



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 3102 W. MC KINLEY BL. Cold Spring Park Historic District
Description of work Build wood deck at rear of house.
Date issued 6/12/2014 PTS ID 95490 COA, rear deck

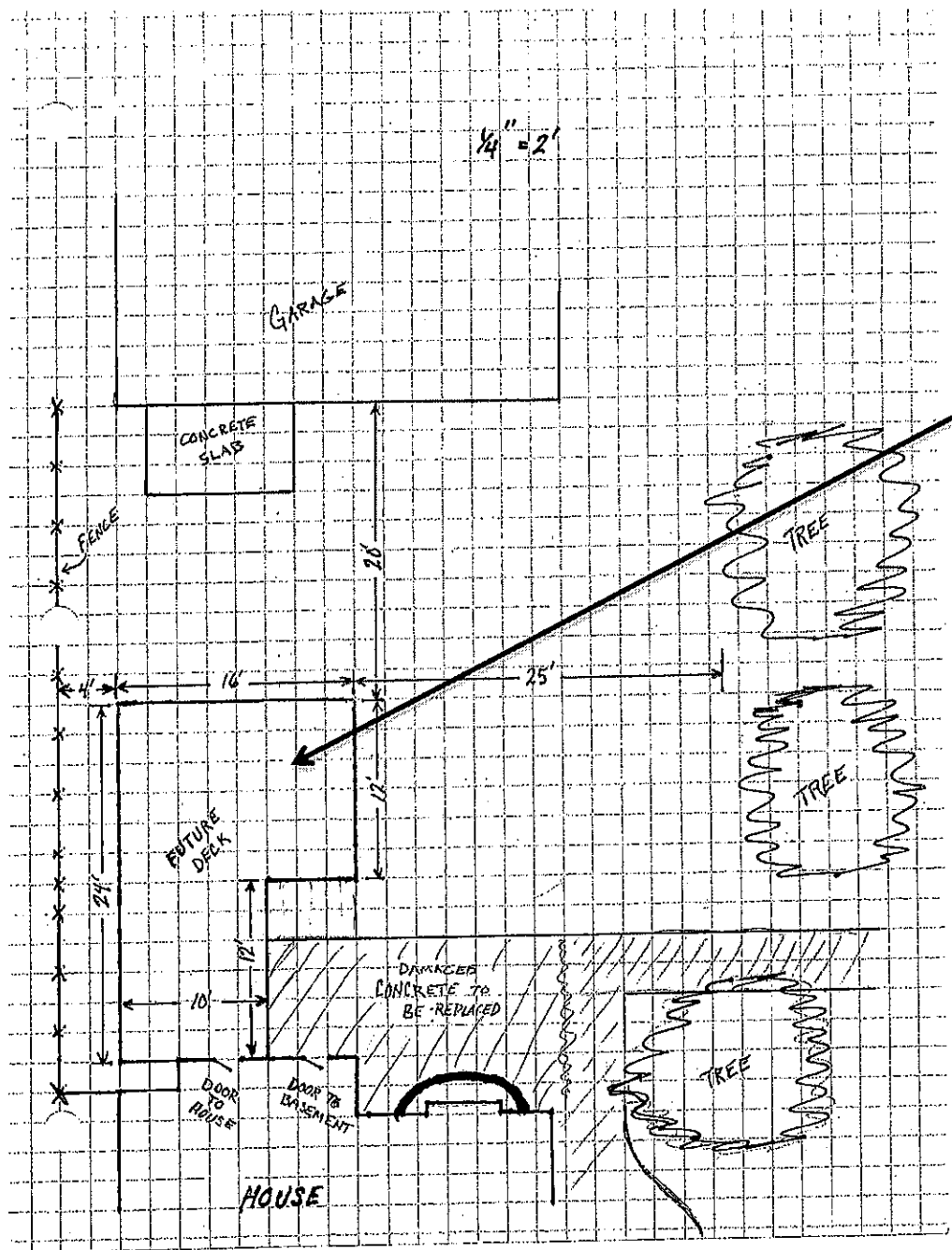
In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to the photos, drawings and specifications contained in this COA. All risers for steps must be equal in height. (Please consult the plan exam department for specific details on code requirements for steps.) All finish wood except for decking must be smooth and free of knots. 2 x 2 balusters to be spaced 1-3/4" apart. **Skirting, risers on steps, visible posts, handrails/guardrails must be painted upon completion.** Wood should be selected so that it can be painted upon completion. Those parts of the deck cannot be allowed to weather for a year or more. Please note that research has shown that when new, bare wood is exposed to the exterior elements for only a week or two the life of the paint job subsequently applied to it will be decreased. Deck will not be attached to the house.

