

NOTE: EXISTING BUILDING, COLUMNS, STRUCTURE, STAIRS, WALLS, ETC. ARE PER AS-BUILT DRAWINGS PREPARED BY MADISON ARCHITECTS, MILWAUKEE, WI.

AS STATED ON THE AS-BUILT DRAWINGS: DUE TO VARIATIONS FROM PLUMB, NON-90 DEGREE CORNERS, ETC. ACTUAL BUILDING DIMENSIONS MAY VARY SLIGHTLY FROM THOSE GIVEN. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AS REQUIRED BEFORE BIDDING OR CONSTRUCTION.

NOTE: THIS CONTRACT IS FOR BUILDING REMODELING, REPAIR AND ALTERATIONS ONLY, INCLUDING CONSTRUCTION OF FUTURE EAST AND WEST ENTRANCE CANOPIES, WEST ENTRANCE STAIR, WEST SIDEWALK, RELATED LANDSCAPING, H.C. RAMP, PARKING RAMP AND RELATED RETAINING WALLS, AND WORK INDICATED BY KEY NOTES BELOW. NO OTHER SITE WORK IS TO BE INCLUDED IN THIS CONTRACT.

SITE DESIGN ON GRADE PARKING LAYOUT, ASPHALT, CURBS, SITE LIGHTING, LANDSCAPING, ETC. TO BE BY OTHERS (N/C).

NOTE: SEE NOTATIONS AND SHADED AREAS ON SITE PLAN FOR AREA OF WORK IN THIS CONTRACT FOR CONSTRUCTION. ADJACENT PARKING LOT, PAVEMENT MARKINGS, CURBS, ETC. ARE SHOWN FOR REFERENCE ONLY. ACCURACY OF ADJACENT FEATURES THAT ARE NOT IN CONTRACT IS NOT CLAIMED.

- SITE PLAN NOTES:**
- 4" REINFORCED SLAB ON GRADE (3/4" #7x6" #0 W/EF, EPOXY COATED) ON COMPACTED GRANULAR BASE WITH CONTROL JOINTS AS REQUIRED, WITH 3" PERIMETER FOOT WALL AND FOOTING. BOTT. OF FTS. TO BE 48" BELOW GRADE/SEE STRUCTURAL FOR COMPACTION REQUIREMENTS & FOUNDATION DESIGN.
  - C.I.P. CONCRETE STAIR AND H.C. RAMP W/ ALUMINUM HANDRAILS AND EPOXY COATED REBAR REIN. & FIBERFRESH (OR EQ.) ON COMPACTED GRANULAR BASE. SEE STRUCTURAL FOR COMPACTION REQUIREMENTS, REINFORCEMENT AND FOUNDATION DESIGN.
  - C.I.P. CONCRETE RETAINING WALLS AND 4" REINFORCED SLAB ON GRADE (3/4" #7x6" #0 W/EF, EPOXY COATED) ON COMPACTED GRANULAR BASE, WITH 42" HIGH PAINTED STEEL TUBE GUARDRAIL W/ 1-1/2" DIA. INTERMEDIATE RAIL, ANCHORED INTO RETAINING WALL GUARDRAIL. TO BE CONTINUOUS FROM BUILDING EXTERIOR WALL TO FRONT BERE. GRADE IS LESS THAN OR EQUAL TO 30" ABOVE RAMP SURFACE. SEE STRUCTURAL DRAWINGS FOR COMPACTION REQUIREMENTS, REINFORCEMENT AND FOUNDATION DESIGN.

ALTERNATE BID #1. INSTEAD OF KEY NOTES #1 AND #2 ABOVE, PROVIDE REINFORCED 4" SLAB ON GRADE (3/4" #7x6" #0 W/EF, EPOXY COATED). SLOPE SLAB AND CONTOUR SITE AS REQUIRED FOR H.C. ACCESS, AND TO SLOPE & DRAIN AWAY FROM BUILDING (MAX. 1/8" CROSS SLOPE). BROOM FINISH. PROVIDE 8" x 8" x 4" 1'-0" Frost Wall @ BLDG. ENTRANCE TO SUPPORT ENTRANCE STOOP.

**THE ALBION GROUP**  
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ALL BUILDING DIMENSIONS, COLUMN SIZES AND LOCATIONS, AND WINDOW SIZES TO BE FIELD VERIFIED FOR ACCURACY.

**BOILER HOUSE BUILDING 10**

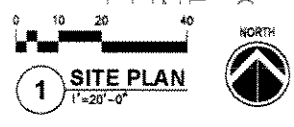
1243 N. 10th ST.

MILWAUKEE WISCONSIN

**SITE PLAN**

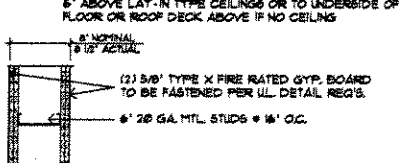
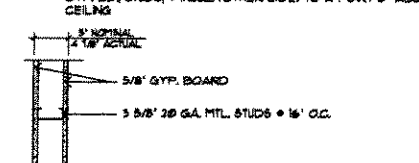
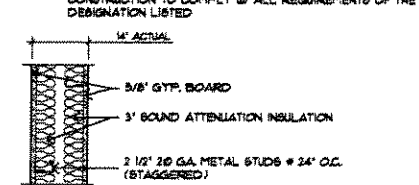
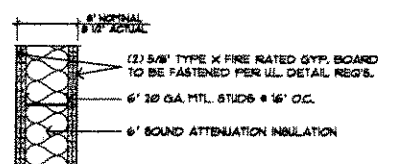
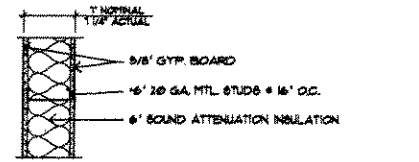
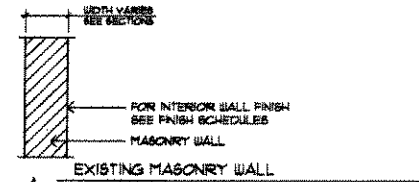
REVISIONS

DATE	11-06-07
PROJECT NO.	0713-00
SHEET	<b>A0.1</b>

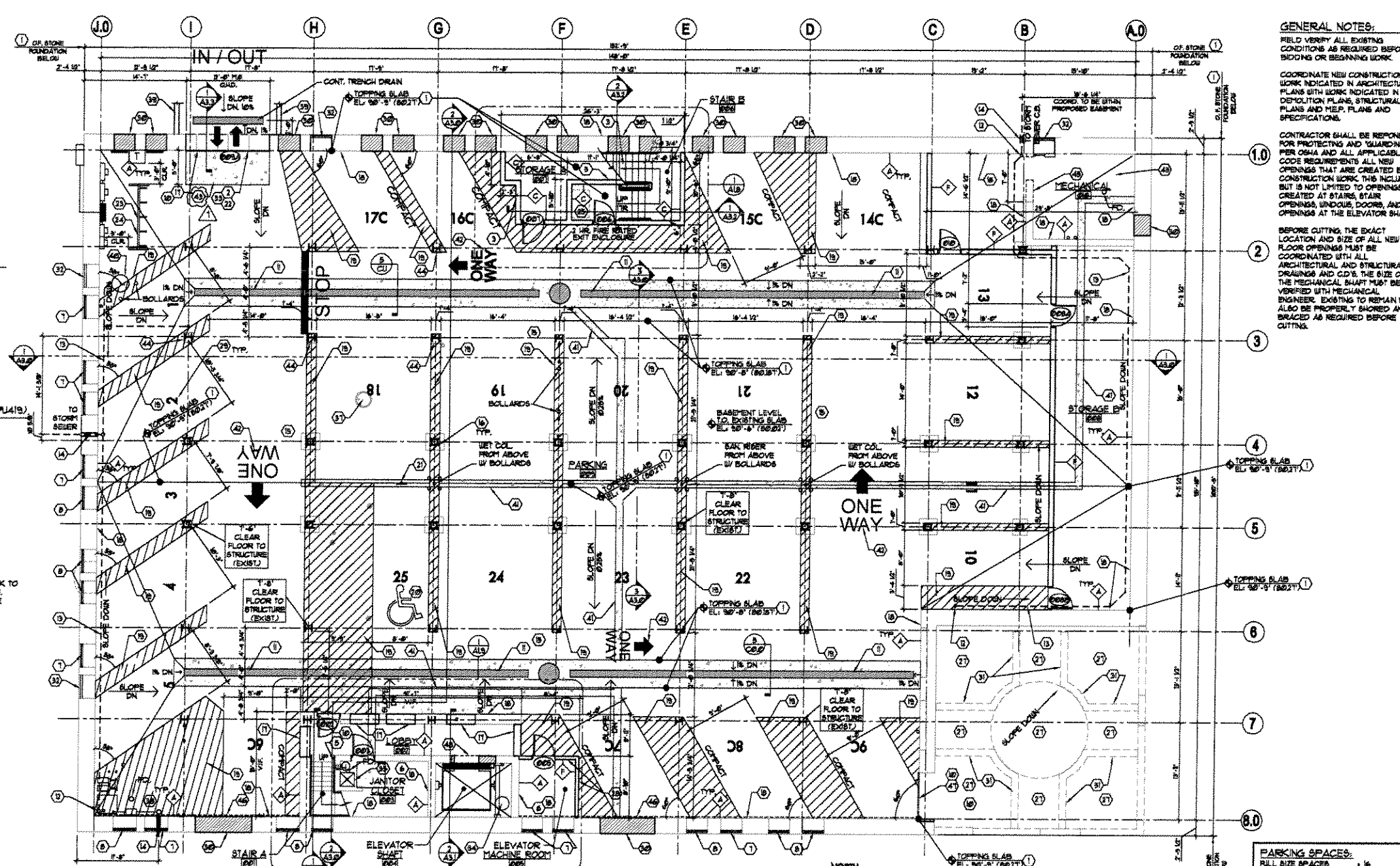


**1 SITE PLAN**  
1"=20'-0"

BEARIN TO GRI WISCOM SYSTEM (NAD'2



**2 WALL TYPES**  
NTS



**GENERAL NOTES:**  
FIELD VERIFY ALL EXISTING CONDITIONS AS REQUIRED BEFORE BIDDING OR BEGINNING WORK.  
COORDINATE NEW CONSTRUCTION WORK INDICATED IN ARCHITECTURAL PLANS WITH WORK INDICATED IN DEMOLITION PLANS, STRUCTURAL PLANS AND MECH. PLANS AND SPECIFICATIONS.  
CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND GUARDING PER OSHA AND ALL APPLICABLE CODE REQUIREMENTS ALL NEW OPENINGS THAT ARE CREATED BY CONSTRUCTION WORK THIS INCLUDES BUT IS NOT LIMITED TO OPENINGS CREATED AT STAIRS, STAIR OPENINGS, WINDOWS, DOORS, AND OPENINGS AT THE ELEVATOR SHAFT.  
BEFORE CUTTING THE EXACT LOCATION AND SIZE OF ALL NEW FLOOR OPENINGS MUST BE COORDINATED WITH ALL ARCHITECTURAL AND STRUCTURAL DRAWINGS AND CD'S. THE SIZE OF THE MECHANICAL SHAFT MUST BE VERIFIED WITH MECHANICAL ENGINEER. EXISTING TO REMAIN MUST ALSO BE PROPERLY SHORED AND BRACED AS REQUIRED BEFORE CUTTING.

**PARKING SPACES:**  
RILL SIZE SPACES = 16  
COMPACT SPACES = 8  
H.C. SPACES = 1  
TOTAL PARKING SPACES = 25  
C= COMPACT CAR ONLY SPACE

