



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/841 N Broadway/Milwaukee, WI 53202/phone 414-286-5722

Property Description of work

2857-2859 N. Sherman Blvd., Sherman Boulevard Historic District

Construction of new 20'x22' garage per the attached plans. Garage can be setback 4' from the alley with BOZA approval.

Date issued 11/7/2024

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Exterior siding will be untreated wood clapboard or smooth fiber cement lap siding with a 6" or less exposure.

All finish wood must be smooth and free of knots and must be painted or treated with an opaque stain upon completion. Note: when new, bare wood is left exposed to the exterior elements for a period of only a week or two, the life of the paint Living with History job subsequently applied to it will be decreased. The use of a decay-resistant wood for is required for porch areas. Using western white pine or Ponderosa pine is "at your own risk" because this wood has no natural decay resistance and can deteriorate in some exterior settings in just a few years.

All work must be done in a craftsman-like manner. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5722 E-mail: hpc@milwaukee.gov.

Permits and timeline

You are responsible for determining if permits are required and obtaining them prior to commencing work. Consult the Development Center on the web or by telephone for details: www.milwaukee.gov/lms - (414) 286-8210. If permits are not required, work must be completed within one year of the date this certificate was issued. If permits are required, permits must be obtained within one year of the date this certificate was issued.

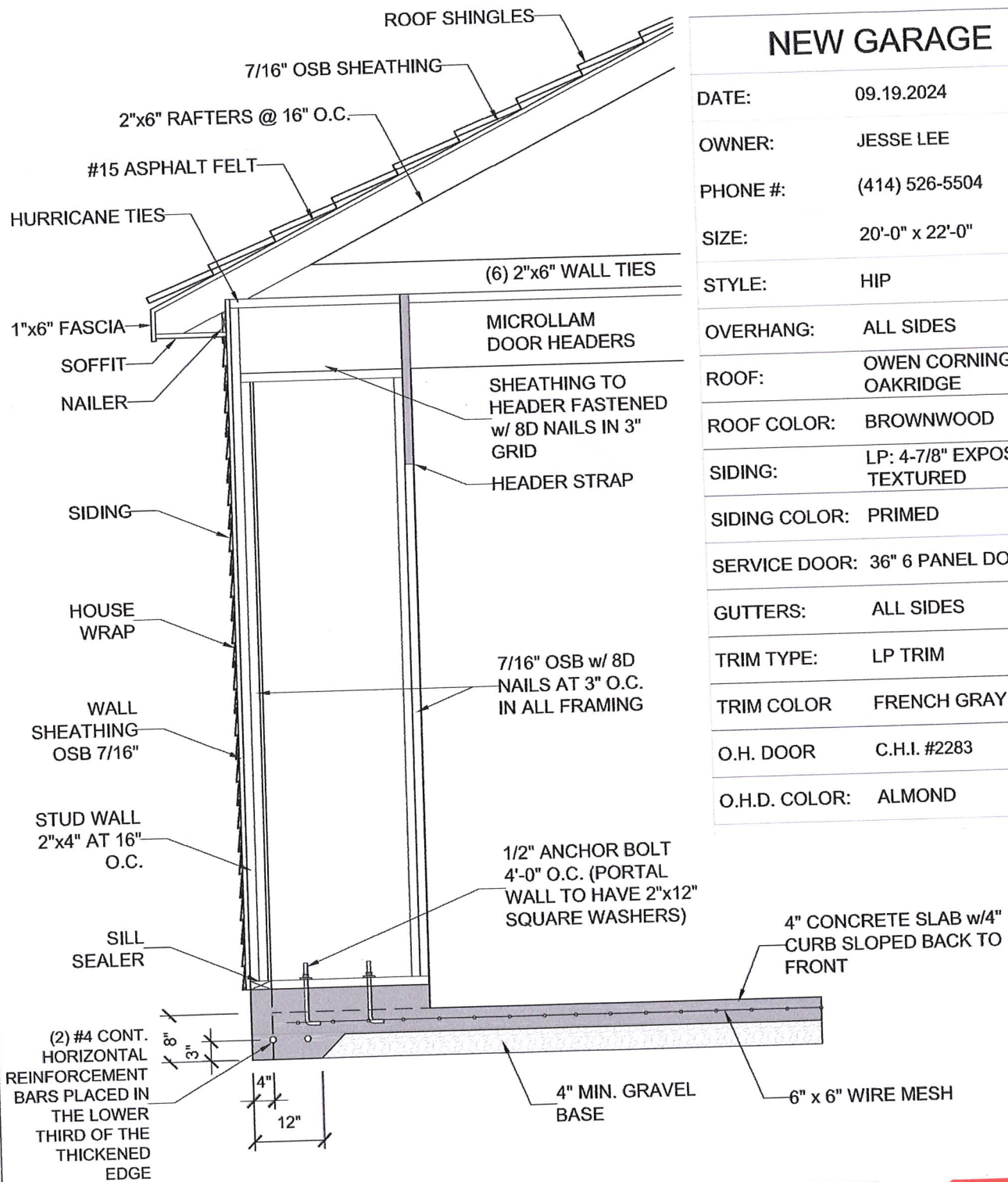


City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Jackson

SEE GARAGE PLANS BELOW

TYPICAL CROSS SECTION

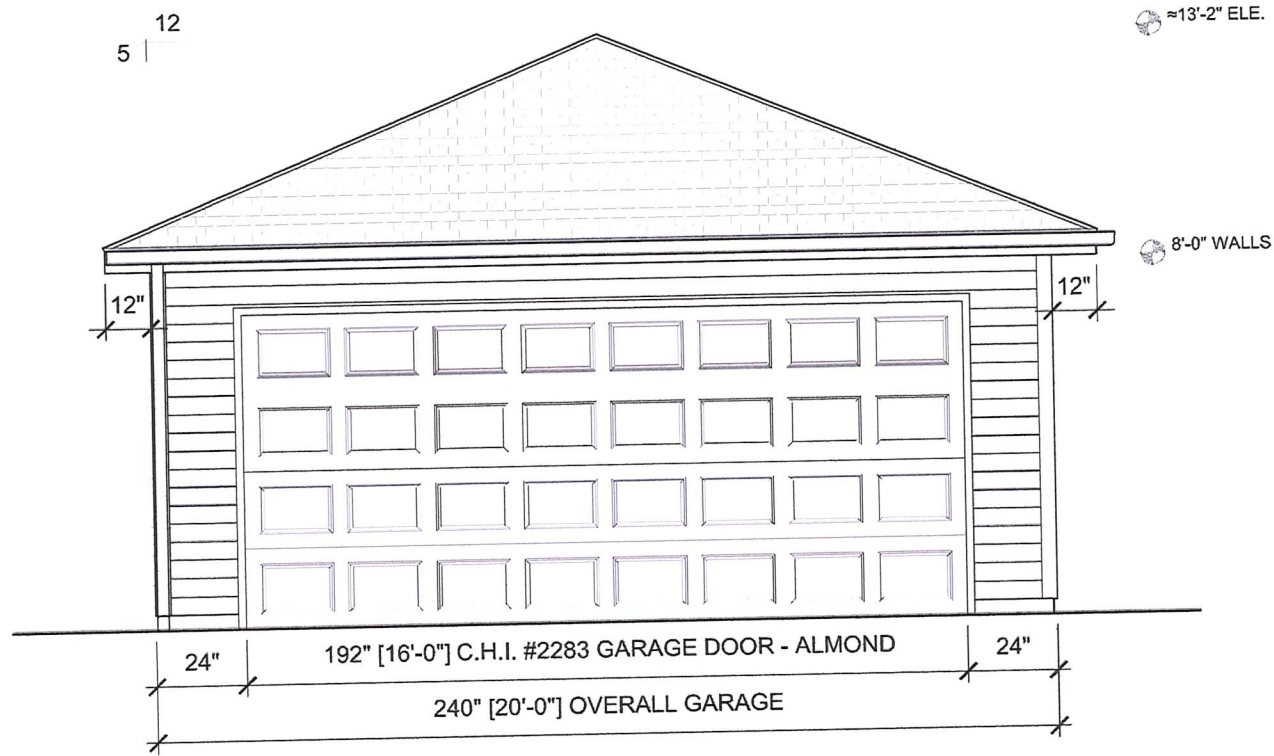


NEW GARAGE

DATE:	09.19.2024
OWNER:	JESSE LEE
PHONE #:	(414) 526-5504
SIZE:	20'-0" x 22'-0"
STYLE:	HIP
OVERHANG:	ALL SIDES
ROOF:	OWEN CORNING: OAKRIDGE
ROOF COLOR:	BROWNWOOD
SIDING:	LP: 4-7/8" EXPOSURE TEXTURED
SIDING COLOR:	PRIMED
SERVICE DOOR:	36" 6 PANEL DOOR
GUTTERS:	ALL SIDES
TRIM TYPE:	LP TRIM
TRIM COLOR:	FRENCH GRAY
O.H. DOOR:	C.H.I. #2283
O.H.D. COLOR:	ALMOND

