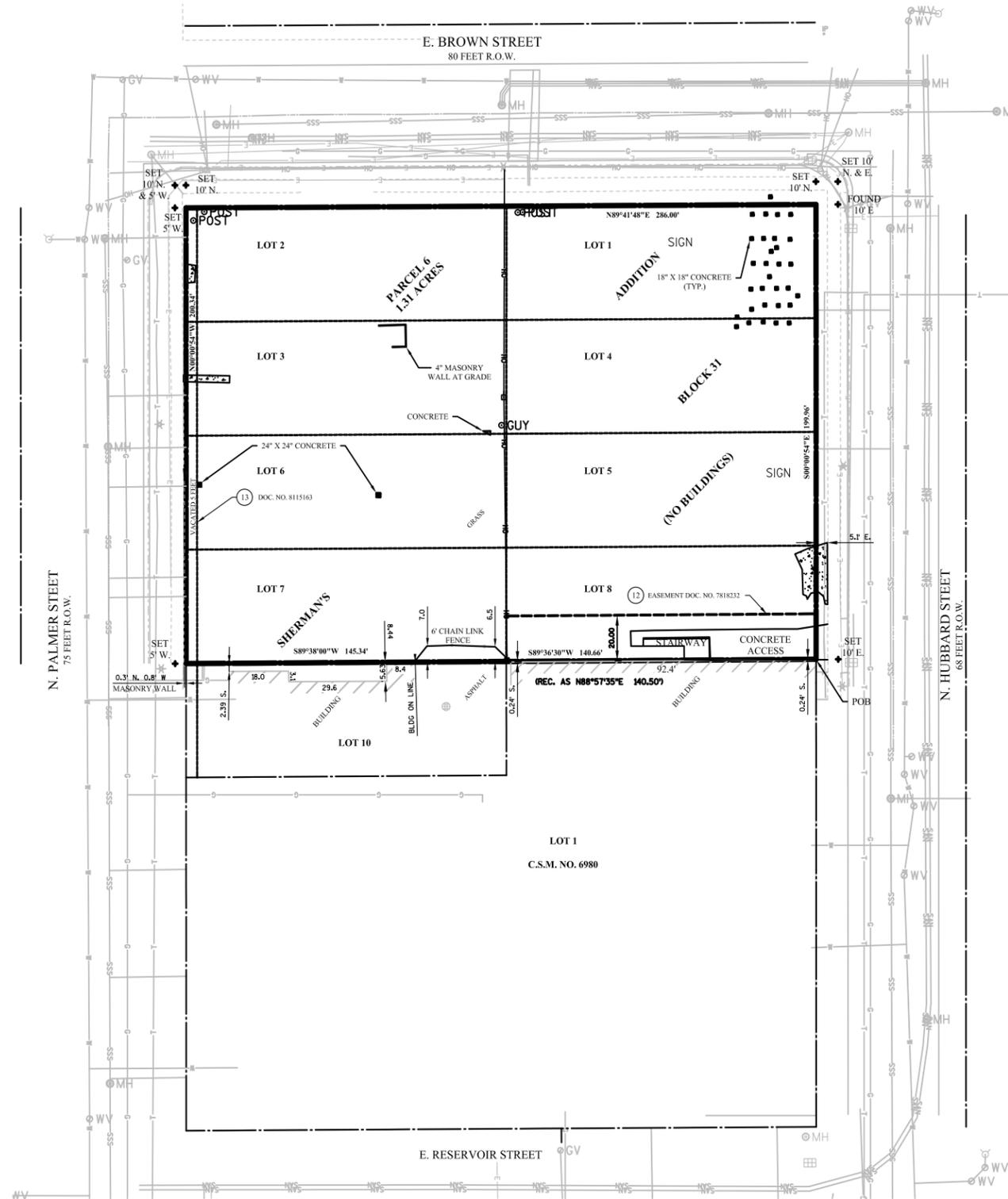
- BEARINGS ARE BASED ON THE NORTH LINE OF THE LOT 1 IN CERTIFIED SURVEY MAP NO. 6980, WHICH IS ASSUMED TO BEAR N 89° 36' 30" E.
- THIS SURVEY WAS PREPARED BASED ON FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. NCS-745287-MKE, EFFECTIVE DATE OF MARCH 23, 2016, REVISED APRIL 22, 2016, WHICH LIST THE FOLLOWING EASEMENTS AND/OR RESTRICTIONS:
 - AFFECTS SITE IF ANY, SHOWN.
 - NOT SURVEY RELATED, NOT SHOWN.
- TERMS, PROVISIONS AND CONDITIONS SET FORTH IN EASEMENT AGREEMENT DATED OCTOBER 1, 1999, AND RECORDED ON OCTOBER 9, 1999, IN REEL 4665, IMAGE 1927, AS DOCUMENT NO. 7818.232 (AS TO PARCEL 6, AFFECTS SITE, SHOWN).
- RIGHTS OF ENTRANCE TO, MAINTENANCE, CONSTRUCTION, OR REPAIR OF ANY UTILITY STRUCTURES, IMPROVEMENTS OR SERVICES WHICH MAY BE UNDER THE SURFACE OF THE PORTION THE LAND LYING WITHIN VACATED NORTH PALMER STREET, PURSUANT TO SECTION 66.1005(2)(A) WISCONSIN STATUTES AND CERTIFIED COPY OF RESOLUTION VACATION-FILE NO. 991923 RECORDED ON AUGUST 10, 2001, AS DOCUMENT NO. 8115163, (AS TO PARCEL 6, AFFECTS SITE, SHOWN).
- ACCORDING TO FLOOD INSURANCE RATE MAP OF THE COUNTY OF MILWAUKEE, COMMUNITY PANEL NO. 550790091E, EFFECTIVE DATE OF SEPTEMBER 26, 2008, THIS SITE FALLS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
- THE BASIC ZONING INFORMATION LISTED BELOW IS TAKEN FROM MUNICIPAL CODES AND DOES NOT REFLECT REGULATIONS THAT MAY APPLY-SITE IS ZONED PD PLANNED DEVELOPMENT DISTRICT.
SETBACKS. A PLANNED DEVELOPMENT EXCEEDING 5 ACRES IN SIZE SHALL PROVIDE A SETBACK OF AT LEAST 25 FEET AROUND THE PERIMETER OF THE SITE, UNLESS A SMALLER SETBACK IS APPROVED BY THE COMMON COUNCIL, BECAUSE ADJACENT BUILDINGS HAVE SETBACKS THAT ARE LESS THAN 25 FEET.
- THERE ARE NO REGULAR AND NO HANDICAPPED PARKING SPACES MARKED ON THIS SITE.

TO:
ROYAL CAPITAL GROUP, LLC
BROWN STREET I, LLC AND BROWN STREET II, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, INCLUDES ITEMS 1, 2, 3, 4, 6, 7(a), 7(c), 8, 9, 10 AND 11 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 3, 2016.

DATE OF PLAT OR MAP: MAY 17, 2016

PAUL A. KUBICEK
WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-2232



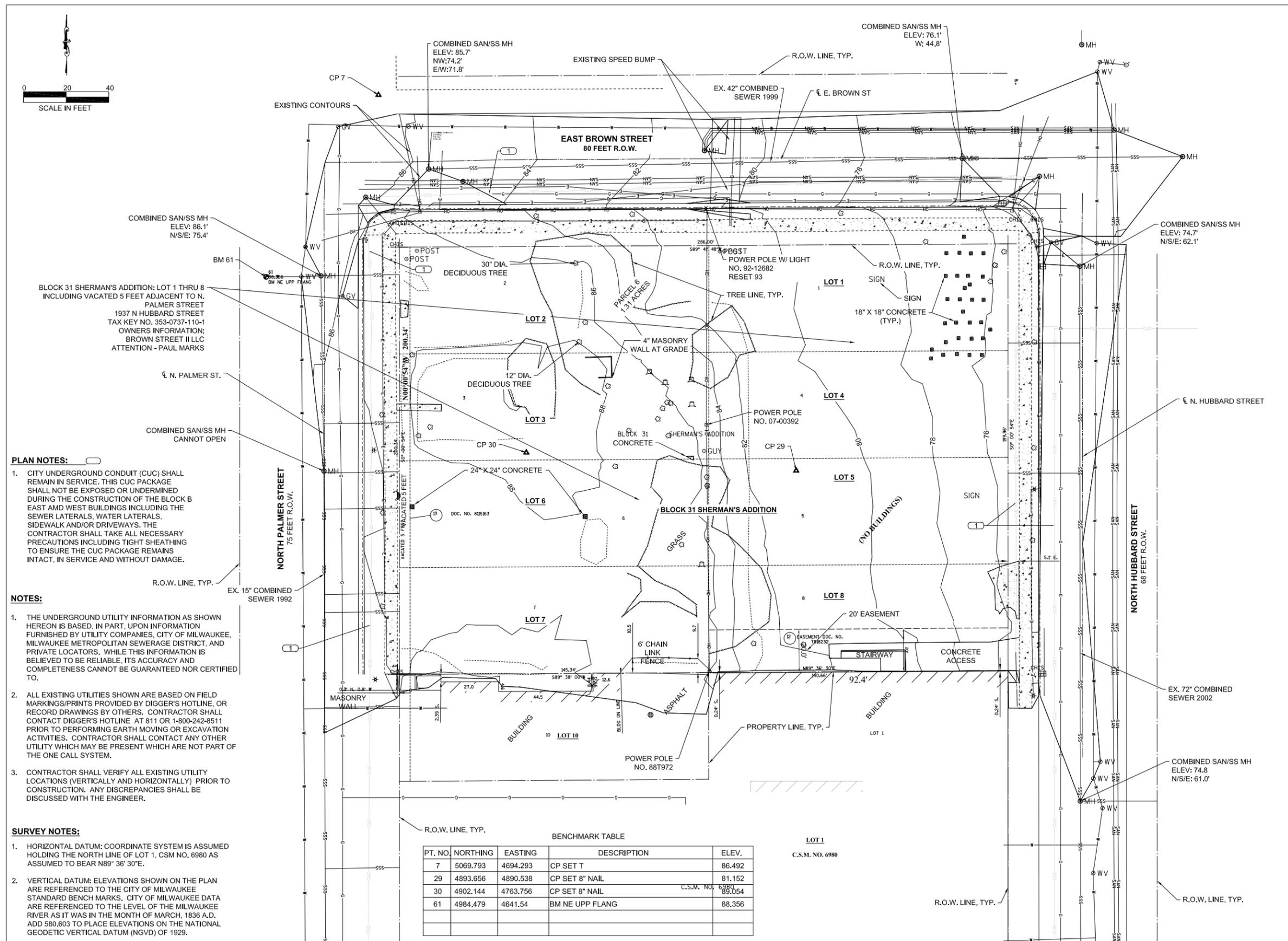
TITLE: BLOCK B EXISTING CONDITIONS
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY	DATE
JAF	06/20/2016
CHECKED BY	DATE
APS	06/20/2016

EXISTING CONDITIONS
BLOCK B
(NORTH BLOCK)

C002B



- PLAN NOTES:**
- CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK B EAST AND WEST BUILDINGS INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.

