

15TH & NORTH HOUSING DEVELOPMENT

1500-1504, 1524, & 1528-1534 WEST NORTH AVENUE,
MILWAUKEE, WISCONSIN
07/29/2016: R8/23/2016

DPD SUBMITTAL

CAP PROJECT #: 150303

OWNERS:
LEGACY MIDWEST RENEWAL CORPORATION
1200 WEST NORTH AVENUE
MILWAUKEE, WI 53205

EVERGREEN REAL ESTATE GROUP
566 WEST LAKE STREET - SUITE 400
CHICAGO, IL 60661

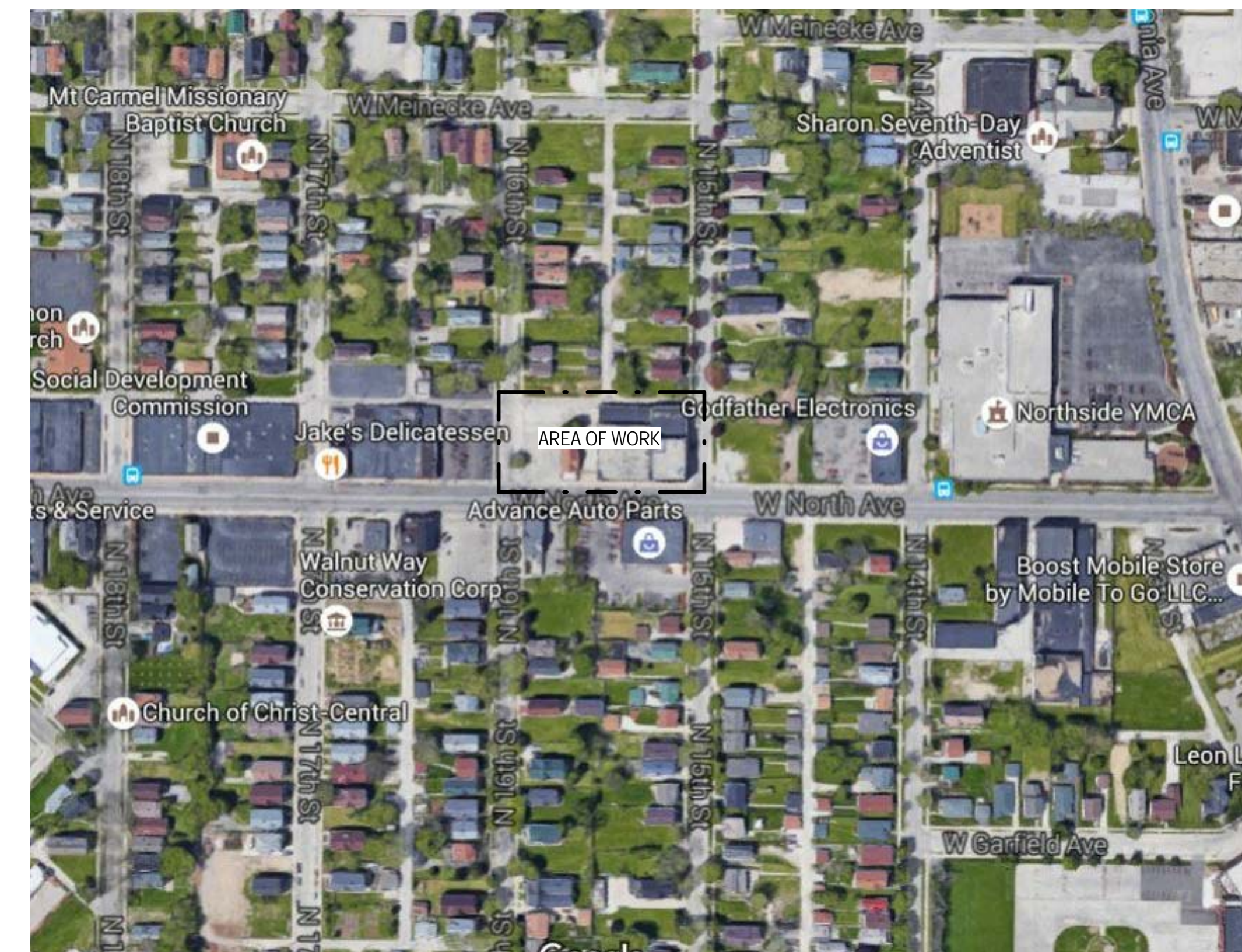
CONSULTING ARCHITECT:
CONTINUUM ARCHITECTS + PLANNERS, S.C.
228 SOUTH FIRST STREET - SUITE 301
MILWAUKEE, WI 53204
TEL. (414) 220-9640
FAX. (414) 220-9595

CONSULTING CIVIL ENGINEER:
AYERS ASSOCIATES
101 EAST BADGER ROAD
MADISON, WI 53713
TEL. (608) 255-0800

CONSULTING STRUCTURAL ENGINEER:
SPIRE ENGINEERING
600 WEST VIRGINIA STREET - SUITE 102
MILWAUKEE, WI 53204
TEL. (414) 278-9200

SHEET INDEX:

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- DPD-2 EXISTING CONDITIONS, SITE DEMOLITION, AND EROSION CONTROL PLAN
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- Interior Design
- Sustainable Design
- Historical Preservation/
Renovation
- Project Management



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15TH & NORTH HOUSING DEVELOPMENT

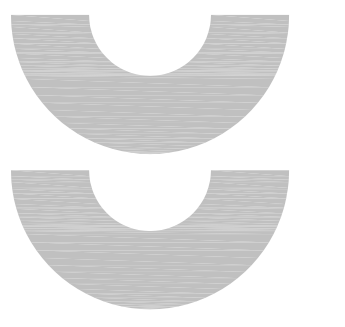
1500-1504, 1524, & 1528-1534 WEST NORTH AVENUE, MILWAUKEE, WISCONSIN

SHEET TITLE:
COVER SHEET / VICINITY MAP / PROJECT TEAM / SHEET INDEX

REVISIONS:

- 1. DPD - 08-23-2016

SCALE	VARIABLES
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016: R8/23/2016
SHEET NUMBER	DPD-1

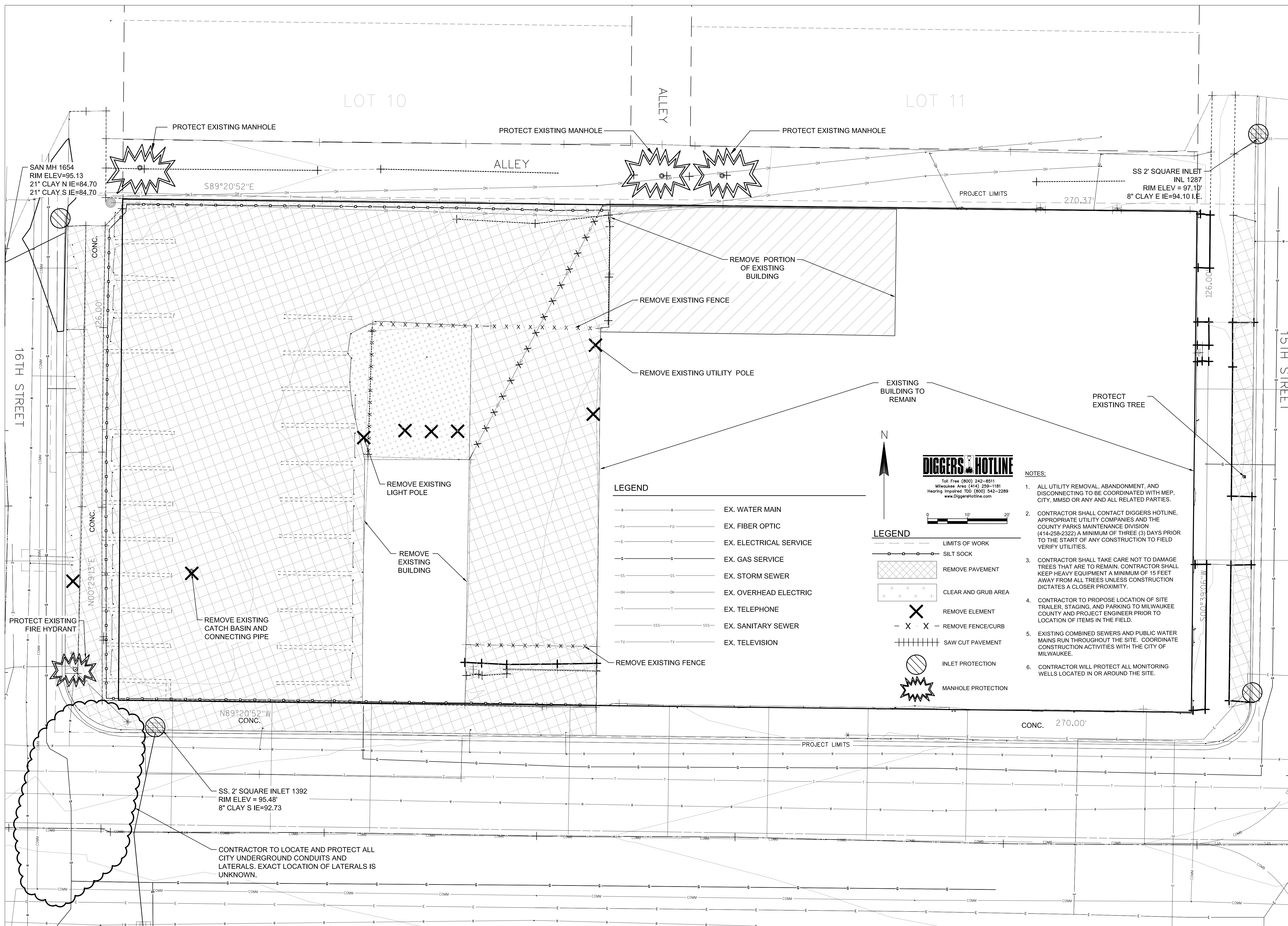


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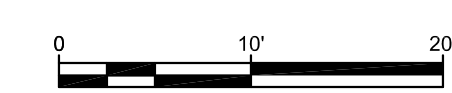
LEGEND

- W — EX. WATER MAIN
- FO — EX. FIBER OPTIC
- E — EX. ELECTRICAL SERVICE
- G — EX. GAS SERVICE
- SS — EX. STORM SEWER
- OH — EX. OVERHEAD ELECTRIC
- T — EX. TELEPHONE
- SSS — EX. SANITARY SEWER
- TV — EX. TELEVISION

LEGEND

- — — — — LIMITS OF WORK
- O — — — — SILT SOCK
- [Cross-hatched] REMOVE PAVEMENT
- [Dotted] CLEAR AND GRUB AREA
- X X X REMOVE ELEMENT
- X X - REMOVE FENCE/CURB
- [Vertical lines] SAW CUT PAVEMENT
- [Circle with diagonal lines] INLET PROTECTION
- [Starburst] MANHOLE PROTECTION

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Milwaukee Area (414) 259-1181
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NOTES:

1. ALL UTILITY REMOVAL, ABANDONMENT, AND DISCONNECTING TO BE COORDINATED WITH MEP, CITY, MMSD OR ANY AND ALL RELATED PARTIES.
2. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE, APPROPRIATE UTILITY COMPANIES AND THE COUNTY PARKS MAINTENANCE DIVISION (414-258-2322) A MINIMUM OF THREE (3) DAYS PRIOR TO THE START OF ANY CONSTRUCTION TO FIELD VERIFY UTILITIES.
3. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE TREES THAT ARE TO REMAIN. CONTRACTOR SHALL KEEP HEAVY EQUIPMENT A MINIMUM OF 15 FEET AWAY FROM ALL TREES UNLESS CONSTRUCTION DICTATES A CLOSER PROXIMITY.
4. CONTRACTOR TO PROPOSE LOCATION OF SITE TRAILER, STAGING, AND PARKING TO MILWAUKEE COUNTY AND PROJECT ENGINEER PRIOR TO LOCATION OF ITEMS IN THE FIELD.
5. EXISTING COMBINED SEWERS AND PUBLIC WATER MAINS RUN THROUGHOUT THE SITE. COORDINATE CONSTRUCTION ACTIVITIES WITH THE CITY OF MILWAUKEE.
6. CONTRACTOR WILL PROTECT ALL MONITORING WELLS LOCATED IN OR AROUND THE SITE.

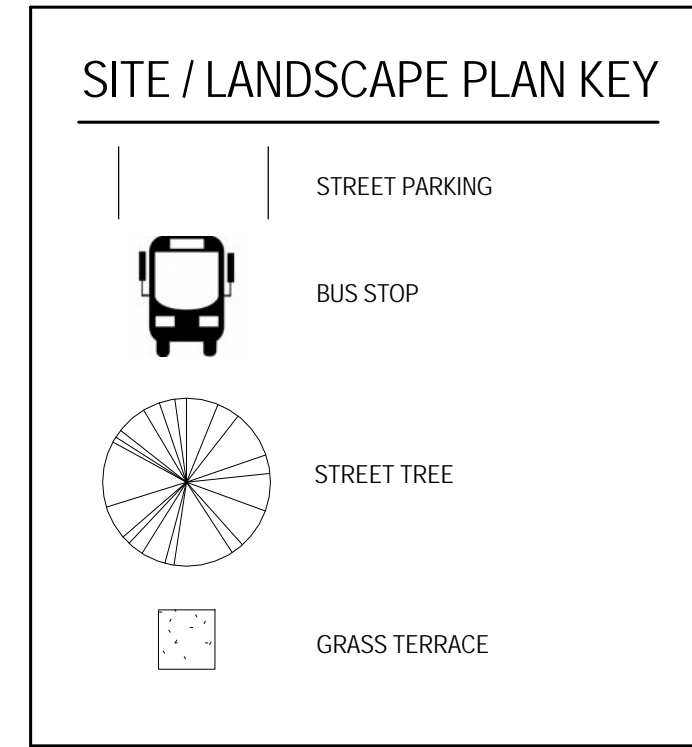
15TH & NORTH HOUSING DEVELOPMENT
NORTH AVENUE BETWEEN 15TH AND 16TH STREETS

REVISIONS:

1. DPD - 08-23-2016

SCALE	VARIES
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016; R8/3/2016
SHEET NUMBER	DPD-2

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE SIZE
ORNAMENTAL TREES					
AGA	Amelanchier x grandiflora "Autumn Brilliance"	Autumn Brilliance Serviceberry	10'-12" clump BB	as shown	20h x 15w
AGA	Amelanchier x grandiflora "Autumn Brilliance"	Autumn Brilliance Serviceberry	10'-12" clump BB	as shown	20h x 15w
CPP	Crataegus phaenogyrium	Washington Hawthorn	10'-12" clump BB	as shown	30h x 25w
MPF	Malus "Prairie Fire"	Prairie Fire Crabapple	6-8' BB	as shown	20h x 20w
DECIDUOUS SHRUBS					
DVL	Diervilla lonicera	Dwarf Bush Honeysuckle	5 gal.	4'	4h x 4w
POM	Physocarpus opulifolius "Nanus"	Dwarf Ninesbark	24" cont.	4'	5h x 5w
RRB	Rosa rugosa "Belle Palmetine"	Belle Palmetine Rugosa Rose	24" cont.	5'	4-5h x 4-5w
SGM	Spiraea x "Gold mound"	Gold Mound Spiraea	24" cont.	4'	3h x 3-4w
SUF	Spiraea japonica "Firebell"	Firebell Spiraea	24" cont.	4'	3-4'h x 4-5w
EVERGREEN SHRUBS					
JCI	Juniperus chinensis "Iowa"	Iowa Juniper	42" BB	5'	10-15' x 4-5w
JCK	Juniperus chinensis "Kallay's Compact"	Kallay's Compact Pfitzer Juniper	5 gal.	4'	2-3h x 5w
PERENNIALS					
CMA	Chrysanthemum maxima "Alaska"	Alaska Daisy	1 gal.	24"	24h x 18w
EPK	Echinacea purpurea "Kim's Knee High"	Kim's Knee High Coneflower	1 gal.	18"	18h x 18w
HRR	Hemerocallis "Rosy Returns"	Rosy Returns Daylily	1 gal.	18"	18h x 18-20w
PRL	Perovskia atriplicifolia "Little Spire"	Little Spire Russian Sage	1 gal.	18"	18h x 18w
SAJ	Sedum "Autumn Joy"	Autumn Joy Sedum	1 gal.	18"	18h x 18w
ORNAMENTAL GRASSES					
CAK	Calamagrostis acutiflora "Karl Foerster"	Feather Reed Grass	5 gal.	36"	5h x 30w
MSP	Miscanthus sinensis "Purpureoscens"	Purple Maiden Grass	1 gal.	36"	4-6h x 36w
PVH	Panicum virgatum "Heavy Metal"	Heavy Metal Switch Grass	5 gal.	36"	4-5h x 30w



NOTES

ALL NEW LIGHTING WITHIN DEVELOPMENT WILL COMPLY WITH CITY OF MILWAUKEE ORDINANCES.