**1 BASEMENT FLOOR PLAN**  
1/8" = 1'-0"

**INTERIOR RENOVATION NOTES:**

- ALT. BID #1: CLEAN PREPARE EXIST. SLAB ON GRADE 4 INSTALL NEW SLOPED CONCRETE TOPPING SLAB. IF ALT. BID #2 IS ACCEPTED 4 APPROVED FOR CONSTRUCTION KEY NOTE #5 SHALL APPLY TO SURFACE OF NEW TOPPING SLAB.
- REMOVE EXIST. FOUND. WALL TO 8" BELOW EXIST. SLAB ON GRADE. RUN NEW SLAB OVER.
- 2 HOUR FIRE RATED WALL CONTINUOUS FROM FLOOR TO UNDERSIDE OF FIRE RATED STAIR.
- 8" WATER SERVICE ENTRANCE INTO BLDG. SEE PLUMBING PLANS / WALL DTL'S.
- EXISTING STAIR TO REMAIN. CLEAN AND REFINISH EXISTING. INSTALL NEW TOE BOARDS, GUARDRAILS, HANDRAILS, FLOOR FINISH AT LANDINGS AND ON EXISTING TREADS. SEE DEMOLITION PLANS, ENLARGED STAIR PLANS AND STAIR DETAILS. GUARD ALL OPENINGS.
- EXISTING 2 HOUR FIRE RATED ELEVATOR ENCLOSURE.
- NEW NON-THERMAL GLAZED WINDOW 4 FRAME TO MATCH EXIST. MASS. OPENG. V.I.F. EXIST. WINDOW DIMENSIONS, DETAILS AND EXIST. CONDITIONS.
- EXISTING WINDOW TO REMAIN 4 BE RESTORED IN PLACE. RESTORATION TO INCLUDE REPLACING BROKEN GLASS, REPAIRING 4 REPLACING GLAZING PUTTY, REPAIRING OR RESTORING EXISTING WINDOW FRAME AS REQUIRED 4 REPAINTING. COLOR TO BE SELECTED BY ARCHITECT.
- NOT USED.
- MODIFY EXISTING HEAD, JAMBS 4 SILL AS REQUIRED PER NEW DOOR WINDOW OR ACCESS PANEL.
- ALT. BID #1: NEW TRENCH DRAIN BY PLUMBING CONTRACTOR. SAUCUT EXISTING FLOOR SLAB AS REQUIRED FOR NEW DRAIN, PIPING 4 NEW SLOPED SLAB AS SHOWN. INSTALL NEW TRENCH DRAIN 4 PIPING ON COMPACTED GRANULAR BASE. INSTALL NEW CIP. FLOOR SLAB SLOPED TO DRAIN. SEE PLUMBING PLANS FOR REQUIRED DETAILS 4 ROUTE TO SANITARY SEWER.
- NEW VERTICAL STORMWATER CONDUCTOR ATTACHED TO EXISTING BASEMENT WALL. SEE PLUMBING PLANS 4 SPECS FOR DESIGN 4 ALL DETAILS. SHOWN HERE FOR REFERENCE ONLY. FIRESTOPS AT ALL FLOOR OPNGS.
- NEW SLOPED HORIZONTAL STORMWATER CONDUCTOR ATTACHED TO EXISTING BASEMENT WALL. SEE PLUMBING PLANS 4 SPECS FOR DESIGN AND DETAILS. PROVIDE CLEANOUTS AS REQUIRED.
- WATERPROOF PIPE SLEEVE THROUGH FOUNDATION WALL. SEE PLUMBING PLANS 4 SPECS. FOR DESIGN AND DETAILS. ELEVATION 4 DESIGN TO BE COORDINATED W/ STORM DRAINAGE DESIGN AT PARKING LOT.
- COORDINATE W/ KEY NOTE #1: CLEAN 4 PREPARE EXISTING SLAB ON GRADE TO RECEIVE NEW CONCRETE SEALER SYSTEM. COLOR TO BE SELECTED BY ARCHITECT. PREPARE SURFACE 4 FINISH PER SEALANT MANUFACTURER RECOMMENDATIONS. TYPICAL FOR ENTIRE EXISTING FLOOR SLAB AREA, EXCLUDING AREA IN CRAWL SPACE.
- BASE BID: REMOVE LOOSE PAINT ON EXIST. STEEL COLUMNS, CAP PLATES, ETC. REFINISH WITH RUST INHIBITIVE PRIMER COLOR TO BE SELECTED BY ARCHITECT.
- ALT. BID #1: BEFORE PRIMING OR PAINTING, REMOVE RUST ON EXISTING STEEL COLUMNS, BEAMS, CAP PLATES, ETC. BEFORE BIDDING, VERIFY EXISTING AMOUNT OF RUSTED STEEL. REFINISH WITH RUST INHIBITIVE PRIMER. COLOR TO BE SELECTED BY ARCHITECT.
- REFILL EXIST. MASONRY OPENING WITH GALV. MTL. STUDS AT 16" O.C. AND IMPACT RESISTANT 5/8" GYP. BO.
- EXISTING MASONRY WALL TO REMAIN. REMOVE LOOSE PAINT, PRIME 4 PAINT. COLOR TO BE SELECTED BY ARCHITECT. TYP. UNO. # ALL EXIST. WALLS.
- NEW PARKING LOT STRIPING TO BE PER USDOT, 4 OSHA STANDARDS.
- NEW ADA PARKING SYMBOL 4 STRIPING TO BE PER LOCAL CODE 4 ADA REQUIREMENTS.
- NEW VAN ACCESSIBLE H.C. PARKING SIGN TO BE PER IBC, USDOT 4 ADA STANDARDS.
- NEW OVERHEAD INSULATED DOOR IN NEW DOOR OPENING.
- BICYCLE RACK DINQ MODEL '95-'94' OR EQ. SEE T.C.U.
- MOTORBIKE RACK DINQ MODEL '95-'94' OR EQ. SEE T.C.U.
- 36" x 48" WHEEL CHAIR SPACE.
- SAUCUT NEW SLAB CONTROL JOINT, 1/4" W X 1/4" DR. TYPICAL ALONG COLUMN CENTERLINES 4 AS INDICATED. SEE TYP. DETAILS.
- INSTALL 1/2" IN-REINFORCED SLAB ON GRADE AT EXIST. CRAWLSPACE.
- 2 HOUR FIRE RATED ELEVATOR MACHINE ROOM. SEE TYP. WALL TYPES.
- PAINTED PARKING SPACE NUMBER TYPICAL UNO.
- PREVIOUSLY INFILLED FOUNDATION WALL, NOT IN CONTRACT.
- EXIST. ABANDONED BOILER PNDNS. CORE THROUGH AS REQ'D. FOR NEW CONSTR. V.I.F. EXIST. CONDITIONS.
- NEW EXHAUST LOUVER. COORDINATE WITH MECHANICAL DUGS.
- CONT. CONST. JOINT.
- NEW SUMP. SEE PLUMBING PLANS FOR ALL DETAILS. COORD. LOCATION TO CLEAR EXIST. FOOTINGS 4 ELEVATOR EQUIP. ADD TOPPING SLAB AS REQ'D. TO DRAIN TO ANY SUMP.
- HOP SINK SEE PLUMBING PLANS FOR ALL DETAILS.
- HEATING UNIT IN ELEV. SHAFT. SEE MECHANICAL PLANS FOR ALL DETAILS. MUST COORD. LOCATION W/ ELEVATOR FRGR. CLEARANCES 4 REQ'S.
- EXIST. CATCH BASIN TO BE ABANDONED.
- SPRINKLER EQUIP. RISER, ETC. SEE PLUMBING PLANS.
- RETAINING WALL 4 DETAILS. SEE STRUCT. DUGS.
- PLMP BELOW GRADE FOR TRENCH DRAIN. SEE PLUMBING PLANS.
- MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS ARE EACH RESPONSIBLE FOR CUTTING 4 PATCHING THEIR WORK. SEE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR THAT WORK. SUCH CUTTING 4 PATCHING INDICATED HERE FOR REFERENCE ONLY. PATCH BACK SLAB AND DOORSEL TO EXIST. SLAB AS REQ'D. COORDINATE WITH PLUMBING PLANS FOR FULL EXTENT OF NEW WORK AND STRUCTURAL PLANS FOR DETAILS.
- NEW PAINTED TRAFFIC SYMBOLS. SEE 320U.
- PATCH BACK EXIST. SLAB AS REQUIRED AT REMOVED STAIR OR OTHER DEMOLISHED ITEM.
- PART OF EXIST. MASS. WALL TO REMAIN AS PIER. VERIFY WITH STRUCT'L. MIN. SIZE OF PIER TO REMAIN.
- REMOVE PART OF EXIST. MASONRY BEARING WALL AS INDICATED. SHORE 4 BRACE EXIST. WALL 4 FLOOR ABOVE AS REQUIRED. SEE STRUCTURAL PLAN AND DETAILS.
- INSTALL NEW STL. BRG. CHANNEL AS REQ'D AT EXIST. EAST WALL. PRIME AND FINISH PAINT W/ INDUSTRIAL CORROSION RESISTANT FINISH SYSTEM. COLOR TO BE SELECTED BY ARCHITECT. BACK SIDE OF CHANNEL TO BE COATED W/ ASPHALTIC PAINT. SEE STRUCTURAL PLANS AND DETAILS.
- NEW PAINTED MTL. ACCESS PANEL. SIZE TO FIT EXIST. OPENING. V.I.F. EXIST. DIMS.
- MODIFY EXISTING WALL, HEAD, JAMBS, SILLS AS REQUIRED TO INSTALL NEW AUTOMATIC ELEVATOR DOOR. INFILL WITH RECLAIMED BRICK TO MATCH EXIST. BRICK COLOR AND MORTAR. TOOTH NEW BRICK TO BLEND WITH EXIST. AND CONCEAL NEW JOINTS. SEQUENCE WITH ELEVATOR INSTALLATION AS REQUIRED.

MECHANICAL, ELECTRICAL, PLUMBING AND ELEVATOR CONTRACTORS SHALL SAUCUT AND PATCH BACK AS REQUIRED FOR THEIR WORK. SEE MECH. ELEC. PLUMB PLANS AND ELEVATOR SHOP DUGS. FOR THAT WORK.

MASONRY CONTRACTOR SHALL COMPLETELY AND THOROUGHLY INSPECT ALL EXIST. MASONRY AND PREPARE A BID FOR NON-STRUCTURAL AND STRUCTURAL MASONRY REPAIR. INSPECTION OF EXIST. MASONRY PARAPETS FOR STRUCTURAL REPAIR SHALL BE DONE ACCORDING TO THE REQUIREMENTS, GUIDELINES AND STANDARDS SET BY THE STRUCTURAL ENGINEER OF RECORD.

MASONRY RESTORATION WORK SHALL INCLUDE REQUIRED TUCKPOINTING AND REPLACEMENT OF MASONRY UNITS ON THE EXTERIOR AND INTERIOR SIDES OF EXTERIOR WALLS AND STRUCTURAL MASONRY REPAIR, INCLUDING STRUCTURAL REPAIR OF PARAPETS, BEARING WALLS AND REPLACEMENT OF EXISTING MASONRY ARCHES AS REQUIRED. SEE STRUCTURAL DRAWINGS FOR EXTENT OF STRUCTURAL MASONRY REPAIRS AND FOR ALL DETAILS.

NOTE: EXISTING BUILDING, COLUMNS, STRUCTURE, STAIRS, WALLS, ETC. ARE PER AS-BUILT DRAWINGS PREPARED BY MADISON ARCHITECTS, MILWAUKEE, WI.

AS STATED ON THE AS-BUILT DRAWINGS. DUE TO VARIATIONS FROM PLUMB, NON-90 DEGREE CORNERS, ETC. ACTUAL BUILDING DIMENSIONS MAY VARY SLIGHTLY FROM THOSE GIVEN. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AS REQUIRED BEFORE BIDDING OR CONSTRUCTION.

NOTE: EXISTING BASEMENT WALLS TO REMAIN ARE TO BE CLEANED, EXIST. LOOSE PAINT REMOVED BY SANDBLAST 'DUSTING' OR OTHER APPROPRIATE METHOD AND THEN PAINTED. COLOR TO BE AS SELECTED BY ARCHITECT.

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**BOILER HOUSE BUILDING 10**  
1243 N. 10th ST.  
MILWAUKEE WISCONSIN

**BASEMENT FLOOR PLAN**

REVISIONS	
11-20-07	
DATE	11-08-07
PROJECT NO.	0713-00
SHEET	<b>A1.0</b>

ALL BUILDING DIMENSIONS, COLUMN SIZES AND LOCATIONS, AND WINDOW SIZES TO BE FIELD VERIFIED FOR ACCURACY.

**BOILER HOUSE BUILDING 10**

1243 N. 10th ST.

MILWAUKEE WISCONSIN

**FIRST FLOOR PLAN**

REVISIONS

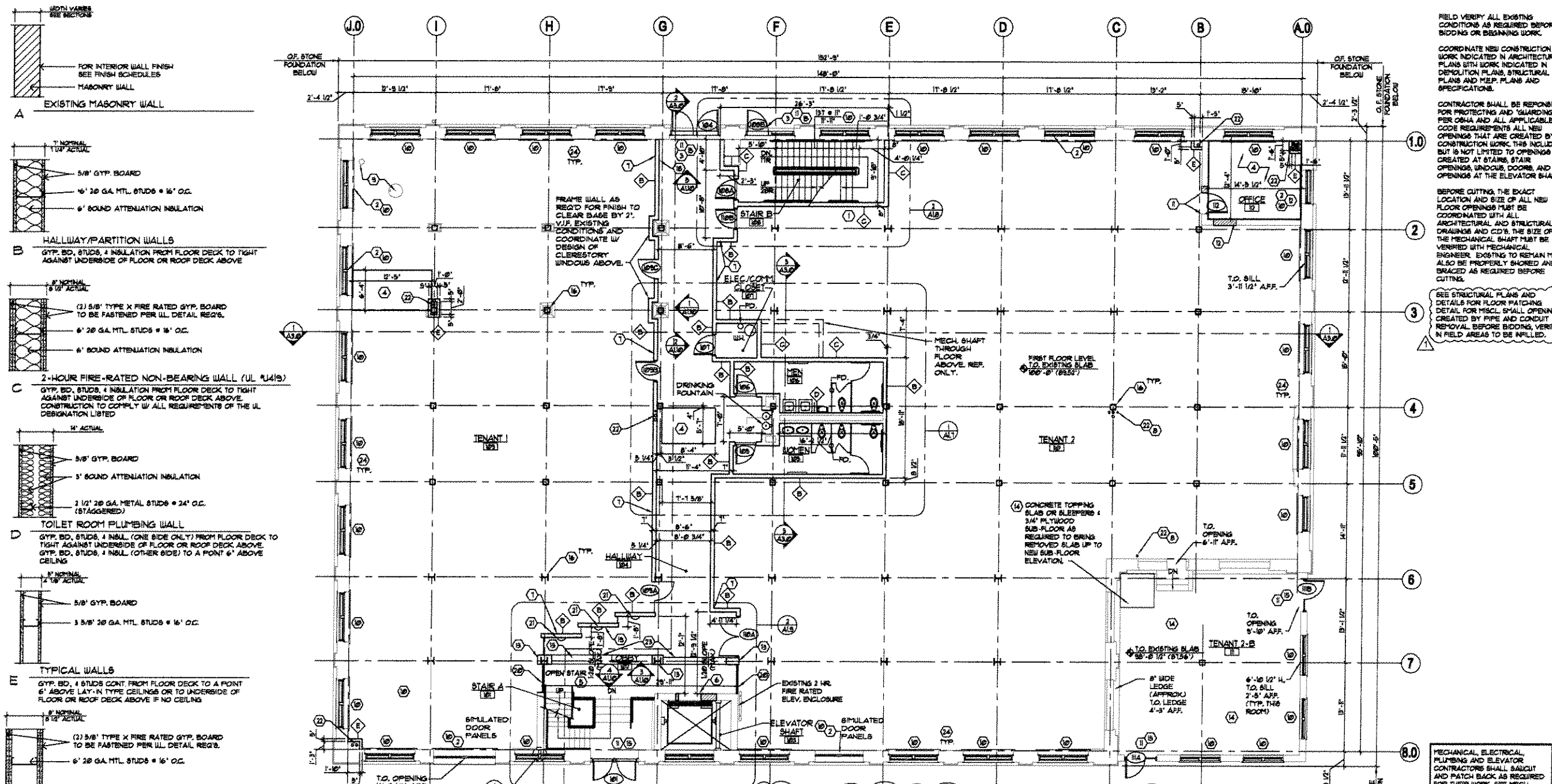
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DATE 11-08-07

PROJECT NO. 0713-00

SHEET

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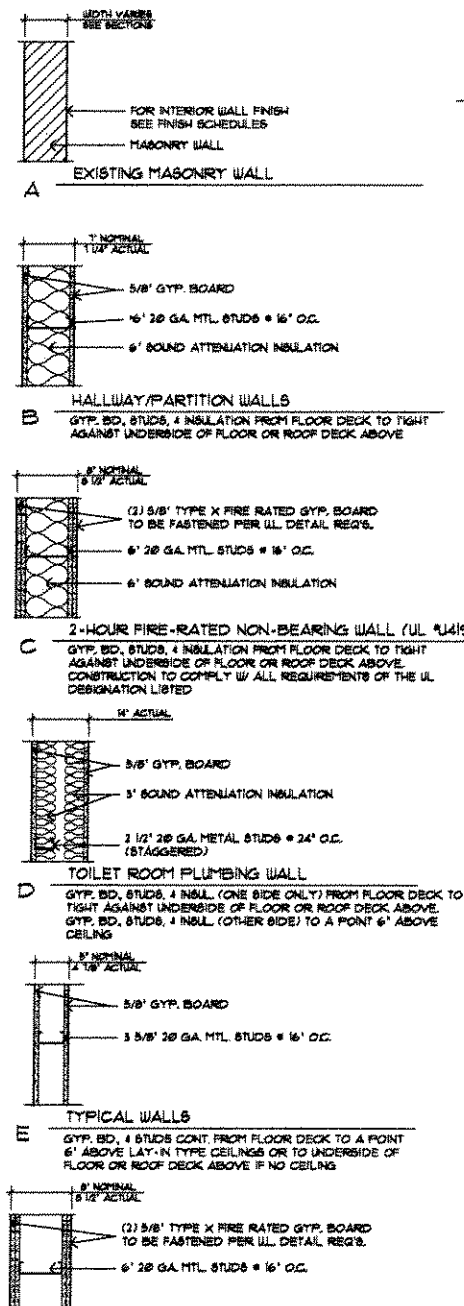
FIELD VERIFY ALL EXISTING CONDITIONS AS REQUIRED BEFORE BIDDING OR BEGINNING WORK.