- NOTES:**
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, CITY OF MILWAUKEE, MILWAUKEE METROPOLITAN SEWERAGE DISTRICT, AND PRIVATE LOCATORS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD MARKINGS/PRINTS PROVIDED BY DIGGER'S HOTLINE, OR RECORD DRAWINGS BY OTHERS. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE AT 811 OR 1-800-242-8511 PRIOR TO PERFORMING EARTH MOVING OR EXCAVATION ACTIVITIES. CONTRACTOR SHALL CONTACT ANY OTHER UTILITY WHICH MAY BE PRESENT WHICH ARE NOT PART OF THE ONE CALL SYSTEM.
 - CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS (VERTICALLY AND HORIZONTALLY) PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE ENGINEER.

- SURVEY NOTES:**
- HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30\"/>
 - VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.

BENCHMARK TABLE

PT. NO.	NORTHING	EASTING	DESCRIPTION	ELEV.
7	5069.793	4694.293	CP SET T	86.492
29	4893.656	4890.538	CP SET 8\"/>	81.152
30	4902.144	4763.756	CP SET 8\"/>	83.054
61	4984.479	4641.54	BM NE UPP FLANG	88.356

TITLE: BLOCK B SITE PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST., MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 06/20/2016
CHECKED BY APS	DATE 06/20/2016

SITE PLAN
BLOCK B
(NORTH BLOCK)

C200B

GENERAL NOTES:

- ALL CURB RADII ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT; UNLESS STATED OTHERWISE.
- CONTRACTOR TO ENSURE THAT ALL EXTERIOR CONCRETE SLABS ARE BROOM FINISHED.
- REFER TO LANDSCAPE PLANS FOR RESTORATION IN LANDSCAPED AREAS.

BUILDING USE & HEIGHT:

BUILDING AA USE = XXX
BUILDING AA HEIGHT = XXX

BUILDING AREA:

FIRST FLOOR AREA: 26,998 S.F.

SITE DATA:

TOTAL AREA OF LOTS = 57,247 S.F. = 1.31 ACRES
TOTAL DISTURBED AREA (PROJECT LIMITS) = 60,328 S.F. = 1.39 ACRES
IMPERVIOUS AREA BEFORE CONSTRUCTION = 0.00 S.F. = 0.00 ACRES
IMPERVIOUS AFTER CONSTRUCTION = 42,219 S.F. = 0.97 ACRES
IMPERVIOUS INCREASE =

GREEN SPACE:

LOT:
AREA = 57,247 S.F.
GREEN SPACE = 15,028 S.F.
26% GREEN SPACE

PARKING DATA:

TOTAL SURFACE PARKING SPACES = 43
HANDICAP ACCESSIBLE PARKING SPACES = 4

PARCEL ADDRESS:

1937 N. HUBBARD
MILWAUKEE, WI 53202

ZONING:

CURRENTLY: XXXXXX ZONING
PROPOSED: XX

LEGEND

- CONCRETE
- HOT MIX ASPHALT (HMA) PAVEMENT

PLAN NOTES:

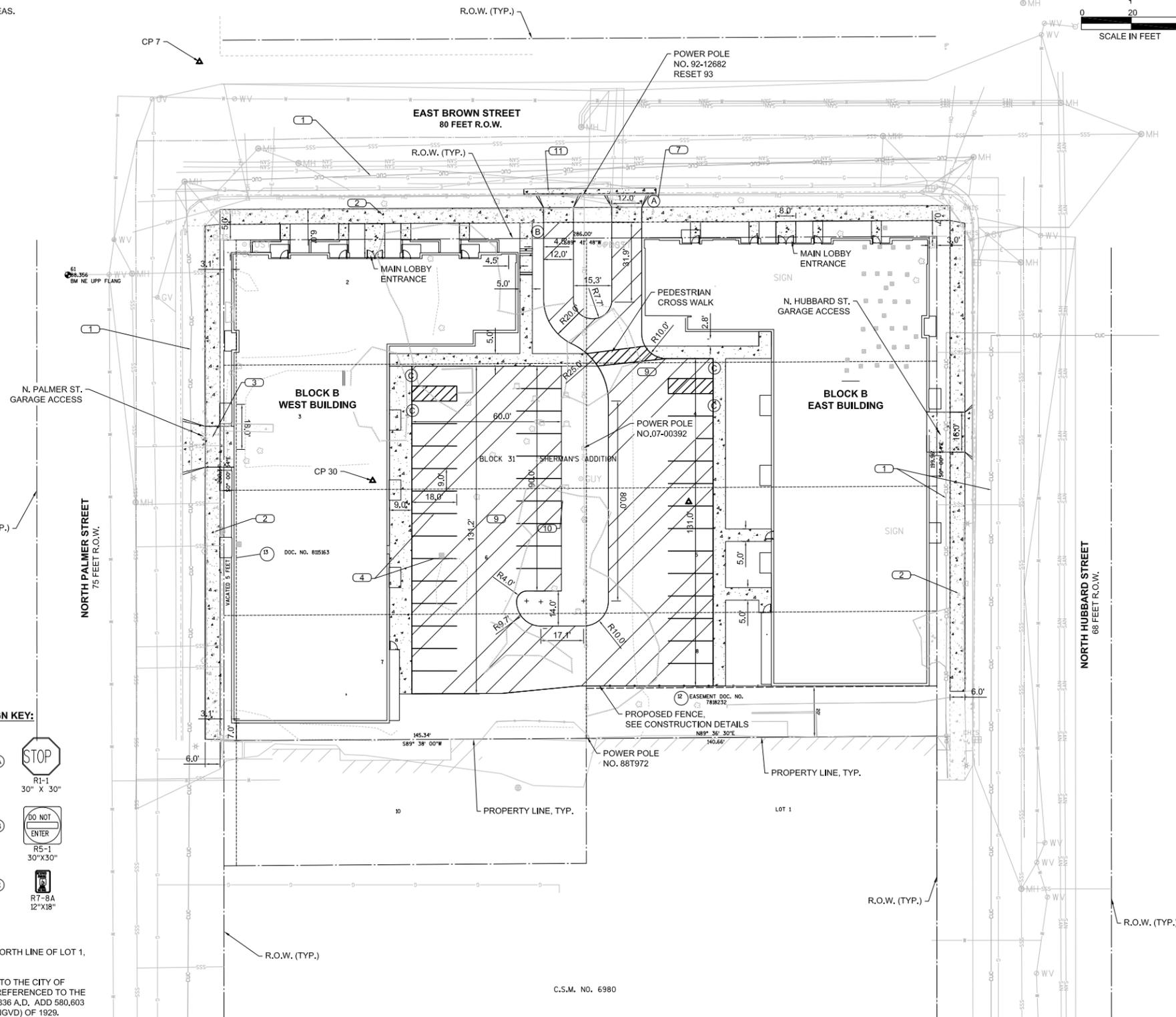
- CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK B EAST AND WEST BUILDINGS INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.
- 5" CONCRETE SIDEWALK, SEE DETAIL 3, SHEET C501.
- 7" THICK CONCRETE SLABS AT DRIVEWAY APPROACHES, SEE DETAIL 8, SHEET C501
- PAVEMENT MARKING 4-INCH WHITE, TYP.
- PAVEMENT MARKING 8-INCH WHITE, TYP.
- PAVEMENT MARKING ARROW, WHITE, TYP.
- R1-1 STOP SIGN SIZE 6, TUBULAR STEEL POST, SEE DETAIL 1, SHEET C502
- R7-8A RESERVED PARKING SIGN, TUBULAR STEEL POST, SEE DETAIL 1, SHEET C503
- HMA PAVEMENT CONSISTS OF 4" OF ASPHALTIC PAVEMENT TYPE E-1 ON 4" OF DENSE GRADED 1 1/4-INCH ON 8" DENSE GRADED 3-INCH, SEE DETAIL 1, SHEET C501
- 18" CONCRETE CURB AND GUTTER, TYP., SEE DETAIL 4, SHEET C501
- 31" CONCRETE CURB AND GUTTER, TYP., SEE DETAIL 4, SHEET C501
- CURB RAMPS, SEE DETAIL 7, SHEET C501
- END SECTION CURB & GUTTER, SEE DETAIL 6, SHEET C501

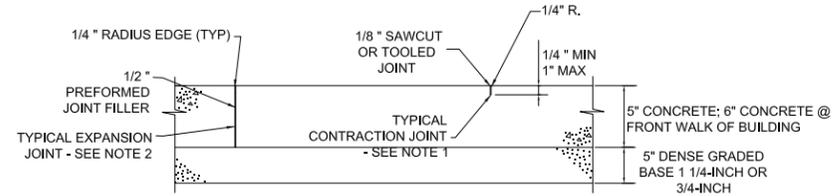
SIGN KEY:

- (A) STOP
R1-1
30" X 30"
- (B) DO NOT ENTER
R5-1
30" X 30"
- (C) R7-8A
12" X 18"

SURVEY NOTES:

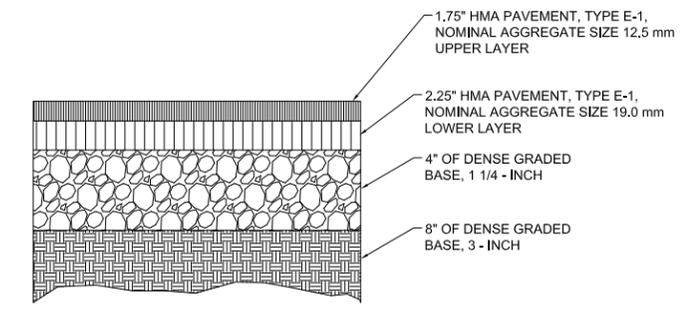
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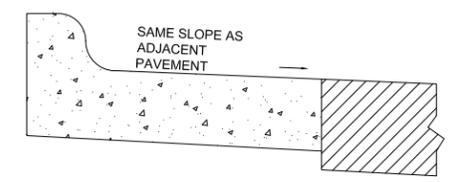


- NOTE:**
- CONTRACTION JOINTS TO BE SPACED 5'-0" O.C. MAXIMUM EACH DIRECTION.
 - EXPANSION JOINTS TO BE SPACED AT 50' MAXIMUM EACH DIRECTION AND WHERE SIDEWALK MEETS BUILDINGS, CURBS, AND EXISTING SIDEWALKS WHICH REMAIN IN PLACE.
 - LONGITUDIAL SLOPES TO MATCH PROPOSED GRADE, CROSS SLOPE OF NEW SIDEWALK SHALL BE 1.5%, MAX 2.0%.

