

KILBOURN AND VAN BUREN

FN 081081
EXHIBIT A

DETAILED PLAN DEVELOPMENT

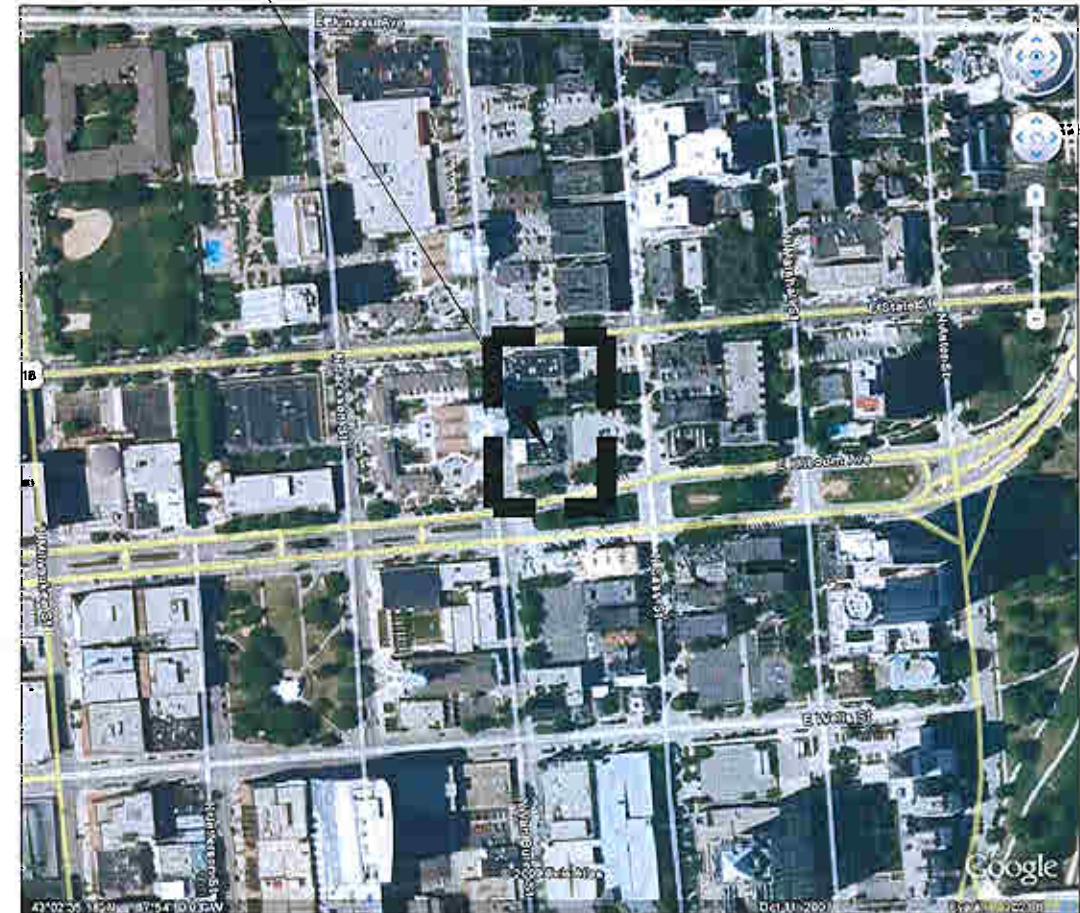


VIEW EAST ON KILBOURN



VIEW NORTH ON VAN BUREN

PROJECT LOCATION
700 EAST KILBOURN AVENUE
MILWAUKEE, WI 53202



PROJECT AND BUILDING DATA

OVERALL BUILDING:
GROUND FLOOR
24,663 SF
PARKING LEVELS 2-5
24,735 SF PER FLOOR
UNITS LEVELS 6-19
19,383 SF PER FLOOR

OCCUPANCY: R-2, S-2, A-4, B/M/A

ZONING: GPD

CONSTRUCTION: 1B

CONTACT INFORMATION

OWNER

NEW LAND ENTERPRISES
1840 NORTH FARWELL AVENUE
MILWAUKEE, WI 53202
T 414-271-5263
F 414-727-4612

ARCHITECTURE

KINDNESS ARCHITECTURE + PLANNING
517 MEMOMONEE STREET
MILWAUKEE, WI 53202
CONTACT: MELISSA RUDOLPH
MRudolph@kindnessa-p.com
(414) 783-3673
FAX (414)763-3348

SHEET INDEX

T100- TITLE SHEET
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GRADING & EROSION CONTROL PLAN
GRADING AND EROSION CONTROL DETAIL PLAN
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A204- UNIT FLOOR PLANS 6-19
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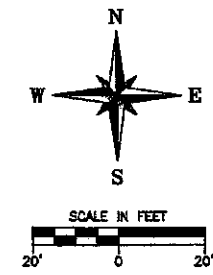
KILBOURN AND VAN BUREN