COORDINATE NEW CONSTRUCTION WORK INDICATED IN ARCHITECTURAL PLANS WITH WORK INDICATED IN DEMOLITION PLANS, STRUCTURAL PLANS AND MEP PLANS AND SPECIFICATIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND GUARDING PER OSHA AND ALL APPLICABLE CODE REQUIREMENTS ALL NEW OPENINGS THAT ARE CREATED BY CONSTRUCTION WORK THIS INCLUDES BUT IS NOT LIMITED TO OPENINGS CREATED AT STAIRS, STAIR OPENINGS, WINDOWS, DOORS, AND OPENINGS AT THE ELEVATOR SHAFT.

BEFORE CUTTING, THE EXACT LOCATION AND SIZE OF ALL NEW FLOOR OPENINGS MUST BE COORDINATED WITH ALL ARCHITECTURAL AND STRUCTURAL DRAWINGS AND CDS. THE SIZE OF THE MECHANICAL CHD'S MUST BE VERIFIED WITH MECHANICAL ENGINEER. EXISTING TO REMAIN MUST ALSO BE PROPERLY BRACED AND BRACED AS REQUIRED BEFORE CUTTING.

SEE STRUCTURAL PLANS AND DETAILS FOR FLOOR PATCHING DETAIL FOR MISCL. SMALL OPENINGS CREATED BY PIPE AND CONDUIT REMOVAL. BEFORE BIDDING, VERIFY IN FIELD AREAS TO BE FILLED.



- INTERIOR RENOVATION NOTES:**
- MODIFY EXISTING FLOOR STRUCTURE AND FINISH FLOORINGS AS REQUIRED TO INSTALL NEW FIRE RATED STAIR ENCLOSURE. SEE ENLARGED STAIR PLANS, STAIR SECTIONS, STAIR DETAILS AND STRUCTURAL PLANS. GUARD ALL OPENINGS.
  - AT EXISTING DOOR OPENING MODIFY WALLS, FLOOR, THRESHOLD, ETC. AS REQUIRED TO CREATE NEW WINDOW OPENINGS. SEE PLANS AND DETAILS. COORDINATE WITH DEMOLITION ELEVATION DRAWINGS.
  - AT EXISTING WINDOW OPENING MODIFY WALLS, FLOOR, THRESHOLD, ETC. AS REQD. TO CREATE NEW DOOR OPENINGS. SEE PLANS AND DETAILS. COORDINATE WITH DEMOLITION ELEVATION DUGS.
  - INSTALL NEW FLOOR STRUCTURE, SUB-FLOOR AND FINISH FLOORINGS TO BE FLUSH WITH NEW ADJACENT FINISH FLOORINGS. SEE STRUCTURAL PLANS, COORD. WITH DEMOLITION PLANS. GUARD ALL OPENINGS PER CODE AND OSHA REQUIREMENTS. IN AREAS OF TENANT BUILDOUT, NEW FINISH FLOORINGS WILL NOT BE INSTALLED AS PART OF THIS CONTRACT, BUT NEW SUBFLOORINGS WILL BE.
  - EXISTING STAIR TO REMAIN CLEAN AND REFRESH EXISTING. INSTALL NEW TOE BOARDS, GUARDRAILS, HANDRAILS, FLOOR FINISH AT LANDINGS AND ON EXISTING TREADS AND OVER EXISTING TREADS. FINISH MATERIAL TO REMAIN. SEE DEMOLITION PLANS, ENLARGED STAIR PLANS AND STAIR DETAILS. GUARD ALL OPENINGS.
  - MODIFY EXISTING WALL, HEAD, JAMB, BILLS AS REQUIRED TO INSTALL NEW AUTOMATIC ELEVATOR DOOR. INFL WITH RECLAIMED BRICK TO MATCH EXIST. BRICK COLOR AND MORTAR. TOOTH NEW BRICK TO BLEND WITH EXIST. AND CONCEAL NEW JOINTS. SEQUENCE WITH ELEVATOR INSTALLATION AS REQUIRED.
  - HALLWAY PARTITIONS, DOOR AND BORROWED LITE LOCATIONS SHOWN ARE APPROXIMATE AND COULD CHANGE WITH TENANT BUILDOUTS. TENANT BUILDOUTS ARE NOT IN THIS CONTRACT. SEE TENANT BUILDOUT PLANS FOR FINAL LOCATIONS. SEE ROOM FINISH SCHEDULES AND INTERIOR ELEVATIONS FOR ALL. BIDS (FIRST FLOOR: 108A AND 108B) (SECOND FLOOR: 104 AND 105).
  - ENCLOSURE OF NEW CONDUCTOR, CONDUIT, PIPING, ETC. IS PART OF TENANT BUILD-OUT.
  - EXISTING FLOOR MOUNTED COVER TO REMAIN.
  - EXIST. WINDOW & DOOR TRIM AT HEADS, JAMBS, BILLS AND CENTER FRAMES TO BE RESTORED AND REFRESHED IN PLACE. CLEAN, STRIP EXISTING PAINT, RESTORE OR REPLACE WOOD AS REQUIRED TO MATCH EXISTING. WEATHERSEAL EXISTING WINDOW OR DOOR OPENING PERIMETER, HEAD AND BILL TRIM. SEE NEW WINDOW DETAILS. INSTALL NEW WINDOW UNITS IN EXISTING OPENINGS TO RECEIVE WINDOW. INSTALL DOORS OR SIMULATED DOORS AS INDICATED ON PLANS AND ELEVATIONS. COORDINATE WITH DEMOLITION DRAWINGS, EXISTING WINDOW AND DOOR DRAWINGS, NEW WINDOW AND DOOR REQ'S, ETC. COORDINATE WITH ACTUAL. ALTERNATE BID SELECTED FOR WINDOW WORK AND EXISTING FRAME THAT IS ACCEPTED FOR CONSTRUCTION.
  - MODIFY EXISTING WALL, HEAD, JAMB, BILLS AS REQUIRED TO INSTALL NEW DOOR ASSEMBLY.
  - INFL. EXISTING DOOR OPENING. COORDINATE WITH BUILDING ELEVATION DRAWINGS. BRICK VENEER TO MATCH EXISTING.
  - PART OF EXISTING MASONRY WALL TO REMAIN AS A STRUCTURAL PIER. SEE STRUCTURAL PLANS FOR MINIMUM REQUIRED PIER SIZE, NEW BEAMS, FLOOR STRUCTURE, ETC.

- INSTALL LIGHTWEIGHT (100 PCF MAX) CONCRETE ONLY AS REQUIRED TO LEVEL FLOOR & BRING TOP OF EXIST. SLAB OR FLOOR DEPRESSION AREAS FLUSH WITH ADJACENT SUB-FLOOR ELEVATION MAX. DEPTH POSSIBLE 3". VERIFY W/ STRUCTURAL. V.J. EXISTING AREAS THAT REQUIRE TOPPING SLAB, AT AREAS OF TOPPING SLAB LESS THAN 1" THICK USE TAPERED FLOOR FILLER AS REQUIRED. AT THE 3RD. FLOOR LEVEL ENTIRE EXISTING FLOOR TO RECEIVE 4" THICK LIGHTWEIGHT TOPPING SLAB. AT DEPRESSION AREAS, SLAB MAY BE UP TO 3" THICK MAX. AT AREAS WITH DEEPER DEPRESSIONS, BEFORE ADDING LT. WT. TOPPING SLAB, INFILL DEPRESSION FIRST WITH 3" EXTERIOR GRADE SUB-FLOOR SHEATHING ON PRESSURE TREATED 2X4 SLEEPERS. SUB-FLOOR TO BE FLUSH WITH EXISTING ADJACENT FLOOR TO REMAIN BEFORE TOPPING SLAB. AT EXISTING FIRST FLOOR ROOM AT NORTH-EAST CORNER OF BUILDING, INSTALL 1" TO 1-1/2" LT. WT. FLOOR TOPPING TO REPLACE AND MATCH THICKNESS (LESS THAN 3" MAX) OF EXISTING ASPHALT TOPPING WHICH WAS REMOVED IN DEMOLITION.
  - INSTALL NEW DOOR AND FRAME ASSEMBLY, MODIFY EXISTING OPENING AS REQUIRED TO RECEIVE NEW DOOR AND FRAME.
  - EXISTING STEEL COLUMN TO REMAIN, REMOVE EXIST. PAINT AND REPAINT WITH RUST INHIBITING PAINT SYSTEM. COLORS TO BE AS SELECTED BY ARCHITECT FROM FULL RANGE OF COLORS.
  - EXISTING HEAVY-TIMBER WOOD COLUMN AND BEAM ABOVE. REMOVE EXISTING PAINT AND DIRT, TYPICAL.
  - (10) RECEASED STAINLESS STEEL. TENANT MAILBOXES.
  - WALL MOUNTED BUILDING DIRECTORY
  - WINDOW INFILL IN EXISTING MASONRY OPENING, SIMILAR TO CORRIDOR CLERESTORY WINDOWS. SEE INTERIOR ELEVATIONS AND DETAILS.
  - ARCHITECTURAL WALL SCONCE LUMINAIRE. SEE REFLECTED CEILING PLAN AND INTERIOR ELEVATIONS.
  - CORE THROUGH FLOOR AS REQUIRED FOR NEW CONDUCTOR, CONDUIT, PIPING, ETC. SEAL AROUND ALL FLOOR OPENINGS WITH FIRE SAFING MATERIAL PER BUILDING CODE REQUIREMENTS.
  - NEW FUR FRAMING, SUB-PLR. AND FUR. FINISH AS REQUIRED TO PATCH BACK WHERE EXIST. WALLS ARE REMOVED.
  - SEE ELECTRICAL AND HVAC PLANS FOR BASE BID ELECTRIC BASEBOARD HEATING UNITS. TYPICAL AT INSIDE FACE OF EXTERIOR WALLS.
- ALT. BID #5: SEE HVAC PLANS FOR ALTERNATE HYDRONIC HEATING SYSTEM IN LIEU OF BASE BID ELECTRIC BASEBOARD SYSTEM. INCLUDES BOILERS, PIPING, NATURAL GAS PIPING, HYDRONIC UNITS, CABINET ENCLOSURES. INCLUDES A DEDUCTIVE ALTERNATE BID FOR REDUCED ELECTRICAL EQUIPMENT, ETC.
- NOTE: EXISTING BUILDING COLUMNS, STRUCTURE, STAIRS, WALLS, ETC. ARE PER AS-BUILT DRAWINGS PREPARED BY MADISON ARCHITECTS, MILWAUKEE, WI.
- AS STATED ON THE AS-BUILT DRAWINGS: DUE TO VARIATIONS FROM PLUMB, NON-90 DEGREE CORNERS, ETC. ACTUAL BUILDING DIMENSIONS MAY VARY SLIGHTLY FROM THOSE GIVEN. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AS REQUIRED BEFORE BIDDING OR CONSTRUCTION.

**1 FIRST FLOOR PLAN**  
1/8" = 1'-0"

NOTE: EXISTING WALLS TO REMAIN ARE TO BE CLEANED AND EXISTING PAINT REMOVED BY SANDBLASTING TYPICAL. SURFACE FOR FULL HEIGHT OF WALL. 50% OF INSIDE FACE OF EXISTING EXTERIOR WALL SURFACE FOR FULL HEIGHT OF WALL TO BE FURRED OUT WITH 5/8" FTD. GYP. BD. ON 8 MIL. POLYETHYLENE VAPOR BARRIER ON 3-1/2" METAL STUDS @ 16" O.C. WITH 3-1/2" F&G BATT INSULATION. VAPOR BARRIER (V&B) TO BE COMPLETE AND TO RETURN TO EXIST WALL. \* OPENINGS AND \* TERMINATION OF FURRED OUT AREA.

NOTE: AT OTHER EXIST. MASONRY WALLS TO REMAIN AND AT STAIR AND ELEVATOR LOBBIES, SANDBLAST ALL EXPOSED WALL FINISHES AND REMOVE ALL PAINT W/ NO EXTERIOR WALLS FURRED OUT AT THESE WALLS.

ALTERNATE BID #5: PROVIDE ALTERNATE BID TO SANDBLAST 50% OF INTERIOR SIDE OF EXTERIOR BRICK WALLS TO REMOVE ALL PAINT, WITH NO EXTERIOR WALLS BEING FURRED OUT AND INSULATED. COORDINATE WITH ROOM FINISH SCHEDULE.

ALTERNATE BID #6: AT AREAS OF EXTERIOR WALL THAT DO NOT RECEIVE FURRING, EXPOSED, SANDBLAST BRICK SURFACE FOR STRUCTURAL REPAIR OF PARAPETS. SEALING WALLS AND PAINT SYSTEM TO BE CONTINUOUS FROM FLOOR SLAB TO FLOOR OR ROOF DECK ABOVE.

SEE BUILDING ELEVATIONS AND PROJECT SPECIFICATIONS FOR CLEANING OF OUTSIDE FACE OF EXTERIOR WALLS AND SEALING OF EXTERIOR BRICK. STONE SHALL NOT RECEIVE SEALANT.

SEE TENANT BUILDOUT PACKAGE FOR AREAS OF EXTERIOR WALLS TO RECEIVE FURRING & INSULATION (TENANT BUILDOUT IS NOT IN CONTRACT).