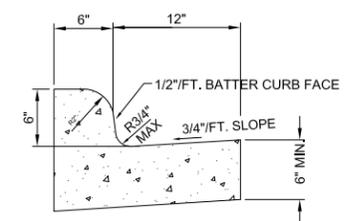
3 UNREINFORCED CONCRETE SIDEWALK
C501 NTS



11 MEDIUM DUTY HOT MIX ASPHALT PAVEMENT
C8 NTS



19 REVERSE SLOPE GUTTER
C8 NTS

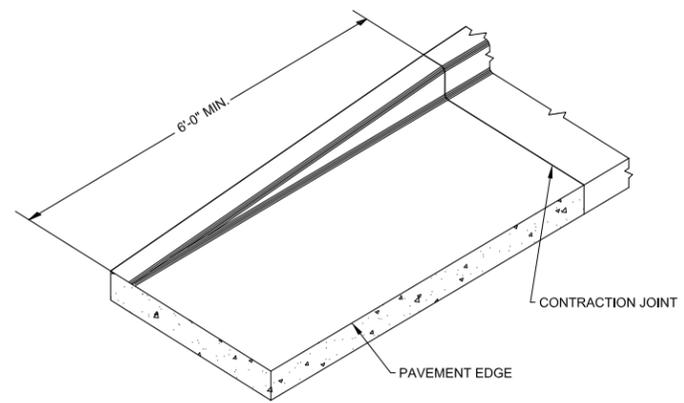


GENERAL NOTES:
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

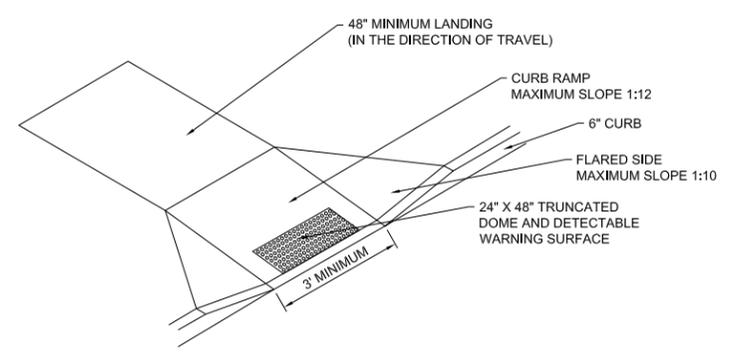
EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS OF 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED AGRREGATE BASE COURSE (MIN. 6"). AN EXPANSION JOINT ONE(1) INCH IN WIDTH SHALL BE CONSTRUCTED BETWEEN VERTICAL CURB AND STRUCTURES.

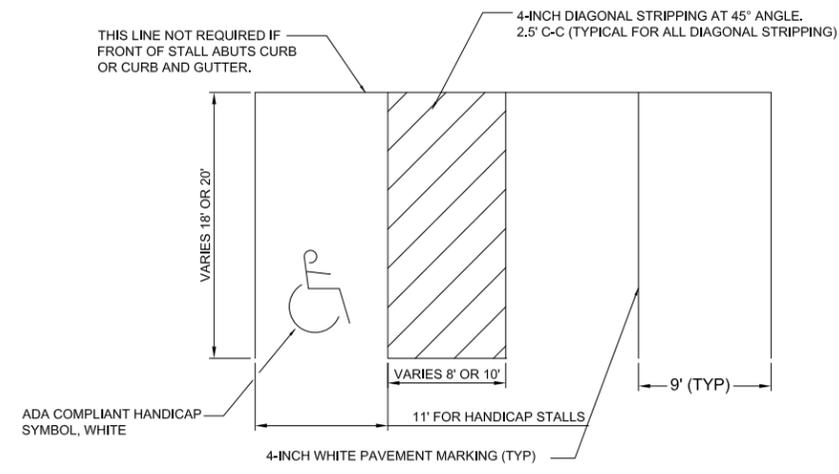
20 CONCRETE CURB & GUTTER 18"
C8 NTS



6 END SECTION CURB & GUTTER
C501 NTS



7 CURB RAMP DETAIL
C501 NTS



21 PAVEMENT MARKING
C8 NTS

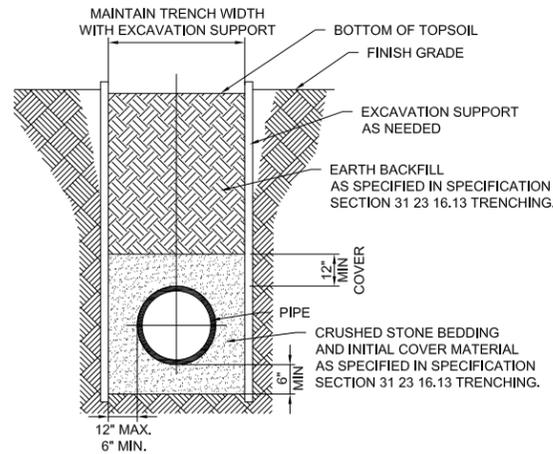
TITLE: BLOCK B CONSTRUCTION DETAILS
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST., MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

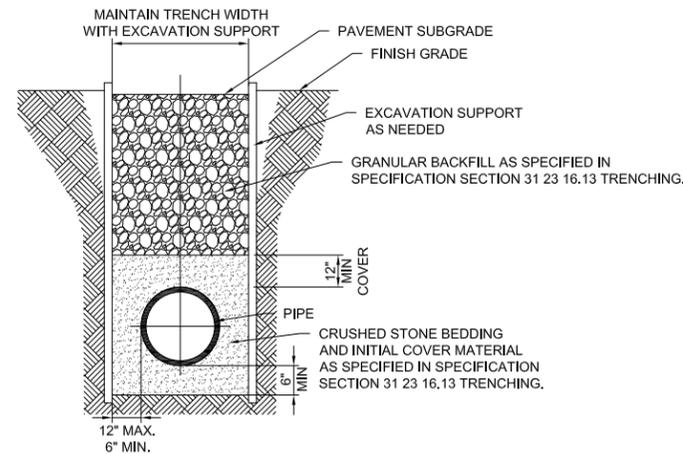
DRAWN BY	DATE
JAF	05/24/2016
CHECKED BY	DATE
APS	05/24/2016

**CONSTRUCTION DETAILS
BLOCK B
(NORTH BLOCK)**

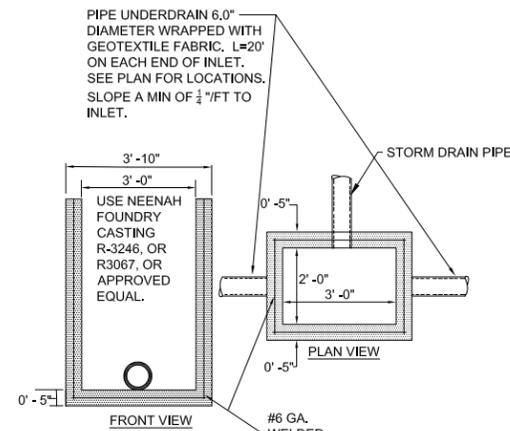
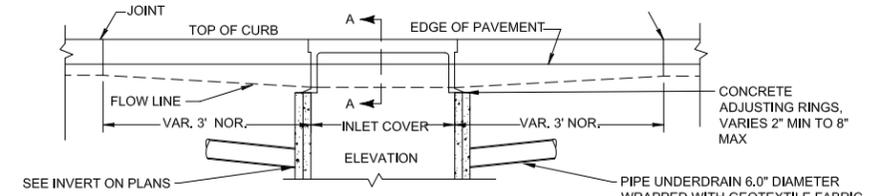
C501B



1 TYPICAL PIPE/UTILITY TRENCH BELOW LANDSCAPING
C504 NTS

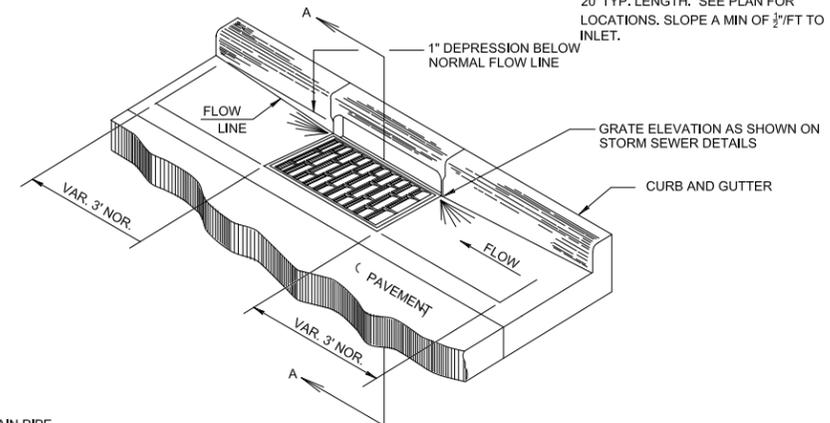


2 TYPICAL PIPE/UTILITY TRENCH UNDER PAVEMENT
C504 NTS

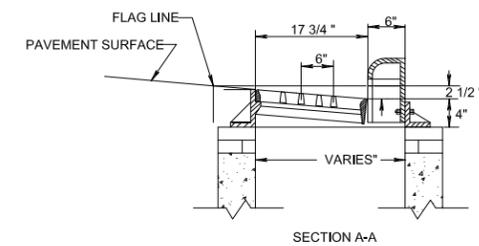


- PROVIDE ALL STORM SEWER FRAMES, GRATINGS AND COVERS AS FOLLOWS:
1. STORM MANHOLE: NEEHAH R-1500 OR EQUAL. WORDING "STORM" IN 2-INCH HIGH LETTERS CAST INTO COVER.
 2. STORM INLETS: 2'X3' RECTANGULAR: NEEHAH R-3246, OR R3067, OR EQUAL WITH TYPE L GRATE (WISDOT TYPE H)
 3. MANHOLE FIELD INLETS: NEEHAH R-2560-E2 OR EQUAL
 4. MANHOLE CURB INLETS: NEEHAH R-3246, OR R3067, OR EQUAL WITH TYPE L GRATE (WISDOT TYPE H)
 5. MANHOLE CATCH BASINS: NEEHAH R-2502, TYPE G GRATE, (WISDOT TYPE C)

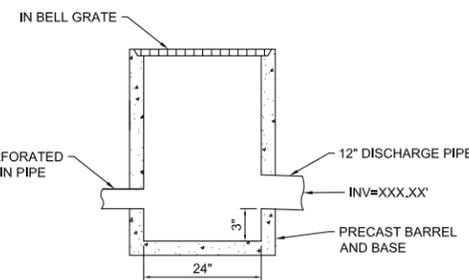
4 STORM MANHOLE TYPICAL DETAIL
C504 NTS



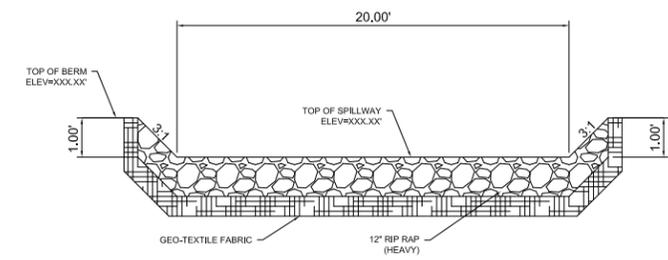
18 CURB & GUTTER AT INLET
C201 NTS



6 BIORETENTION CROSS SECTION
C504 NTS



7 BIORETENTION OUTLET RISER DETAIL
C504 NTS



8 OVERFLOW SPILLWAY
C504 NTS

TITLE: BLOCK B CONSTRUCTION DETAILS

PROJECT TITLE: THE HILLS LUXURY COMMONS

CLIENT: ROYAL CAPITAL GROUP, LLC

PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

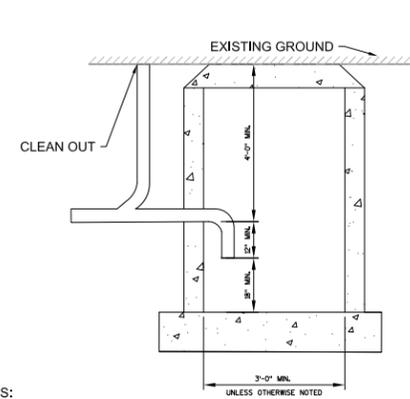
REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 05/24/2016
CHECKED BY APS	DATE 05/24/2016