CONSULTANTS

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15TH & NORTH HOUSING DEVELOPMENT

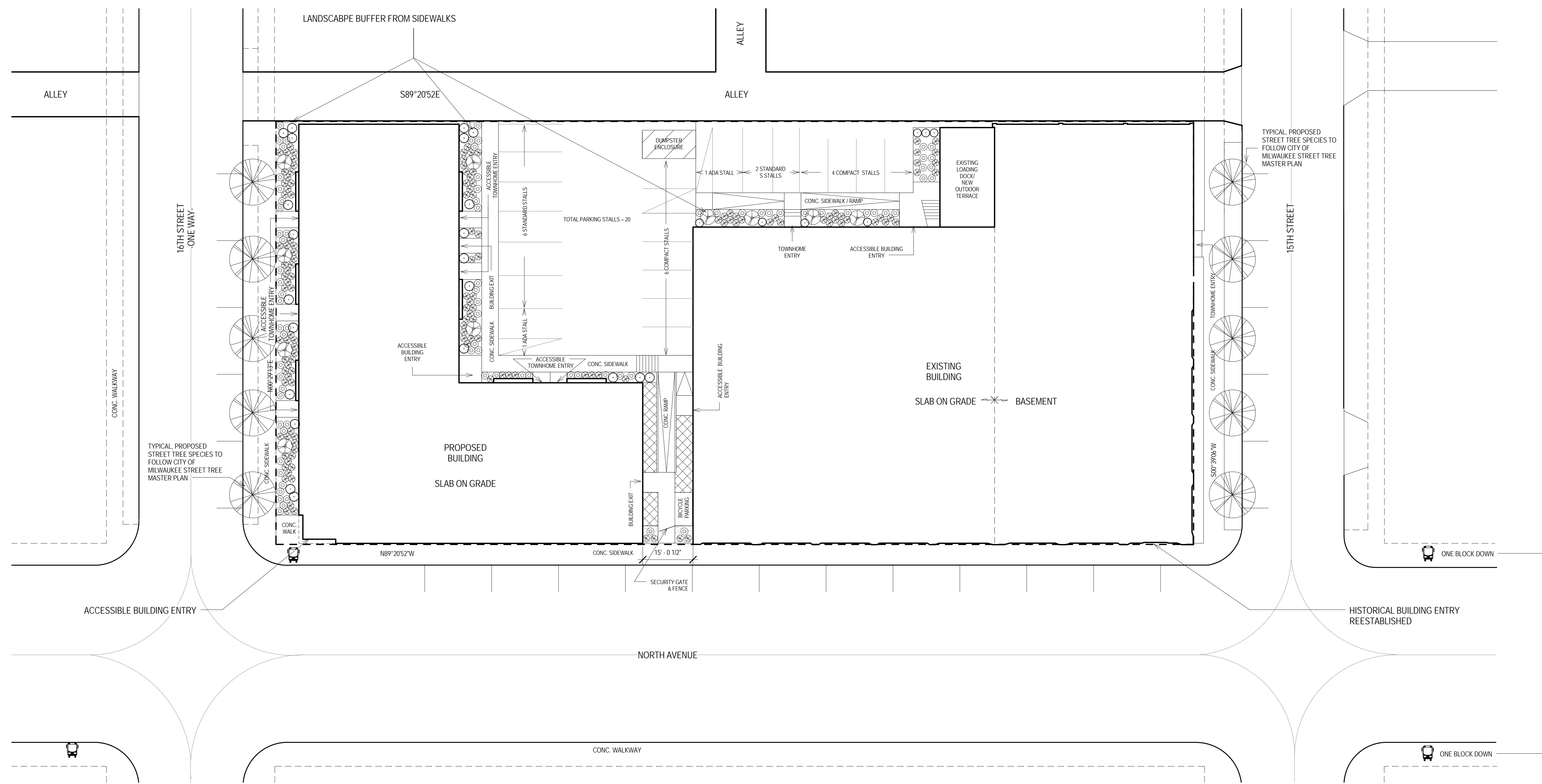
1500 WEST NORTH AVENUE, MILWAUKEE, WI

SHEET TITLE:
PROPOSED ARCHITECTURAL SITE AND LANDSCAPE PLAN

REVISIONS:

1. DPD - 08-23-2016

SCALE	VARIABLES
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016: R8/23/2016
SHEET NUMBER	DPD-3A



1 PROPOSED ARCHITECTURAL SITE AND LANDSCAPE PLAN

Scale: 1/16" = 1'-0"

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NOTES

----- ACCESSIBLE ROUTE



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15TH & NORTH HOUSING DEVELOPMENT

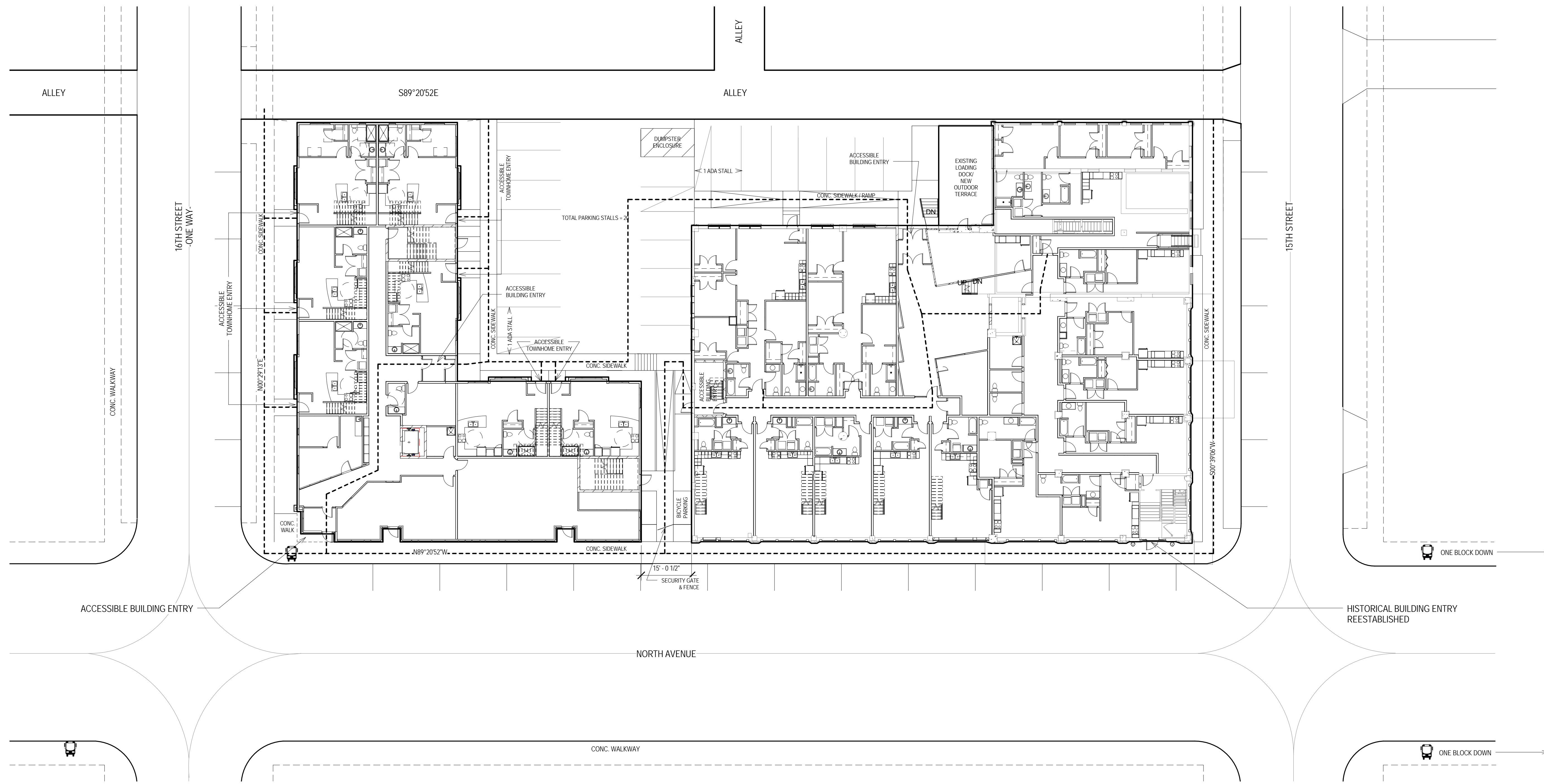
1500 WEST NORTH AVENUE, MILWAUKEE, WI

SHEET TITLE:
PROPOSED ARCHITECTURAL SITE AND FIRST FLOOR PLAN

REVISIONS:

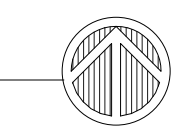
- 1. DPD - 08-23-2016

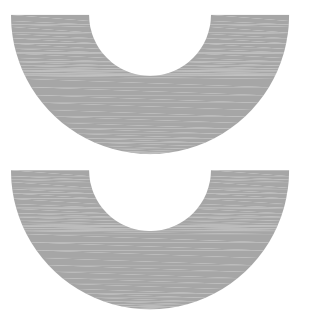
SCALE	VARIABLES
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016: R8/23/2016
SHEET NUMBER	DPD-3B



1 PROPOSED ARCHITECTURAL SITE AND FIRST FLOOR PLAN

Scale: 1/16" = 1'-0"



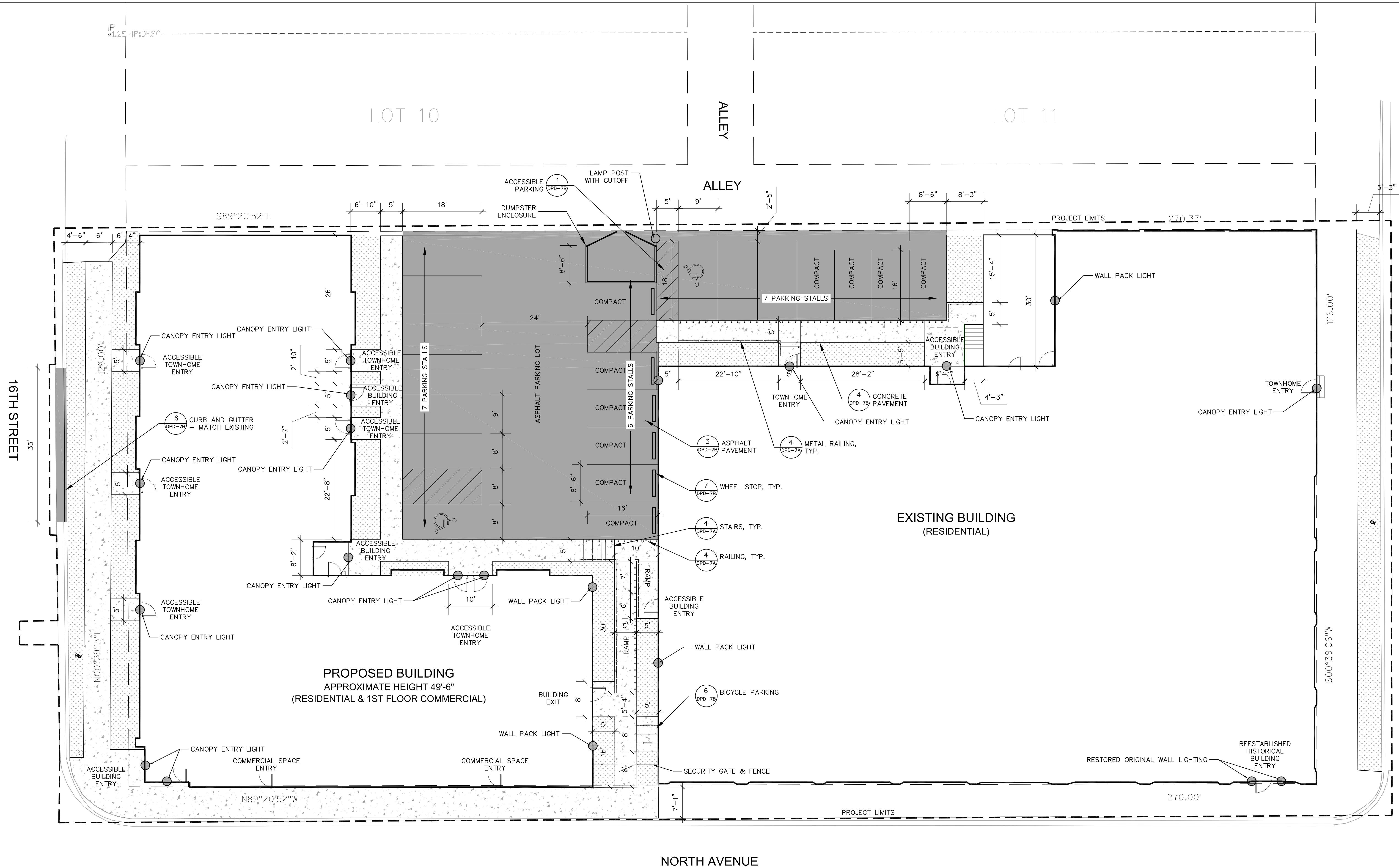


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15TH STREET

16TH STREET

NORTH AVENUE

NOTES:

- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED ENTITIES. FIELD ADJUST AS NECESSARY.
- CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN PLAIN CONCRETE, EXISTING CONCRETE, CURBS, OR STRUCTURES IN ADDITION TO AREAS AS NEEDED. PROVIDE JOINTING PLAN TO PROJECT ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS. CAD FILE TO BE PROVIDED UPON REQUEST.
- SEPARATE CONCRETE POURS MUST BE DOWELED UNLESS OTHERWISE PROPOSED BY CONTRACTOR IN WRITING.

LEGEND

- ASPHALT
- CONCRETE
- PLANTING AREAS (SEE LANDSCAPE PLAN)
- LIGHT

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15TH & NORTH HOUSING DEVELOPMENT

NORTH AVENUE BETWEEN 15TH AND 16TH STREETS

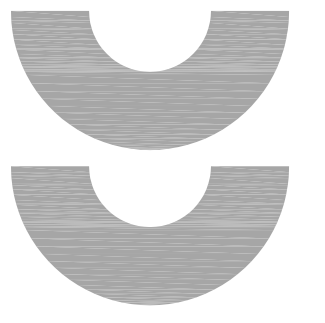
SHEET TITLE:
PROPOSED SITE PLAN

REVISIONS:

- DPD - 08-23-2016

SCALE	VARIES
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016: R8/3/2016
SHEET NUMBER	DPD-4

NOTES:
 1. CONTRACTOR SHALL PLACE TYPE D INLET PROTECTION IN EACH OF THE PROPOSED INLETS UPON FINAL INSTALLATION.