MASONRY CONTRACTOR SHALL COMPLETELY AND THOROUGHLY INSPECT ALL EXIST. MASONRY AND PREPARE A BID FOR NON-STRUCTURAL AND STRUCTURAL MASONRY REPAIR. INSPECTION OF EXIST. MASONRY PARAPETS FOR STRUCTURAL REPAIR SHALL BE DONE ACCORDING TO THE REQUIREMENTS, GUIDELINES AND STANDARDS SET BY THE STRUCTURAL ENGINEER OF RECORD.

MASONRY RESTORATION WORK SHALL INCLUDE REPAIRING TUCKPOINTING AND REPLACEMENT OF MASONRY UNITS ON THE EXTERIOR AND INTERIOR SIDES OF EXTERIOR WALLS AND STRUCTURAL MASONRY REPAIR INCLUDING STRUCTURAL REPAIR OF PARAPETS, SEALING WALLS AND REPLACEMENT OF EXISTING MASONRY ARCHES AS REQUIRED. SEE STRUCTURAL DRAWINGS FOR EXTENT OF STRUCTURAL MASONRY REPAIRS AND FOR ALL DETAILS.

**2 WALL TYPES**  
NTS

ALL BUILDING DIMENSIONS, COLUMN SIZES AND LOCATIONS, AND WINDOW SIZES TO BE FIELD VERIFIED FOR ACCURACY.

BOILER HOUSE BUILDING 10

1243 N. 10th ST.

MILWAUKEE WISCONSIN

SECOND FLOOR PLAN

REVISIONS

11-20-07

DATE 11-06-07

PROJECT NO. 0713-00

SHEET

A1.2

GENERAL NOTES:

FIELD VERIFY ALL EXISTING CONDITIONS AS REQUIRED BEFORE BIDDING OR BEGINNING WORK.

COORDINATE NEW CONSTRUCTION WORK INDICATED IN ARCHITECTURAL PLANS WITH WORK INDICATED IN DEMOLITION PLANS, STRUCTURAL PLANS AND MEP PLANS AND SPECIFICATIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND GUARDING PER OSHA AND ALL APPLICABLE CODE REQUIREMENTS ALL NEW OPENINGS THAT ARE CREATED BY CONSTRUCTION WORK THIS INCLUDES BUT IS NOT LIMITED TO OPENINGS CREATED AT STAIRS, STAIR ENCLOSURES, WINDOWS, DOORS, AND OPENINGS AT THE ELEVATOR SHAFT.

BEFORE CUTTING THE EXACT LOCATION AND SIZE OF ALL NEW FLOOR OPENINGS MUST BE COORDINATED WITH ALL ARCHITECTURAL AND STRUCTURAL DRAWINGS AND C.D.S. THE SIZE OF THE MECHANICAL SHAFT MUST BE VERIFIED WITH MECHANICAL ENGINEER. EXISTING TO REMAIN MUST ALSO BE PROPERLY SHORED AND BRACED AS REQUIRED BEFORE CUTTING.

SEE STRUCTURAL PLANS AND DETAILS FOR FLOOR PATCHING DETAIL FOR MECH. SMALL OPENINGS CREATED BY PIPE AND CONDUIT REMOVAL BEFORE BIDDING. VERIFY IN FIELD AREAS TO BE FILLED.

MECHANICAL, ELECTRICAL, PLUMBING AND ELEVATOR CONTRACTORS SHALL SAYOUT AND PATCH BACK AS REQUIRED FOR THEIR WORK. SEE MECH, ELEC, PLUMB PLANS AND ELEVATOR SHOP DUGS FOR THAT WORK.



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

NOTE: EXISTING WALLS TO REMAIN ARE TO BE CLEANED AND EXISTING PAINT REMOVED BY SANDBLASTING TYPICAL FOR UP TO 50% OF EXISTING WALL SURFACE FOR FULL HEIGHT OF WALL. 50% OF INSIDE FACE OF EXISTING EXTERIOR WALL SURFACE FOR FULL HEIGHT OF WALL TO BE FURRED OUT WITH 3/8" FTD. GYP. BD. ON 8 MIL POLYETHYLENE VAPOR BARRIER ON 3-1/2" METAL STUDS @ 16" O.C. WITH 3-1/2" FG. BATT INSULATION VAPOR BARRIER (V2) TO BE COMPLETE AND TO RETURN TO EXIST WALL @ OPENINGS AND @ TERMINATION OF FURRED OUT AREA.

NOTE: AT OTHER EXIST. MASONRY WALLS TO REMAIN AND AT STAIR AND ELEVATOR LOBBIES, SANDBLAST ALL EXPOSED WALL FINISHES AND REMOVE ALL PAINT IF NO EXTERIOR WALLS FURRED OUT AT THESE WALLS.

ALTERNATE BID #2: PROVIDE ALTERNATE BID TO SANDBLAST 100% OF INTERIOR SIDE OF EXTERIOR BRICK WALLS TO REMOVE ALL PAINT, WITH NO EXTERIOR WALLS BEING FURRED OUT AND INSULATED. COORDINATE WITH ROOM FINISH SCHEDULE.

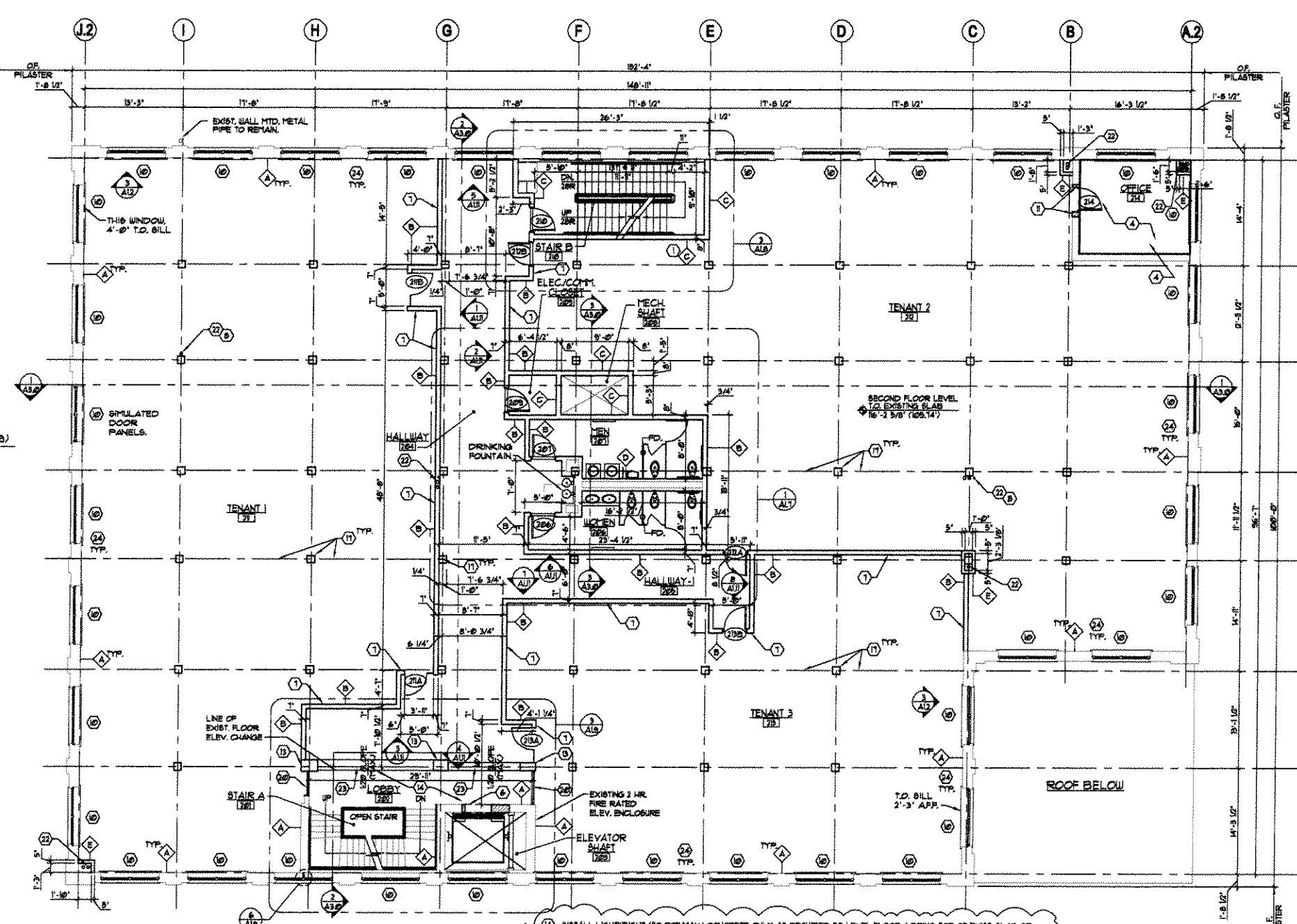
ALTERNATE BID #3: AT AREAS OF EXTERIOR WALL THAT DO NOT RECEIVE FURRING, EXPOSED, SANDBLAST BRICK SURFACE FOR STRUCTURAL REPAIR. REPAIR SHALL BE DONE ACCORDS TO THE REQUIREMENTS, GUIDELINES AND STANDARDS SET BY THE STRUCTURAL ENGINEER OF RECORD.

SEE BUILDING ELEVATIONS AND PROJECT SPECIFICATIONS FOR CLEANING OF OUTSIDE FACE OF EXTERIOR WALLS AND SEALING OF EXTERIOR BRICK STONE SHALL NOT RECEIVE SEALANT.

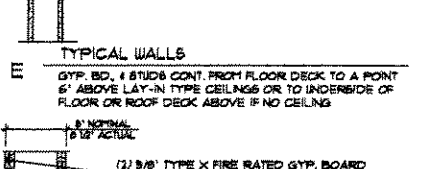
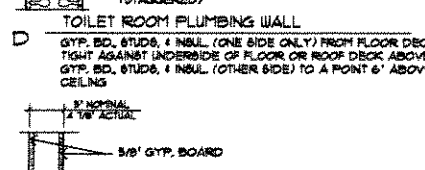
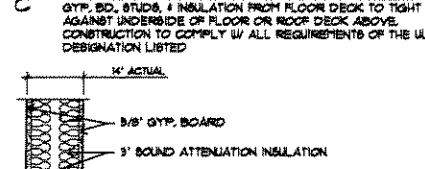
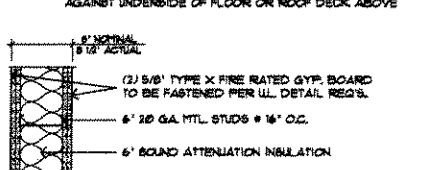
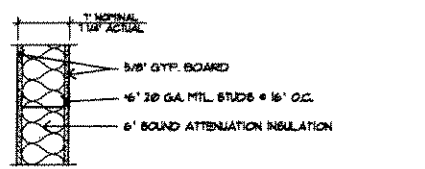
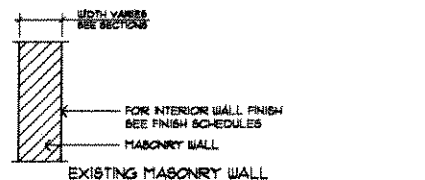
SEE TENANT BUILDOUT PACKAGE FOR AREAS OF EXTERIOR WALLS TO RECEIVE FURRING & INSULATION (TENANT BUILDOUT IS NOT IN CONTRACT).

MASONRY CONTRACTOR SHALL COMPLETELY AND THOROUGHLY INSPECT ALL EXIST. MASONRY AND PREPARE A BID FOR NON-STRUCTURAL AND STRUCTURAL MASONRY REPAIR. INSPECTION OF EXIST. MASONRY PARAPETS FOR STRUCTURAL REPAIR SHALL BE DONE ACCORDS TO THE REQUIREMENTS, GUIDELINES AND STANDARDS SET BY THE STRUCTURAL ENGINEER OF RECORD.

MASONRY RESTORATION WORK SHALL INCLUDE REQUIRED TUCKPOINTING AND REPLACEMENT OF MASONRY UNITS ON THE EXTERIOR AND INTERIOR SIDES OF EXTERIOR WALLS AND STRUCTURAL MASONRY REPAIR INCLUDING STRUCTURAL REPAIR OF PARAPETS, BEARING WALLS AND REPLACEMENT OF EXISTING MASONRY ARCHES AS REQUIRED. SEE STRUCTURAL DRAWINGS FOR EXTENT OF STRUCTURAL MASONRY REPAIRS AND FOR ALL DETAILS.