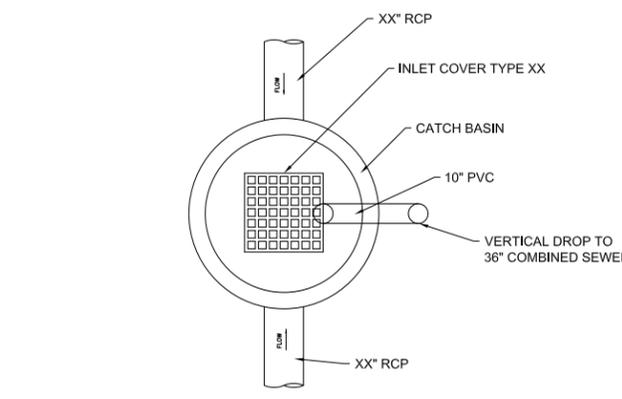
CONSTRUCTION DETAILS
BLOCK B
(NORTH BLOCK)

C502B

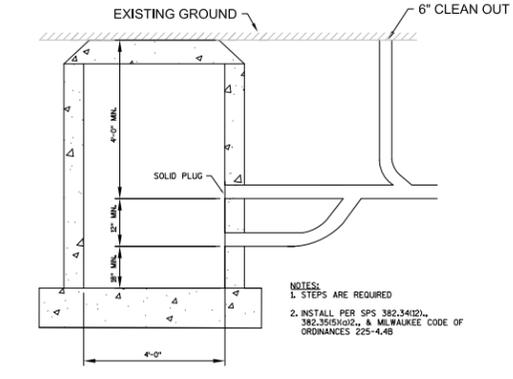
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NOTES:
1. INSTALL PER SPS 382.34(12), 382.35(5)(a)2., & MILWAUKEE CODE OF ORDINANCES 225-4.4B



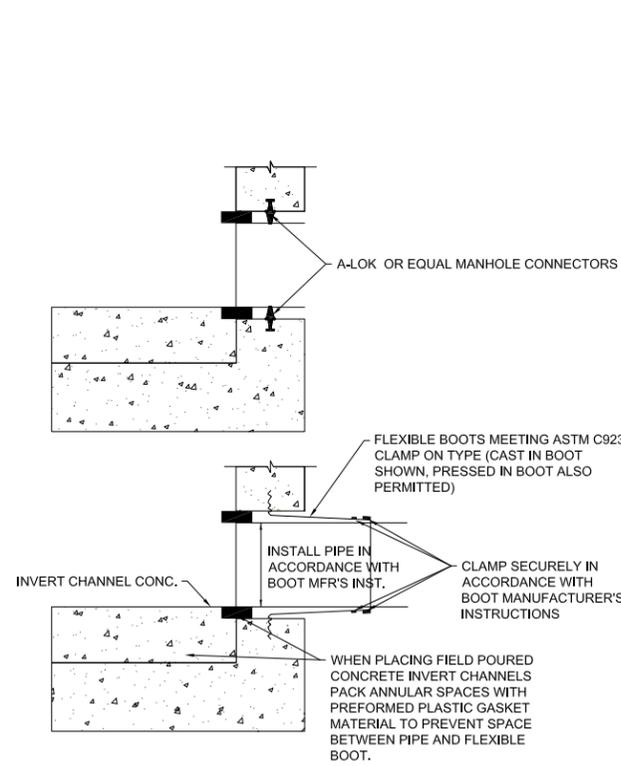
TRAPPED CATCH BASIN WITH EXTERIOR DROP CONNECTION (PLAN VIEW)



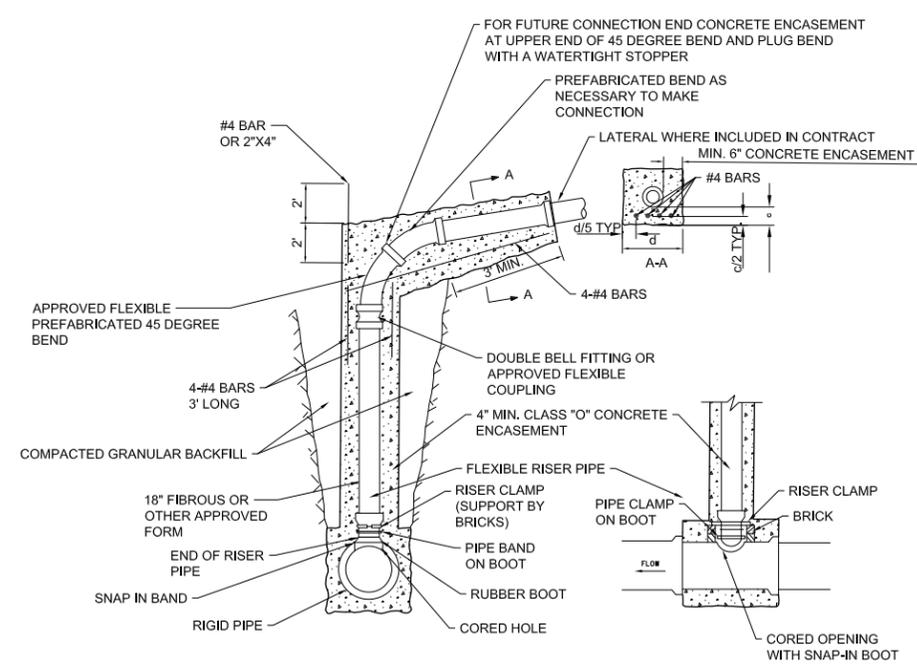
INSTALL PER SPS 382.34(12), 382.35(5)(a)2., & MILWAUKEE CODE OF ORDINANCES 225-4.4B

COMBINED CATCH BASIN OR EXTERIOR SAND INTERCEPTOR FOR 12" OR LARGER PIPING.

20 COMBINED CATCH BASIN OR EXTERIOR SAND INTERCEPTOR
C201 NTS

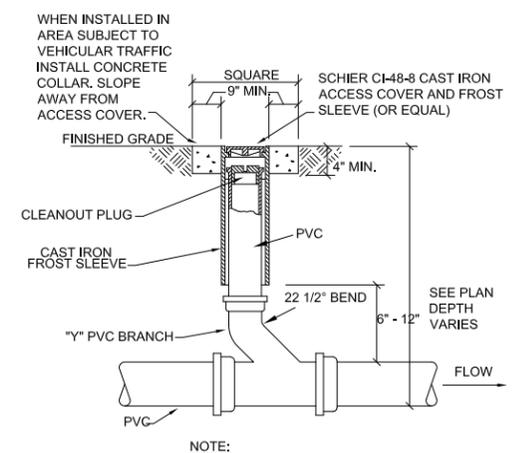


18 MANHOLE PIPE CONNECTION DETAIL
C201 NTS



NOTES:
1. RISER CLAMP SUPPORTED ON BRICKS TO PREVENT THE PUSH THRU OF RISER PIPE WHEN CONCRETE IS PLACED.
2. PLEASE SEE RISER DETAIL "TYPE C" FLEXIBLE RISER TO RIGID MAIN (ALTERNATIVE B) FOR MORE DETAILS.
3. CONCRETE ENCASEMENT OF SEWERS 24" OR LARGER NOT REQUIRED.

DROP CONNECTION
N.T.S.



NOTE:
CONCRETE COLLAR NOT REQUIRED IF CLEANOUT IS INSTALLED IN CONCRETE PAVEMENT, SIDEWALK OR LANDSCAPE AREA.

15 SANITARY CLEANOUT
C9 NTS

TITLE: BLOCK B CONSTRUCTION DETAILS
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

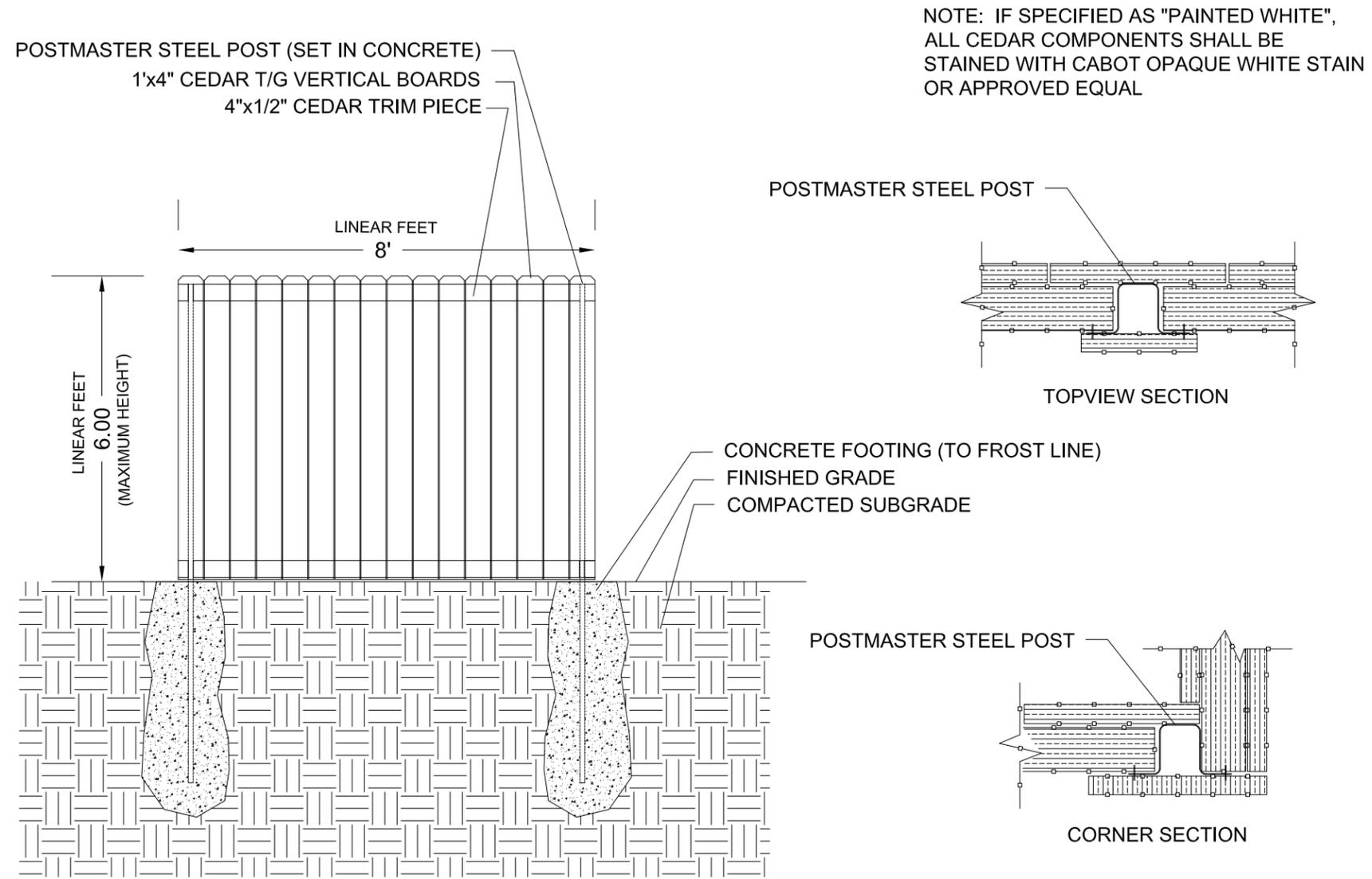
REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 05/24/2016
CHECKED BY APS	DATE 05/24/2016