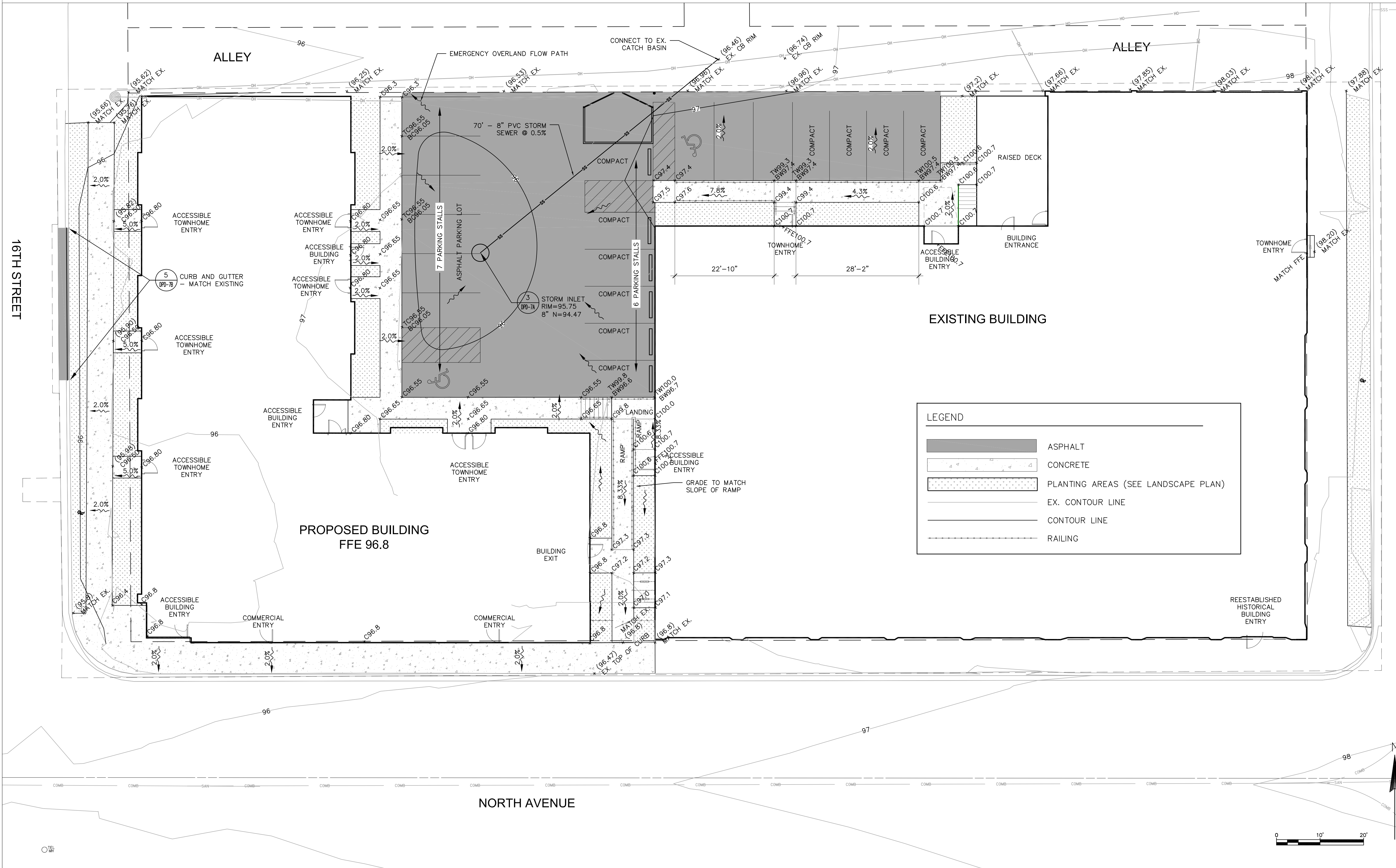


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15TH & NORTH HOUSING DEVELOPMENT
 NORTH AVENUE BETWEEN 15TH AND 16TH STREETS

SHEET TITLE:
 PROPOSED GRADING PLAN

REVISIONS:
 1. DPD - 08-23-2016

SCALE	VARIES
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016: R8/3/2016
SHEET NUMBER	DPD-5

UTILITY NOTES:

- THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:
 - "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" (WSWS) LATEST EDITION
 - STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (WISDOT) LATEST EDITION
- CONTRACTOR SHALL OBTAIN A CURRENT COPY OF THE CITY OF MILWAUKEE STANDARD SPECIFICATIONS INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIFICATIONS, PRIOR TO THE START OF CONSTRUCTION.
- WITHIN THE RIGHT-OF-WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS,

GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SPOIL FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6" IN DIAMETER.

- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.
- ANY CONNECTIONS TO A COMBINED SEWER MUST COMPLY WITH CITY OF MILWAUKEE AND MMSD SPECIFICATIONS AND DETAILS.

WATER DISTRIBUTION SYSTEM:

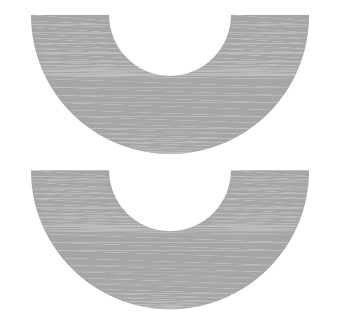
- 6" - PVC AWWA, C-900, CL150, SDR 18 OR DUCTILE IRON AWWA C-151, CLASS-52
- 2" & SMALLER - HIGH DENSITY POLYETHYLENE (HDPE) AWWA C-901, SDR-11 OR COPPER TYPE K.
- WATER LATERAL AND HYDRANT TEES SHALL BE ANCHORED.

STORM SEWER:

- STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS:
 - 12" DIA - CLASS V RCP
 - 15" DIA - CLASS IV RCP
 - 18+" DIA - CLASS III RCP
- STORM SEWER SPECIFIED AS HDPE SHALL BE CORRUGATED HDPE, SMOOTH INTERIOR.
- STORM SEWER PIPE: REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C-76,
- POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350. AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION. JOINTS FOR RCP SHALL CONFORM TO ASTM D-471. JOINTS FOR HDPE SHALL CONFORM TO ASTM F-477.
- ALL PERFORATED DRAIN TILE SHALL BE PLASTIC WITHOUT A FILTER SOCK.

NOTES:

1. CONTRACTOR SHALL PLACE TYPE D INLET PROTECTION IN EACH OF THE PROPOSED INLETS UPON FINAL INSTALLATION.



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15TH & NORTH HOUSING DEVELOPMENT
NORTH AVENUE BETWEEN 15TH AND 16TH STREETS

SHEET TITLE:
PROPOSED UTILITY PLAN

REVISIONS:

1. DPD - 08-23-2016

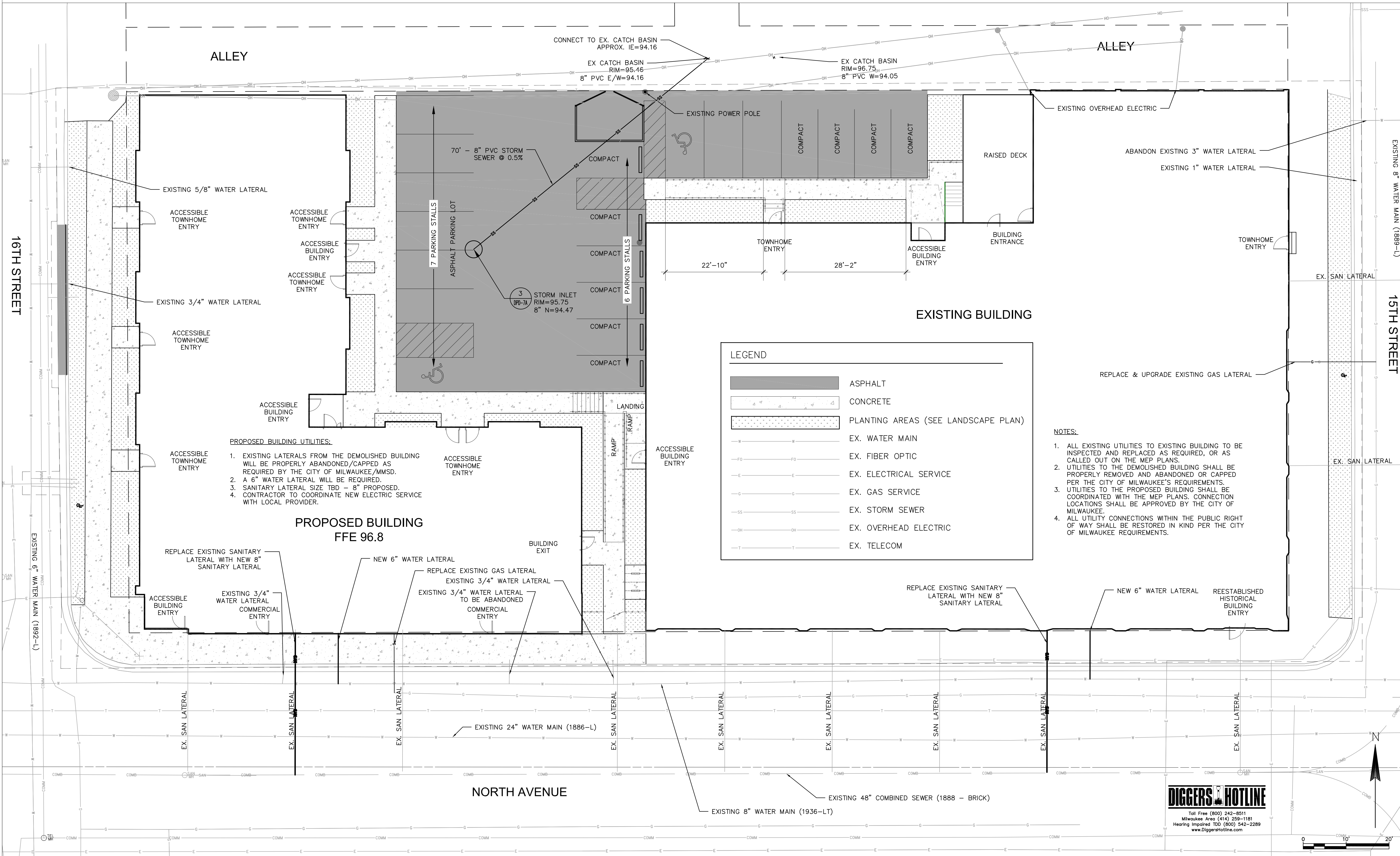
SCALE VARIES

PROJECT NUMBER 150303

SET TYPE DPD SUBMITTAL

DATE ISSUED 07/29/2016: R8/3/2016

SHEET NUMBER **DPD-6**

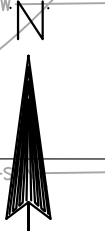
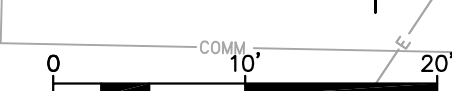


LEGEND

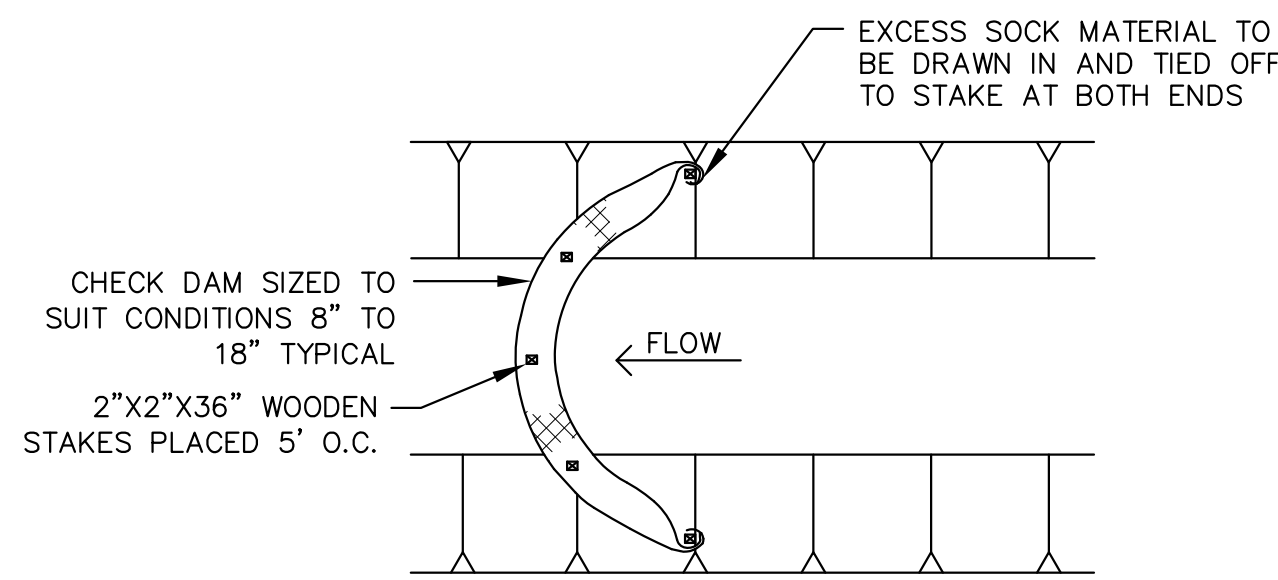
	ASPHALT
	CONCRETE
	PLANTING AREAS (SEE LANDSCAPE PLAN)
	EX. WATER MAIN
	EX. FIBER OPTIC
	EX. ELECTRICAL SERVICE
	EX. GAS SERVICE
	EX. STORM SEWER
	EX. OVERHEAD ELECTRIC
	EX. TELECOM

NOTES:

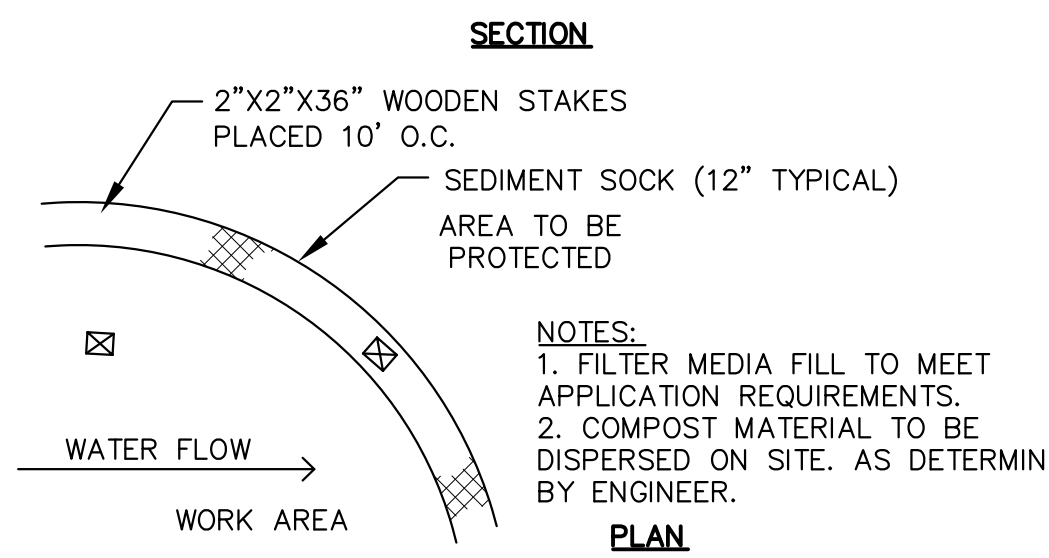
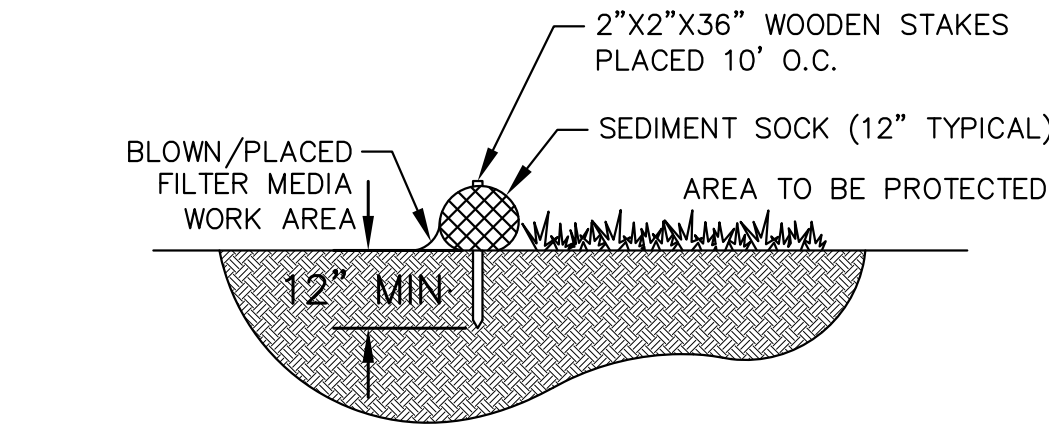
1. ALL EXISTING UTILITIES TO EXISTING BUILDING TO BE INSPECTED AND REPLACED AS REQUIRED, OR AS CALLED OUT ON THE MEP PLANS.
2. UTILITIES TO THE DEMOLISHED BUILDING SHALL BE PROPERLY REMOVED AND ABANDONED OR CAPPED PER THE CITY OF MILWAUKEE'S REQUIREMENTS.
3. UTILITIES TO THE PROPOSED BUILDING SHALL BE COORDINATED WITH THE MEP PLANS. CONNECTION LOCATIONS SHALL BE APPROVED BY THE CITY OF MILWAUKEE.
4. ALL UTILITY CONNECTIONS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE RESTORED IN KIND PER THE CITY OF MILWAUKEE REQUIREMENTS.