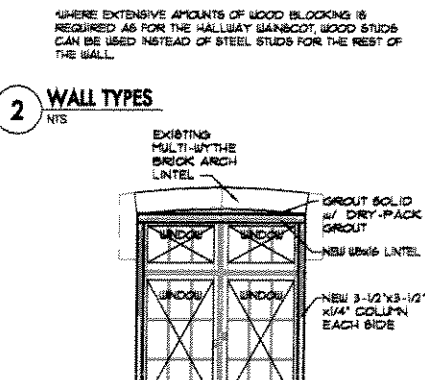


- INTERIOR RENOVATION NOTES:**
- 1 MODIFY EXISTING FLOOR STRUCTURE AND FINISH FLOORINGS AS REQUIRED TO INSTALL NEW FIRE RATED STAIR ENCLOSURE. SEE ENLARGED STAIR PLANS, STAIR SECTIONS, STAIR DETAILS AND STRUCTURAL PLANS. GUARD ALL OPENINGS.
  - 2 AT EXISTING DOOR OPENING MODIFY WALLS, FLOOR, THRESHOLD, ETC. AS REQUIRED TO CREATE NEW WINDOW OPENING. SEE PLANS AND DETAILS. COORDINATE WITH DEMOLITION ELEVATION DRAWINGS.
  - 3 AT EXISTING WINDOW OPENING MODIFY WALLS, FLOOR, THRESHOLD, ETC. AS REQD. TO CREATE NEW DOOR OPENING. SEE PLANS AND DETAILS. COORDINATE WITH DEMOLITION ELEVATION DUGS.
  - 4 INSTALL NEW FLOOR STRUCTURE, SUB-FLOOR AND FINISH FLOORINGS TO BE FLUSH WITH NEW ADJACENT FINISH FLOORINGS. SEE STRUCTURAL PLANS, COORD. WITH DEMOLITION PLANS. GUARD ALL OPENINGS PER CODE AND OSHA REQUIREMENTS. IN AREAS OF TENANT BUILDOUT, NEW FINISH FLOORINGS WILL NOT BE INSTALLED AS PART OF THIS CONTRACT, BUT NEW SUB-FLOORING WILL BE.
  - 5 EXISTING STAIR TO REMAIN. CLEAN AND REFINISH EXISTING. INSTALL NEW TOE BOARDS, GUARDRAILS, HANDRAILS, FLOOR FINISH AT LANDINGS AND ON EXISTING TREADS AND COVER EXISTING TREADS. LANDING FINISH MATERIAL TO REMAIN. SEE DEMOLITION PLANS, ENLARGED STAIR PLANS AND STAIR DETAILS. GUARD ALL OPENINGS.
  - 6 MODIFY EXISTING WALL, HEAD, JAMB, SILL AS REQUIRED TO INSTALL NEW AUTOMATIC ELEVATOR DOOR. INFILL WITH RECLAIMED BRICK TO MATCH EXIST. BRICK COLOR AND MORTAR. TOOTH NEW BRICK TO BLEND WITH EXIST. AND CONCEAL NEW JOINTS. SEQUENCE WITH ELEVATOR INSTALLATION AS REQUIRED.
  - 7 HALLWAY PARTITIONS, DOOR AND BORROWED LITE LOCATIONS SHOWN ARE APPROXIMATE AND COULD CHANGE WITH TENANT BUILDOUTS. TENANT BUILDOUTS ARE NOT IN THIS CONTRACT. SEE TENANT BUILDOUT PLANS FOR FINAL LOCATIONS. SEE ROOM FINISH SCHEDULES AND INTERIOR ELEVATIONS FOR ALL. BIDS #18A AND #18B / SECOND FLOOR #18A AND #18B.
  - 8 ENCLOSURE OF NEW CONDUCTOR, CONDUIT, PIPING, ETC. IS PART OF TENANT BUILD-OUT.
  - 9 EXISTING FLOOR MOUNTED COVER TO REMAIN.
  - 10 EXIST. WINDOW & DOOR TRIM AT HEADS, JAMBS, SILLS AND CENTER FRAMES TO BE RESTORED AND REFINISHED IN PLACE. CLEAN, STRIP EXISTING PAINT, RESTORE OR REPLACE WOOD AS REQUIRED TO MATCH EXISTING. LEATHERSEAL EXISTING WINDOW OR DOOR OPENING PERIMETER, HEAD AND SILL TRIM. SEE NEW WINDOW DETAILS. INSTALL NEW WINDOW UNITS IN EXISTING OPENINGS TO RECEIVE WINDOWS. INSTALL DOORS OR SIMULATED DOORS AS INDICATED ON PLANS AND ELEVATIONS. COORDINATE WITH DEMOLITION DRAWINGS, EXISTING WINDOW AND DOOR DRAWINGS, NEW WINDOW AND DOOR REQ'S, ETC. COORDINATE WITH ACTUAL ALTERNATE BID SELECTED FOR WINDOW WORK AND EXISTING FRAME THAT IS ACCEPTED FOR CONSTRUCTION.
  - 11 MODIFY EXISTING WALL, HEAD, JAMB, SILL AS REQUIRED TO INSTALL NEW DOOR ASSEMBLY.
  - 12 INFILL EXISTING DOOR OPENING. COORDINATE WITH BUILDING ELEVATION DRAWINGS, BRICK VENEER TO MATCH EXISTING.
  - 13 PART OF EXISTING MASONRY WALL TO REMAIN AS A STRUCTURAL PIER. SEE STRUCTURAL PLANS FOR MINIMUM REQUIRED PIER SIZE, NEW BRICK, FLOOR STRUCTURE, ETC.
  - 14 INSTALL LIGHTWEIGHT (80 PCF MAX) CONCRETE ONLY AS REQUIRED TO LEVEL FLOOR & BRING TOP OF EXIST. SLAB OR FLOOR DEPRESSION AREAS FLUSH WITH ADJACENT SUB-FLOOR ELEVATION MAX. DEPTH POSSIBLE. VERIFY WITH STRUCTURAL VIZ. EXISTING AREAS THAT REQUIRE TOPPING SLABS AT AREAS OF TOPPING SLAB LESS THAN 1" THICK USE TAPERED FLOOR FILLER AS REQUIRED. AT THE 2ND FLOOR LEVEL, ENTIRE EXISTING FLOOR TO RECEIVE 1" THICK LIGHTWEIGHT TOPPING SLAB. AT DEPRESSION AREAS, SLAB MAY BE UP TO 3" THICK MAX. AT AREAS WITH DEEPER DEPRESSIONS, BEFORE ADDING 1" LT. TOPPING SLAB, INFILL DEPRESSION FIRST WITH 3" EXTERIOR GRADE SUB-FLOOR SHEATHING ON PRESSURE TREATED LD. SLEEPERS. SUB-FLOOR TO BE FLUSH WITH EXISTING ADJACENT FLOOR TO REMAIN BEFORE TOPPING SLAB. AT EXISTING FIRST FLOOR ROOM AT NORTHEAST CORNER OF BUILDING, INSTALL 1 TO 1-1/2" LT. UT. FLOOR TOPPING TO REPLACE AND MATCH THICKNESS (LESS THAN 3" MAX) OF EXISTING ASPHALT TOPPING WHICH WAS REMOVED IN DEMOLITION.
  - 15 INSTALL NEW DOOR AND FRAME ASSEMBLY. MODIFY EXISTING OPENING AS REQUIRED TO RECEIVE NEW DOOR AND FRAME.
  - 16 EXISTING STEEL COLUMN TO REMAIN. REMOVE EXIST. PAINT AND REPAINT WITH RUST INHIBITING PAINT SYSTEM. COLORS TO BE AS SELECTED BY ARCHITECT FROM FULL RANGE OF COLORS.
  - 17 EXISTING HEAVY-TIMBER WOOD COLUMN AND BEAM ABOVE. REMOVE EXISTING PAINT AND DIRT. TYPICAL.
  - 18 (N) RECESSED STAINLESS STEEL TENANT MAILBOXES.
  - 19 WALL MOUNTED BUILDING DIRECTORY.
  - 20 WINDOW INFILL IN EXISTING MASONRY OPENING SIMILAR TO CORRIDOR CLEARESTORY WINDOW. SEE INTERIOR ELEVATIONS AND DETAILS.
  - 21 ARCHITECTURAL WALL SCOURE LIP/LAINE. SEE REFLECTED CEILING PLAN AND INTERIOR ELEVATIONS.
  - 22 CORE THROUGH FLOOR AS REQUIRED FOR NEW CONDUCTOR, CONDUIT, PIPING, ETC. SEAL AROUND ALL FLOOR OPENINGS WITH FIRE SAFETY MATERIAL PER BUILDING CODE REQUIREMENTS.
  - 23 NEW FUR FRAMING, SUB-FLR. AND FUR. FINISH AS REQUIRED TO PATCH BACK WHERE EXIST. WALLS ARE REMOVED.
  - 24 SEE ELECTRICAL AND HVAC PLANS FOR BASE BID ELECTRIC BASEBOARD HEATING UNITS. TYPICAL AT INSIDE FACE OF EXTERIOR WALLS.
- NOTE: EXISTING BUILDING, COLUMNS, STRUCTURE, STAIRS, WALLS, ETC. ARE PER AS-BUILT DRAWINGS PREPARED BY MACHEN ARCHITECTS, MILWAUKEE, WI.
- AS STATED ON THE AS-BUILT DRAWINGS: DUE TO VARIATIONS FROM PLUMB NON-90 DEGREE CORNERS, ETC. ACTUAL BUILDING DIMENSIONS MAY VARY SLIGHTLY FROM THOSE GIVEN. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AS REQUIRED BEFORE BIDDING OR CONSTRUCTION.

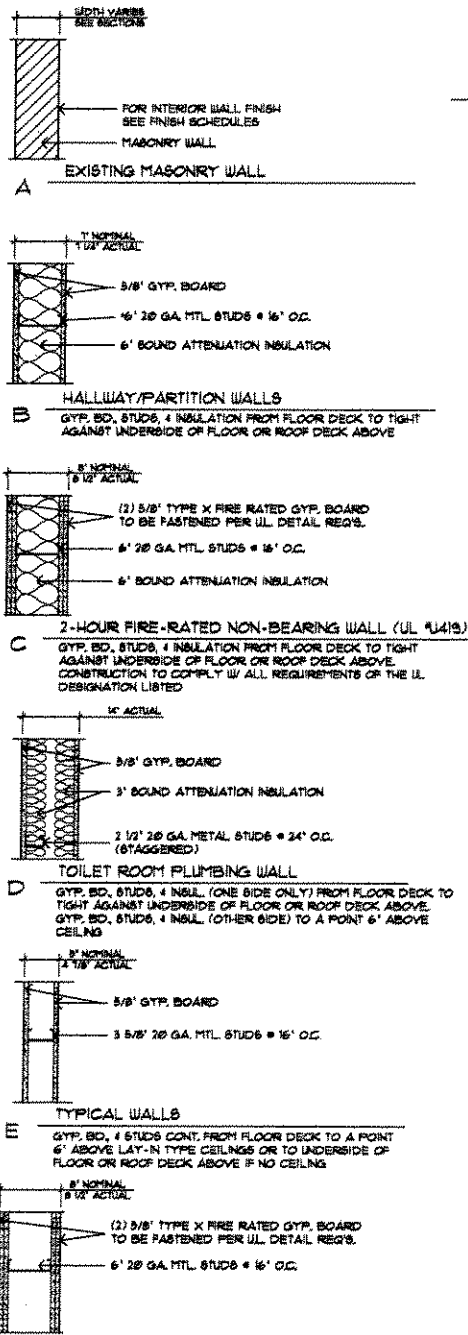


**2 WALL TYPES**  
NTS

WHERE EXTENSIVE AMOUNTS OF WOOD BLOCKING IS REQUIRED AS FOR THE HALLWAY WANSBLOT, WOOD STUDS CAN BE USED INSTEAD OF STEEL STUDS FOR THE REST OF THE WALL.



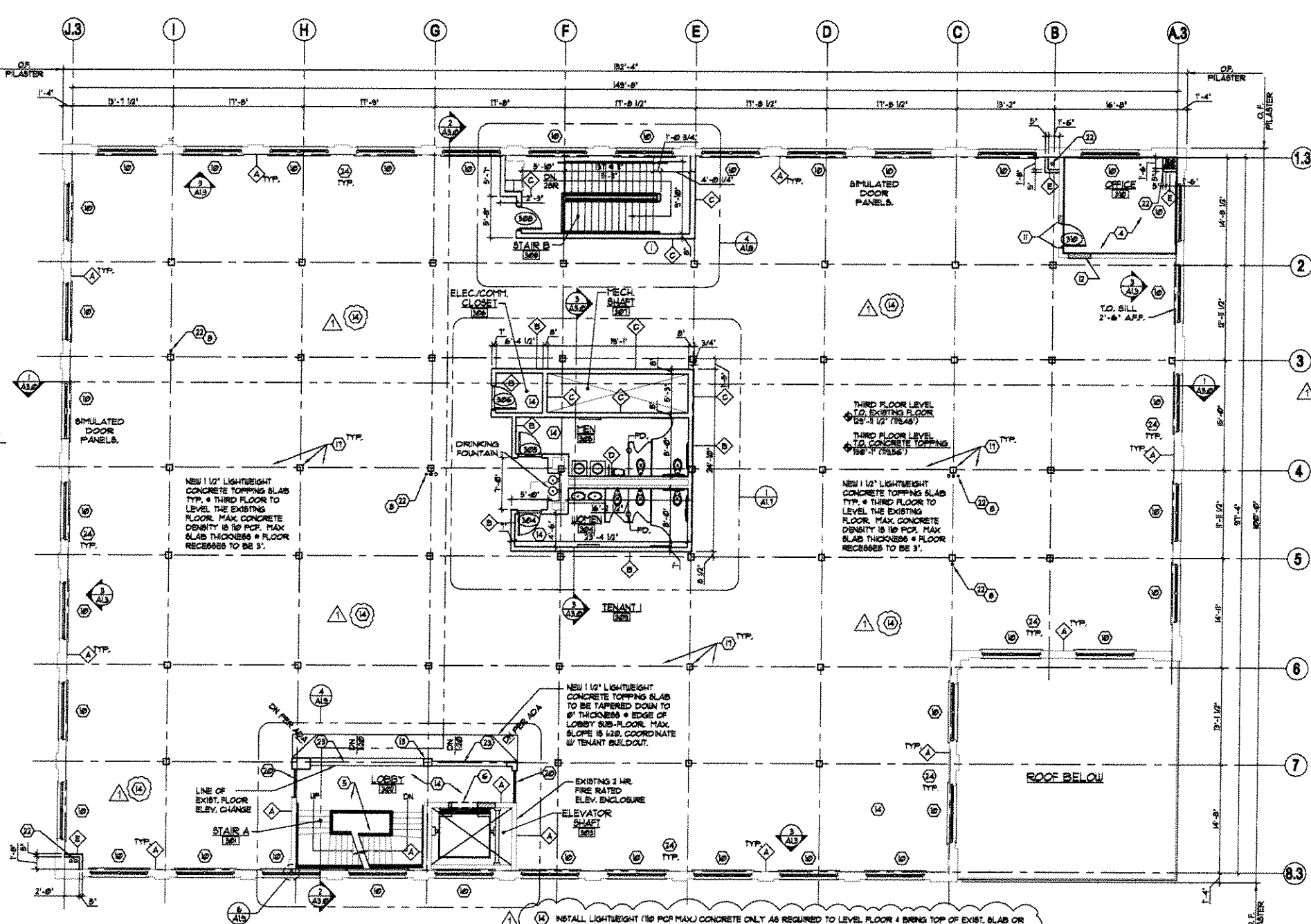
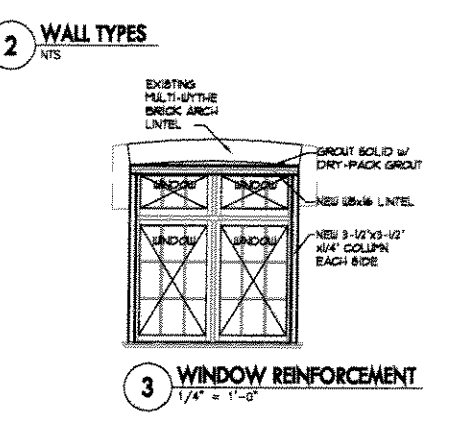
**3 WINDOW REINFORCEMENT**  
1/4" = 1'-0"



**2 WALL TYPES**  
NTS

NOTE: UNLESS OTHERWISE DETAILED, ALL INTERIOR PARTITIONS & FIRE RATED SHEATHING TO BE CONT. FROM TOP OF FLOOR TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. PROVIDE FIRE BLOCKING PER CODE.

\*WHERE EXTENSIVE AMOUNTS OF WOOD BLOCKING IS REQUIRED AS FOR THE HALLWAY WANSKOT, WOOD STUDS CAN BE USED INSTEAD OF STEEL STUDS FOR THE REST OF THE WALL.