**CONSTRUCTION DETAILS
BLOCK B
(NORTH BLOCK)**

C503B

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TITLE: BLOCK A EXISTING CONDITIONS
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST RESEVOIR AVE. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 06/20/2016
CHECKED BY APS	DATE 06/20/2016

**CONSTRUCTION DETAILS
BLOCK A & BLOCK B**

C506B

23
C506 6-FT CEDAR PRIVACY FENCE WITH STEEL POST
NTS

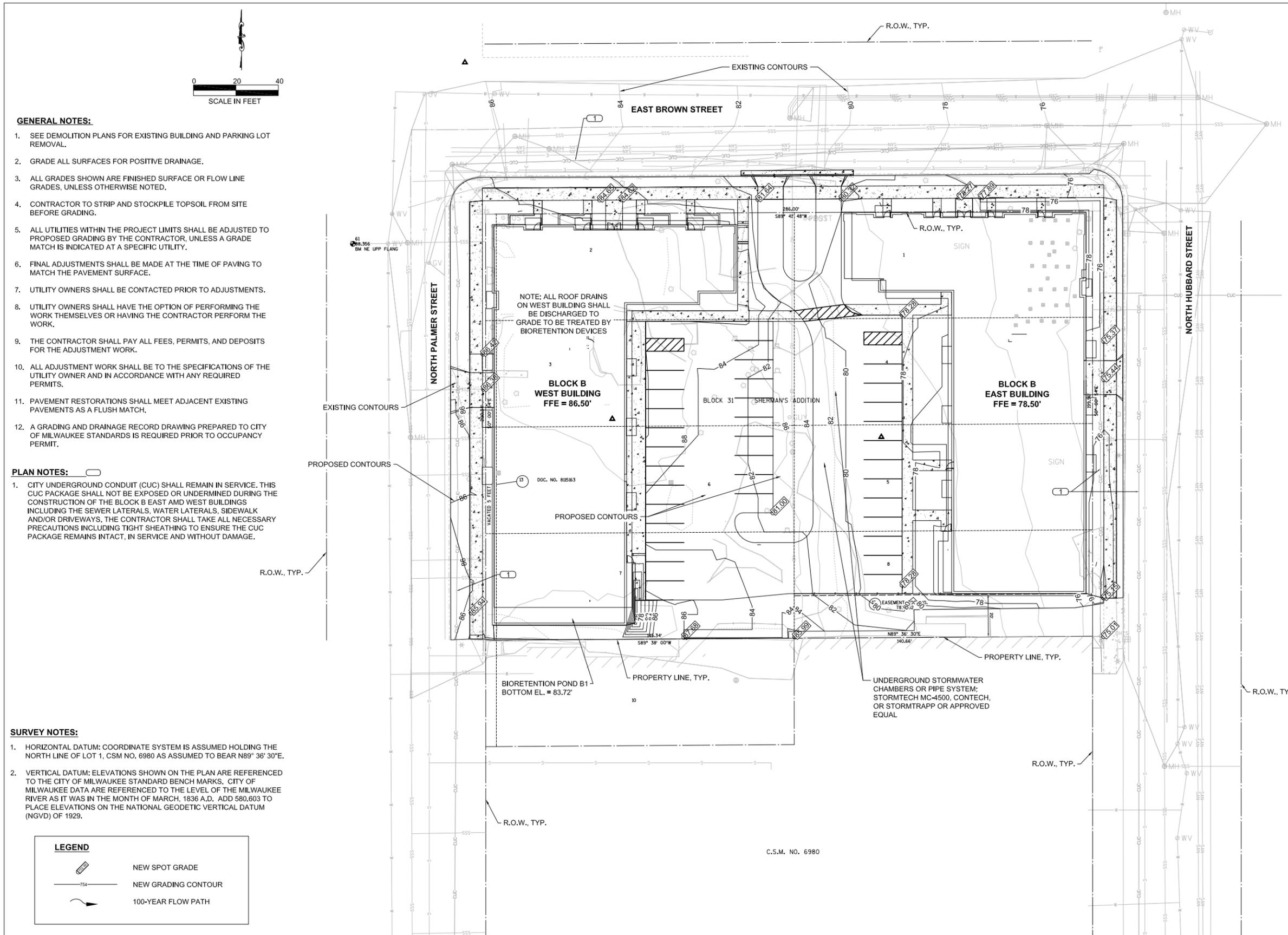
TITLE: BLOCK B GRADING PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY: JAF DATE: 06/20/2016
CHECKED BY: APS DATE: 06/20/2016

**GRADING PLAN
BLOCK B
(NORTH BLOCK)**

C300B



REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 08/20/2016
CHECKED BY APS	DATE 08/20/2016

UTILITY PLAN
BLOCK B
(NORTH BLOCK)

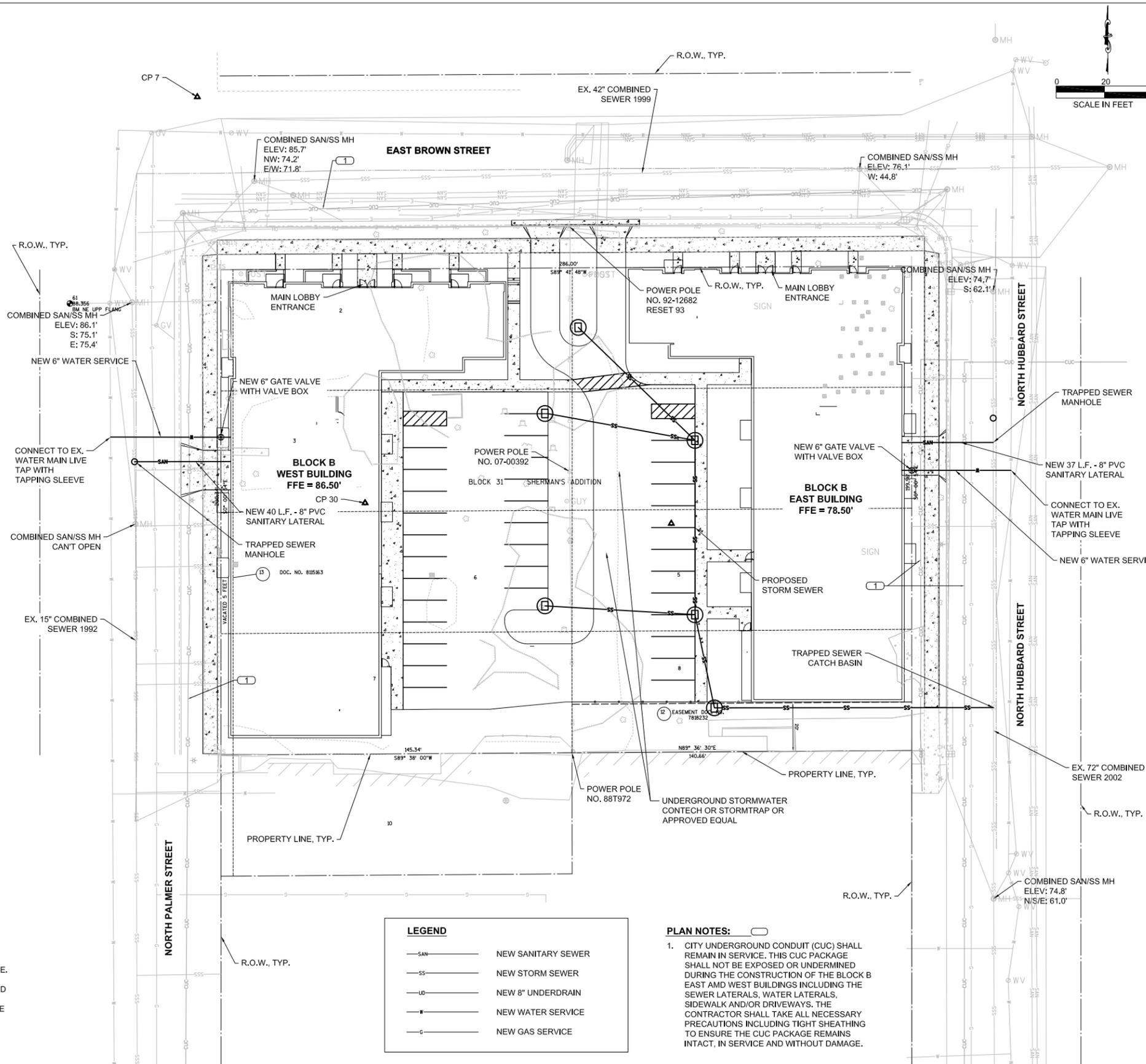
C400B

GENERAL NOTES:

- PIPE LENGTHS ARE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- SEWER INSTALLATION SHALL PROCEED FROM DOWNSTREAM TO UPSTREAM.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND NEW UTILITY CASTINGS, MANHOLES, CLEANOUTS, AND ACCESS BOXES TO PROPOSED GRADING.
- CONNECT SANITARY SERVICE IN ACCORDANCE WITH THE REQUIREMENTS OF CITY OF MILWAUKEE. EXISTING LATERAL TO BE REUSED SHALL BE INSPECTED AND TELEVIEWED PRIOR TO REUSE AND CONNECTION TO BUILDING. DEFECTS SHALL BE REPAIRED PER CITY OF MILWAUKEE STANDARDS.
- ALL EXISTING LATERALS NOT SHOWN AS REUSED SHALL BE ABANDONED AT THE MAIN PER CITY OF MILWAUKEE STANDARDS.
- MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- SEE SHEET C500 FOR STORM SEWER PLAN. SEE DETAIL SHEETS FOR SITE AND UTILITY DETAILS.
- SANITARY LATERALS SHALL BE PVC, ASTM D-3034, SDR 35 IN CONFORMANCE WITH SECTION 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION.
- WATER SERVICE SHALL BE PVC, AWWA C-900, CLASS 235 (DR-18).
- CONTRACTOR SHALL VERIFY EXISTING PIPE INVERT, PIPE MATERIAL, PIPE SIZE AND LOCATION PRIOR TO CONSTRUCTION OF THE UTILITIES. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE OWNER.
- SANITARY SEWER AND WATER MAIN SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND THE CITY OF MILWAUKEE.
- SEE DEMOLITION PLANS FOR PIPE ABANDONMENT AND REMOVAL.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATER MAIN.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER.
- PER DSDPS 382.40 (8) (b) PRIVATE WATER MAINS AND WATER SERVICES SHALL BE INSTALLED AT LEAST 5 FEET HORIZONTALLY FROM ANY SANITARY SEWER.
- NO PRIVATE WATER MAIN OR WATER SERVICE MAY BE INSTALLED WITHIN 6 INCHES OF A STORM SEWER.
- CLEANOUTS SHALL BE LOCATED NOT MORE THAN 100 FEET APART. THE CLEANOUT NEAR THE BUILDING SHALL BE WITHIN 5 FEET OF WHERE THE BUILDING DRAIN AND BUILDING SEWER CONNECTS. THE CLEANOUT MAY BE LOCATED EITHER INSIDE OR OUTSIDE OF BUILDING.
- GENERALLY, FOR WATER SERVICE 4-INCHES OR LARGER, DEFLECTION WILL NOT BE ALLOWED AND CONTRACTOR SHALL USE 11.25, 22.5, 45 AND 90 DEGREE BENDS WHEN NEEDED. CONTRACTOR SHALL NOT EXCEED 5 DEGREES PER PIPE OR AS RECOMMENDED BY MANUFACTURER.
- PROVIDE TRACER WIRE FOR NON-METALLIC WATER SERVICE. SEE SPECIFICATIONS. TRACER WIRE FOR POTABLE WATER PIPE SHALL BE BLUE.
- ALL STORM SEWER PIPE MATERIAL SHALL MEET WISDOT CLASS III-A UNLESS SPECIFIED HEREIN. REFER TO WISDOT STANDARD SPECIFICATIONS, 2016 EDITION, SECTION 608.2. CONTRACTOR SHALL FURNISH CORRUGATED POLYETHYLENE (CPE) PIPE, CORRUGATED POLYPROPYLENE (CPP) PIPE OR REINFORCED CONCRETE PIPE (RCP) UNDER LANDSCAPED AREAS. FURNISH CLASS III-A UNDER PAVEMENT WITH A MINIMUM COVER OF 1.5 FEET FROM TOP OF PIPE TO TOP OF SUBGRADE. FURNISH RCP WISDOT CLASS IV WITH LESS THAN 1.5 FEET UNLESS CONTRACTOR PROVIDES WRITTEN APPROVAL FROM PIPE MANUFACTURER, CITY OF MILWAUKEE, AND OWNER.
- CONTRACTOR SHALL PROVIDE OWNER SHOP DRAWINGS ON STORM SEWER STRUCTURES, STORM SEWER PIPE AND FURNISH COST BREAKDOWN COMPARISON ON THE STORM SEWER PIPE MATERIAL PRIOR TO ORDERING MATERIAL.

SURVEY NOTES:

- HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
- VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.

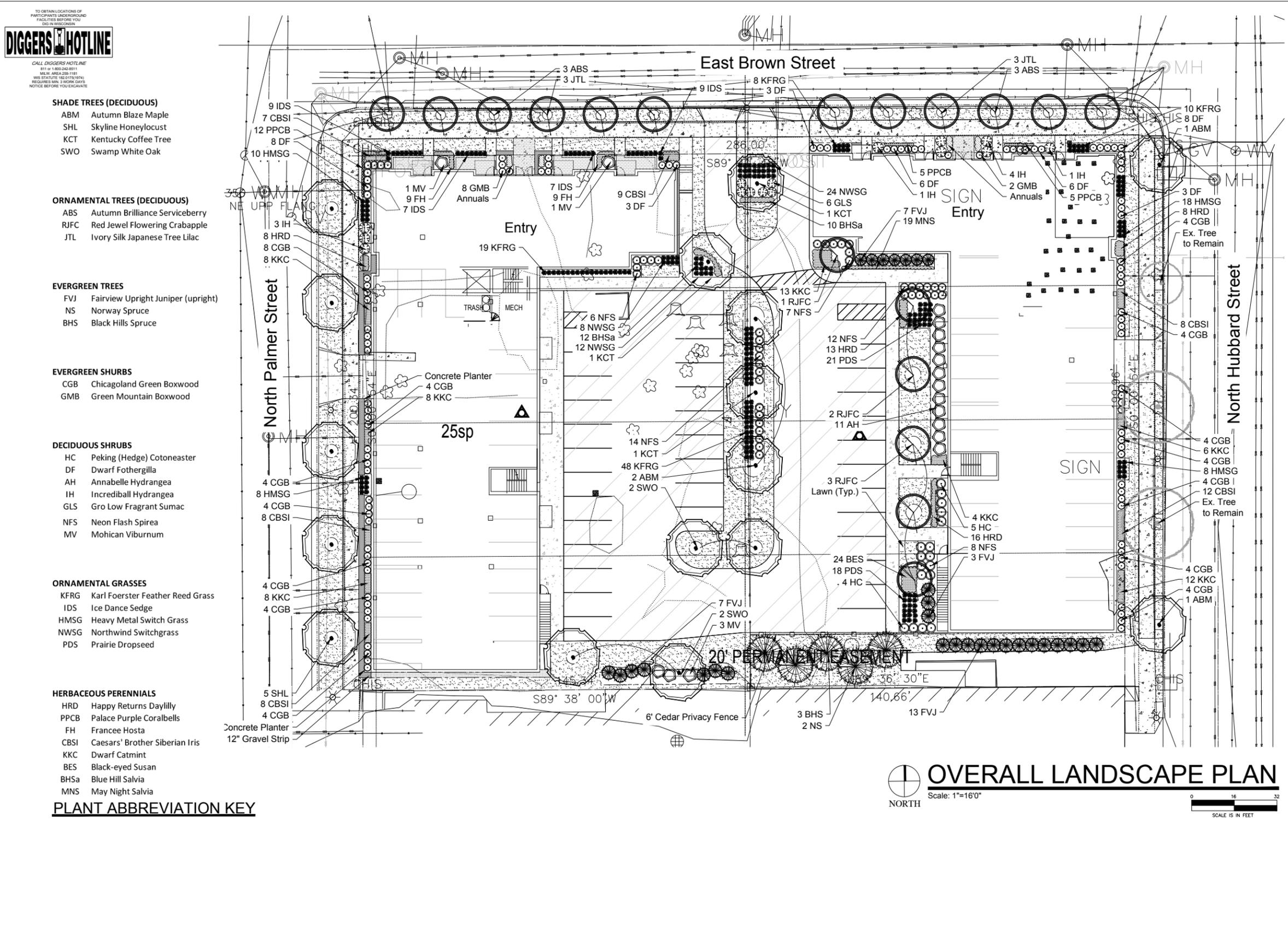


LEGEND

- SAN — NEW SANITARY SEWER
- SS — NEW STORM SEWER
- UD — NEW 8" UNDERDRAIN
- W — NEW WATER SERVICE
- G — NEW GAS SERVICE

PLAN NOTES:

- CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK B EAST AND WEST BUILDINGS INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.



DIGGERS HOTLINE
 TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 811 or 1-800-248-8111
 MILWAUKEE AREA 259-1181
 WEB SITE: DUGGERS.HOTLINE.WI.GOV
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

- SHADE TREES (DECIDUOUS)**
 ABM Autumn Blaze Maple
 SHL Skyline Honeylocust
 KCT Kentucky Coffee Tree
 SWO Swamp White Oak
- ORNAMENTAL TREES (DECIDUOUS)**
 ABS Autumn Brilliance Serviceberry
 RJFC Red Jewel Flowering Crabapple
 JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
 FVJ Fairview Upright Juniper (upright)
 NS Norway Spruce
 BHS Black Hills Spruce
- EVERGREEN SHRUBS**
 CGB Chicagoland Green Boxwood
 GMB Green Mountain Boxwood
- DECIDUOUS SHRUBS**
 HC Peking (Hedge) Cotoneaster
 DF Dwarf Fothergilla
 AH Annabelle Hydrangea
 IH Incrediball Hydrangea
 GLS Gro Low Fragrant Sumac
 NFS Neon Flash Spirea
 MV Mohican Viburnum
- ORNAMENTAL GRASSES**
 KFRG Karl Foerster Feather Reed Grass
 IDS Ice Dance Sedge
 HMSG Heavy Metal Switch Grass
 NWSG Northwind Switchgrass
 PDS Prairie Dropseed
- HERBACEOUS PERENNIALS**
 HRD Happy Returns Daylily
 PPCB Palace Purple Coralbells
 FH Francee Hosta
 CBSI Caesars' Brother Siberian Iris
 KKC Dwarf Catmint
 BES Black-eyed Susan
 BHSa Blue Hill Salvia
 MNS May Night Salvia

PLANT ABBREVIATION KEY

KSingh Engineers
 Scientists
 Consultants
 3636 North 124th Street
 Wauwatosa, WI 53222
 262-821-1171

CONSULTANT
HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE
 One Redwood Court
 Racine, Wisconsin 53402
 ph 262.639.9733
 fx 262.639.9737
 david@wdsavheller.com

CONSULTANT

CONSULTANT

CONSULTANT

TITLE: BLOCK B SITE PLAN
 PROJECT TITLE: THE HILLS LUXURY COMMONS
 CLIENT: ROYAL CAPITAL GROUP, LLC
 PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