OWNER:	JESSE LEE	GARAGE SIZE:	20'-0" x 22'-0"
ADDRESS:	2857 N. SHERMAN BLVD MILWAUKEE, WI 53210	GARAGE SYTLE:	HIP
		DRAWING SCALE:	1/2" = 1'-0"

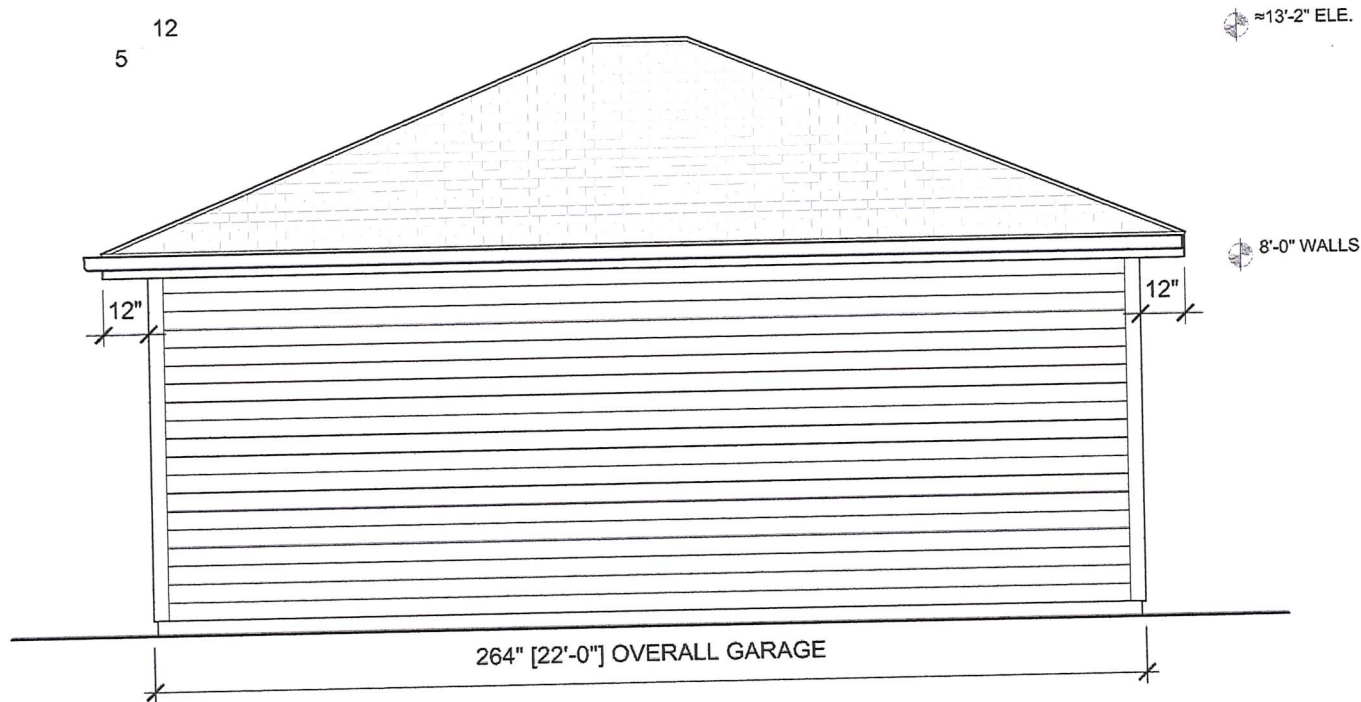




JESSE LEE RESIDENCE

ELEVATION	DATE: 09.19.2024
SCALE: 1/4" = 1'-0"	PAGE: 2 OF 6