DATE: 10_02_09

SCALE: AS NOTED

T100

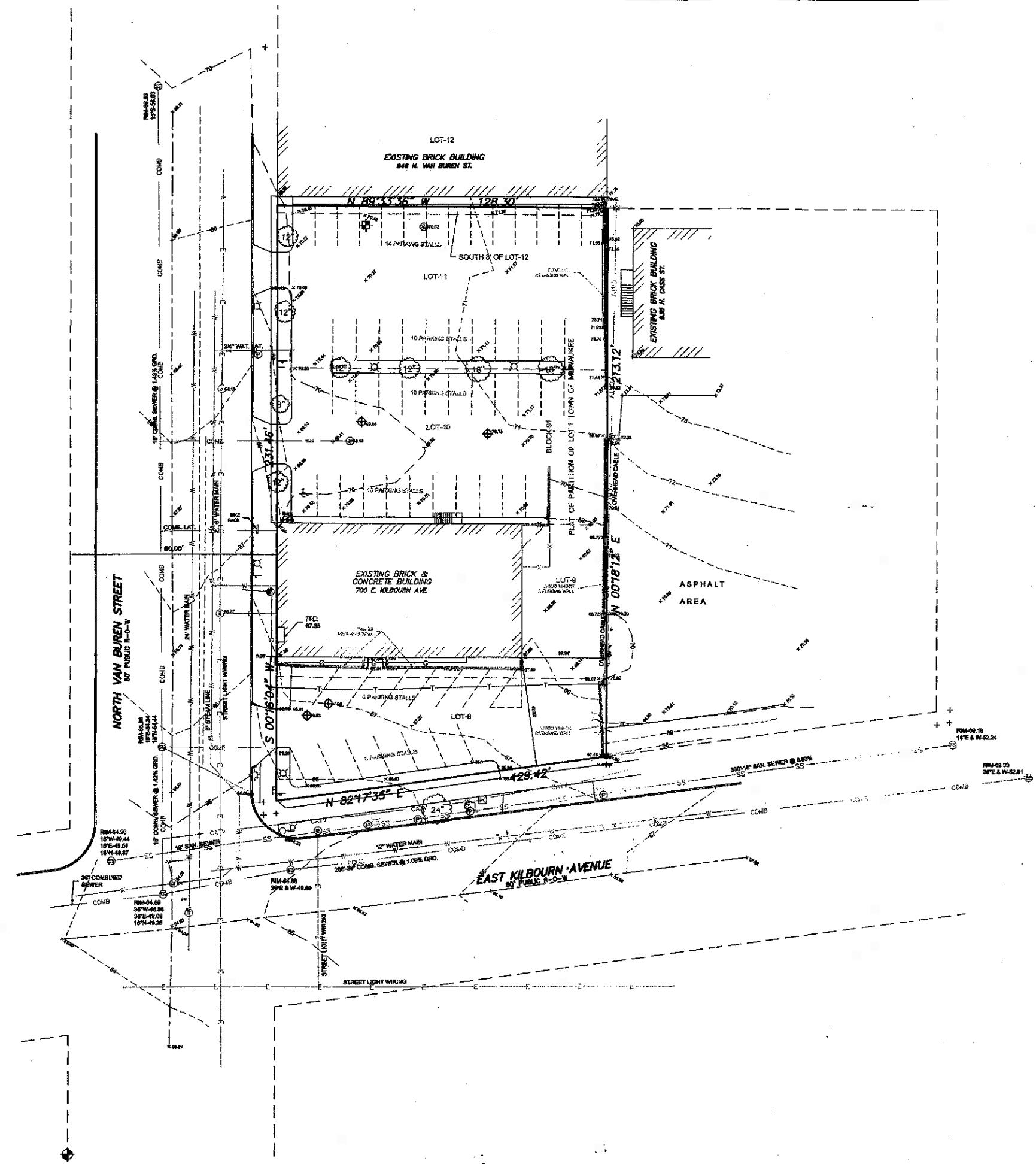




REFERENCE BEARING:
 THE EAST RIGHT OF WAY LINE OF NORTH VAN BUREN STREET IN BLOCK 91 OF PARTITION OF LOT-1, TOWN OF MILWAUKEE WAS USED AS THE REFERENCE BEARING AT NORTH 00°10'00" EAST (ASSUMED).

REFERENCE BENCHMARK:
 NW FLANGE BOLT ON HYDRANT LOCATED AT SOUTHWEST CORNER OF N. VAN BUREN STREET AND EAST KILBOURN AVE. - ELEVATION 64.32 CITY OF MILWAUKEE DATUM. ADD 980.86 TO CONVERT TO USGS DATUM.

LEGAL DESCRIPTION:
 Lots 9, 10, 11 and the South 3.00 feet of Lot 12 in Block 91 in the plat of PARTITION OF LOT 1 TOWN OF MILWAUKEE in the NW 1/4 of Section 28, Town 7 North, Range 22 East, City of Milwaukee, Milwaukee County, Wisconsin, together with that part of Lot 8 in Block 91 which is bounded and described as follows: Beginning at the northeast corner of said Lot 8; thence South along the east line of Lot 8 aforesaid 30.15 feet, to a point on the northerly line of East Kilbourn Avenue; thence Southwesterly along the northerly line of East Kilbourn Avenue 129.52 feet (129.42 feet surveyed) to a point on the east line of North Van Buren Street; thence north along the east line of North Van Buren Street 48.46 feet to the northwest corner of said Lot 8; thence East along the North line of Lot 8 aforesaid 128.21 feet (128.19 feet surveyed) to the point of beginning. Containing a net area of 29,504 square feet or 0.6543 acres of land.



- LEGEND:**
- ⊕ MONITORING WELL
 - + CHISELED CROSS - 5' OFFSET TO BLOCK CORNER
 - ⊗ CATCH BASIN
 - ⊙ SANITARY MANHOLE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ WATER MANHOLE
 - ⊙ UNKNOWN MANHOLE
 - ⊙ PARKING METER
 - ⊕ SOIL BORING
 - ⊙ LIGHT POLE
 - ⊙ TRAFFIC SIGNAL POLE
 - ⊕ POWER POLE WITH LIGHT
 - ⊙ MAILBOX
 - ⊕ UNDERGROUND WATER VALVE
 - ⊙ UNDERGROUND GAS VALVE
 - ⊙ ELECTRIC METER
 - ⊙ ELECTRICAL PEDESTAL
 - ⊙ TELEVISION PEDESTAL
 - ⊙ SIGN
 - ⊙ IRON PIPE FOUND

STATE OF WISCONSIN)
 COUNTY OF WAUKESHA)
 We, Jahnke & Jahnke Associates, Inc. do hereby certify that we have made this survey and that the information as shown on the above Plan is a true and correct representation thereof.
 Jahnke & Jahnke Associates, Inc.
 JOHN R. JAHNKE, REG. NO. S-1820
 DATED THIS 2ND DAY OF SEPTEMBER, 2009
 MILWAUKEE, WI