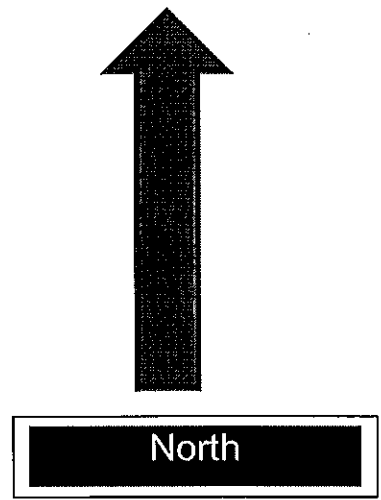
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov. If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.

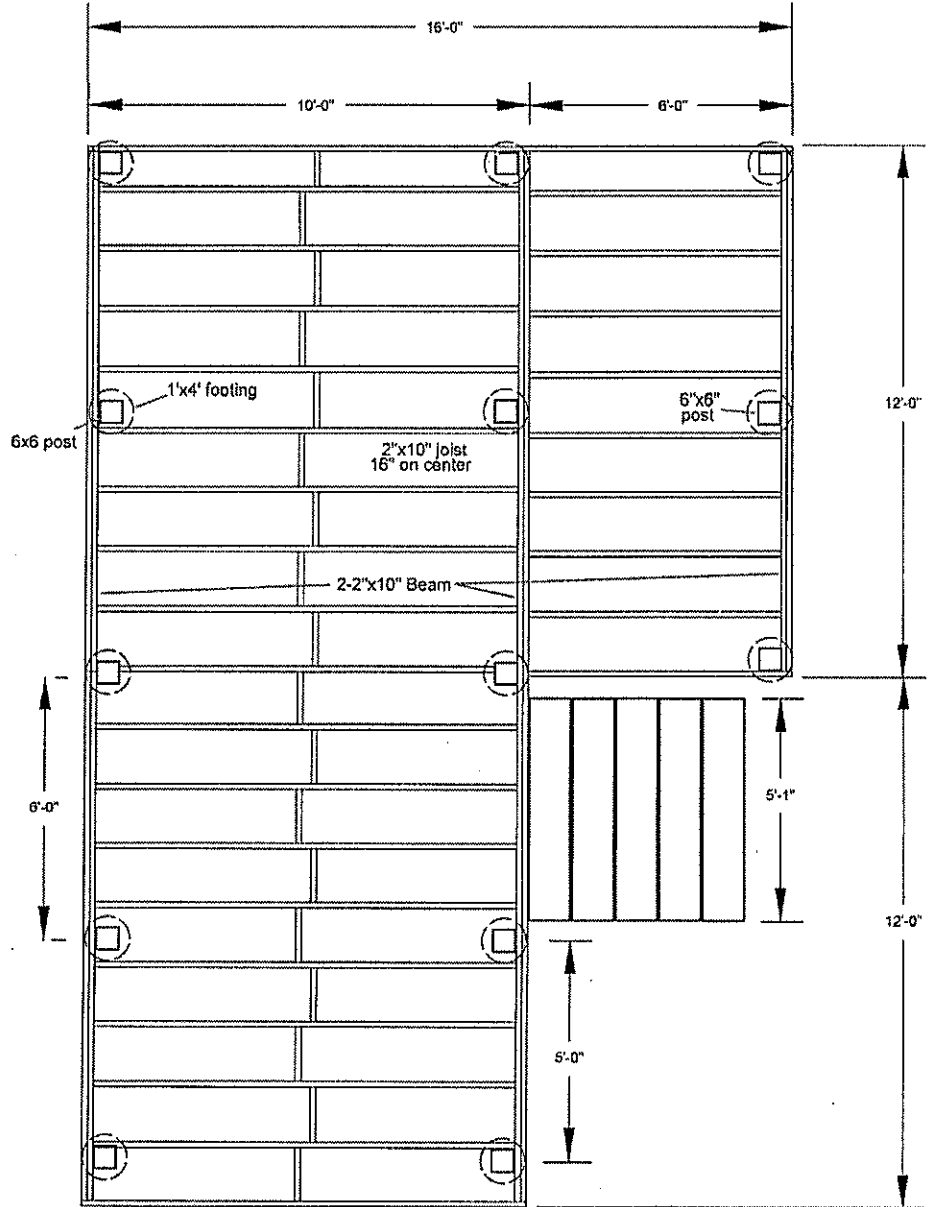
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Inspector Joel Walloch (286-8160), Inspector Heidi Weed