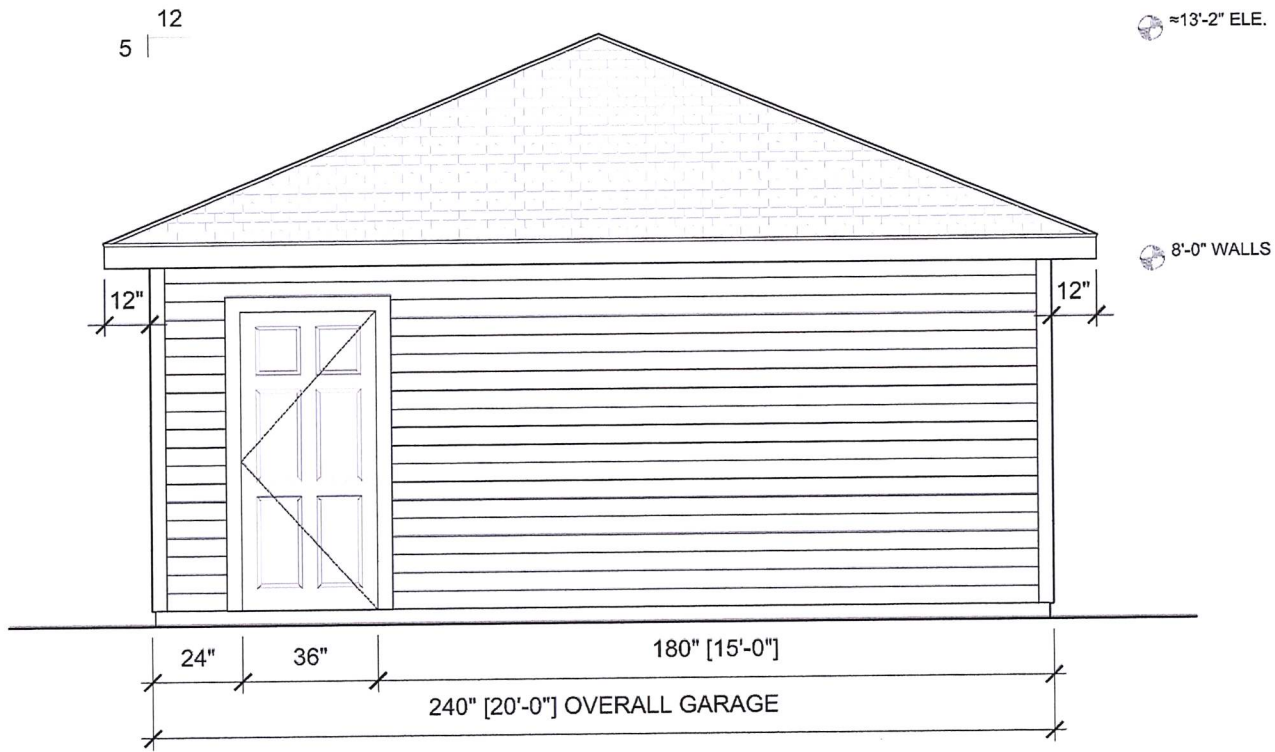




JESSE LEE RESIDENCE

ELEVATION	DATE: 09.19.2024
SCALE: 1/4" = 1'-0"	PAGE: 3 OF 6





JESSE LEE RESIDENCE

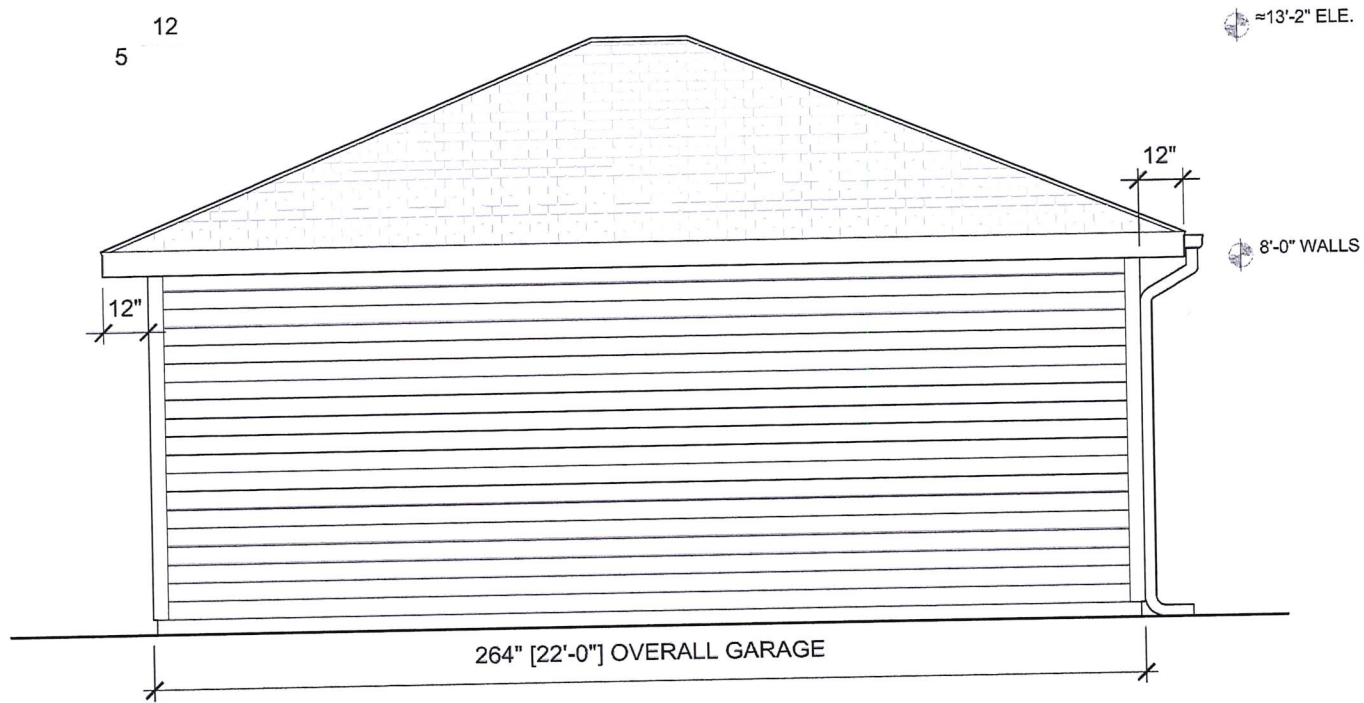
ELEVATION

DATE: 09.19.2024

SCALE: 1/4" = 1'-0"