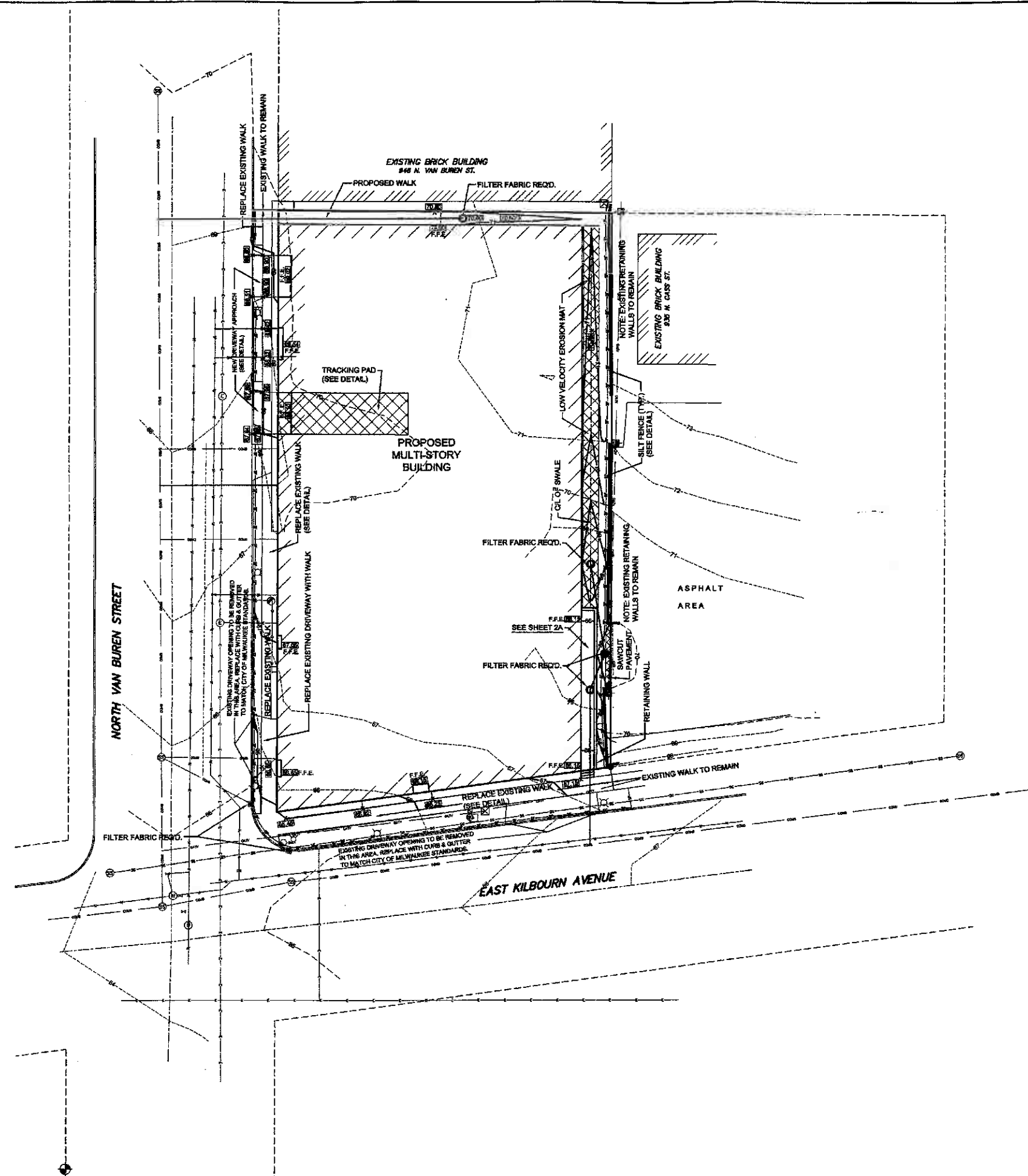
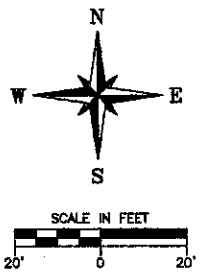
NOTE:
 NO TITLE POLICY WAS PROVIDED TO OUR OFFICE BY THE CLIENT THEREFORE THE COMPLETENESS OF EASEMENTS CANNOT BE GUARANTEED AT THIS TIME.

RE: BOOKENZ II
 EXISTING SITE PLAN
 FOR: NEW LAND ENTERPRISES
 PART OF NW 1/4 SEC. 28, T7N, R22E
 CITY OF MILWAUKEE, MILWAUKEE CO. WI.

JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD. - WAUKESHA, WI 53188
 TEL. No. (262) 542-5797 FAX (262) 542-7998

SCALE: 1" = 20'
 DATE: 9/2/2009
 DRAWN BY: B.S./M.K. CHECKED BY: H.D.H. FILE NO.: MILWAUKEE 808
 BOOK NO.: MLW 91 JOB: 57563 SHEET 1 OF 5

FILE NAME: S:\proj\jaha\57563\dwg\57563.dwg



- LEGEND:
- 00--- EXISTING CONTOURS
 - 70--- EXISTING CONTOURS
 - x.00.22 PROPOSED SPOT GRADE
 - 70--- PROPOSED CONTOUR
 - S--- SILT FENCE



RE: BOOKENZ II

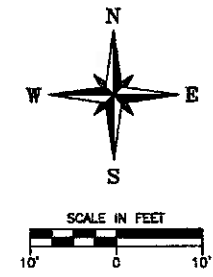
GRADING & EROSION CONTROL PLAN
 FOR: NEW LAND ENTERPRISES
 PART OF NW.1/4 SEC.28, T7N, R22E
 CITY OF MILWAUKEE, MILWAUKEE CO. WI.

JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD. - WALKER, WI 53188
 TEL. No. (262) 542-5797 FAX (262) 542-7688

SCALE: 1" = 20'	DATE: 9/2/2009
DRAWN BY: B.S./W.W. CHECKED BY: H.D.H.	FILE NO.: MILWAUKEE 906
BOOK NO.: MILW 01	JOB: S7563 SHEET 2 OF 5