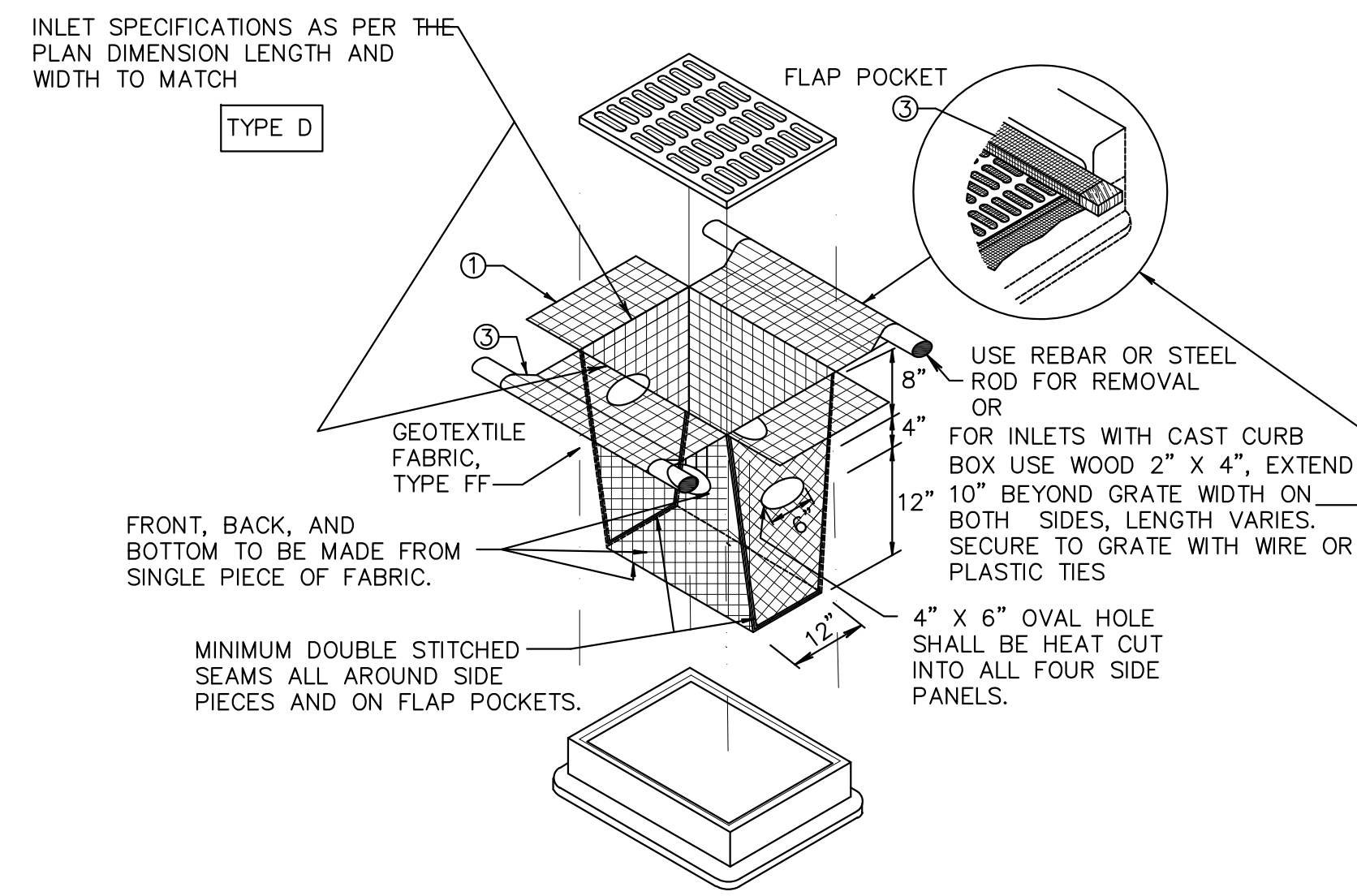
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- NOTES:**
- SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
 - CHECK DAM CAN BE DIRECT SEDED AT THE TIME OF INSTALLATION.

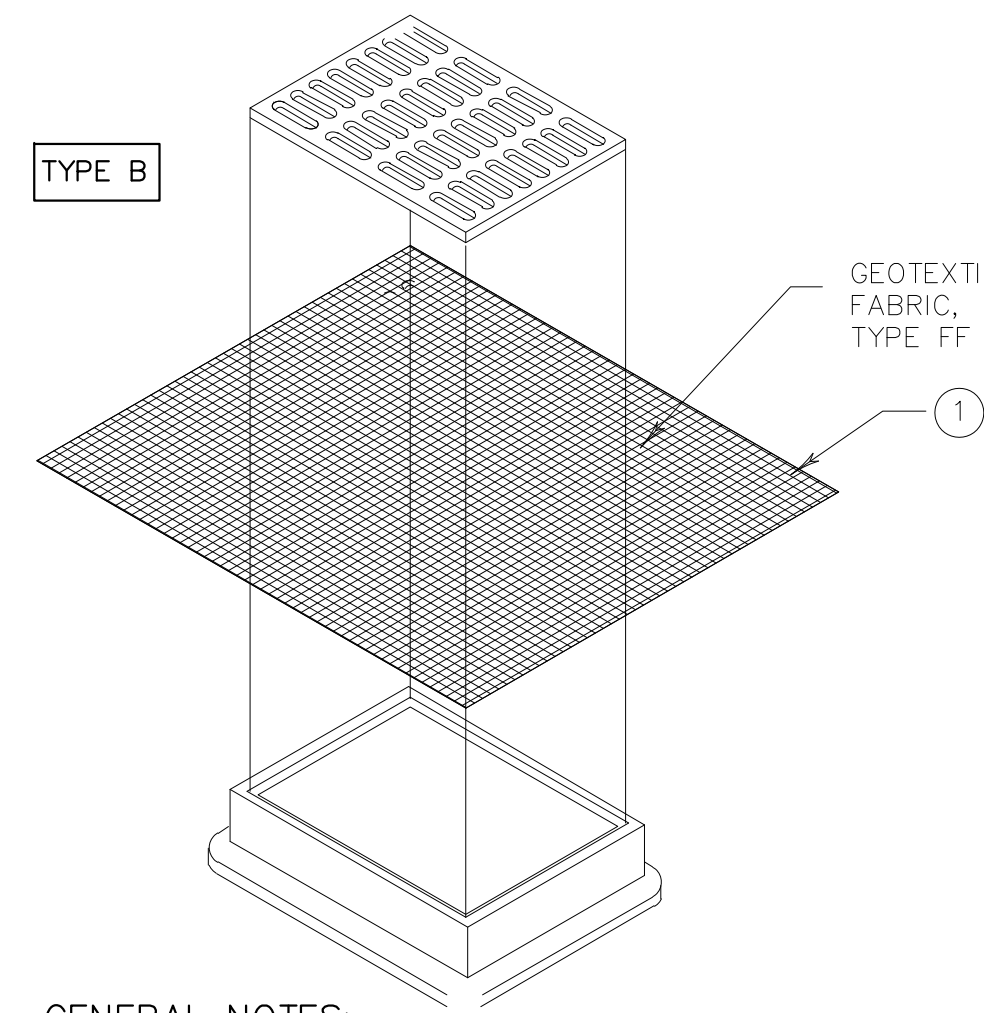


1 SEDIMENT SOCK
DPD-7A SCALE: NTS



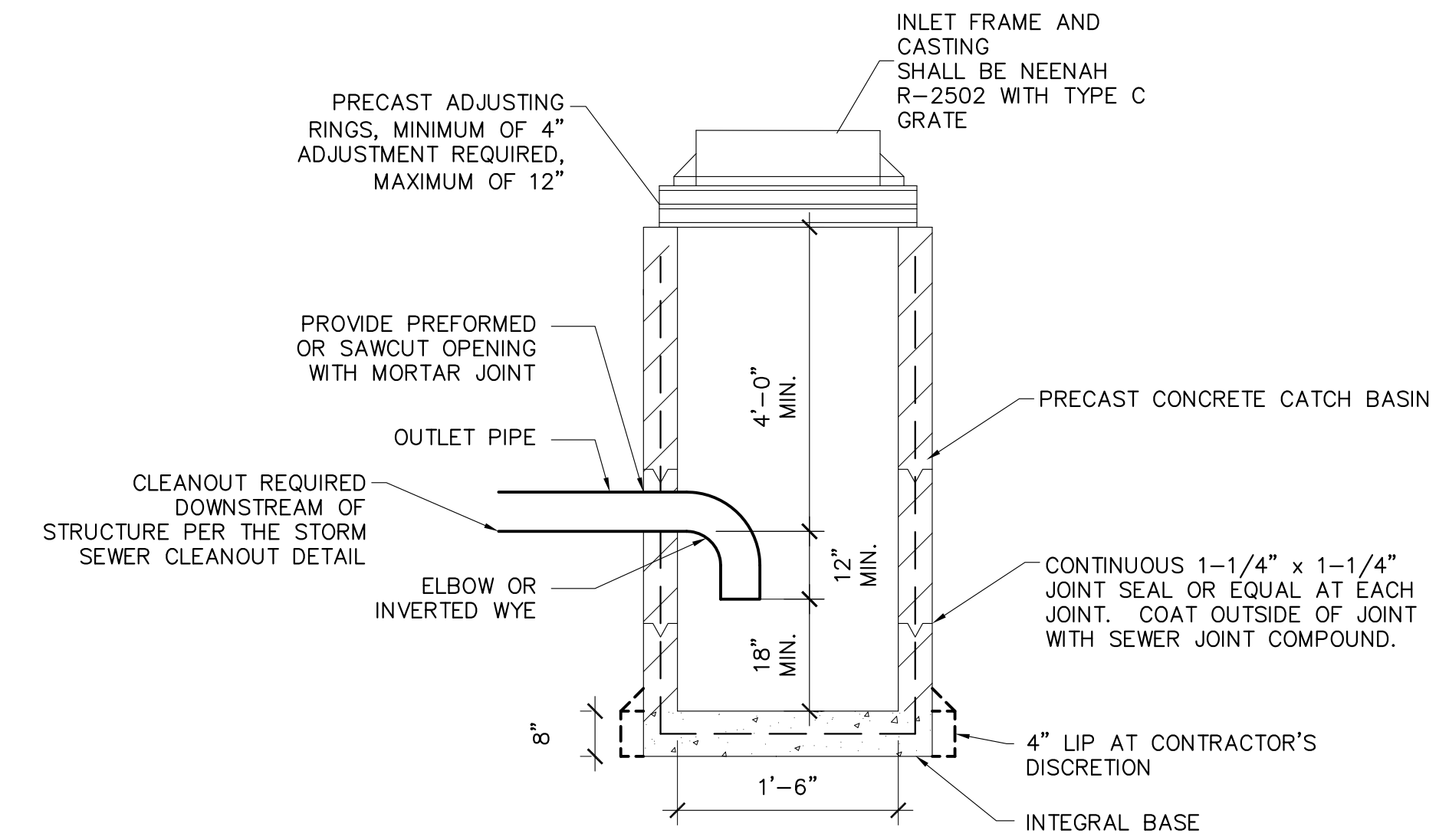
- GENERAL NOTES:**
- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FOR INSTALLATION WITH CURB BOX, AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.
- CONSTRUCT PER WDNR TECHNICAL STANDARD 1060.

2 INLET PROTECTION TYPE B & D
DPD-7A SCALE: NTS



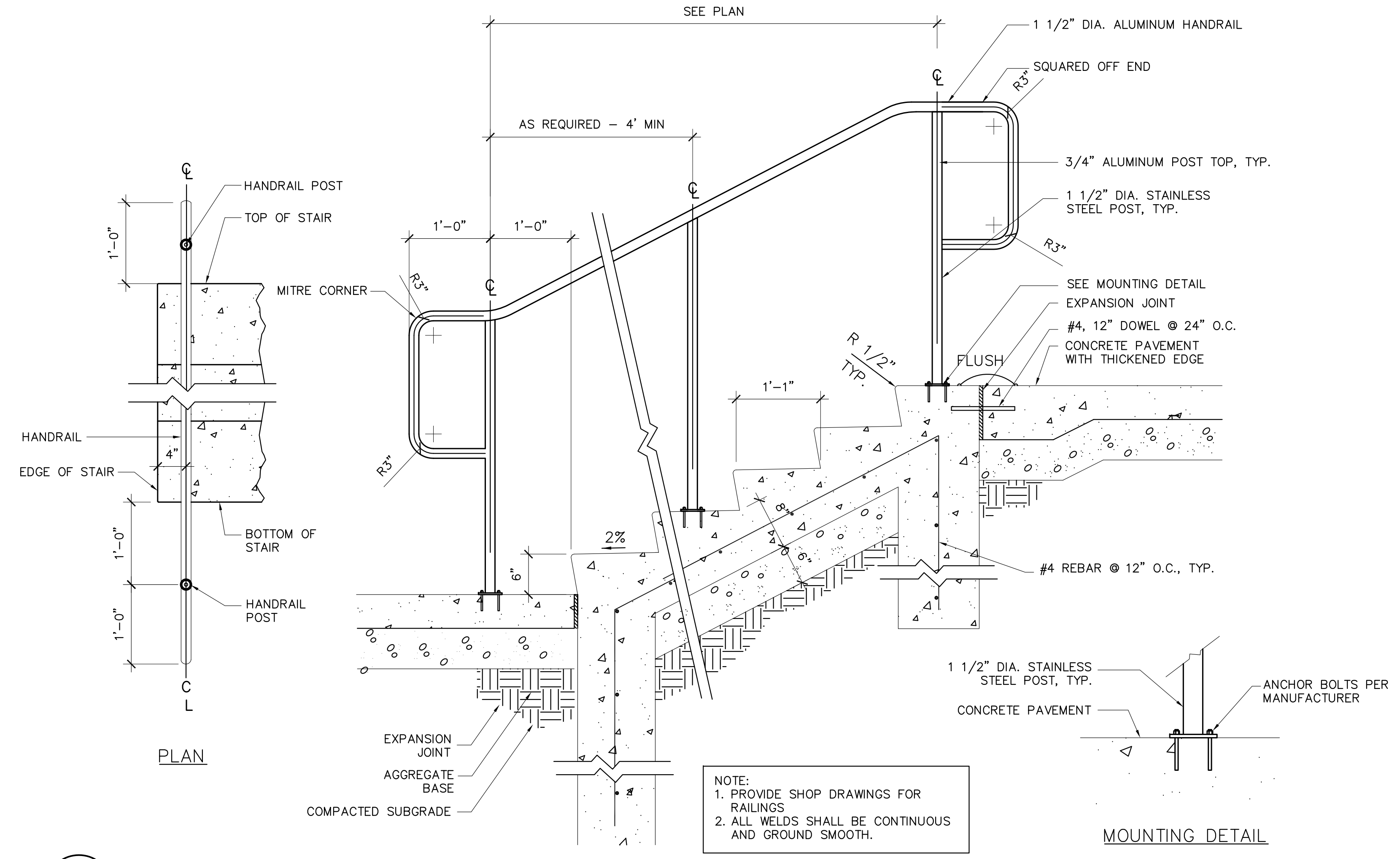
- GENERAL NOTES:**
- CONSTRUCT PER WDNR TECHNICAL STANDARD 1060
- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- NOTE:**
INLET PROTECTION TYPE D SHALL BE INSTALLED ON ALL INLETS GREATER THAN 30" DEEP. USE INLET PROTECTION TYPE B ON SHALLOWER INLETS.