- INTERIOR RENOVATION NOTES:**
- MODIFY EXISTING FLOOR STRUCTURE AND FINISH FLOORING AS REQUIRED TO INSTALL NEW FIRE RATED STAIR ENCLOSURE. SEE ENLARGED STAIR PLANS, STAIR SECTIONS, STAIR DETAILS AND STRUCTURAL PLANS. GUARD ALL OPENINGS.
  - AT EXISTING DOOR OPENING MODIFY WALLS, FLOOR, THRESHOLD, ETC. AS REQUIRED TO CREATE NEW WINDOW OPENING. SEE PLANS AND DETAILS. COORDINATE WITH DEMOLITION ELEVATION DRAWINGS.
  - AT EXISTING WINDOW OPENING MODIFY WALLS, FLOOR, THRESHOLD, ETC. AS REQD. TO CREATE NEW DOOR OPENING. SEE PLANS AND DETAILS. COORDINATE WITH DEMOLITION ELEVATION DUGS.
  - INSTALL NEW FLOOR STRUCTURE, SUB-FLOOR AND FINISH FLOORING TO BE FLUSH WITH NEW ADJACENT FINISH FLOORING. SEE STRUCTURAL PLANS, COORD. WITH DEMOLITION PLANS. GUARD ALL OPENINGS PER CODE AND OSHA REQUIREMENTS. IN AREAS OF TENANT BUILDOUT, NEW FINISH FLOORING WILL NOT BE INSTALLED AS PART OF THIS CONTRACT, BUT NEW SUB-FLOORING WILL BE.
  - EXISTING STAIR TO REMAIN CLEAN AND REFINISH EXISTING. INSTALL NEW TOE BOARDS, GUARDRAILS, HANDRAILS, FLOOR FINISH AT LANDINGS AND ON EXISTING TREADS AND OVER EXISTING TREAD 1 LANDING. FINISH MATERIAL TO REMAIN. SEE DEMOLITION PLANS, ENLARGED STAIR PLANS AND STAIR DETAILS. GUARD ALL OPENINGS.
  - MODIFY EXISTING WALL, HEAD, JAMBS, SILL AS REQUIRED TO INSTALL NEW AUTOMATIC ELEVATOR DOOR. INFL WITH RECLAIMED BRICK TO MATCH EXIST. BRICK COLOR AND MORTAR. TOOTH NEW BRICK TO BLEND WITH EXIST. AND CONCEAL NEW JOINTS. COORDINATE WITH ELEVATOR INSTALLATION AS REQUIRED.
  - HALLWAY PARTITIONS, DOOR AND BORROWED LITE LOCATIONS SHOWN ARE APPROXIMATE AND COULD CHANGE WITH TENANT BUILDOUTS. TENANT BUILDOUTS ARE NOT IN THIS CONTRACT. SEE TENANT BUILDOUT PLANS FOR FINAL LOCATIONS. SEE ROOM FINISH SCHEDULES AND INTERIOR ELEVATIONS FOR ALT. BIDS (FIRST FLOOR: 16A AND 16B) (SECOND FLOOR: 15A AND 15B).
  - ENCLOSURE OF NEW CONDUCTOR, CONDUIT, PIPING, ETC. IS PART OF TENANT BUILD-OUT.
  - EXISTING FLOOR MOUNTED COVER TO REMAIN.
  - EXIST. WINDOW & DOOR TRIM AT HEADS, JAMBS, SILLS AND CENTER FRAMES TO BE RESTORED AND REFINISHED IN PLACE. CLEAN, STRIP EXISTING PAINT, RESTORE OR REPLACE WOOD AS REQUIRED TO MATCH EXISTING. SEATHENSAL. EXISTING WINDOW OR DOOR OPENING PERIMETER, HEAD AND SILL TRIM. SEE NEW WINDOW DETAILS. INSTALL NEW WINDOW UNITS IN EXISTING OPENINGS TO RECEIVE WINDOWS. INSTALL DOORS OR SIMULATED DOORS AS INDICATED ON PLANS AND ELEVATIONS. COORDINATE WITH DEMOLITION DRAWINGS, EXISTING WINDOW AND DOOR DRAWINGS, NEW WINDOW AND DOOR REQ'S. ETC. COORDINATE WITH ACTUAL. ALTERNATE BID SELECTED FOR WINDOW WORK AND EXISTING FRAMES THAT IS ACCEPTED FOR CONSTRUCTION.
  - MODIFY EXISTING WALL, HEAD, JAMBS, SILLS AS REQUIRED TO INSTALL NEW DOOR ASSEMBLY.
  - INFL. EXISTING DOOR OPENING. COORDINATE WITH BUILDING ELEVATION DRAWINGS. BRICK VENEER TO MATCH EXISTING.
  - PART OF EXISTING MASONRY WALL TO REMAIN AS A STRUCTURAL PIER. SEE STRUCTURAL PLANS FOR MINIMUM REQUIRED PIER SIZE, NEW BEAMS, FLOOR STRUCTURE, ETC.
- 14** INSTALL LIGHTWEIGHT (150 PCF MAX) CONCRETE ONLY AS REQUIRED TO LEVEL FLOOR & BRING TOP OF EXIST. SLAB OR FLOOR DEPRESSION AREAS FLUSH WITH ADJACENT SUB-FLOOR ELEVATION MAX. DEPTH POSSIBLE. 3" VERIFY W/ STRUCTURAL. 1/2" EXISTING AREAS THAT REQUIRE TOPPING SLAB. AT AREAS OF TOPPING SLAB LESS THAN 1" THICK USE TAPERED FLOOR FILLER AS REQUIRED. AT THE 3RD FLOOR LEVEL, ENTIRE EXISTING FLOOR TO RECEIVE 1" THICK LIGHTWEIGHT TOPPING SLAB. AT DEPRESSION AREAS, SLAB MAY BE UP TO 3" THICK MAX. AT AREAS WITH DEEPER DEPRESSIONS, BEFORE ADDING LT. WT. TOPPING SLAB, INFILL DEPRESSION FIRST WITH 3" EXTERIOR GRADE SUB-FLOOR SHEATHING ON PRESSURE TREATED WD. SLEEPERS. SUB-FLOOR TO BE FLUSH WITH EXISTING ADJACENT FLOOR TO REMAIN BEFORE TOPPING SLAB. AT EXISTING FIRST FLOOR ROOM AT NORTHEAST CORNER OF BUILDING, INSTALL 1 TO 1-1/2" LT. WT. FLOOR TOPPING TO REPLACE AND MATCH THICKNESS (LESS THAN 3" MAX) OF EXISTING ASPHALT TOPPING WHICH WAS REMOVED IN DEMOLITION.
- 15** INSTALL NEW DOOR AND FRAME ASSEMBLY. MODIFY EXISTING OPENING AS REQUIRED TO RECEIVE NEW DOOR AND FRAME.
- 16** EXISTING STEEL COLUMN TO REMAIN. REMOVE EXIST. PAINT AND REPAINT WITH RUST INHIBITING PAINT SYSTEM. COLORS TO BE AS SELECTED BY ARCHITECT FROM MILL RANGE OF COLORS.
- 17** EXISTING HEAVY-TIMBER WOOD COLUMN AND BEAM ABOVE. REMOVE EXISTING PAINT AND DIRT. TYPICAL.
- 18** (16) RECESSED STAINLESS STEEL TENANT MAILBOXES.
- 19** WALL MOUNTED BUILDING DIRECTORY.
- 20** WINDOW INFL. IN EXISTING MASONRY OPENINGS. SIMILAR TO CORRIDOR CLERESTORY WINDOWS. SEE INTERIOR ELEVATIONS AND DETAILS.
- 21** ARCHITECTURAL WALL SCONCE LINENAIRES. SEE REFLECTED CEILING PLAN AND INTERIOR ELEVATIONS.
- 22** CORE THROUGH FLOOR AS REQUIRED FOR NEW CONDUCTOR, CONDUIT, PIPING, ETC. SEAL AROUND ALL FLOOR OPENINGS WITH FIRE STOPPING MATERIAL PER BUILDING CODE REQUIREMENTS.
- 23** NEW FLR. FRAMING, SUB-FLR. AND FLR. FINISH AS REQUIRED TO MATCH BACK WHERE EXIST. WALLS ARE REMOVED.
- 24** SEE ELECTRICAL AND HVAC PLANS FOR BASE BID ELECTRIC BASEBOARD HEATING UNITS. TYPICAL AT INSIDE FACE OF EXTERIOR WALLS.
- ALT. BID 15: SEE HVAC PLANS FOR ALTERNATE HYDRONIC HEATING SYSTEM IN LIEU OF BASE BID ELECTRIC BASEBOARD SYSTEM. INCLUDES BOILERS, PIPING, NATURAL GAS PIPING, HYDRONIC UNITS, CABINET ENCLOSURES. INCLUDES A DEDUCTIVE ALTERNATE BID FOR REDUCED ELECTRICAL EQUIPMENT, ETC.
- NOTE: EXISTING BUILDING COLUMNS, STRUCTURE, STAIRS, WALLS, ETC. ARE PER AS-BUILT DRAWINGS PREPARED BY MCBEN ARCHITECTS, MILWAUKEE, WI.
- AS STATED ON THE AS-BUILT DRAWINGS: DUE TO VARIATIONS FROM PLUMB, NON-90 DEGREE CORNERS, ETC. ACTUAL BUILDING DIMENSIONS MAY VARY SLIGHTLY FROM THOSE GIVEN. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AS REQUIRED BEFORE BIDDING OR CONSTRUCTION.

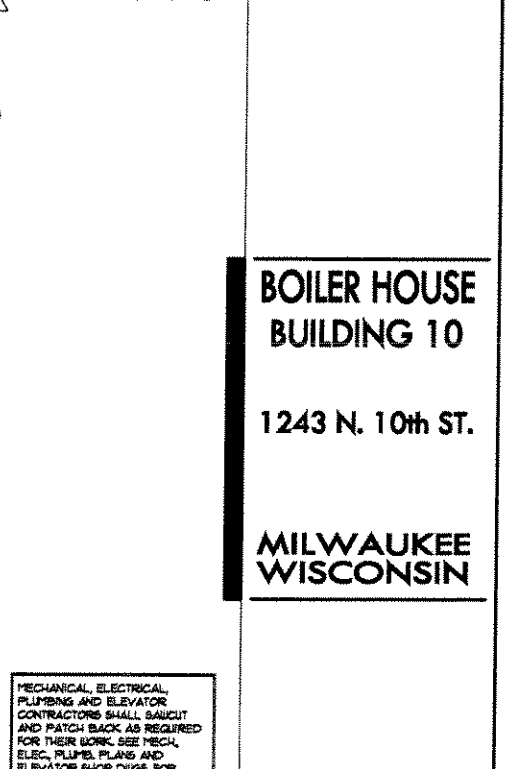
FIELD VERIFY ALL EXISTING CONDITIONS AS REQUIRED BEFORE BIDDING OR BEGINNING WORK.

COORDINATE NEW CONSTRUCTION WORK INDICATED IN ARCHITECTURAL PLANS WITH WORK INDICATED IN DEMOLITION PLANS, STRUCTURAL PLANS AND MEP, PLANS AND SPECIFICATIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND GUARDING PER OSHA AND ALL APPLICABLE CODE REQUIREMENTS ALL NEW OPENINGS THAT ARE CREATED BY CONSTRUCTION WORK. THIS INCLUDES BUT IS NOT LIMITED TO OPENINGS CREATED AT STAIRS, STAIR OPENINGS, WINDOWS, DOORS, AND OPENINGS AT THE ELEVATOR SHAFT.

BEFORE CUTTING, THE EXACT LOCATION AND SIZE OF ALL NEW FLOOR OPENINGS MUST BE COORDINATED WITH ALL ARCHITECTURAL AND STRUCTURAL DRAWINGS AND C.D.'S. THE SIZE OF THE MECHANICAL SHAFT MUST BE VERIFIED WITH MECHANICAL ENGINEER. EXISTING TO REMAIN MUST ALSO BE PROPERLY SHORED AND BRACED AS REQUIRED BEFORE CUTTING.

SEE STRUCTURAL PLANS AND DETAILS FOR FLOOR PATCHING DETAIL FOR MISC. SMALL OPENINGS CREATED BY PIPE AND CONDUIT REMOVAL, BEFORE BIDDING. VERIFY IN FIELD AREAS TO BE INFILLED.



**THIRD FLOOR PLAN**  
1/8" = 1'-0"

**REVISIONS**

11-20-07	

DATE 11-08-07  
PROJECT NO. 0713-00  
SHEET

# A1.3

**THE ALBION GROUP**  
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ALL BUILDING DIMENSIONS, COLUMN SIZES AND LOCATIONS, AND WINDOW SIZES TO BE FIELD VERIFIED FOR ACCURACY.

**BOILER HOUSE BUILDING 10**  
1243 N. 10th ST.  
MILWAUKEE WISCONSIN

**THIRD FLOOR PLAN**

REVISIONS

11-20-07	

DATE 11-08-07  
PROJECT NO. 0713-00  
SHEET

# A1.3

ALL BUILDING DIMENSIONS, COLUMN SIZES AND LOCATIONS, AND WINDOW SIZES TO BE FIELD VERIFIED FOR ACCURACY.