REVISED: 9/30/2009
 REVISED: 9/28/2009

FILE NAME: S:\Projects\57563.dwg\57563.dwg

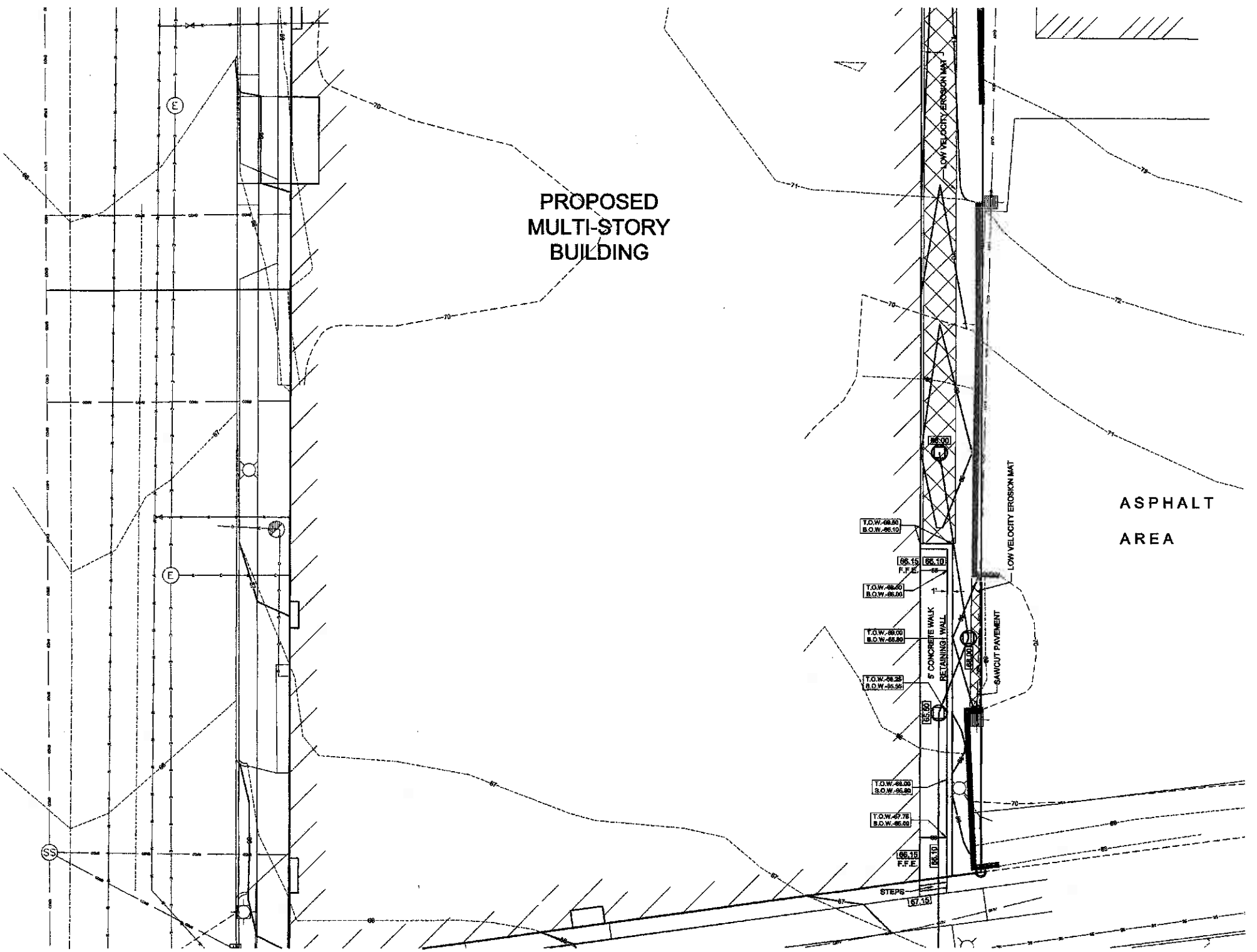


NORTH VAN BUREN STREET

PROPOSED
MULTI-STORY
BUILDING

ASPHALT
AREA

- LEGEND:
- - - - - EXISTING CONTOURS
 - - - - - 70
 - [66.10] PROPOSED SPOT GRADE
 - - - - - 70



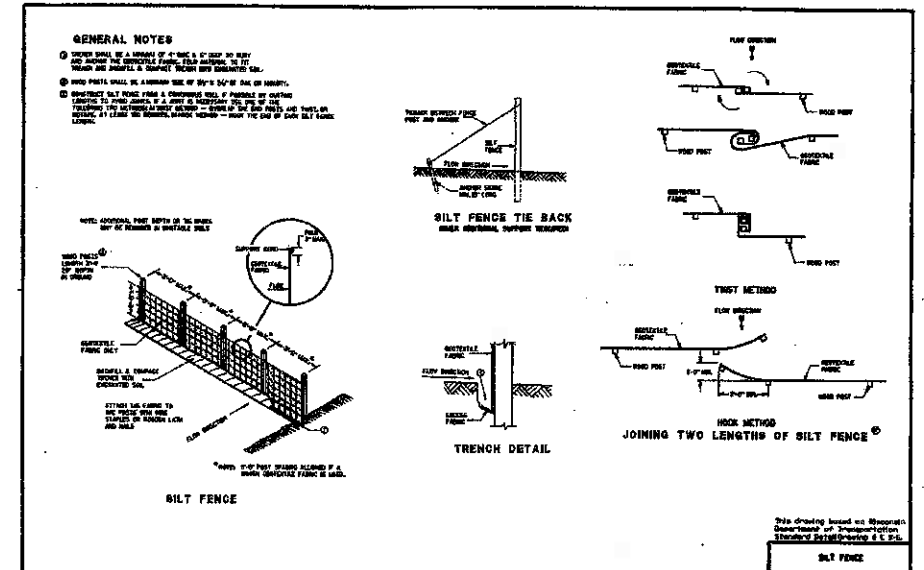
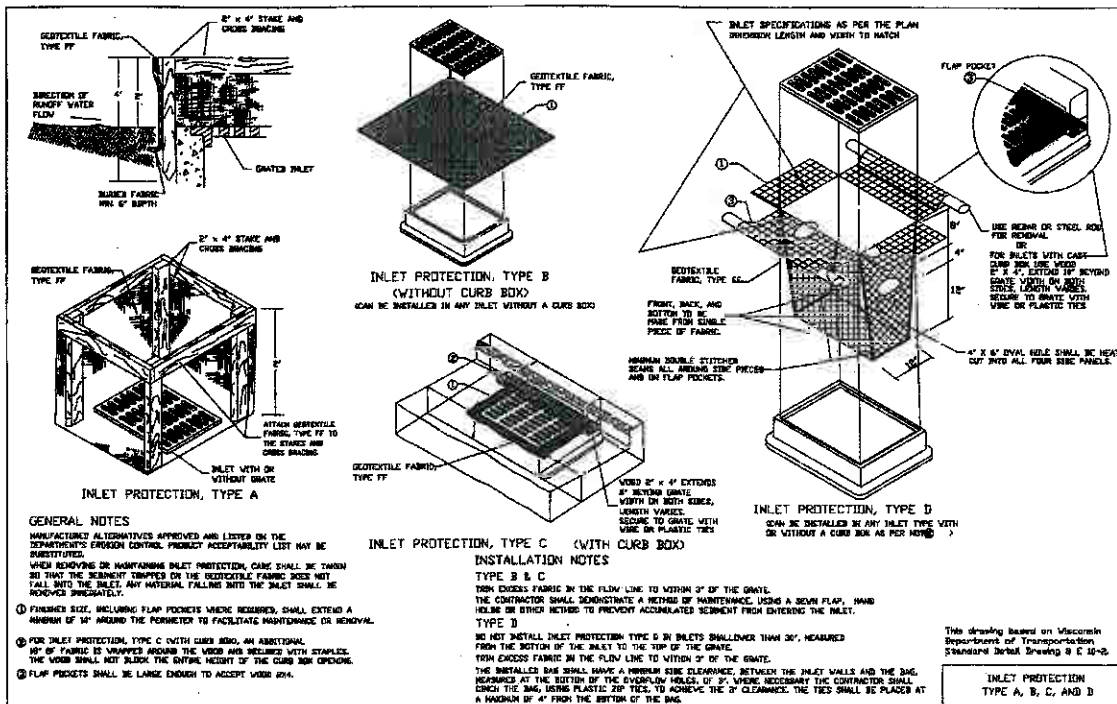
RE: BOOKENZ II
 GRADING & EROSION CONTROL PLAN
 FOR: NEW LAND ENTERPRISES
 PART OF NW 1/4 SEC. 28, T7N, R22E
 CITY OF MILWAUKEE, MILWAUKEE CO. WI.

JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD. - WALKESHA, WI 53188
 TEL. No. (262) 542-5797 FAX (262) 542-7688

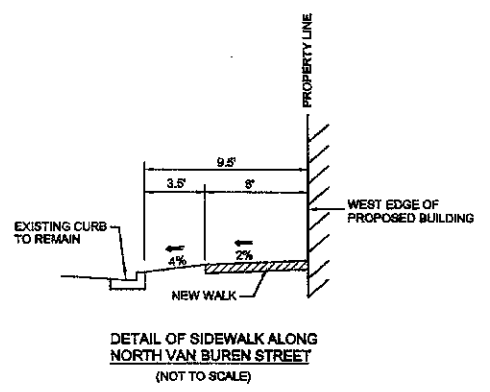
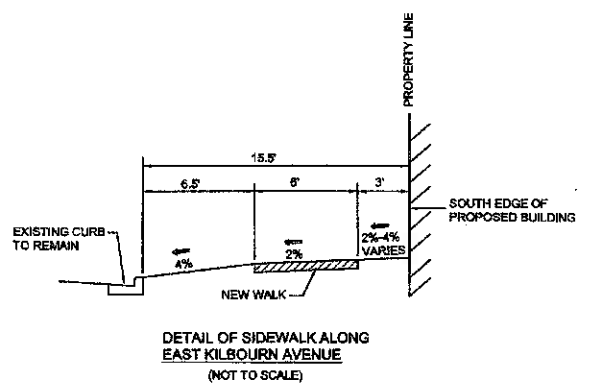
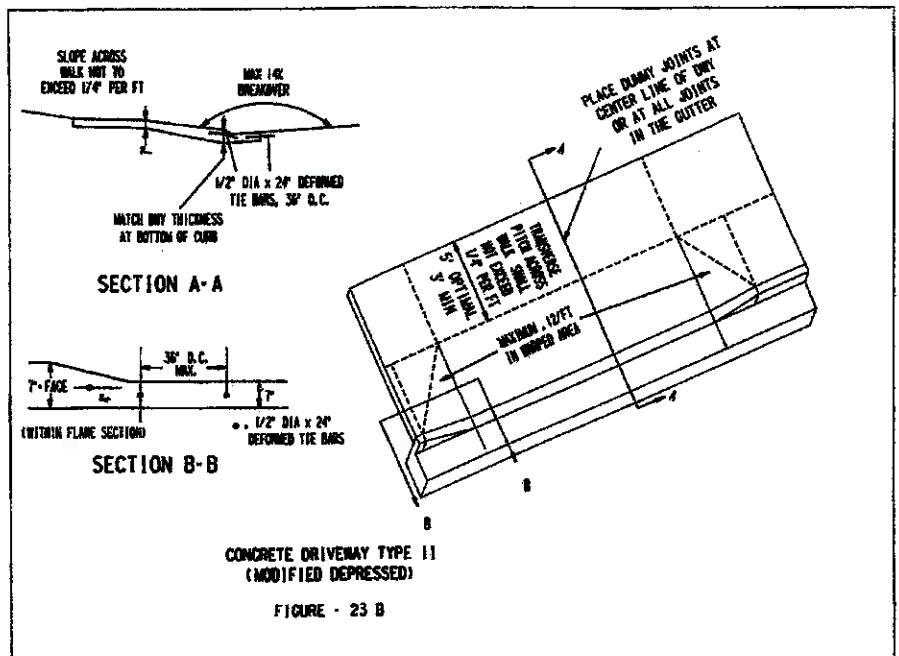
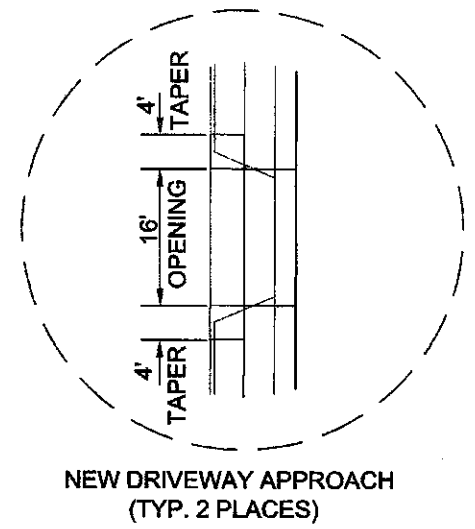
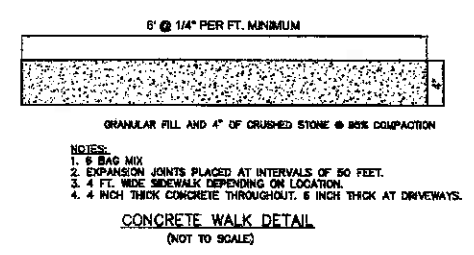
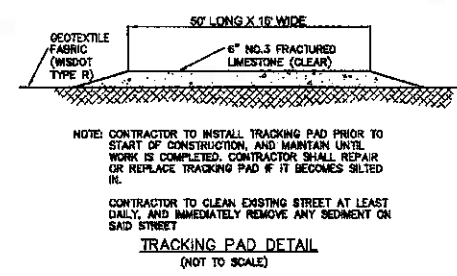
SCALE: 1" = 10' DATE: 9/28/2009
 DRAWN BY: B.S./W.W. CHECKED BY: H.D.H. FILE NO.: MILWAUKEE 808
 BOOK NO.: MILW 81 JOB: S7063 SHEET 2A OF 5

REVISED: 9/30/2009

FILE NAME: S:\Projects\S7063.dwg; S7063.dwg



- NOTES:**
- All construction practices to comply with the City of Milwaukee and the Wisconsin DNR Construction and Technical Standards.
 - All disturbed areas are to be topsoiled (4" thick), seeded, fertilized and mulched.
 - All construction traffic is to enter/exit the site over the tracking pads. All public streets are to be kept clean at all times.
 - Upon site stabilization, contractor shall remove and dispose of all silt fence.
 - The seed mixture shall be 65% Kentucky Bluegrass, 20% Fine Fescues, 15% Perennial Ryegrass at the rate of 3-4 lbs/1000 sq. ft. up to September 15. Areas seeded between Sept. 15 and October 15 shall be seeded with winter wheat at a rate of 3 lbs/1000 sq. ft. Permanent seed shall then be placed prior to June 1 of the following year. Areas not seeded prior to October 15 shall be seeded with dormant seed after November 1. Areas of disturbance not having sufficient vegetative growth by November 15 shall be stabilized with Type B polyacrylamide from DOT pol list.
 - Fertilize soil with 10 lbs/1000 sq. ft. of 20-10-10 fertilizer.
 - Temporary stabilization is required for any area left inactive for 7 days.