3 STM CB
DPD-7A SCALE: NTS



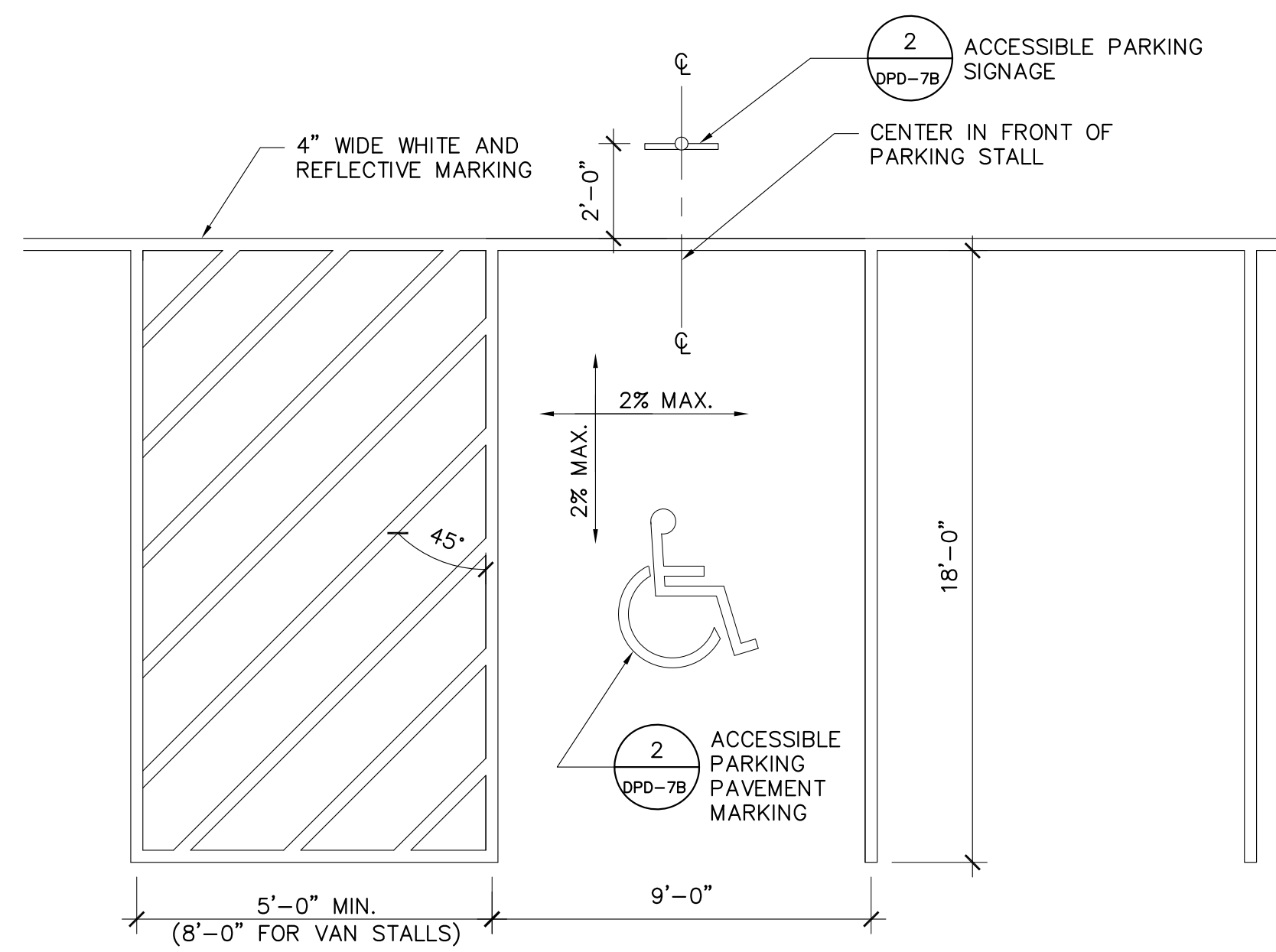
3 STM CB
DPD-7A SCALE: NTS

- EROSION NOTES:**
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED TO THE CITY FOR APPROVAL AND INDICATED ON THE PLAN.
 - INSTALL WISDOT TYPE B OR D (AS APPLICABLE) INLET PROTECTION AT ALL INLETS SHOWN ON THE PLANS. IF OTHER INLETS ARE FOUND WITHIN THE DRAINAGE AREA, THE CONTRACTOR SHALL PLACE INLET PROTECTION.
 - A TRACKING PAD WILL NOT BE REQUIRED FOR THIS CONSTRUCTION.
 - HOURS OF ACCESS TO SITE BY ANY CONTRACTOR SHALL CONFORM TO ALL CITY AND NEIGHBORHOOD ORDINANCES.
 - CONSTRUCTION ACCESS TO THE SITE WILL ONLY BE FROM 16TH STREET. CONTRACTOR SHALL ENSURE THAT ACCESS TO THE SITE IS CLEANED UP FROM DIRT AND TRACKED MUD AT THE END OF EACH DAY.
 - CONTRACTOR SHALL POST A COPY OF THE COVERAGE UNDER WPDES GENERAL PERMIT APPROVAL AT A CONSPICUOUS LOCATION ON THE PROJECT SITE FOR AT LEAST FIVE DAYS PRIOR TO CONSTRUCTION, AND REMAINING AT LEAST FIVE DAYS AFTER CONSTRUCTION. CONTRACTOR MUST ALSO HAVE A COPY OF THE PERMIT AND APPROVED PLAN AVAILABLE AT THE PROJECT SITE AT ALL TIMES UNTIL THE PROJECT IS COMPLETE.
 - CONTRACTOR SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE TECHNICAL STANDARDS AND THE WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LISTS (PAL).
 - ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE BUT NOT LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY. WRITTEN REPORTS WILL BE KEPT OF ALL EROSION AND SEDIMENT CONTROL INSPECTIONS AS REQUIRED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR).
 - SILT FENCE/SEDIMENT SOCK SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS PER DETAILS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE/SEDIMENT SOCK WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE/SEDIMENT SOCK WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
 - EROSION CONTROL MEASURES MUST BE IN PLACE AT THE END OF EACH WORK DAY.
 - ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
 - WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE BEEN TEMPORARILY SUSPENDED FOR MORE THAN SEVEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION SHALL BE IMPLEMENTED WITHIN SEVEN DAYS. TEMPORARY STABILIZATION PRACTICES SUCH AS MULCH/TACKIFIER, EROSION MAT, OR WISDOT TYPE B SOIL STABILIZER SHALL BE APPLIED TO THE SOIL SURFACE WHEN THE SITE IS NOT READY FOR PERMANENT RESTORATION. WHEN STABILIZATION IS NOT POSSIBLE DUE TO SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE.
 - STORM WATER AND GROUND WATER PUMPED FROM EXCAVATIONS AND/OR DEWATERING WELLS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE WISCONSIN STATUTES. SEDIMENT BASINS, SEDIMENT TRAPS AND/OR THE USE OF POLYMERS TO CONTROL SEDIMENT SHALL BE UTILIZED AND MEET THE REQUIREMENTS OF THE WISCONSIN WDNR TECHNICAL STANDARDS.
 - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 - THIS PLAN SHOWS NEW FINISHED GRADES. FOR ALL PAVEMENT AREAS, SUBTRACT THICKNESS OF PAVEMENT AND BASE COURSE SPECIFIED.
 - ALL DIMENSIONS SHOWN ARE TO DECIMAL FEET AND MEASURED TO EDGE OF PAVEMENT, UNLESS SPECIFIED OTHERWISE. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE.
 - CONTRACTOR TO PROVIDE UPDATED CONSTRUCTION SCHEDULE ON BI-WEEKLY BASIS.
 - PROVIDE TRAFFIC CONTROL DURING CONSTRUCTION AS REQUIRED TO MAINTAIN SAFE CONDITIONS FOR WORKERS AND THE PUBLIC.
 - IF DEWATERING IS NECESSARY, MAXIMUM OUTPUT MAY NOT EXCEED 70 GPM WITHOUT A PERMIT.
- *SEEDING AND STABILIZATION INFORMATION & DEADLINES ARE AS FOLLOWS:**
- CONTRACTOR TO USE WISDOT MIX #40 AT A RATE OF 3.0 LBS/1000 SF
 - CONTRACTOR TO USE ANNUAL SEEDING AT A RATE OF 2.0 LBS/1000 SF
 - CONTRACTOR TO APPLY FERTILIZER AT A RATE OF 2 LBS/1000 SF
- AFTER SEPTEMBER 15TH, A COOL WEATHER SEEDING COVER CROP MUST BE APPLIED (I.E. OATS)
AFTER OCTOBER 15TH, A DORMANT SEEDING COVER CROP MUST BE APPLIED (I.E. WINTER WHEAT)
AFTER NOVEMBER 15TH, A DORMANT SEEDING MUST BE APPLIED WITH AN ACCEPTABLE SOIL STABILIZER. (POLYACRYLAMIDE)

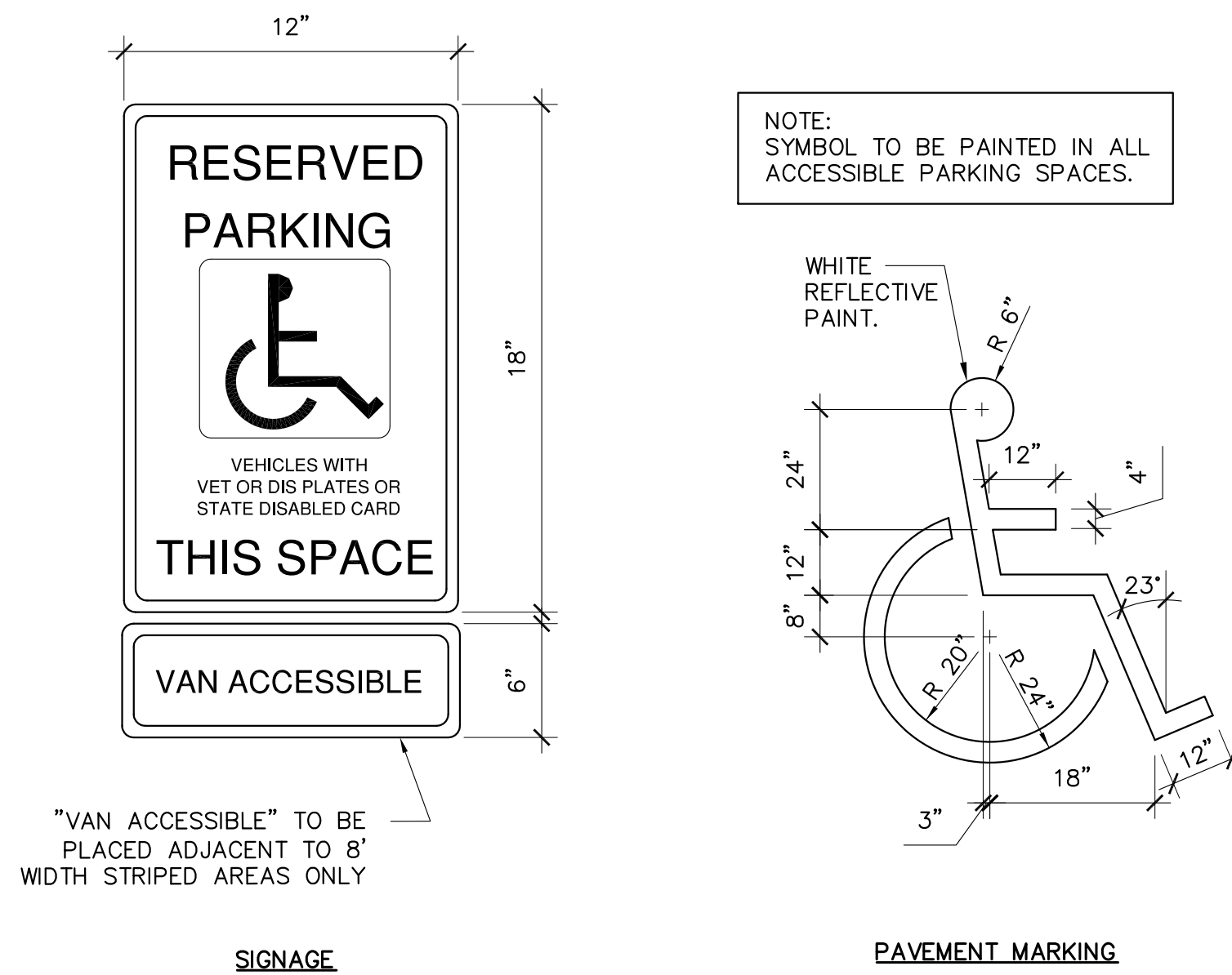


4 STAIRS / RAILING
DPD-7A SCALE: NTS

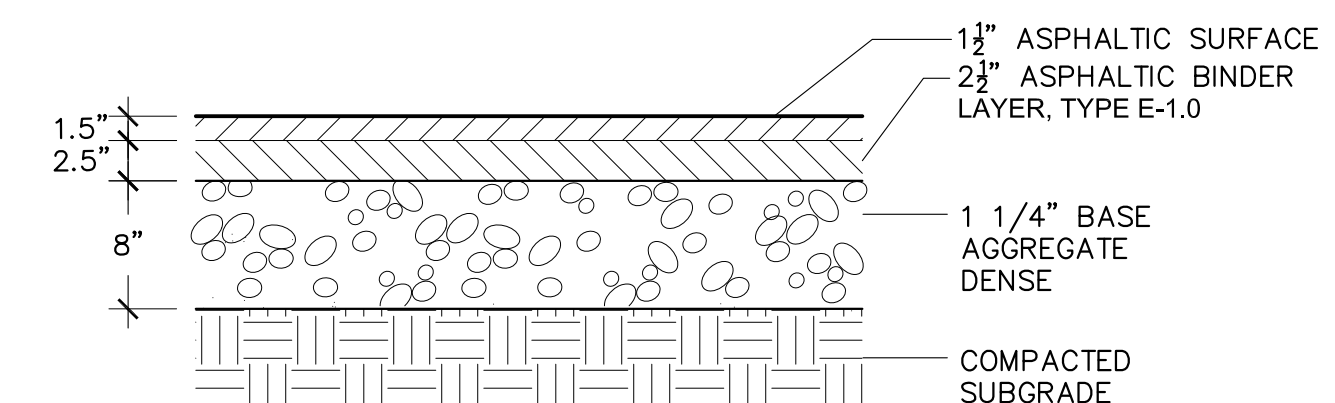
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PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016: R3/2016
SHEET NUMBER	DPD-7A