**BOILER HOUSE BUILDING 10**  
  
 1243 N. 10th ST.  
  
**MILWAUKEE WISCONSIN**

**EAST, NORTH AND SOUTH BLDG. ELEV'S.**

REVISIONS

NO.	DESCRIPTION	DATE

DATE 11-06-07  
PROJECT NO. 0713-00  
SHEET

**A2.0**

**EXTERIOR RENOVATION NOTES:**

1. REPLACE EXISTING WINDOWS WITH NEW DOUBLE GLAZED, TINTED LOW-E WINDOWS WITH THERMAL BREAK, PAINTED FRAMES AND APPLIED FINISHES. SEE DETAILS. COLOR TO BE AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF COLORS. EXISTING INTERIOR WOOD WINDOW TRIM TO REMAIN WHEREVER POSSIBLE. EXISTING CENTER WOOD FRAME AND WINDOW TRIM TO REMAIN WHEREVER POSSIBLE. NEW WINDOW FRAMES TO MATCH EXISTING DESIGN AND DETAILS.
2. CLEAN EXTERIOR FACE BRICK AND STONE BASE. TEST CLEAN EXISTING MASONRY CLEANING SYSTEM IN SMALL, NON-PROMINENT AREAS TO ESTABLISH EFFECTIVENESS OF CLEANING METHOD. SAFETY TO EXISTING BRICK, STONE, ETC. POWER WASHING WITH WATER OR APPROVED MILD CHEMICAL AGENTS IS ALLOWED. FULLY CLEAN EXISTING BRICK ("CREAM CITY") TO REMOVE ALL SOOT, DIRT, STAINS FROM POLLUTION, ETC. AND TO PREPARE BRICK TO RECEIVE APPROVED SEALER SYSTEM AS INDICATED. FOLLOW ALL LOCAL, EPA, OSHA, NIOSH, ETC. SAFETY RULES WHEN HANDLING, USING AND DISPOSING OF CLEANING MATERIALS, CHEMICALS, ETC. AS PART OF BASE BID. AFTER TEST CLEANINGS AND AUTHORIZATION TO PROCEED, PERFORM (2) CLEANINGS OF EXISTING BRICK AND STONE MASONRY WITH APPROPRIATE PRODUCTS WITH INSPECTION BY OWNER AND ARCHITECT IMMEDIATELY AFTER SECOND CLEANING.
3. EXISTING WOOD FRAMES & WINDOW OPENINGS TO BE RESTORED, REPAIRED & FINISHED AS REQUIRED TO RECEIVE NEW WINDOW UNITS. THIS INCLUDES WOOD JOISTS, HEADS, SILLS, AND VERTICAL CENTER FRAMES. TYPICAL AT ALL EXISTING WINDOW OPENINGS. COORDINATE SCOPE OF RESTORATION TO BE CONSISTENT WITH BASE BID AND ALTERNATE BID #4 FOR WINDOW WORK.
4. NEW NARROW BEAM UP-DN EXTERIOR LIGHTING FIXTURE. SEE ELECTRICAL PLANS.
5. NEW DOOR AND FRAME. SEE PLANS AND DETAILS.
6. EXISTING FEATURE TO REMAIN (ROSETTES, WALL MOUNTED BRACKETS, PROTECTING BEAMS, ETC.) REMOVE CORROSION. CLEAN, PAINT WITH CORROSION RESISTANT FINISH SYSTEM. COLOR TO BE AS SELECTED BY ARCHITECT.
7. NEW INSULATED, SIMULATED STYLE AND RAIL, RAISED PANEL DOOR. SEE PLANS AND DETAILS.
8. CLEAN EXISTING TRUCK DOCK BUMPERS, REMOVE CORROSION, PAINT WITH CORROSION RESISTANT EXTERIOR FINISH SYSTEM. COLOR TO BE AS SELECTED BY ARCHITECT FROM MFR'S FULL RANGE OF COLORS.
9. REPAIR EXISTING MASONRY PARAPET AS REQUIRED TO MAINTAIN WEATHERPROOF VENEER AND STRUCTURAL STABILITY. REMOVE AND INSTALL FACE BRICK TO MATCH EXISTING TUCK POINT AS REQUIRED. SEE STRUCTURAL DUGS FOR EXTENT OF PARAPET TO BE REPAIRED. STRUCTURALLY, AND FOR DETAILS.
10. SECURELY FASTEN DOWN EXISTING STEEL PLATE AT SIDEWALK. REMOVE REPAIR & PAINT WITH CORROSION RESISTANT EXTERIOR FINISH SYSTEM.
11. EXISTING BRICK WILL TO BE BUSH-HAMMERED FLUSH WITH ADJACENT STONE MASONRY. BRINS TO A CONSISTENT DEPTH AND UNIFORM FLAT SURFACE. INSTALL NEW PAINTED ALUMINUM GRILL AT EACH EXISTING BRICK INFILLED OPENING. V.I.F. NUMBER OF OPENINGS. SEE DETAILS.
12. INSTALL NEW SALVAGED STONE VENEER WITH CHU BACKUP AS REQUIRED. COLOR TO MATCH EXISTING ADJACENT STONE TO REMAIN AFTER CLEANING. SEE PLANS AND DETAILS.
13. NOT USED
14. NEW INSULATED GLASS TRANSOM.
15. SEE BASEMENT DEMO AND FLOOR PLANS FOR EXISTING BASEMENT WINDOWS AND FRAMES TO BE RESTORED IN PLACE AND EXISTING FRAMES TO BE RESTORED/REBUILT IN PLACE TO RECEIVE NEW WINDOW SASHES.
16. NEW STONE SILL TO MATCH EXISTING.
17. NEW STONE BAND TO MATCH EXISTING.

NOTE: EXISTING BUILDING, COLUMN, STRUCTURE, STAIRS, WALLS, ETC. ARE PER AS-BUILT DRAWINGS PREPARED BY MADSEN ARCHITECTS, MILWAUKEE, WI AS STATED ON THE AS-BUILT DRAWINGS. DUE TO VARIATIONS FROM PLUMB, NON-90 DEGREE CORNERS, ETC. ACTUAL BUILDING DIMENSIONS MAY VARY SLIGHTLY FROM THOSE SHOWN. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AS REQUIRED BEFORE BIDDING OR CONSTRUCTION.

SEE WINDOW AND DOOR DETAILS AND SCHEDULES FOR WORK AT WINDOW AND DOOR OPENINGS.

BASE BID: RESTORE ALL EXISTING WINDOW FRAMES. REPLACE ALL EXISTING WINDOW SASHES WITH THERMALLY BROKEN, LOW-E TINTED, INSULATED GLASS UNITS, WITH WEATHER STRIPPING AS REQUIRED TO MAKE WEATHERIGHT. ALUMINUM SASHES TO BE PAINTED. WOOD SASHES TO BE EXTERIOR CLAD ALUMINUM. COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF COLORS.

COORDINATE WITH OTHER PLANS AND ELEVATIONS FOR ALTERNATE BID NOTES THAT APPLY TO BUILDING ELEVATIONS.

MASONRY CONTRACTOR SHALL COMPLETELY AND THOROUGHLY INSPECT ALL EXISTING MASONRY AND PREPARE A BID FOR NON-STRUCTURAL AND STRUCTURAL MASONRY REPAIR. INSPECTION OF EXIST. MASONRY PARAPETS FOR STRUCTURAL REPAIR SHALL BE DONE ACCORDING TO THE REQUIREMENTS, GUIDELINES AND STANDARDS SET BY THE STRUCTURAL ENGINEER OF RECORD.

MASONRY RESTORATION WORK SHALL INCLUDE REQUIRED RECOPOINTING AND REPLACEMENT OF MASONRY UNITS ON THE EXTERIOR AND INTERIOR SIDES OF EXTERIOR WALLS AND STRUCTURAL MASONRY REPAIR, INCLUDING STRUCTURAL REPAIR OF PARAPETS, BEARING WALLS, AND REPLACEMENT OF EXISTING MASONRY ARCHES AS REQUIRED. SEE STRUCTURAL DRAWINGS FOR EXTENT OF STRUCTURAL MASONRY REPAIRS AND FOR ALL DETAILS.

CONTROL JOINT WITH SEALANT AND BACKER ROD. SEALANT COLOR TO MATCH ADJACENT MORTAR AFTER MASONRY CLEANING.

NEW EXHAUST LOWER. COORDINATE WITH MECHANICAL DRAWINGS.

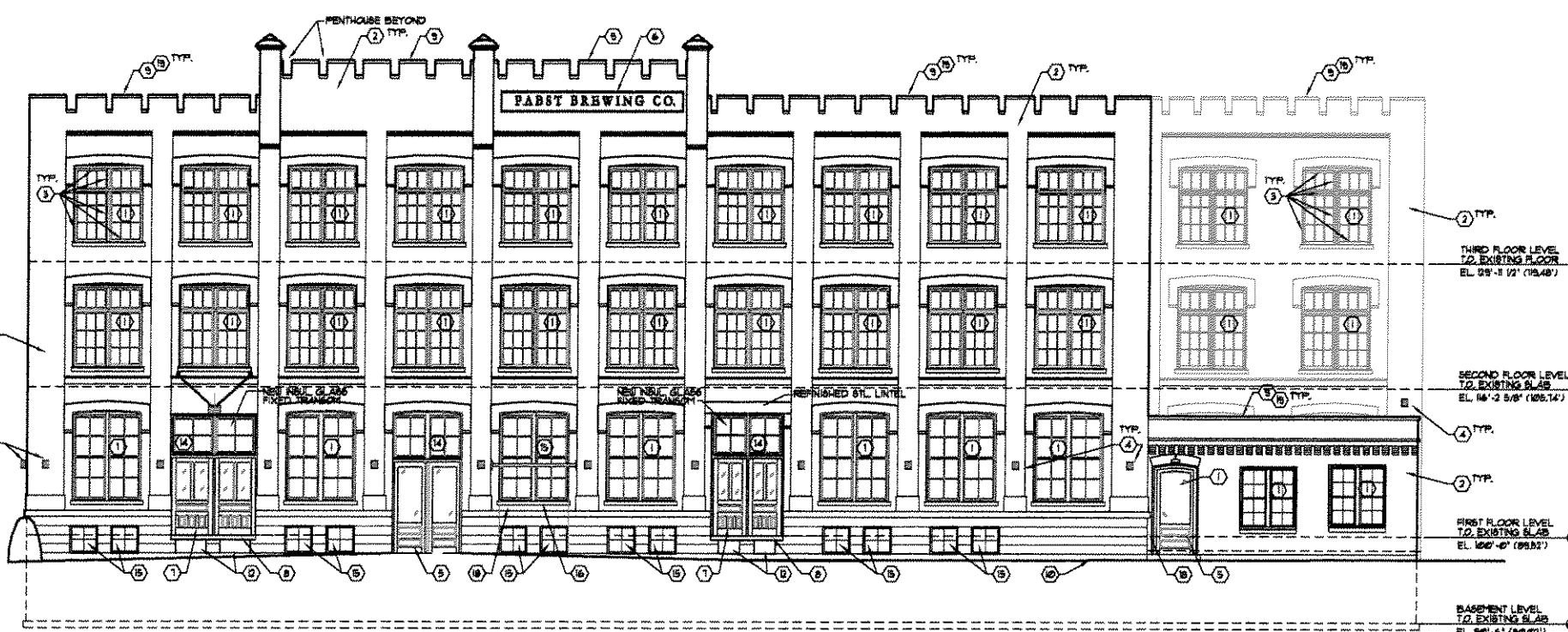
NEW TRENCH DRAIN. SEE SECTIONS, PLANS AND PLUMBING PLANS.

EXHAUST FAN LOUVER. SEE MECHANICAL.

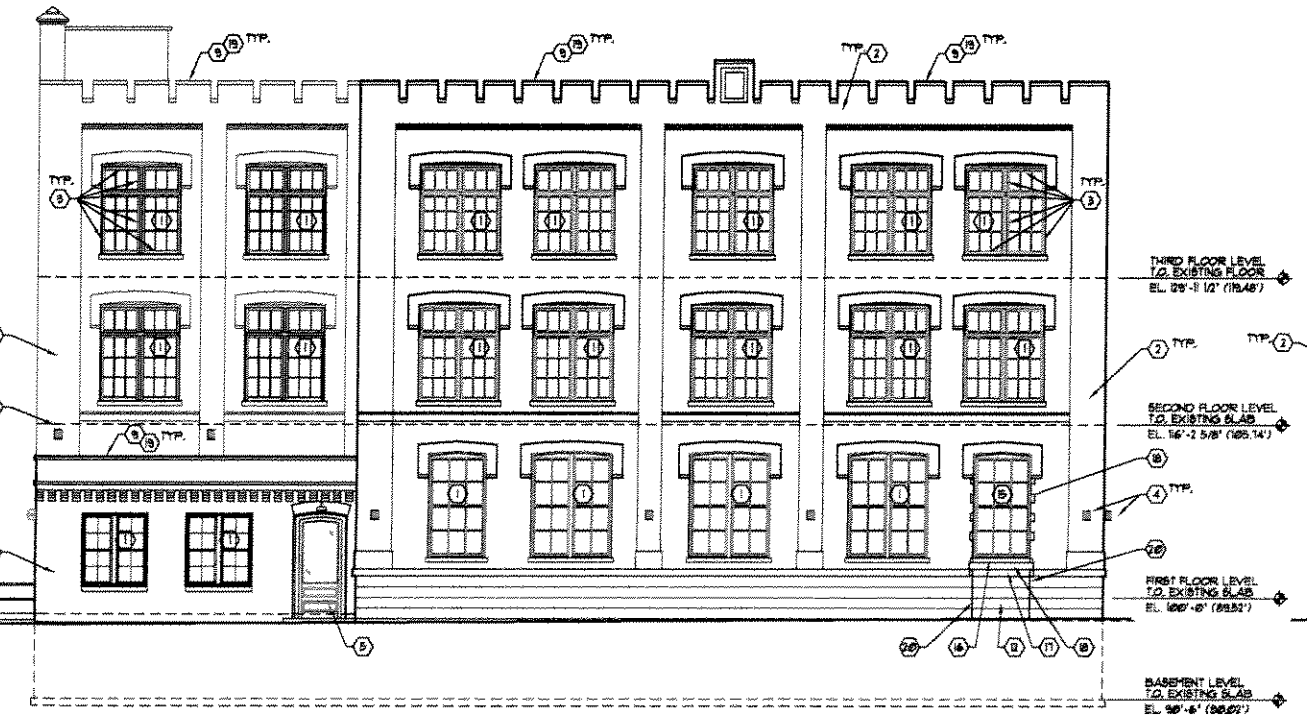
NEW SALVAGED BRICK TO MATCH EXISTING.

NEW FINISHED CAP FLASHING ON EXISTING STONE CORNICE. TYPICAL # PARAPETS. COLOR TO MATCH EXISTING ADJACENT STONE OR CONCRETE CORNICE. (SEE ALT. BID NOTES #9 AND #10 AND RELATED CORNING DETAILS ON ROOF PLAN).