PAGE: 4 OF 6





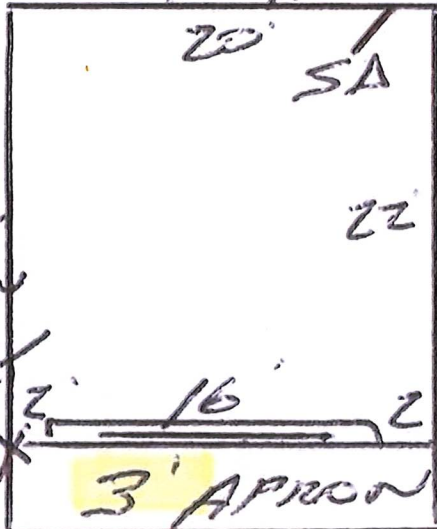
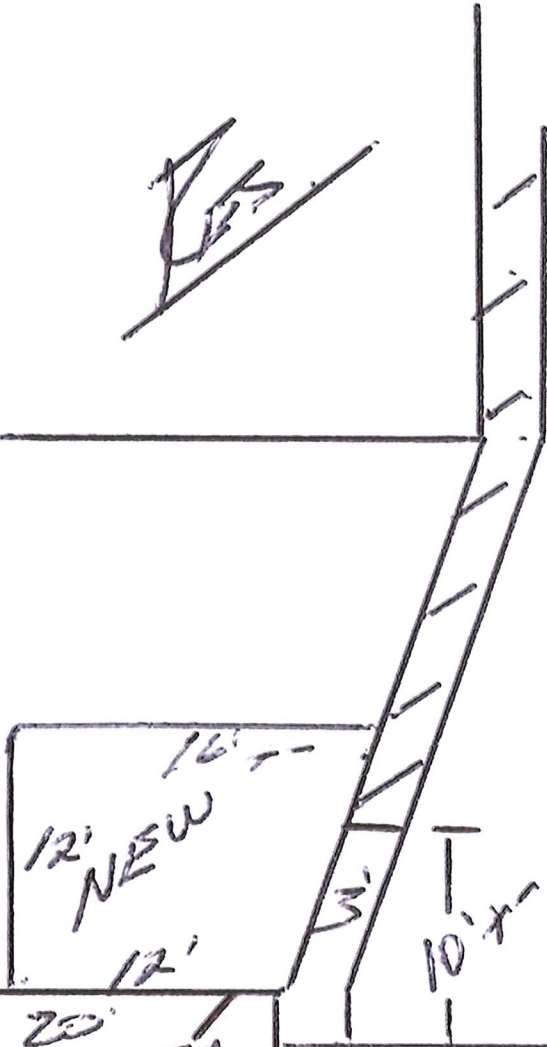
JESSE LEE RESIDENCE

ELEVATION	DATE: 09.19.2024
SCALE: 1/4" = 1'-0"	PAGE: 5 OF 6



OWNER TO
OBTAIN LOT
FROM HISTORIC
DISTRICT

~~Lot~~



2' MIN
SPAC
X
PILE