Plan of new deck in rear yard behind house at 3102 W. McKinley Blvd.

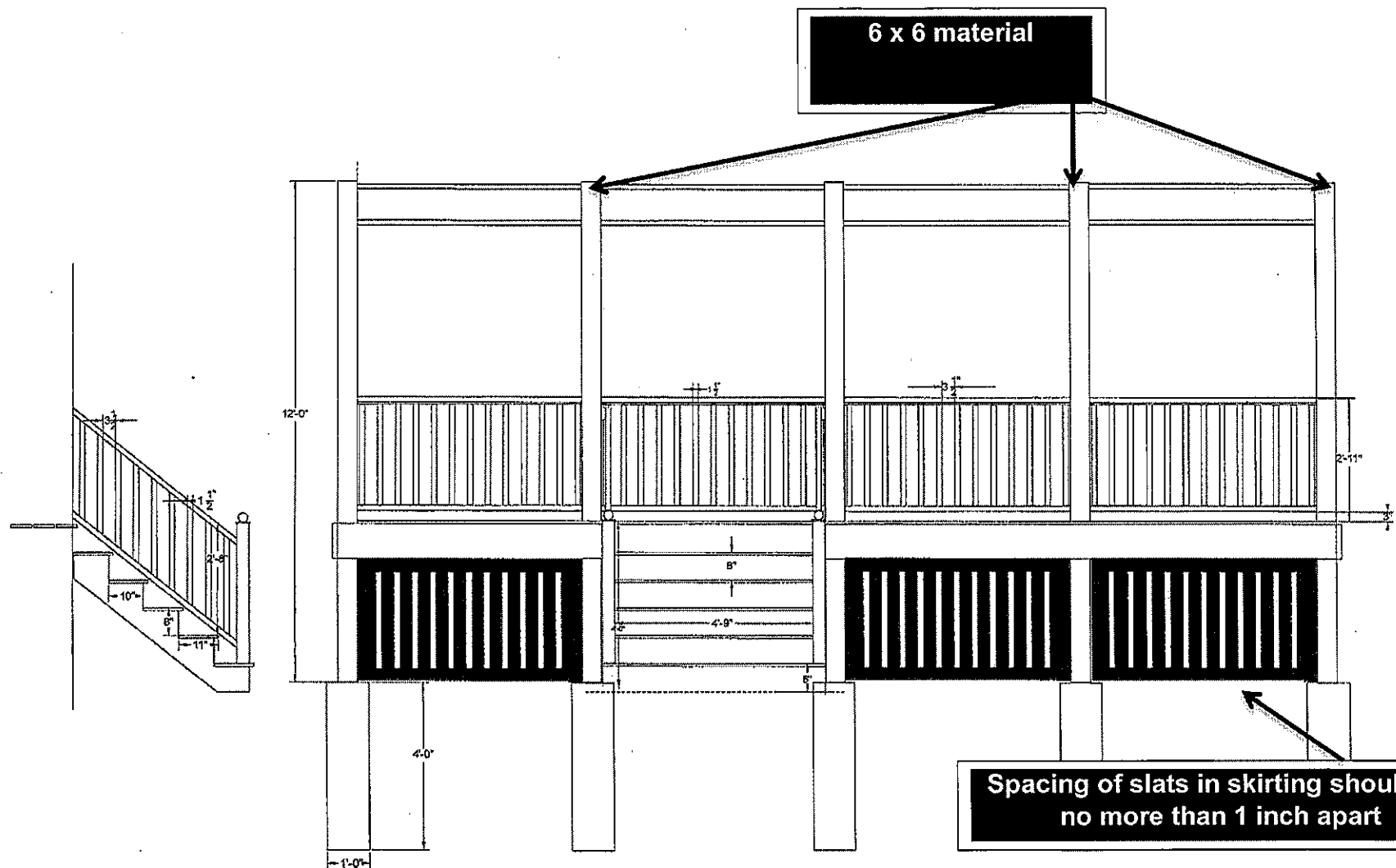




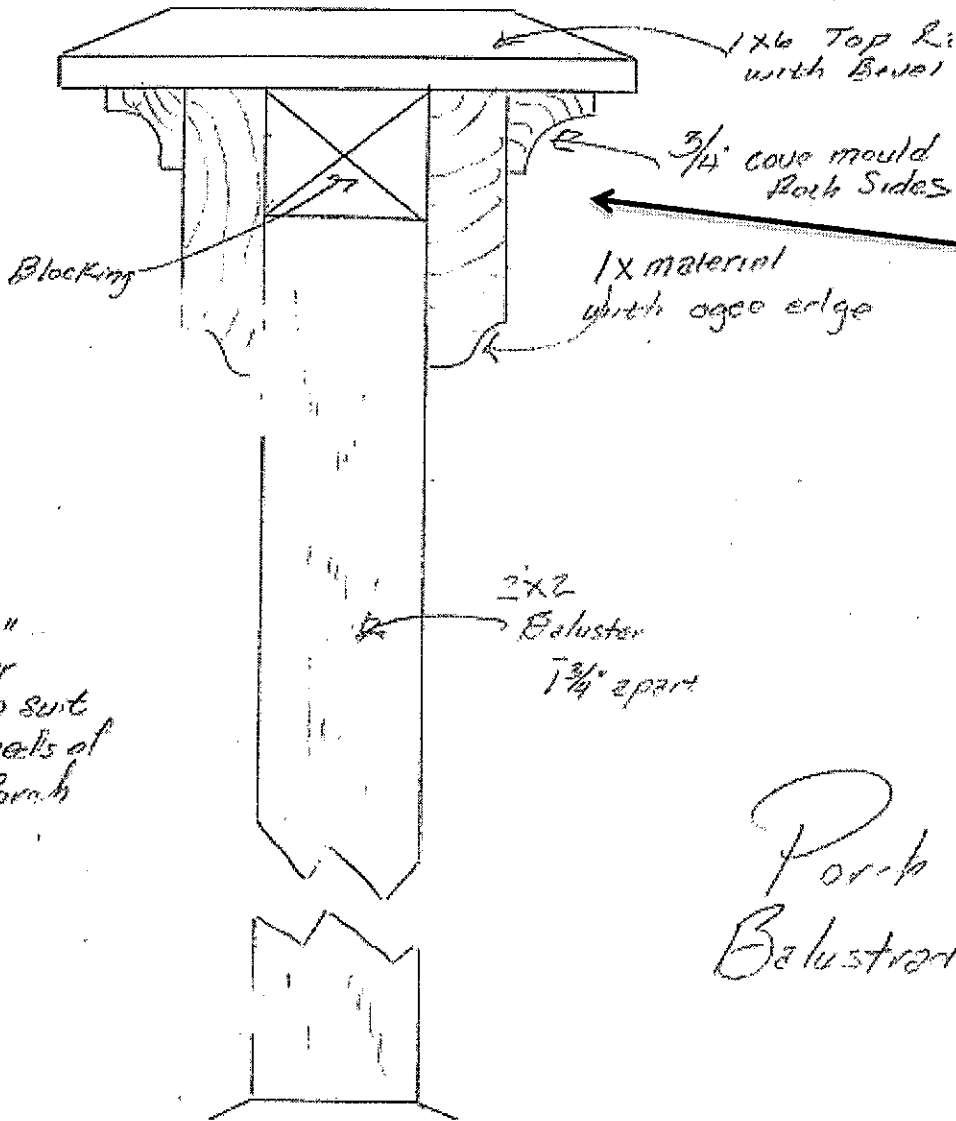
Framing plan for rear deck

Deck detached from house

HOUSE



East elevation of proposed deck. Note: Guardrails around the perimeter of the porch deck to be built according to the detailed section drawings attached. All finish wood, exclusive of the deck boards, must be painted upon completion. Handrail on steps must be graspable per building code. See attached detailed section drawing.