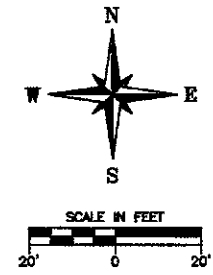
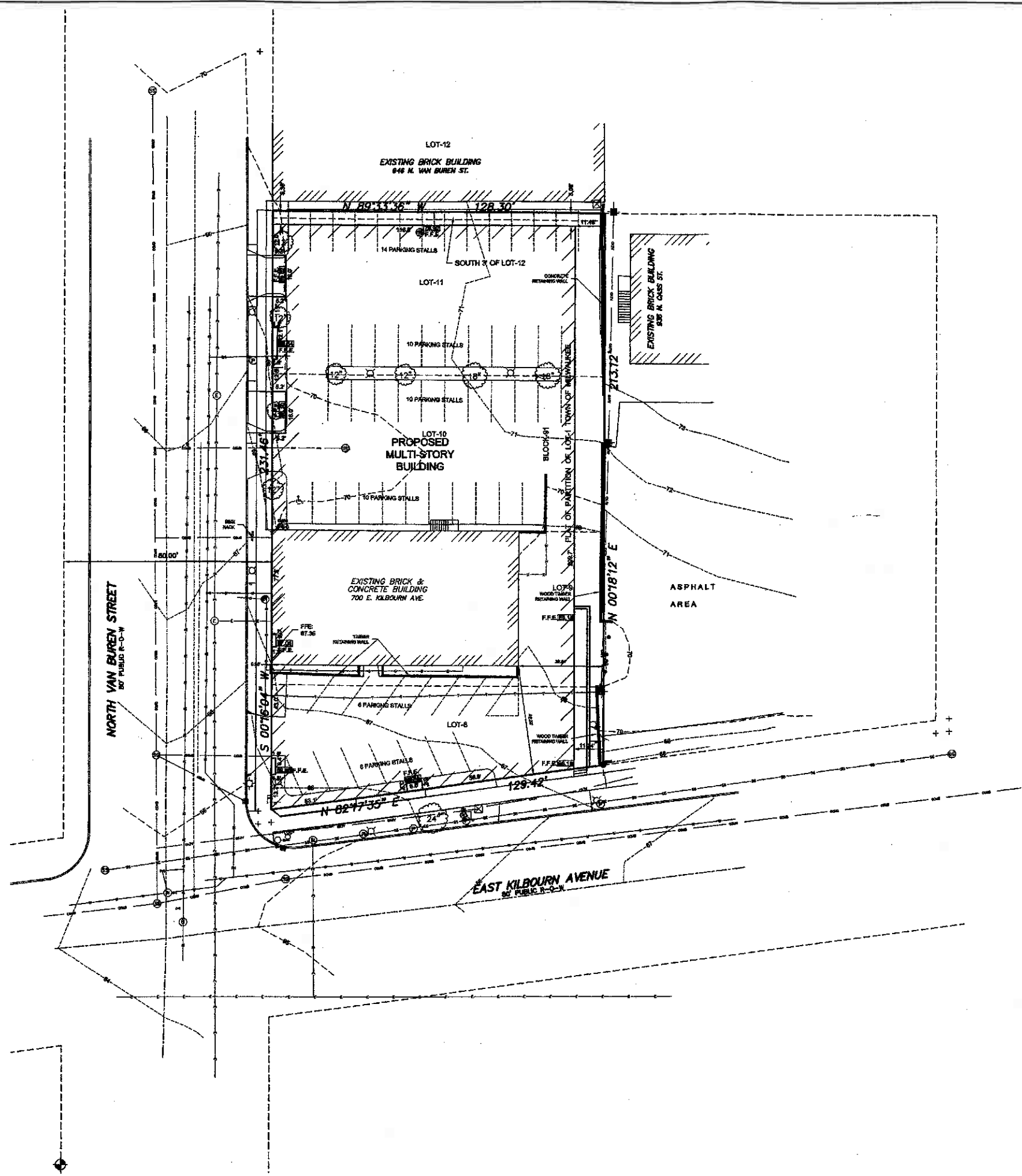


RE: BOOKENZ II
DETAILS
FOR: NEW LAND ENTERPRISES
PART OF NW 1/4 SEC. 28, T7N, R22E
CITY OF MILWAUKEE, MILWAUKEE CO. WI.

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD., WAUKESHA, WI 53188
TEL (262) 542-5797 FAX (262) 542-7898

SCALE: NONE DATE: 8/26/2008
DRAWN BY: W.W. CHECKED BY: H.D.H. FILE NO.: MILW. 808
BOOK NO.: MILW. 01 JOB: S-7963 SHEET 4 OF 5

FILE NAME: S7963.DWG 57853.DWG



REFERENCE BEARING:
 THE EAST RIGHT OF WAY LINE OF NORTH VAN BUREN STREET IN
 BLOCK-81 OF PARTITION OF LOT-1, TOWN OF MILWAUKEE WAS USED AS
 THE REFERENCE BEARING AT NORTH 00°16'06" EAST (ASSUMED).

REFERENCE BENCHMARK:
 NW FLANGE BOLT ON HYDRANT LOCATED AT SOUTHWEST CORNER OF
 N. VAN BUREN STREET AND EAST KILBOURN AVE. - ELEVATION 64.32
 CITY OF MILWAUKEE DATUM.

LEGAL DESCRIPTION:
 Lots 9, 10, 11 and the South 3.00 feet of Lot 12 in Block 91 in the plat of
 PARTITION OF LOT 11 TOWN OF MILWAUKEE in the NW 1/4 of Section 28,
 Town 7 North, Range 22 East, City of Milwaukee, Milwaukee County, Wisconsin,
 together with that part of Lot 6 in Block 91 which is bounded and described as
 follows: Beginning at the northeast corner of said Lot 8; thence South along the
 east line of Lot 8 aforesaid 30.13 feet; to a point on the northerly line of East
 Kilbourn Avenue; thence Southwesterly along the northerly line of East Kilbourn
 Avenue 129.82 feet (129.42 feet surveyed) to a point on the east line of North
 Van Buren Street; thence north along the east line of North Van Buren Street
 48.48 feet to the northwest corner of said Lot 8; thence East along the North line
 of Lot 8 aforesaid 128.21 feet (128.19 feet surveyed) to the point of beginning.
 Containing a net area of 28,804 square feet or 0.6543 acres of land.

