



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

<b>Property</b>	3002 W State Street	
<b>Description of work</b>	Replace the existing single-car garage with a new four-car garage off of the public alley.	
<b>Date issued</b>	6/25/2021	PTS ID N/A

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All finish wood must be smooth and free of knots and must be painted or treated with an opaque stain upon completion. Note: when new, bare wood is left exposed to the exterior elements for a period of only a week or two, the life the of the paint job subsequently applied to it will be decreased. The use of a naturally decay-resistant wood species for exterior finish applications is required for porch areas. Using western white pine or Ponderosa pine is “at your own risk” because this wood has no natural decay resistance and can deteriorate in some exterior settings in just a few years.

No box vents, if used, will be visible from the street. If they are installed, they must be on a rear slope not visible from the street and they must be painted to blend with the color of the roofing material. A continuous ridge vent can be installed in place of box vents, but the vent must extend across the entire ridge and not stop short.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: [hpc@milwaukee.gov](mailto:hpc@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.milwaukee.gov/permits](http://www.milwaukee.gov/permits), or call (414) 286-8210.

*Jacqueline Drayer*

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. R. Bauman



PRELIMINARY  
NOT FOR  
CONSTRUCTION

3002 W STATE STREET  
KENNELLY GARAGE

3002 W. State Street  
Madison, WI 53704-1000

Sheet Name  
GARAGE FLOOR PLAN  
ROOF PLAN  
EXTERIOR ELEVATIONS

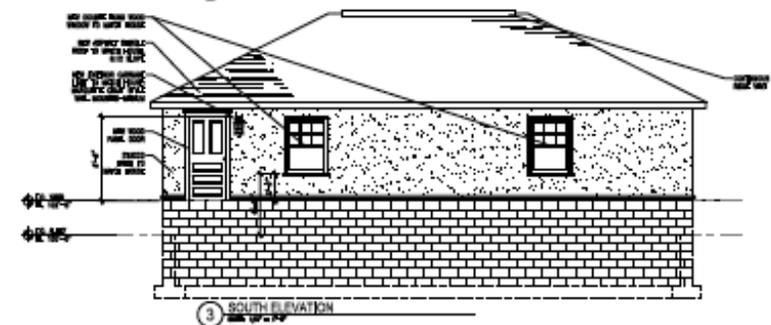
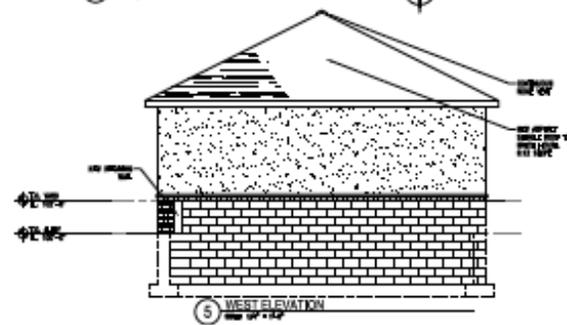
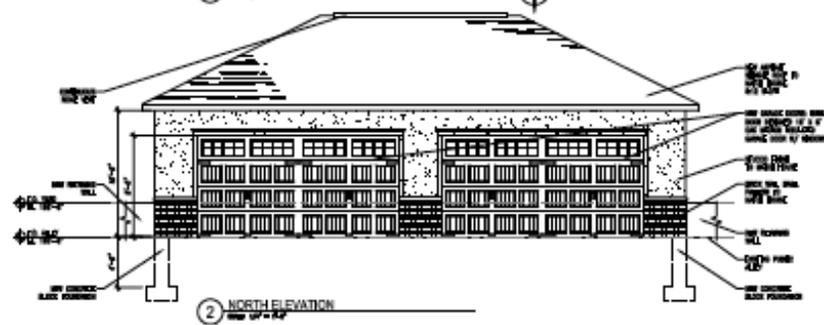
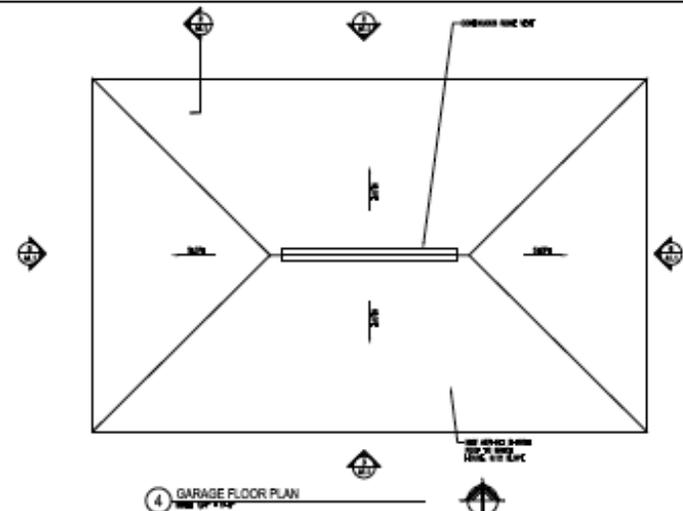
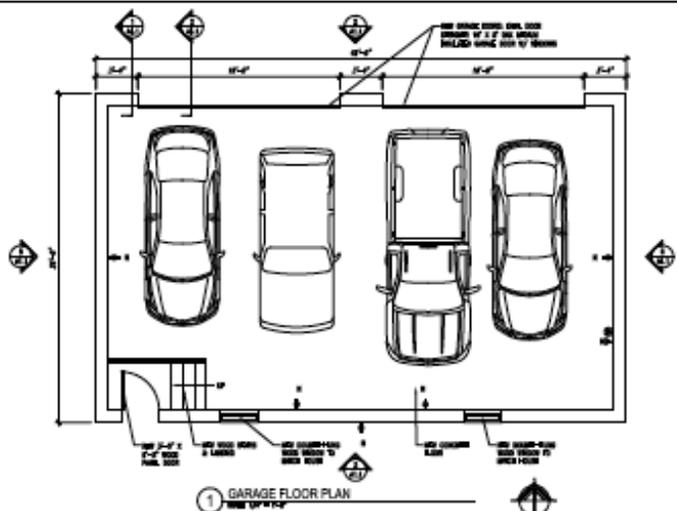
Date 08/19/2011