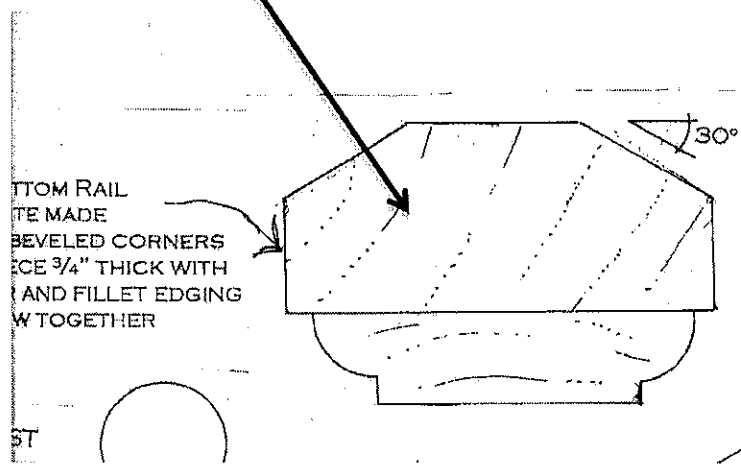


36"
or
to suit
needs of
Porch

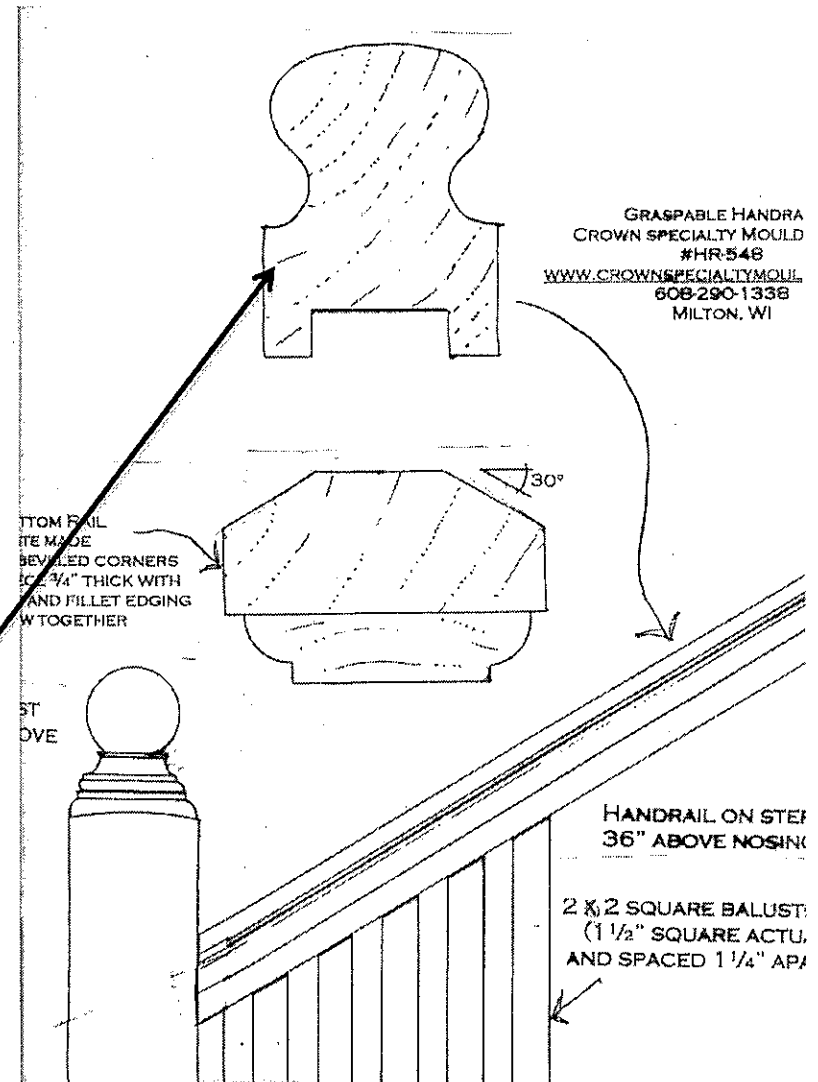
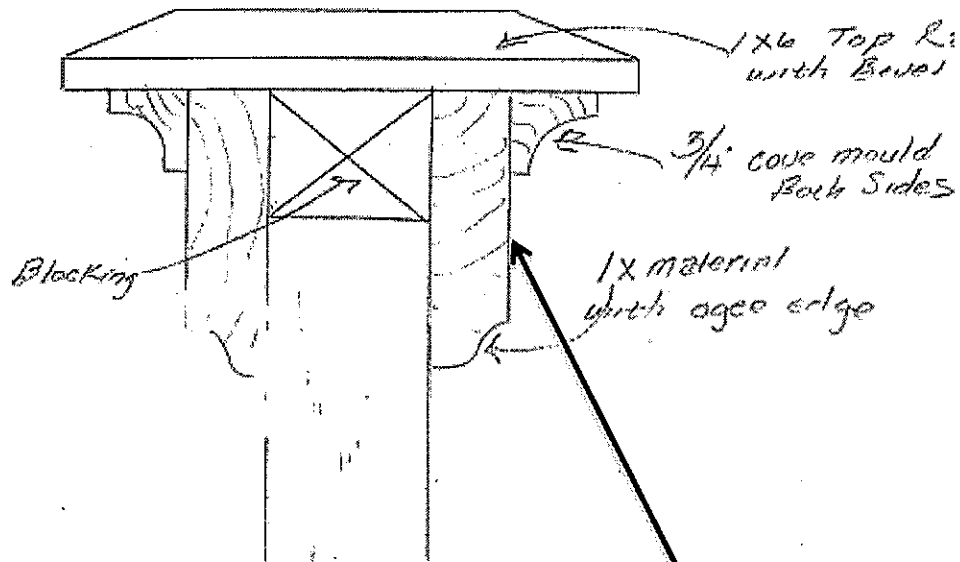
Porch
Balustrade

Section drawing of top rail for guard rail around perimeter of the deck. Note spacing is 1-3/4" apart. Height from deck to top of guard rail is 36 inches

Bottom rail made from 2 x 4 material with beveled edges. The combination of the top and bottom rail create a very strong, safer assembly and it helps to avoid sagging



ST



For the handrail on the steps, the top rail must be graspable per the building code. A solid, bread loaf style handrail pictured at right can be used, or the wider decking top rail can be used, but it must include an auxiliary graspable handrail attached with handrail brackets to the side such as the 3/4 round pole found on many basement stairs.