BLOCK B LANDSCAPE PLAN

L100

SHEET 1 of SHEET 2

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOTLINE

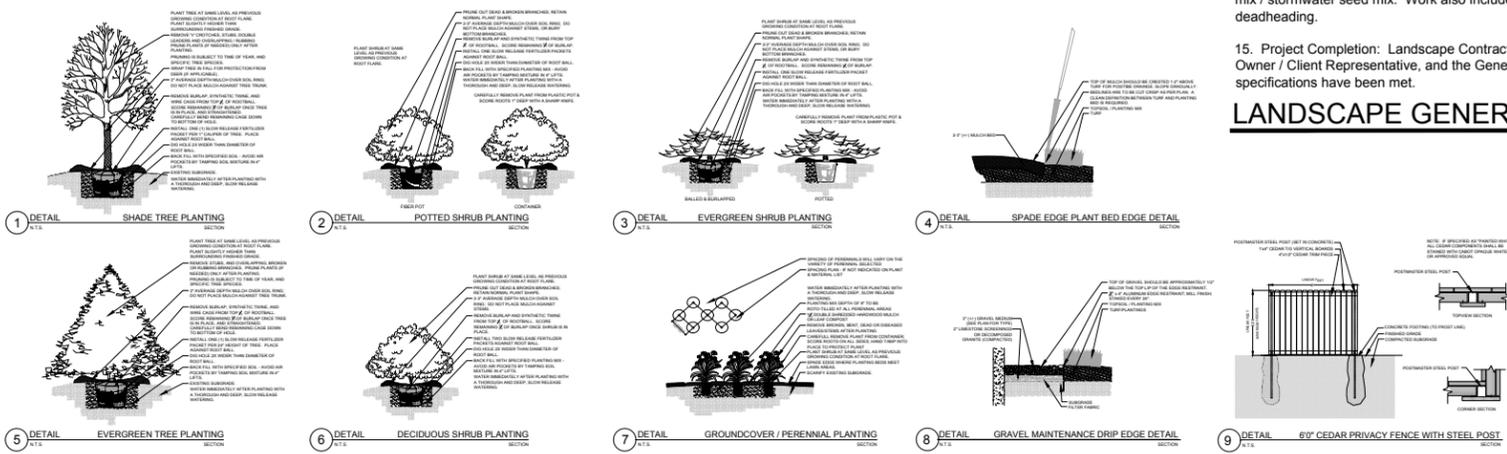
CALL DIGGERS HOTLINE
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MILWAUKEE AREA 259-1181
WISCONSIN STATEWIDE 800-248-8811
REQUIRES MIN. 3 WORKDAYS NOTICE BEFORE YOU EXCAVATE

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER SIZE	ROOT	SPECIFICATION / NOTES
Proposed Landscape Materials						
SHADE TREES (DECIDUOUS)						
ABM	4	Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
SHL	5	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
KCT	3	Gymnocladus dioica	Kentucky Coffee Tree	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
SWD	4	Quercus bicolor	Swamp White Oak	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
ORNAMENTAL TREES (DECIDUOUS)						
ABS	6	Amelanchier alnifolia 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5 - 2"	B&B	Straight central leader, full and even crown. Prune only after planting
RJFC	6	Malva x 'Jewelcole'	Red Jewel Flowering Crabapple	1.5 - 2"	B&B	Straight central leader, full and even crown. Prune only after planting
JTL	6	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5 - 2"	B&B	Straight central leader, full and even crown. Prune only after planting
EVERGREEN TREES						
FVJ	24	Juniperus scopulorum 'Fairview'	Fairview Upright Juniper (upright)	5-6'	B&B	Evenly shaped tree with branching to the ground
BS	3	Picea abies	Norway Spruce	5-6'	B&B	Evenly shaped tree with branching to the ground
BHS	3	Picea densata 'glauca'	Black Hills Spruce	5-6'	B&B	Evenly shaped tree with branching to the ground
EVERGREEN SHRUBS						
CGB	60	Buxus 'Chicagoland Green'	Chicagoland Green Boxwood	18"	B&B	Full rounded well branched shrub
GMB	10	Buxus 'Green Mountain'	Green Mountain Boxwood	30"	B&B	Full rounded well branched shrub
DECIDUOUS SHRUBS						
HC	9	Cotoneaster acutifolia	Peking (Hedge) Cotoneaster	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance
DF	37	Fothergilla gardenii	Dwarf Fothergilla	24"	B&B	Full, well rounded plant with moist rootball and healthy appearance
AH	11	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#5	Cont.	Full, well rooted plant, evenly shaped
IH	9	Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	#5	Cont.	Full, well rooted plant, evenly shaped
GLS	6	Rhus aromatica 'Gro-Low'	Gro Low Fragrant Sumac	#5	Cont.	Full, well rooted plant, evenly shaped
NFS	47	Spiraea xbumalda 'Neon Flash'	Neon Flash Spiraea	24"	Cont.	Full, well rooted plant, evenly shaped
MV	5	Viburnum lentana 'Mohican'	Mohican Viburnum	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance
ORNAMENTAL GRASSES						
KFRG	49	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant
IDS	32	Carex morrowii 'Ice Dance'	Ice Dance Sedge	#1	Cont.	Full, well rooted plant
HMSG	44	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	#1	Cont.	Full, well rooted plant
NVSG	44	Panicum virgatum 'Northwind'	Northwind Switchgrass	#1	Cont.	Full, well rooted plant
PDS	39	Sporobolus heterolepis	Prairie Dropseed	#1	Cont.	Full, well rooted plant
HERBACEOUS PERENNIALS						
HRD	45	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped
PPCB	22	Heuchera micrantha 'Palace Purple'	Palace Purple Coralbells	#7	Cont.	Full, well rooted plant, evenly shaped
FH	18	Hosta fortunei 'Francee'	Francee Hosta	#8	Cont.	Full, well rooted plant, evenly shaped
CRSI	52	Iris sibirica 'Caesars Brother'	Caesars Brother Siberian Iris	#12	Cont.	Full, well rooted plant, evenly shaped
KSC	59	Nepeta faassenii 'Six Cat'	Dwarf Catmint	#1	Pat	Full, well rooted plant, evenly shaped
BS	37	Rudbeckia fulgida 'Goldsturm'	Black-eyed Susan	#1	Cont.	Full, well rooted plant, evenly shaped
BHSA	22	Salvia nemorosa 'Blauhugel'	Blue Hill Salvia	#1	Cont.	Full, well rooted plant, evenly shaped
MNS	19	Salvia xuspeba 'May Night'	May Night Salvia	#1	Cont.	Full, well rooted plant, evenly shaped
GROUNDCOVERS & VINES						
ANNUAL						
		Annuals (Typ.)	Approx. 50 SF		SF	
SDD	1160	Sod (Fresh Cut, Bluegrass Blend)	Approx. 11,650 SF		SY	Install ONLY in May or Sept. See ALT if sod will not be installed in May or Sept.
ALT 1	1160	Seed Mix (Reinder's 50/50) w/ haymatt	Approx. 11,650 SF		SY	ALTERNATE TO SDD (if project is installed other than May or Sept.)
	11640	Erosion Matting for sloped seeded areas	Approx. 10,930 SF		SF	EroTex D575 Erosion Control Blanket (or approved equal)
Hardscape Materials						
	3	Heritage River Gravel Mulch (1.0-1.5" pieces)	Approx. 255 SF		TN	2" depth
	380	Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish		SF	
	270	Landscape Fabric	Approx. 255 SF		SF	
	78	72" Cedar Privacy Fence	See plan for location		LF	
	82	Shredded Hardwood Mulch (3" depth)	Approx. 8,800 SF		CY	Bark Mulch, apply Preemergent after installation of mulch
	54	Soil Amendments (2" depth)	Approx. 8,800 SF		CY	
	36	Pulverized Topsoil (2" over lawn areas)	Approx. 11,650 SF		CY	
	54	Pulverized Topsoil (2" over bed areas)	Approx. 8,800 SF		CY	

*Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, including the graphics and notations depicted therein, shall govern.

Seed Compositions:
Reinder's Deluxe 50 Seed Mix (762-786-3300):
 20% Kentucky Bluegrass (Sod Quality)
 15% Newport Kentucky Bluegrass
 15% Ken Blue Kentucky Bluegrass
 25% Creeping Red Fescue
 15% Quebec Perennial Ryegrass
 10% Fiesta III Perennial Ryegrass
 Seed at rate of 150-200# per acre

LANDSCAPE & HARDSCAPE SCHEDULE

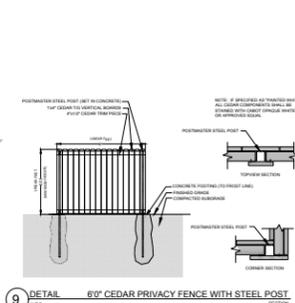


LANDSCAPE & HARDSCAPE DETAILS

- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50/50 mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 3/4 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil.
 Per 100 SF of bed area (Soil Amendment composition):
 3/4 CY Peat Moss or Mushroom Compost
 3/4 CY blended/pulverized Topsoil
 1/4 CY composted manure
 In roto-tilled beds only, also include in above mixture:
 2 lbs Starter Fertilizer

- Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. The Landscape Contractor is responsible for the watering and maintenance of sod while onsite performing work. After substantial completion is determined by Landscaper Contractor and Owner /Owner's Representative, the Landscape Contractor shall water and maintain sodded areas for a period of 30 days. Landscape Contractor is responsible to provide a smooth, uniform, healthy turf, and is also responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 30 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES



3636 North 124th Street
Wauwatosa, WI 53222
262-821-1171

CONSULTANT

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

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CONSULTANT

CONSULTANT

TITLE: BLOCK B SITE PLAN
 PROJECT TITLE: THE HILLS LUXURY COMMONS
 CLIENT: ROYAL CAPITAL GROUP, LLC
 PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

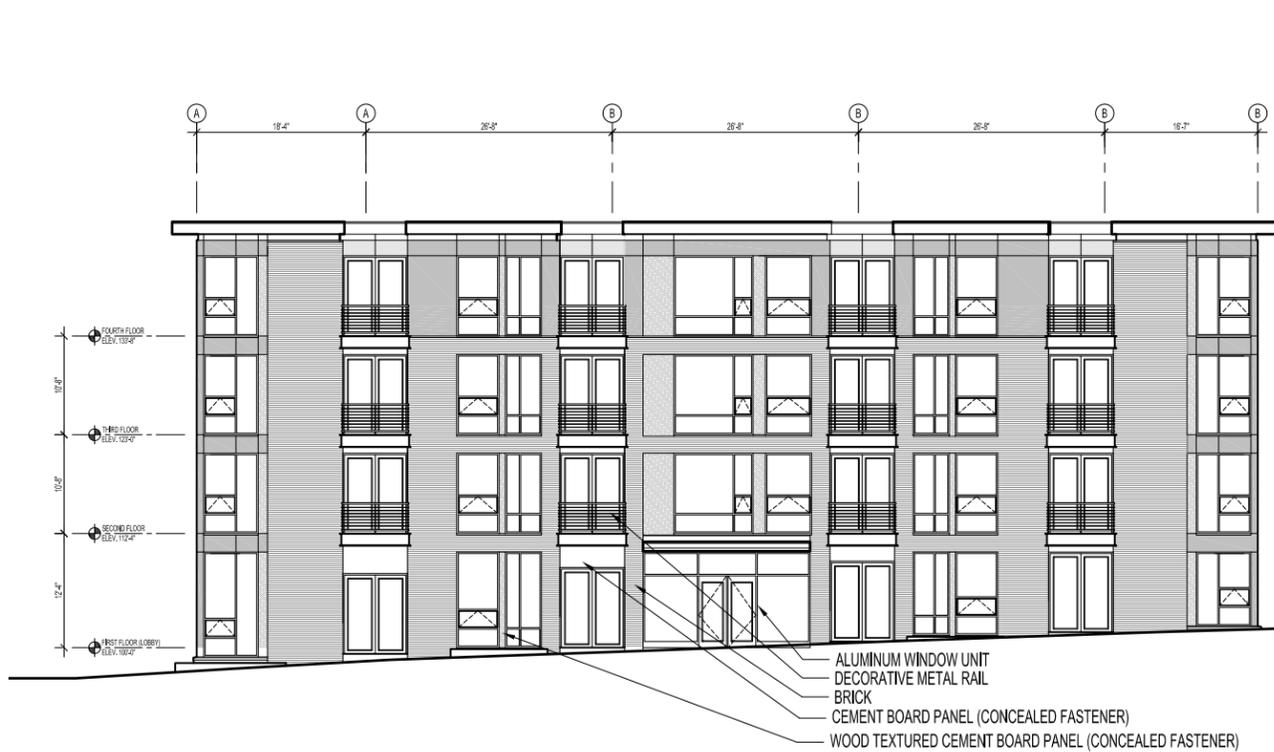
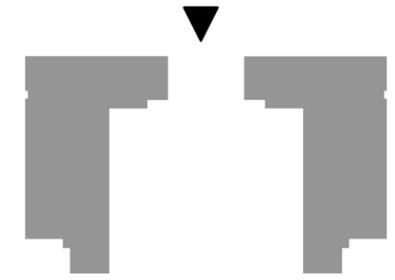
BLOCK B LANDSCAPE NOTES