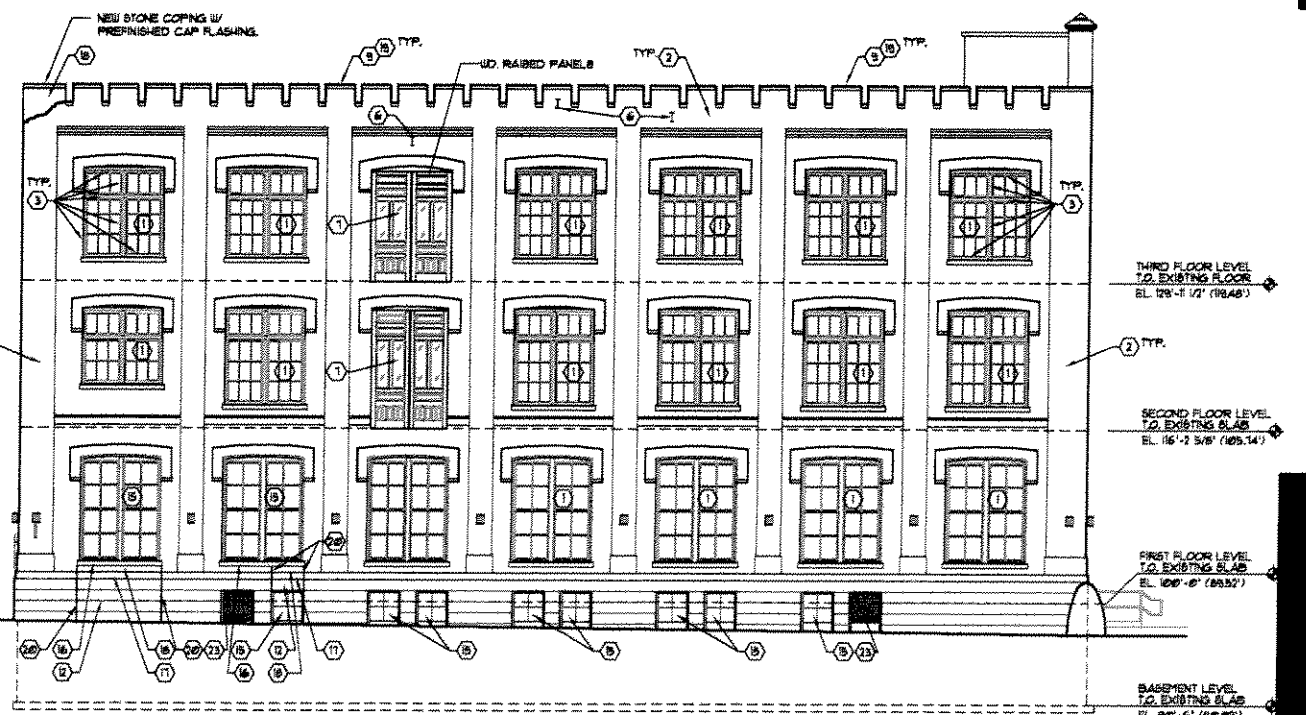
NEW INSULATED GLASS TRANSOM.



**1 EAST BUILDING ELEVATION**  
1/8" = 1'-0"



**2 NORTH BUILDING ELEVATION**  
1/8" = 1'-0"



**3 SOUTH BUILDING ELEVATION**  
1/8" = 1'-0"

ALL BUILDING DIMENSIONS, COLUMN SIZES AND LOCATIONS, AND WINDOW SIZES TO BE FIELD VERIFIED FOR ACCURACY.

NOTE: EXISTING BUILDING, COLUMNS, STRUCTURE, STAIRS, WALLS, ETC. ARE PER AS-BUILT DRAWINGS PREPARED BY MADISON ARCHITECTS, MILWAUKEE, WI.

AS STATED ON THE AS-BUILT DRAWINGS: DUE TO VARIATIONS FROM PLUMB, NON-90 DEGREE CORNERS, ETC. ACTUAL BUILDING DIMENSIONS MAY VARY SLIGHTLY FROM THOSE GIVEN. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AS REQUIRED BEFORE BIDDING OR CONSTRUCTION.

SEE WINDOW AND DOOR DETAILS AND SCHEDULES FOR WORK AT WINDOW AND DOOR OPENINGS.

BASE BID: RESTORE ALL EXISTING WINDOW FRAMES. REPLACE ALL EXISTING WINDOW GLASSES WITH THERMALLY BROKEN, LOW-E, TINTED, INSULATED GLASS UNITS, WITH WEATHER STRIPPINGS AS REQUIRED TO MAKE WEATHERTIGHT. ALUMINUM GLASSES TO BE PAINTED WOOD GLASSES TO BE EXTERIOR CLAD ALUMINUM. COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF COLORS.

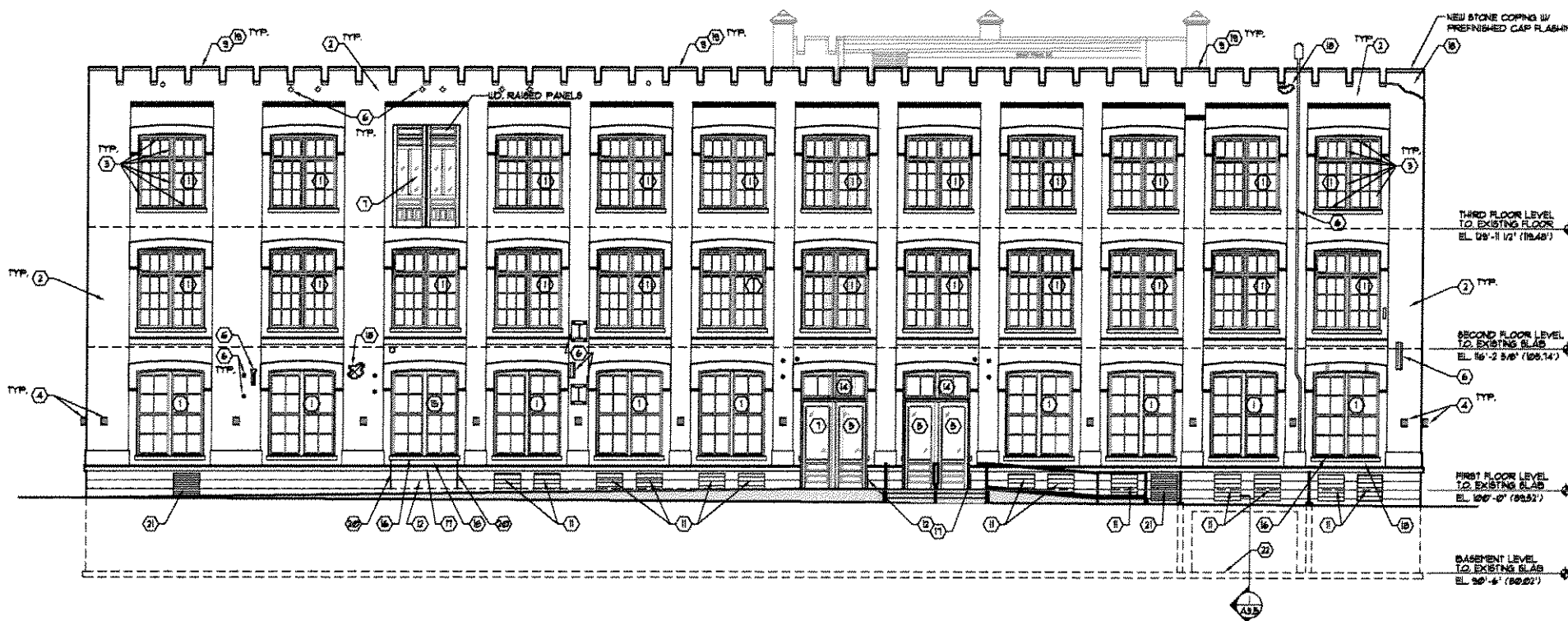
COORDINATE WITH OTHER PLANS AND ELEVATIONS FOR ALTERNATE BID NOTES THAT APPLY TO BUILDING ELEVATIONS.

MASONRY CONTRACTOR SHALL COMPLETELY AND THOROUGHLY INSPECT ALL EXIST. MASONRY AND PREPARE A BID FOR NON-STRUCTURAL AND STRUCTURAL MASONRY REPAIR. INSPECTION OF EXIST. MASONRY PARAPETS FOR STRUCTURAL REPAIR SHALL BE DONE ACCORDING TO THE REQUIREMENTS, GUIDELINES AND STANDARDS SET BY THE STRUCTURAL ENGINEER OF RECORD.

MASONRY RESTORATION WORK SHALL INCLUDE REQUIRED TUCKPOINTING AND REPLACEMENT OF MASONRY UNITS ON THE EXTERIOR AND INTERIOR SIDES OF EXTERIOR WALLS AND STRUCTURAL MASONRY REPAIR INCLUDING STRUCTURAL REPAIR OF PARAPETS, BEARING WALLS AND REPLACEMENT OF EXISTING MASONRY ARCHES AS REQUIRED. SEE STRUCTURAL DRAWINGS FOR EXTENT OF STRUCTURAL MASONRY REPAIRS AND FOR ALL DETAILS.

**EXTERIOR RENOVATION NOTES:**

- 1 REPLACE EXISTING WINDOWS WITH NEW DOUBLE GLAZED, TINTED LOW-E WINDOWS WITH THERMAL BREAK, PAINTED FRAMES AND APPLIED WEATHER STRIPPINGS. SEE DETAILS. COLOR TO BE AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF COLORS. EXISTING INTERIOR WOOD WINDOW TRIM TO REMAIN WHEREVER POSSIBLE. EXISTING CENTER WOOD FRAME AND WINDOW TRIM TO REMAIN WHEREVER POSSIBLE. NEW WINDOW FRAMES TO MATCH EXISTING ORIGIN AND DIMENSIONS. SEE PLANS AND DETAILS.
- 2 CLEAN EXTERIOR FACE BRICK AND STONE BASE. TEST CLEAN EXISTING MASONRY CLEANING SYSTEM IN SMALL, NON-PROMINENT AREAS TO ESTABLISH EFFECTIVENESS OF CLEANING METHOD. SAFETY TO EXISTING BRICK, STONE, ETC. POWER WASHING WITH WATER, OR APPROVED MILD CHEMICAL AGENTS IS ALLOWED. FULLY CLEAN EXISTING BRICK ("CREAM CITY") TO REMOVE ALL SOOT, DIRT, STAINS FROM POLLUTION, ETC. AND TO PREPARE BRICK TO RECEIVE APPROVED SEALER SYSTEM AS INDICATED. FOLLOW ALL LOCAL, EPA, OSHA, HOSH, ETC. SAFETY RULES WHEN HANDLING, USING AND DISPOSING OF CLEANING MATERIALS, CHEMICALS, ETC. AS PART OF BASE BID. AFTER TEST CLEANINGS AND AUTHORIZATION TO PROCEED, PERFORM (2) CLEANINGS OF EXISTING BRICK AND STONE MASONRY WITH APPROPRIATE PRODUCTS WITH INSPECTION BY OWNER AND ARCHITECT IMMEDIATELY AFTER SECOND CLEANING.
- 3 EXISTING WOOD FRAMES + WINDOW OPENINGS TO BE RESTORED, REPAIRED + REFINISHED AS REQUIRED TO RECEIVE NEW WINDOW UNITS. THIS INCLUDES WOOD JAMBS, HEADS, SILLS, AND VERTICAL CENTER FRAMES. TYPICAL AT ALL EXISTING WINDOW OPENINGS. COORDINATE SCOPE OF RESTORATION TO BE CONSISTENT WITH BASE BID AND ALTERNATE BID #4 FOR WINDOW WORK.
- 4 NEW NARROW BEAM UP-DN EXTERIOR LIGHTING FIXTURE. SEE ELECTRICAL PLANS.
- 5 NEW DOOR AND FRAME. SEE PLANS AND DETAILS.
- 6 EXISTING FEATURE TO REMAIN (ROSETTES, WALL MOUNTED BRACKETS, PROJECTING BEAMS, ETC.). REMOVE CORROSION. CLEAN, PAINT WITH CORROSION INHIBITING FINISH SYSTEM. COLOR TO BE SELECTED BY ARCHITECT.
- 7 NEW INSULATED, SIMULATED STILE AND RAIL, RAISED PANEL DOOR. SEE PLANS AND DETAILS.
- 8 CLEAN EXISTING TRUCK DOCK BUMPERS. REMOVE CORROSION. PAINT WITH CORROSION RESISTANT EXTERIOR FINISH SYSTEM. COLOR TO BE AS SELECTED BY ARCHITECT FROM MFG.'S FULL RANGE OF COLORS.
- 9 REPAIR EXISTING MASONRY PARAPET AS REQUIRED TO MAINTAIN WEATHERPROOF VENEER AND STRUCTURAL STABILITY. REMOVE AND INSTALL FACE BRICK TO MATCH EXISTING TUCK POINT AS REQUIRED. SEE STRUCTURAL DRAW. FOR EXTENT OF PARAPET TO BE REPAIRED STRUCTURALLY, AND FOR DETAILS.
- 10 SECURELY FASTEN DOWN EXISTING STEEL PLATE AT SIDWALK. REMOVE RUST, PRIME AND PAINT WITH CORROSION RESISTANT EXTERIOR FINISH SYSTEM.
- 11 EXISTING BRICK INFILL TO BE BUSH-HAMMERED FLUSH WITH ADJACENT STONE MASONRY. BRING TO A CONSISTENT DEPTH AND UNIFORM FLAT SURFACE. INSTALL NEW PAINTED ALUMINUM GRIEL AT EACH EXISTING BRICK INFILLED OPENING. V.P. NUMBER OF OPENINGS. SEE DETAILS.
- 12 INSTALL NEW SALVAGED STONE VENEER WITH CMU BACKUP AS REQUIRED. COLOR TO MATCH EXISTING ADJACENT STONE TO REMAIN AFTER CLEANING. SEE PLANS AND DETAILS.
- 13 NOT USED
- 14 NEW INSULATED GLASS TRANSOM.
- 15 SEE BASEMENT DEMO AND FLOOR PLANS FOR EXISTING BASEMENT WINDOWS AND FRAMES TO BE RESTORED IN PLACE AND EXISTING FRAMES TO BE RESTORED/REBUILT IN PLACE TO RECEIVE NEW WINDOW GLASSES.
- 16 NEW STONE SILL TO MATCH EXISTING.
- 17 NEW STONE BAND TO MATCH EXISTING.
- 18 NEW SALVAGED BRICK TO MATCH EXISTING.
- 19 NEW PREFINISHED CAP FLASHING ON EXISTING STONE COPING. TYPICAL + PARAPETS. COLOR TO MATCH EXISTING ADJACENT STONE OR CONCRETE COPING. (SEE ALT. BID NOTES #5 AND #9 AND RELATED COPING DETAILS ON ROOF PLAN).
- 20 CONTROL JOINT WITH SEALANT AND BACKER ROD. SEALANT COLOR TO MATCH ADJACENT MORTAR AFTER MASONRY CLEANING.
- 21 NEW EXHAUST LOWER. COORDINATE WITH MECHANICAL DRAWINGS.
- 22 NEW TRENCH DRAIN. SEE SECTIONS, PLANS AND MECHANICAL.
- 23 EXHAUST FAN LOUVER. SEE MECHANICAL.



1 WEST BUILDING ELEVATION  
1/8" = 1'-0"

**BOILER HOUSE BUILDING 10**

1243 N. 10th ST.

**MILWAUKEE WISCONSIN**

WEST BUILDING ELEVATION

REVISIONS

DATE 11-08-07

PROJECT NO. 0713-00

SHEET

**A2.1**