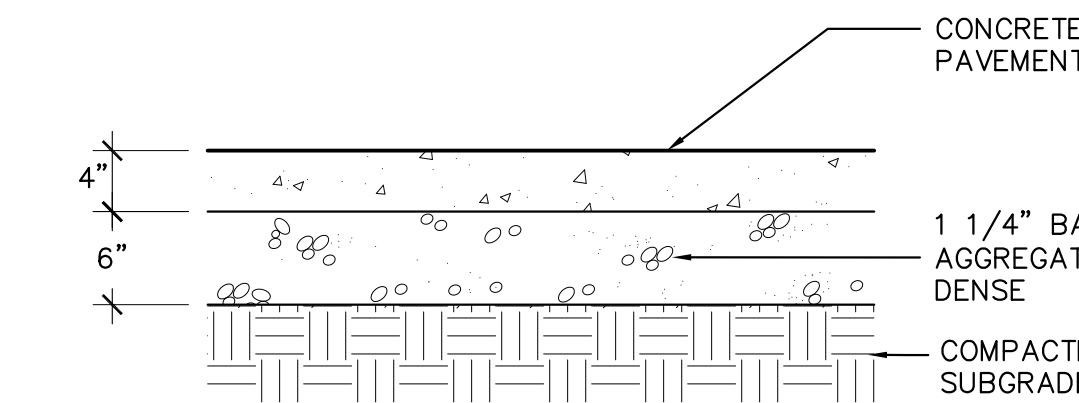
1 ACCESSIBLE PARKING
DPD-7B NTS



2 ACCESSIBLE PARKING SIGNAGE AND PAVEMENT MARKING
DPD-7B NTS

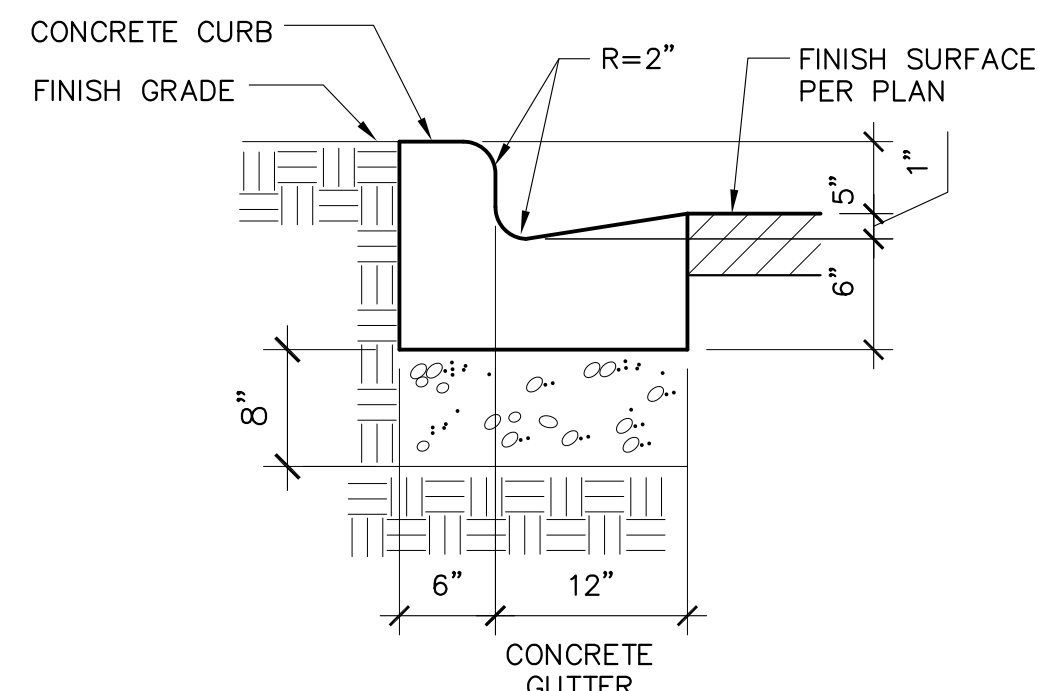


3 ASPHALT PAVEMENT
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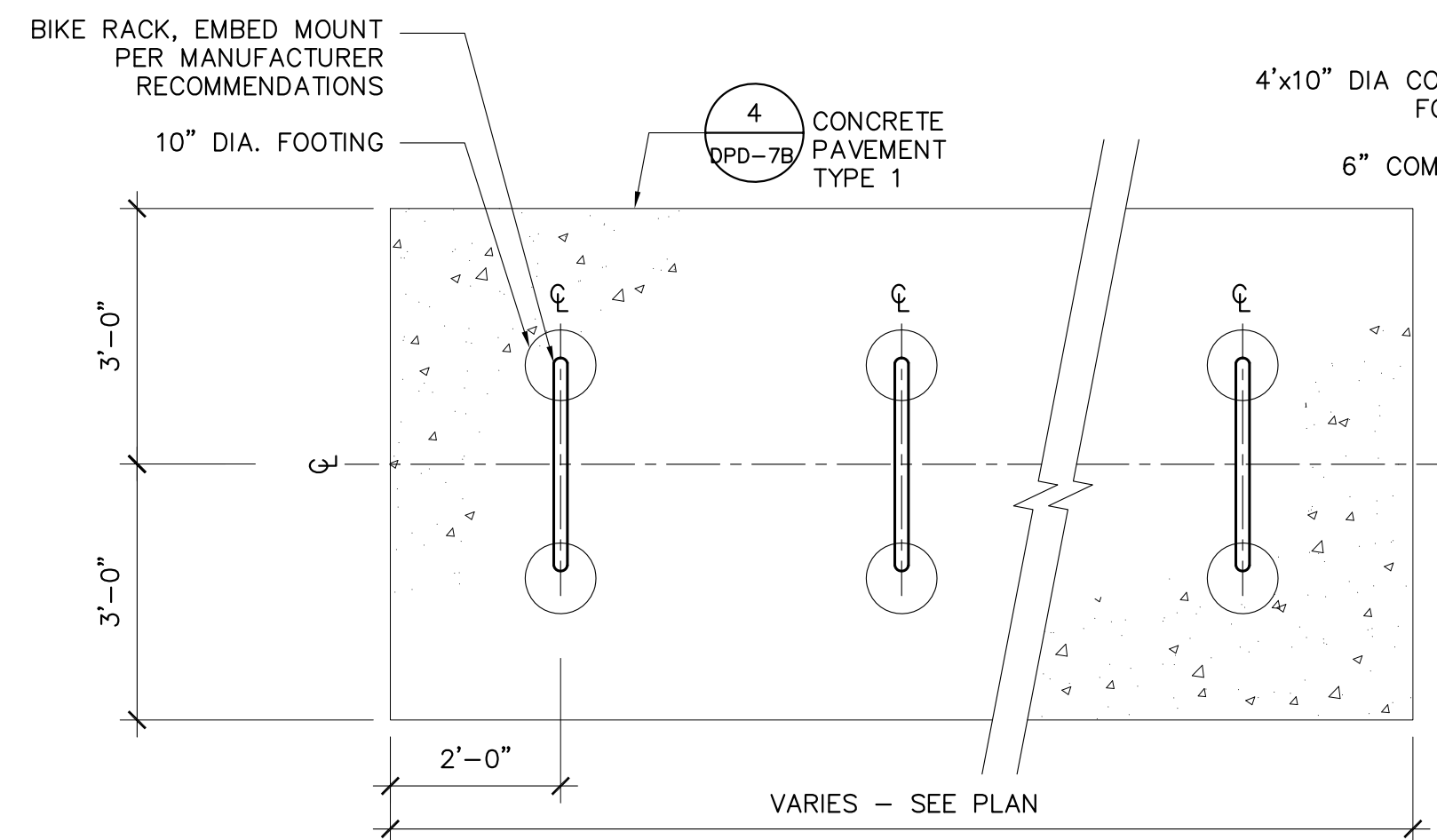


4 CONCRETE PAVEMENT
DPD-7B NTS

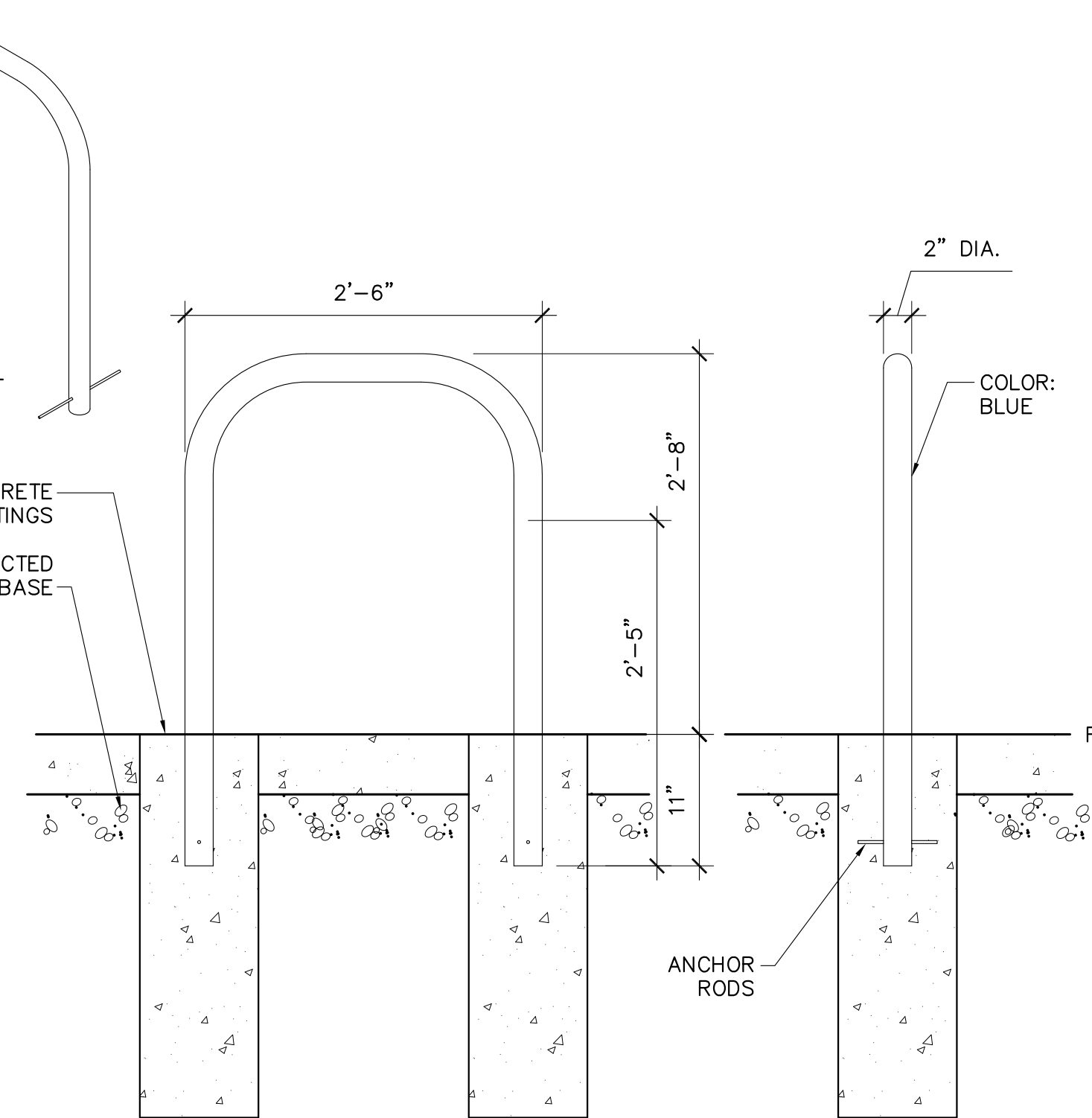
NOTES:
1. STANDARD COLOR CONCRETE
2. MEDIUM BROOM FINISH, PERP. TO DIR. OF TRAVEL
3. PROVIDE EXPANSION JOINTS 30' ALL WAYS, MINIMUM



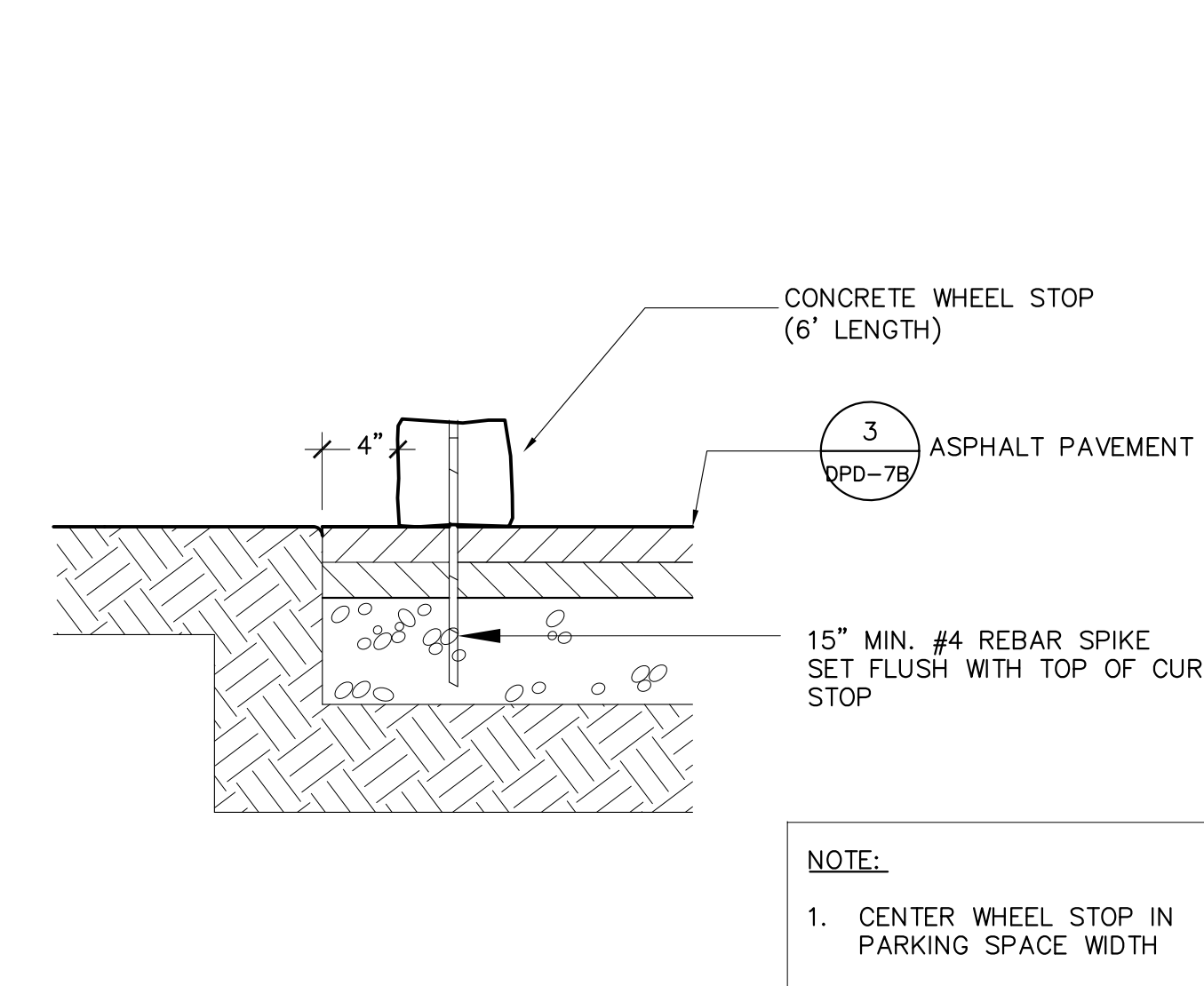
STANDARD CURB



6 BICYCLE PARKING
DPD-7B NTS

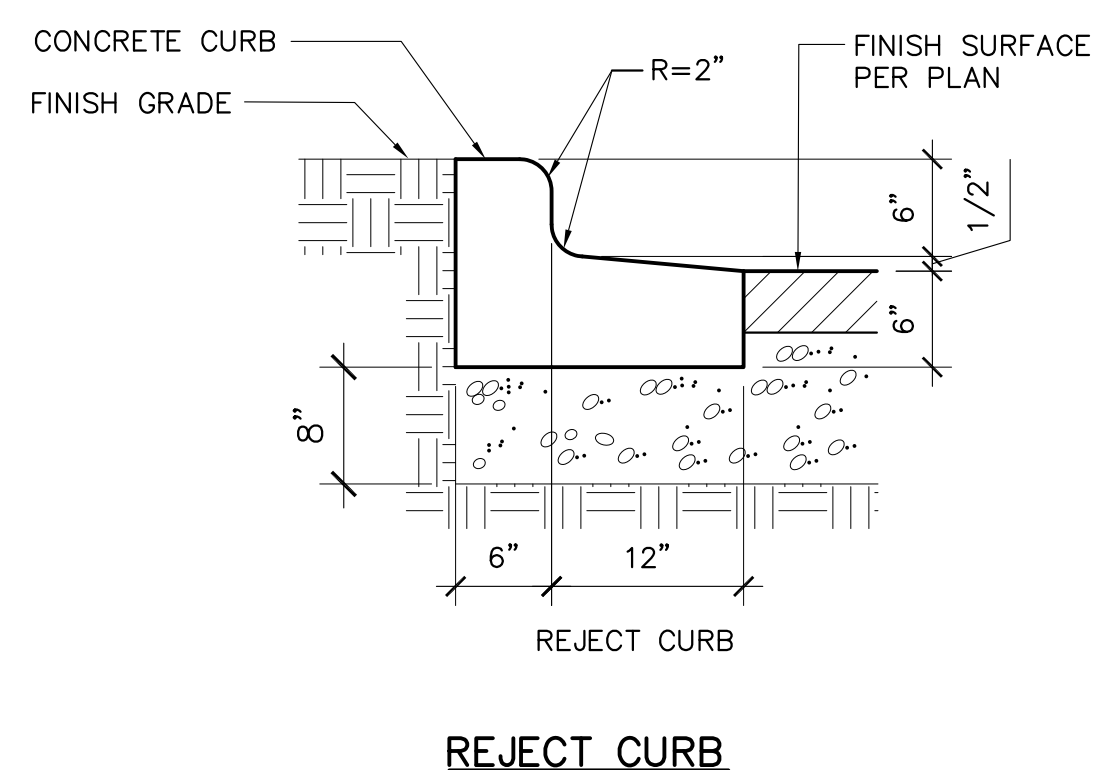


7 WHEEL STOP
DPD-7B NTS



3 WHEEL STOP
DPD-7B NTS

NOTE:
1. CENTER WHEEL STOP IN PARKING SPACE WIDTH



REJECT CURB

5 CONCRETE CURB & GUTTER 18-INCH
DPD-7B SCALE NTS

SCALE	VARIES
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016; R8/23/2016
SHEET NUMBER	DPD-7B