L101

SHEET 2 of SHEET 2

BLOCK B

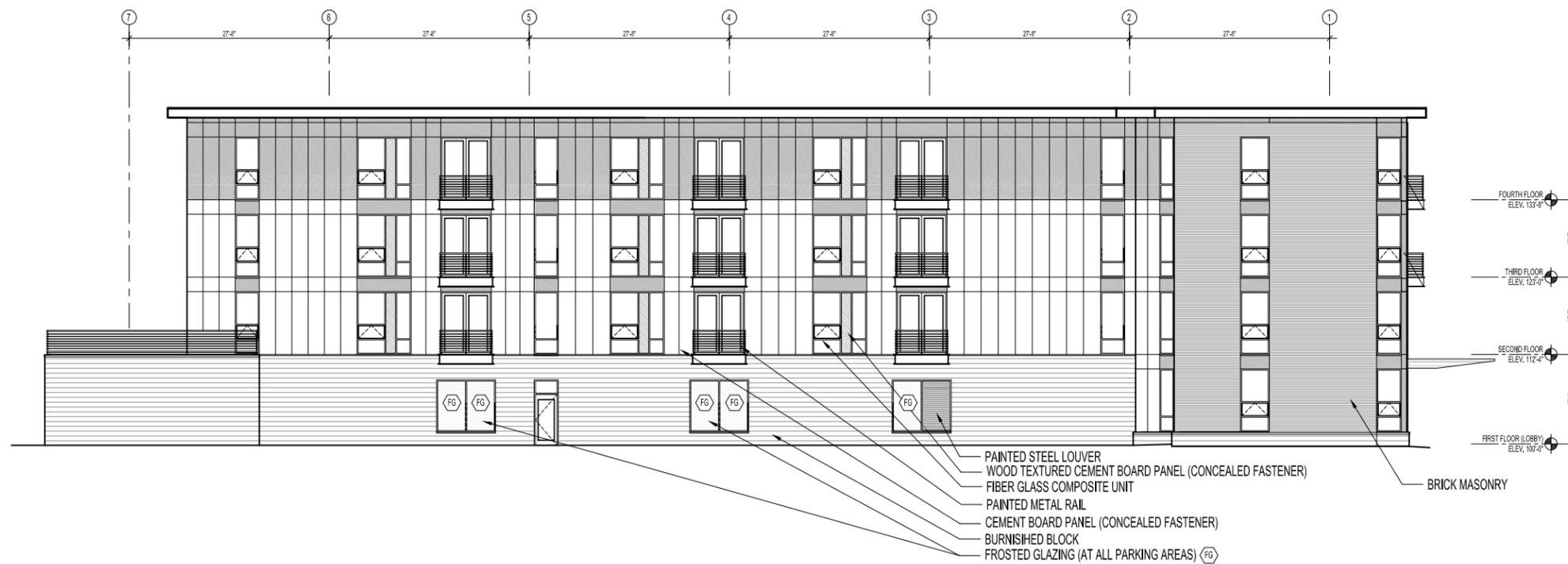
Building 1 & 2 North Elevation: Brown Street



EAST BUILDING



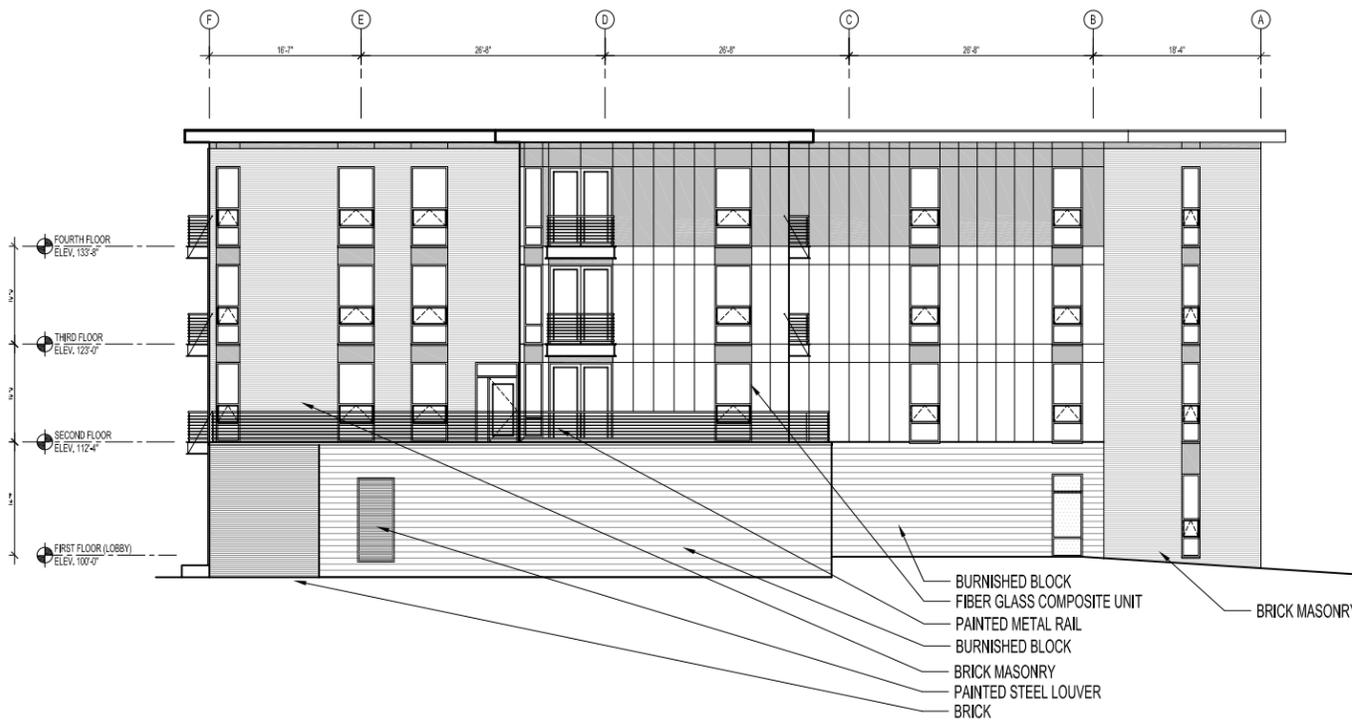
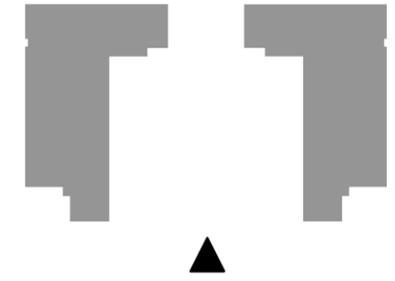
WEST BUILDING



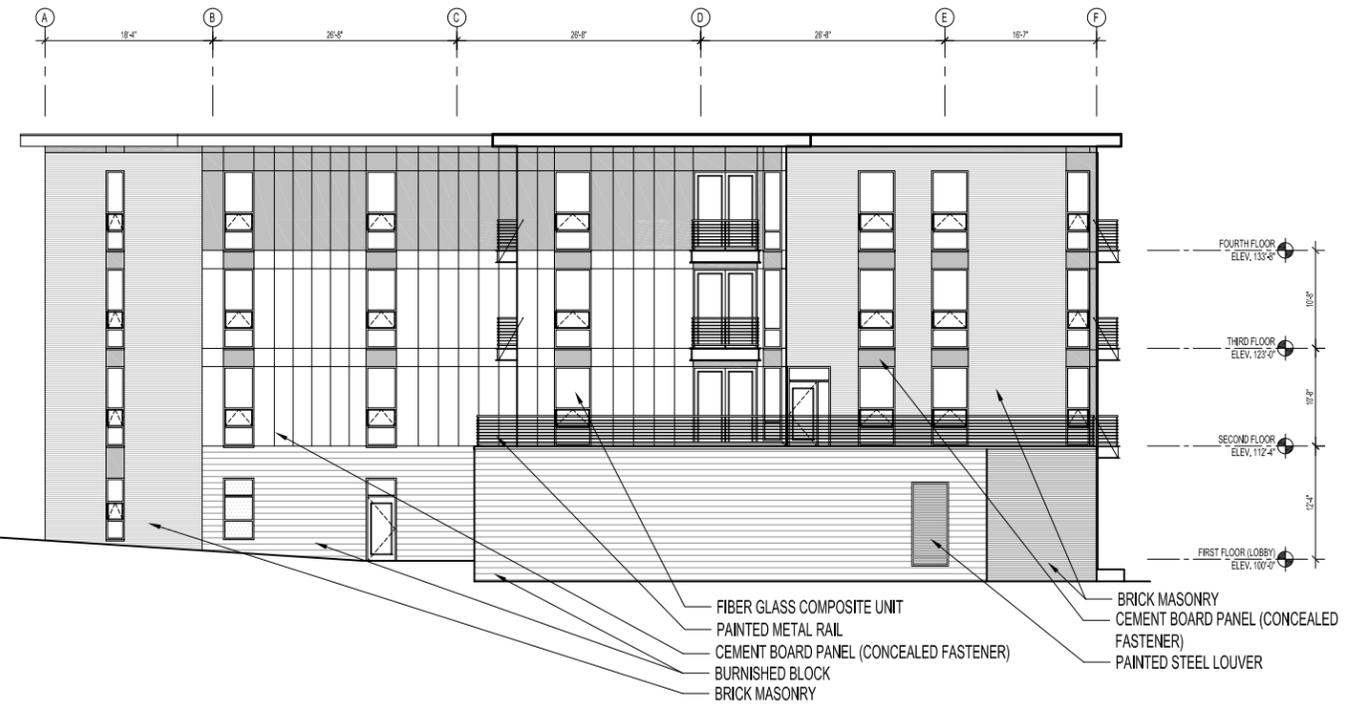


BLOCK B

Building 1 & 2 South Elevation



WEST BUILDING



EAST BUILDING