Drawn By GSK/JST

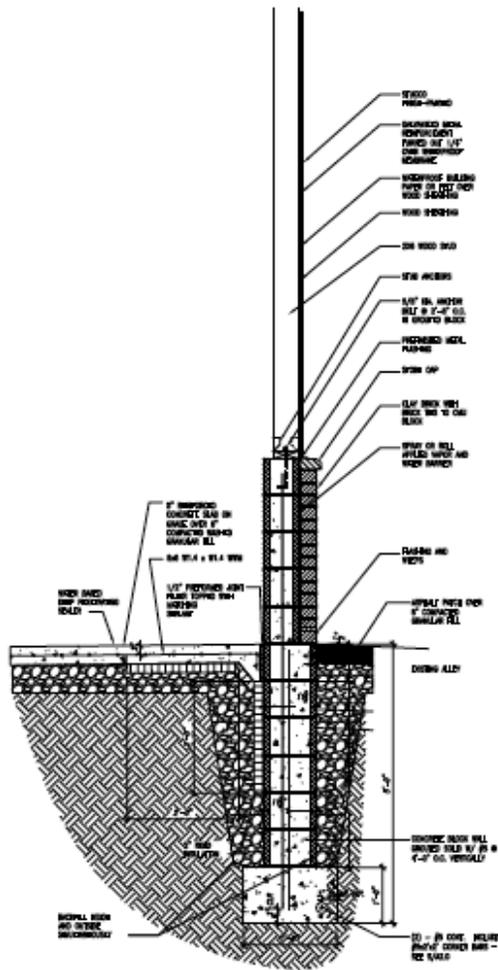
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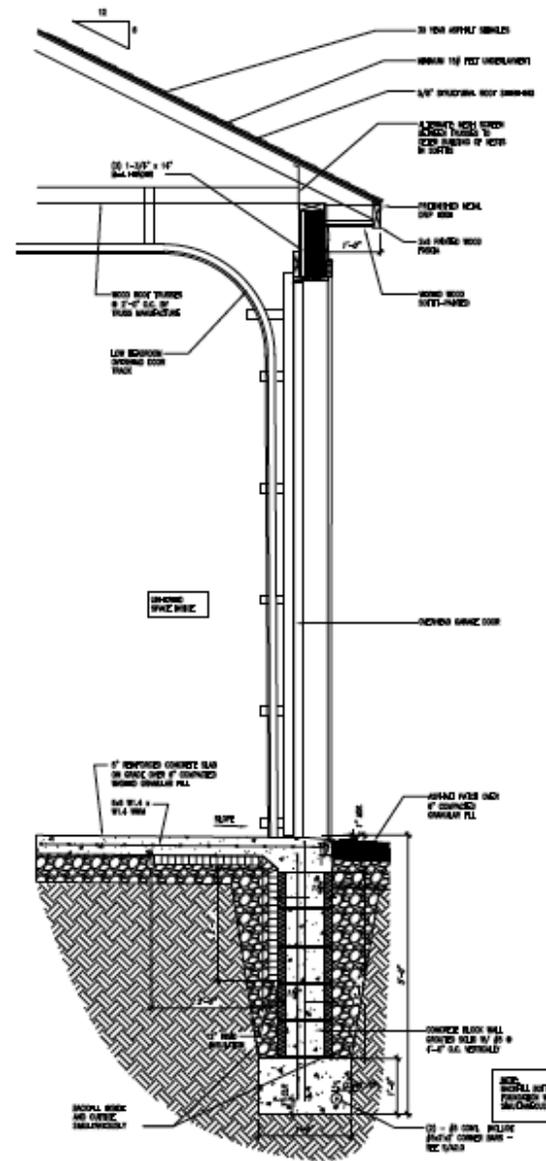
A1.1



NO. 10, 200 - 1000  
1/8" = 1'-0"  
1/4" = 1'-0"  
1/2" = 1'-0"  
3/4" = 1'-0"  
1" = 1'-0"  
1 1/2" = 1'-0"  
2" = 1'-0"  
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72" = 1'-0"  
96" = 1'-0"  
144" = 1'-0"  
216" = 1'-0"  
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9928" = 1'-0"  
10000" = 1'-0"



1 FOUNDATION WALL SECTION  
SEE P. 1-14



2 WALL SECTION @ GARAGE DOOR  
SEE P. 1-14