STATE OF WISCONSIN
 COUNTY OF WAUKESHA
 We, Jahnke & Jahnke Associates Inc. hereby certify that we have made this survey and that the information as shown on the
 above Plat of Survey is a true and correct representation thereof.
 [Signature]
 JAHNKE & JAHNKE ASSOCIATES INC. WISCONSIN REG. NO. 6-12345
 DATED THIS 2ND DAY OF SEPTEMBER, 2009
 REVISED THIS 30th DAY OF SEPTEMBER, 2009



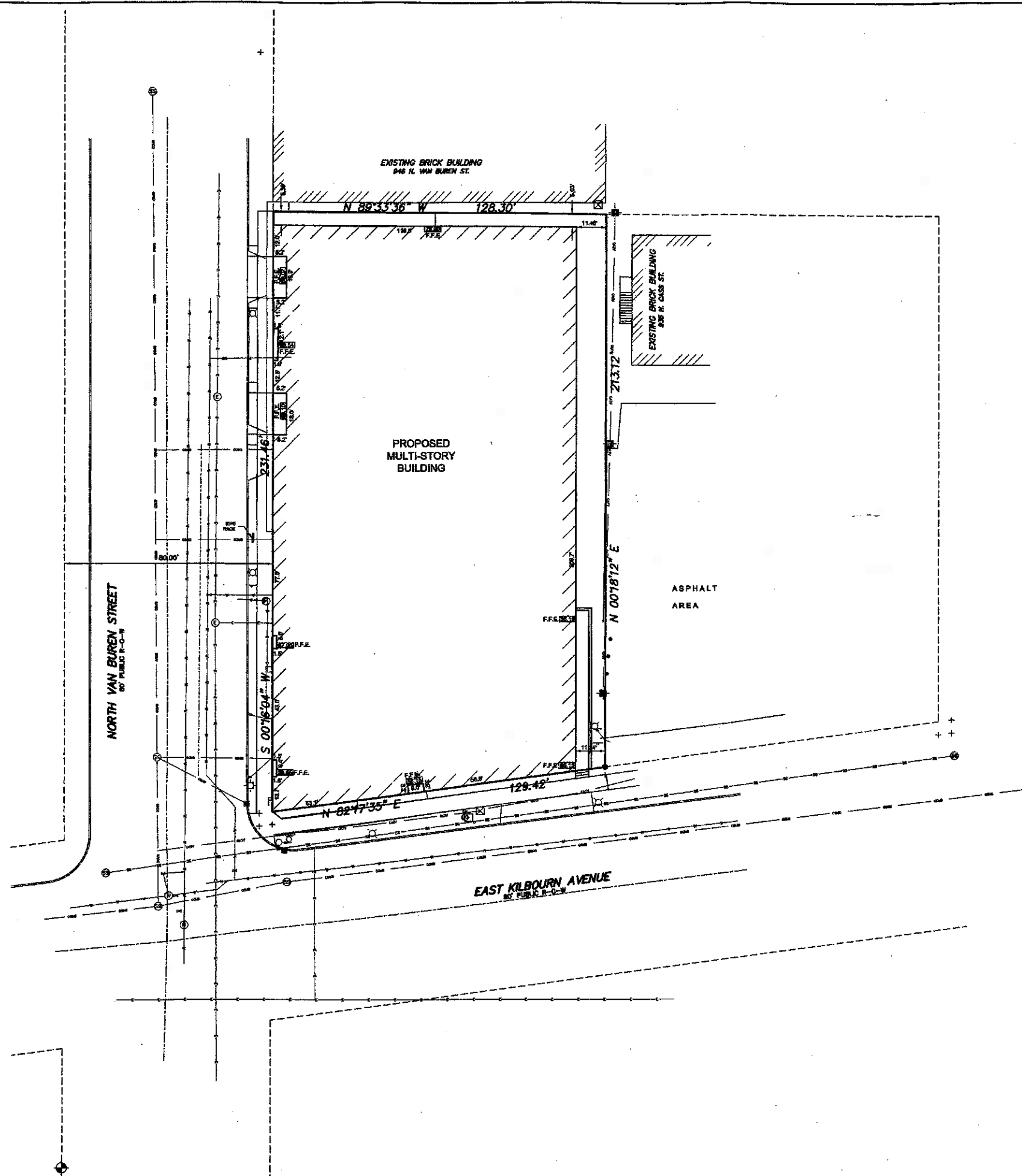
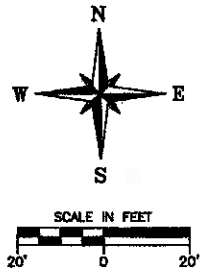
NOTE:
 NO TITLE POLICY WAS PROVIDED TO OUR OFFICE BY THE CLIENT
 THEREFORE THE COMPLETENESS OF EASEMENTS CANNOT BE
 GUARANTEED AT THIS TIME.

RE: BOOKENZ II
 PLAT OF SURVEY
 FOR: NEW LAND ENTERPRISES
 PART OF NW 1/4 SEC. 28, T7N, R22E
 CITY OF MILWAUKEE, MILWAUKEE CO. WI.

JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD. - WAUKESHA, WI 53188
 TEL. No. (262) 542-6797 FAX (262) 542-7698

SCALE: 1" = 20'
 DATE: 9/2/2009
 DRAWN BY: B.S./W.N. CHECKED BY: H.D.H. FILE NO.: MILWAUKEE 808
 REVISED: 9/30/2009 REVISED: 9/28/2009 BOOK NO.: MILW 91 JOB: 57563 SHEET 5 OF 6

FILE NAME: S:\projects\57563\dwg\57563.dwg



REFERENCE BEARING:
 THE EAST RIGHT OF WAY LINE OF NORTH VAN BUREN STREET IN BLOCK 91 OF PARTITION OF LOT 1, TOWN OF MILWAUKEE WAS USED AS THE REFERENCE BEARING AT NORTH 00°16'00\"/>

REFERENCE BENCHMARK:
 NW FLANGE BOLT ON HYDRANT LOCATED AT SOUTHWEST CORNER OF N. VAN BUREN STREET AND EAST KILBOURN AVE. - ELEVATION 84.32 CITY OF MILWAUKEE DATUM.