STREET VIEW - NORTH AVENUE AT 15TH STREET



STREET VIEW - NORTH AVENUE AT 16TH STREET



BIRDSEYE VIEW - TOWARD THE NORTHEAST



BIRDSEYE VIEW - TOWARD THE SOUTHWEST



BIRDSEYE VIEW - TOWARD THE NORTHWEST



BIRDSEYE VIEW - TOWARD THE SOUTHEAST



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15TH & NORTH HOUSING DEVELOPMENT

1500 WEST NORTH AVENUE, MILWAUKEE, WI

SHEET TITLE:

PROPOSED DEVELOPMENT EXTERIOR IMAGES

REVISIONS:

1. DPD - 08-23-2016

SCALE VARIES

PROJECT NUMBER 150303

SET TYPE DPD SUBMITTAL

DATE ISSUED 07/29/2016; R8/23/2016

SHEET NUMBER **DPD-8A1**



ENLARGED STREET VIEW - NORTH AVENUE AT 16TH STREET



ENLARGED STREET VIEW - NORTH AVENUE AT 15TH STREET



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15TH & NORTH HOUSING DEVELOPMENT

1500 WEST NORTH AVENUE, MILWAUKEE, WI

SHEET TITLE:
PROPOSED DEVELOPMENT EXTERIOR IMAGES

REVISIONS:

1. DPD - 08-23-2016

SCALE	VARIABLE
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016; R8/23/2016

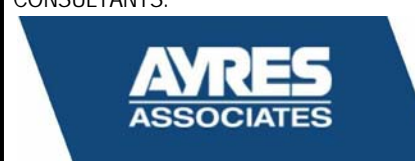
SHEET NUMBER
DPD-8A2



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2 SOUTH ELEVATION (NORTH AVE)
Scale: 1/16" = 1'-0"
0' 4' 8' 16' 24'



1 NORTH ELEVATION
Scale: 1/16" = 1'-0"
0' 4' 8' 16' 24'

15TH & NORTH HOUSING DEVELOPMENT

1500-1504, 1524, & 1528-1534 WEST NORTH AVENUE, MILWAUKEE, WISCONSIN

SHEET TITLE:
PROPOSED DEVELOPMENT EXTERIOR ELEVATIONS

REVISIONS:

1. DPD - 08-23-2016

SCALE	VARIABLE
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016; R8/23/2016
SHEET NUMBER	DPD-8B



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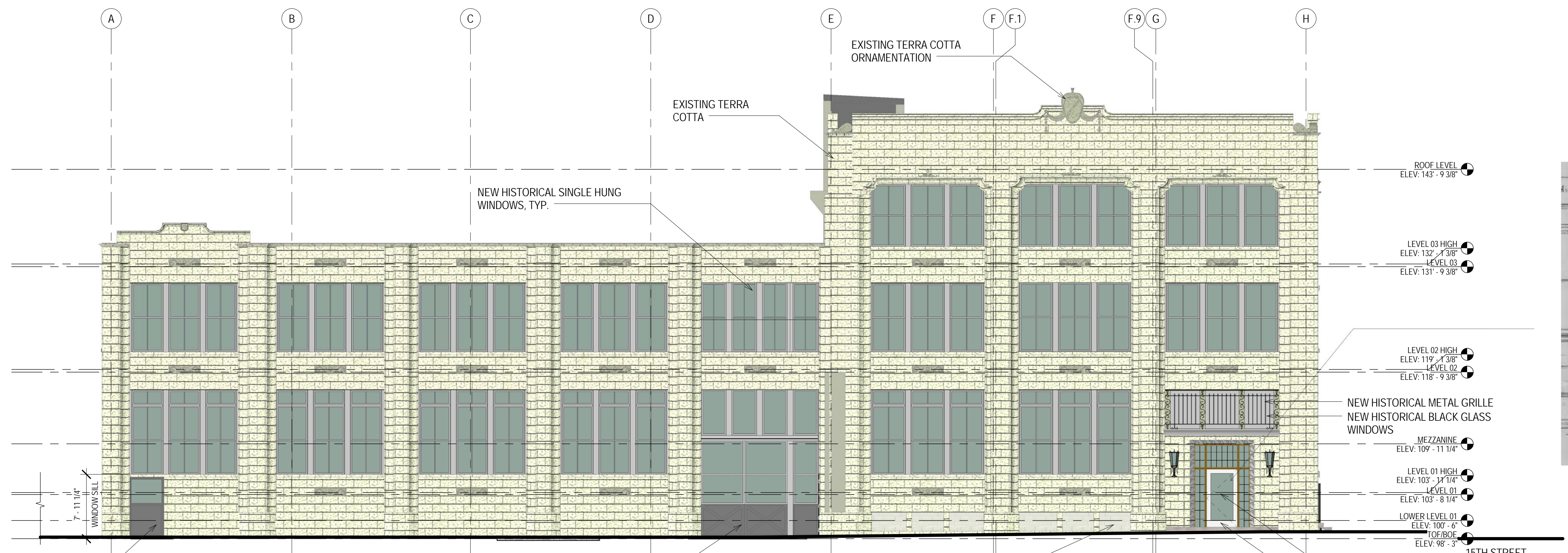
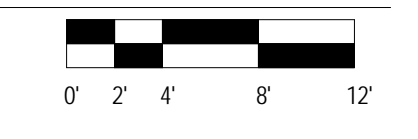
15TH & NORTH HOUSING DEVELOPMENT
1500-1504, 1524, & 1528-1534 WEST NORTH AVENUE, MILWAUKEE, WISCONSIN
SHEET TITLE: PROPOSED BUILDING ELEVATIONS - SOUTH

REVISIONS:
1. DPD - 08-23-2016

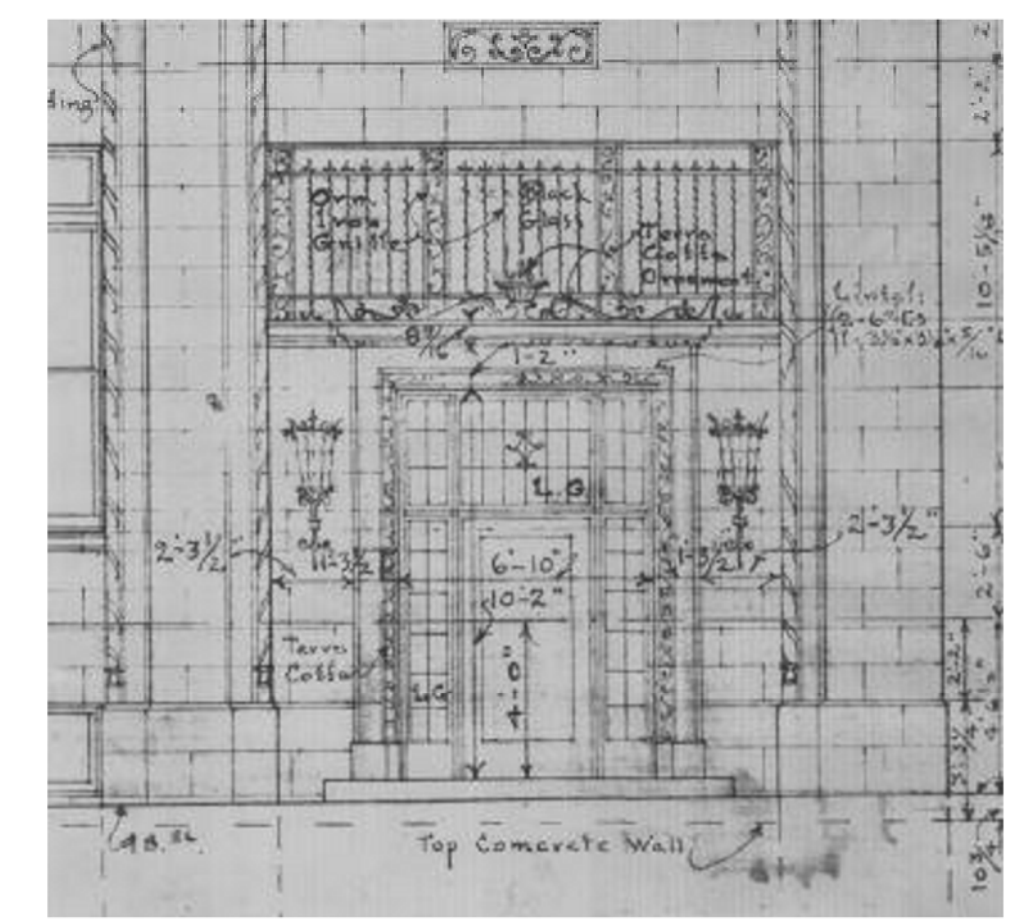
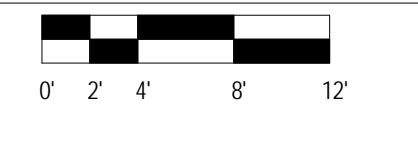
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SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016: R8/23/2016
SHEET NUMBER	DPD-8C



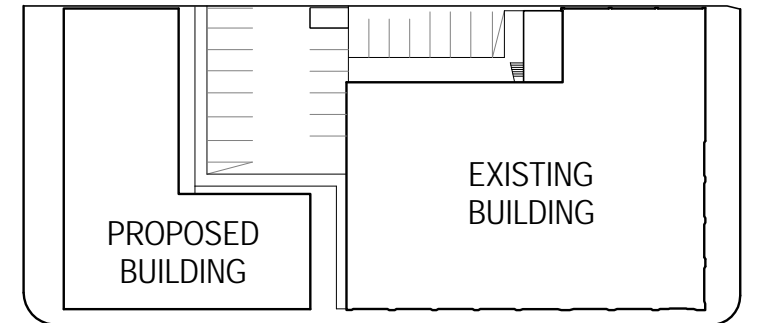
2 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



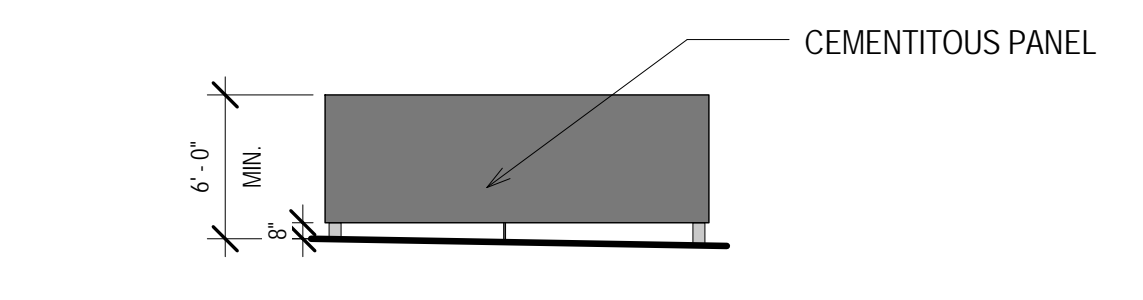
ORIGINAL HISTORICAL BUILDING ENTRANCE TO BE REESTABLISHED



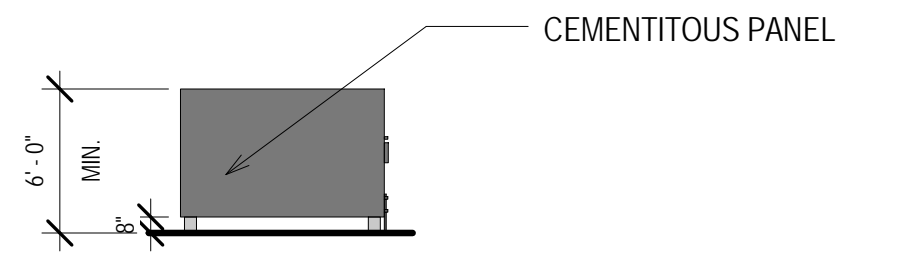
KEY PLAN
SCALE: 1" = 80'-0"



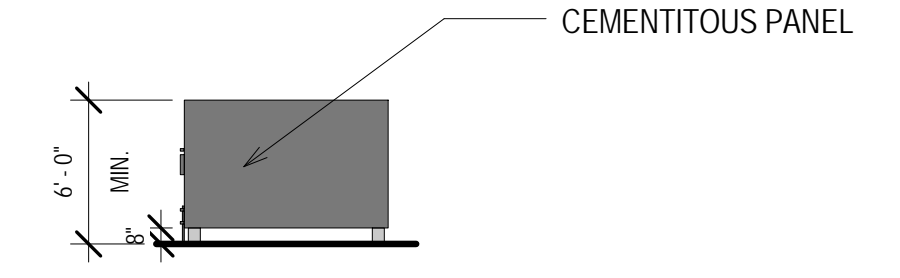
2 EAST ELEVATION
Scale: 1/8" = 1'-0"
0 2 4 8 12



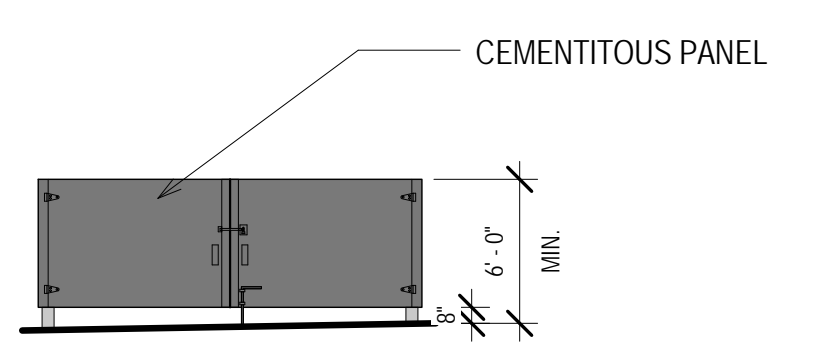
6 DUMPSTER ENCLOSURE - SOUTH
Scale: 1/8" = 1'-0"
0 2 4 8 12



5 DUMPSTER ENCLOSURE - EAST
Scale: 1/8" = 1'-0"
0 2 4 8 12



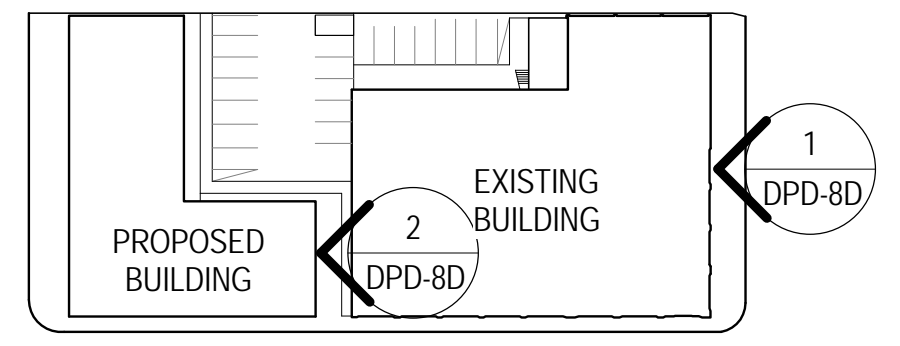
4 DUMPSTER ENCLOSURE - WEST
Scale: 1/8" = 1'-0"
0 2 4 8 12



3 DUMPSTER ENCLOSURE - NORTH
Scale: 1/8" = 1'-0"
0 2 4 8 12



1 EAST ELEVATION
Scale: 1/8" = 1'-0"
0 2 4 8 12



KEY PLAN
SCALE: 1" = 80'-0"



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15TH & NORTH HOUSING DEVELOPMENT

1500-1504, 1524, & 1528-1534 WEST NORTH AVENUE, MILWAUKEE, WISCONSIN

SHEET TITLE:
PROPOSED BUILDING ELEVATIONS - EAST

REVISIONS:

1. DPD - 08-23-2016

SCALE	VARIES
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016: R8/23/2016
SHEET NUMBER	DPD-8D



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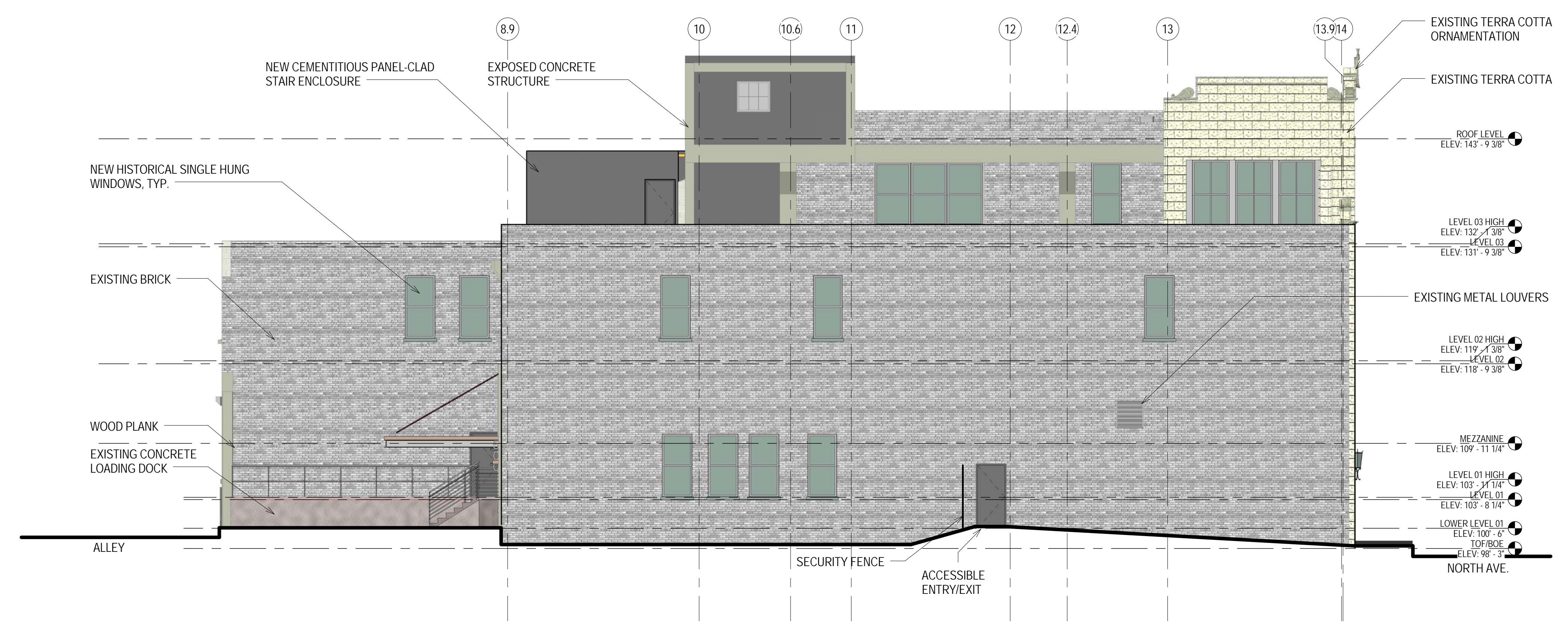
CONSULTANTS:
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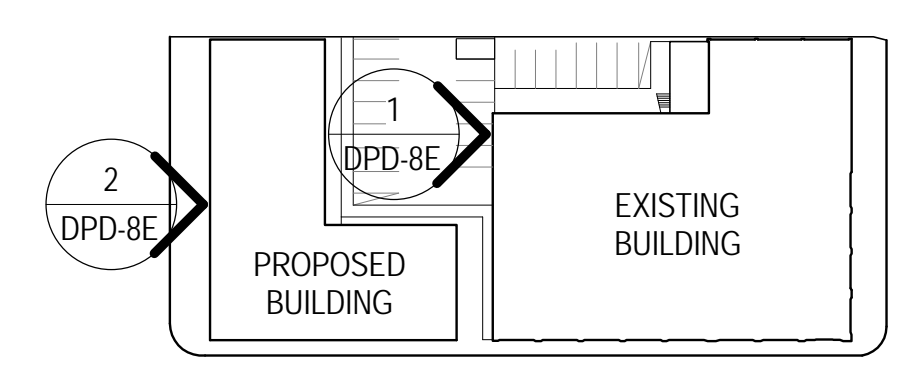
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2 WEST ELEVATION
Scale: 1/8" = 1'-0"
0' 2' 4' 8' 12'



1 WEST ELEVATION
Scale: 1/8" = 1'-0"
0' 2' 4' 8' 12'



KEY PLAN
SCALE: 1" = 80'-0"

15TH & NORTH HOUSING DEVELOPMENT

1500-1504, 1524, & 1528-1534 WEST NORTH AVENUE, MILWAUKEE, WISCONSIN

SHEET TITLE:
PROPOSED BUILDING ELEVATIONS - WEST

REVISIONS:

1. DPD - 08-23-2016

SCALE	VARIES
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016: R8/23/2016
SHEET NUMBER	DPD-8E



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15TH & NORTH HOUSING DEVELOPMENT
1500-1504, 1524, & 1528-1534 WEST NORTH AVENUE, MILWAUKEE, WISCONSIN
SHEET TITLE: PROPOSED BUILDING ELEVATIONS - NORTH

REVISIONS:
1. DPD - 08-23-2016

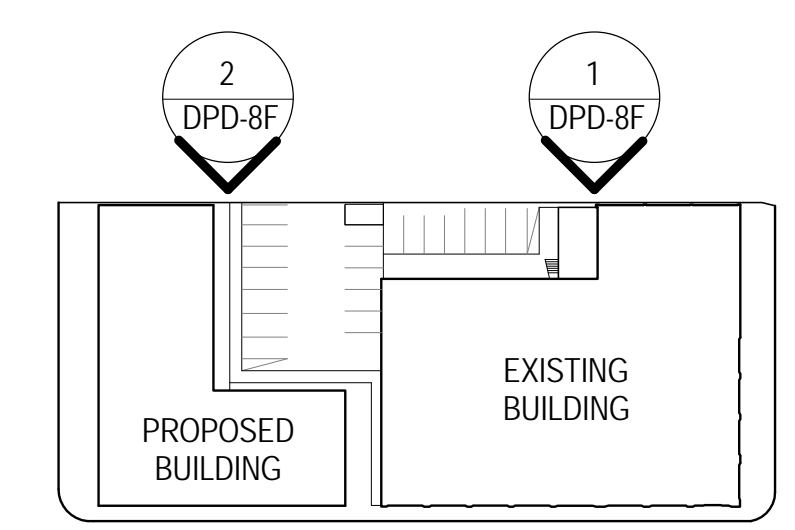
SCALE	VARIES
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016: R8/23/2016
SHEET NUMBER	DPD-8F



2 NORTH ELEVATION
Scale: 1/8" = 1'-0"
0' 2' 4' 8' 12'



1 NORTH ELEVATION
Scale: 1/8" = 1'-0"
0' 2' 4' 8' 12'



KEY PLAN
SCALE: 1" = 80'-0"



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15TH & NORTH HOUSING DEVELOPMENT

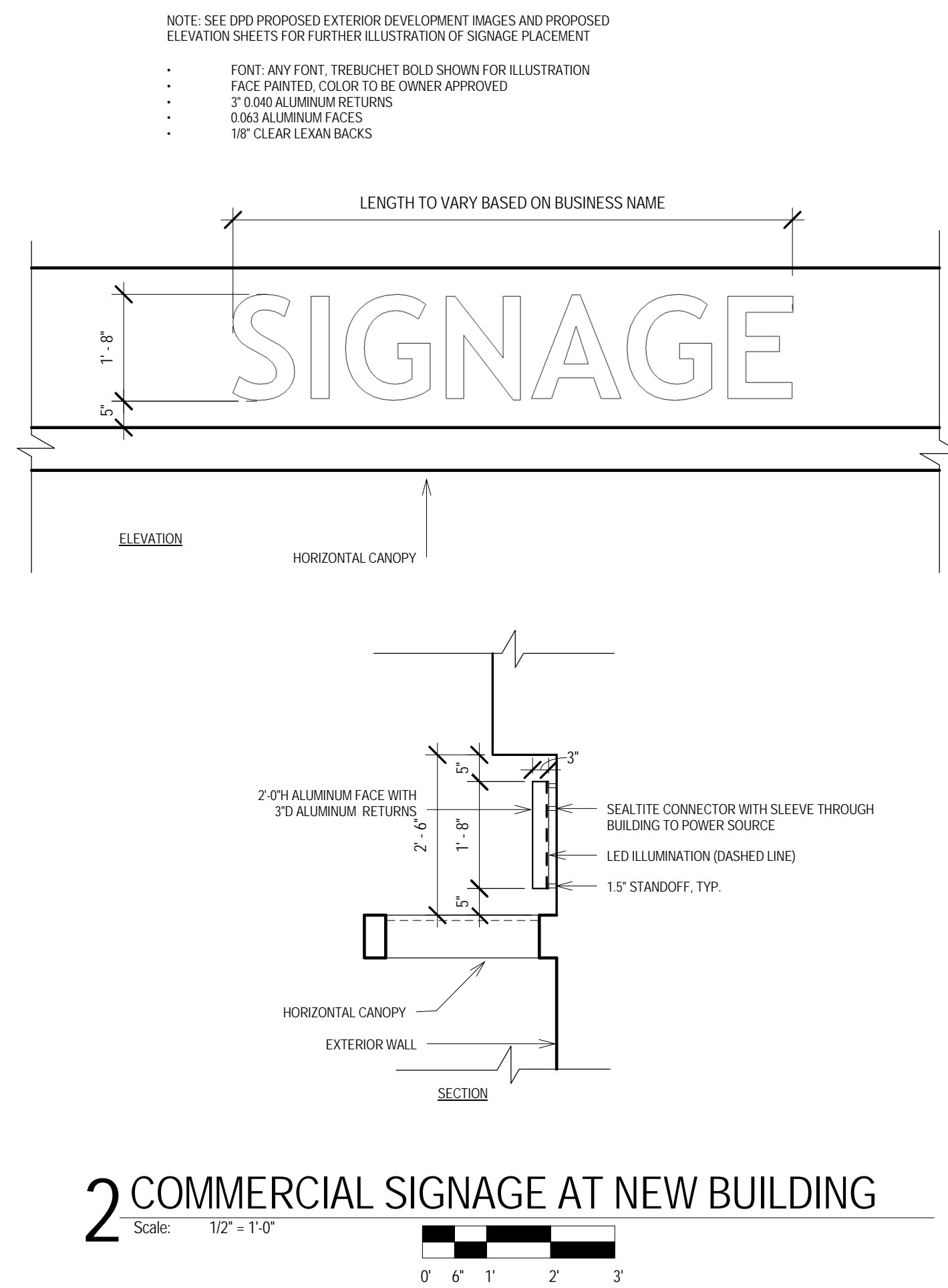
1500 WEST NORTH AVENUE, MILWAUKEE, WI

SHEET TITLE:
PROPOSED SIGNAGE

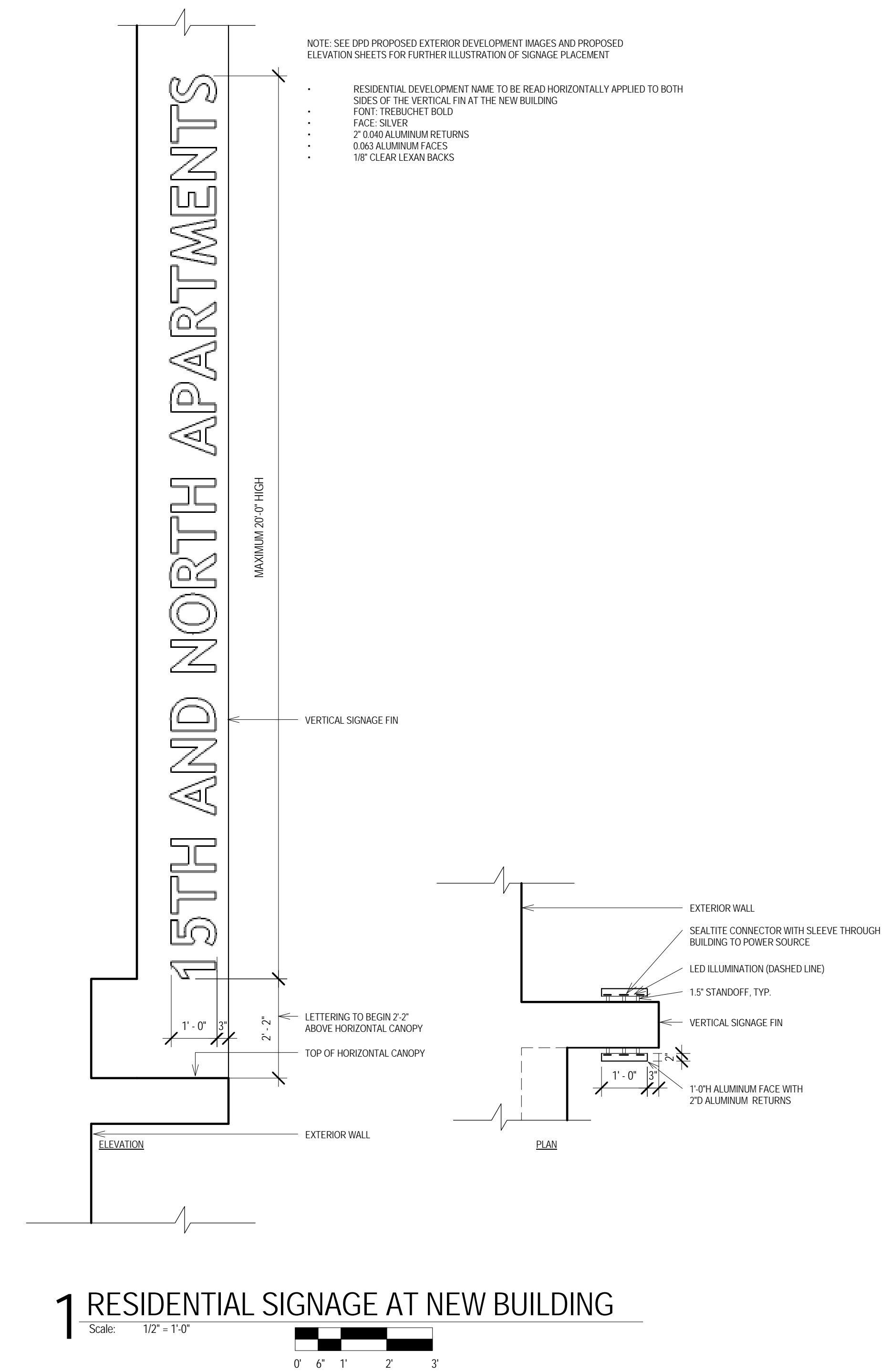
REVISIONS:

1. DPD - 08-23-2016

SCALE	VARIABLE
PROJECT NUMBER	150303
SET TYPE	DPD SUBMITTAL
DATE ISSUED	07/29/2016: R8/23/2016
SHEET NUMBER	DPD-9



2 COMMERCIAL SIGNAGE AT NEW BUILDING



1 RESIDENTIAL SIGNAGE AT NEW BUILDING