LEGAL DESCRIPTION:
 Lots 9, 10, 11 and the South 3.00 feet of Lot 12 in Block 91 in the plat of PARTITION OF LOT 1 TOWN OF MILWAUKEE in the NW 1/4 of Section 28, Town 7 North, Range 22 East, City of Milwaukee, Milwaukee County, Wisconsin, together with that part of Lot 8 in Block 91 which is bounded and described as follows: Beginning at the northeast corner of said Lot 8; thence South along the east line of Lot 8 aforesaid 30.13 feet, to a point on the northerly line of East Kilbourn Avenue; thence Southwesterly along the northerly line of East Kilbourn Avenue 129.32 feet (129.42 feet surveyed) to a point on the east line of North Van Buren Street; thence north along the east line of North Van Buren Street 48.46 feet to the northwest corner of said Lot 8; thence East along the North line of Lot 8 aforesaid 128.21 feet (128.19 feet surveyed) to the point of beginning. Containing a net area of 28,804 square feet or 0.6543 acre of land.

STATE OF WISCONSIN)
 COUNTY OF WALKESHA)
 We, Jahnke & Jahnke Associates Inc. do hereby certify that we have made this survey and that the information as shown on the above Plat is a correct representation thereof.
 J. JAHNKE
 J. JAHNKE
 DATED THIS 23RD DAY OF AUGUST, 2009
 REVISED THIS 23RD DAY OF SEPTEMBER, 2009
 REVISED THIS 23RD DAY OF SEPTEMBER, 2009

NOTE:
 NO TITLE POLICY WAS PROVIDED TO OUR OFFICE BY THE CLIENT THEREFORE THE COMPLETENESS OF EASEMENTS CANNOT BE GUARANTEED AT THIS TIME.

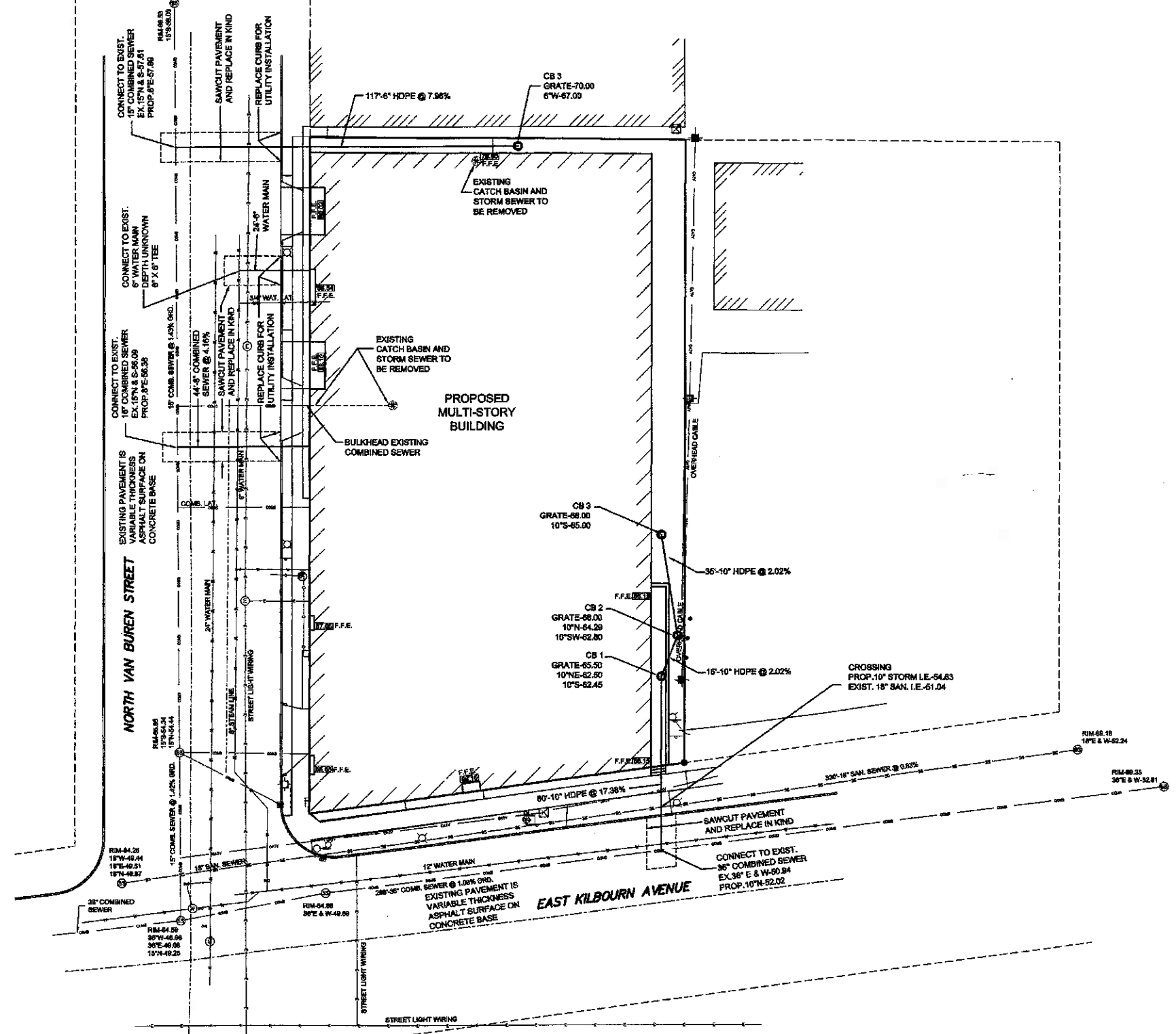
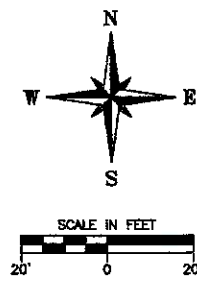
RE: BOOKENZ II

PLAT OF SURVEY
 FOR: NEW LAND ENTERPRISES
 PART OF NW 1/4 SEC. 28, T7N, R22E
 CITY OF MILWAUKEE, MILWAUKEE CO. WI.

JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 N. BORELAND BLVD. - WALKESHA, WI 53090
 TEL. (262) 542-5787 FAX (262) 542-7898

SCALE: 1" = 20'
 DATE: 8/23/2009
 REVISED: 8/30/2009 DRAWN BY: B.S./M.W. CHECKED BY: H.D.H. FILE NO.: MILWAUKEE 808
 REVISED: 9/28/2009 BOOK NO.: MLW 91 JOB: 57563 SHEET 5A OF 5

FILE NAME: S:\proj\mla\57563.dwg\57563.dwg



UTILITY NOTES:

1. THE STORM SEWER MATERIAL SHALL BE ADS N-12 WITH WATER TIGHT JOINTS.
2. ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERMAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE IN ACCORD WITH 182.0715(2) OF THE STATUTES. TRACER WIRE SPECIFICATIONS BELOW:
 - a) 12 GAUGE SOLID COPPER WIRE WITH A PLASTIC COATING.
 - b) TRACER WIRE SHALL BE TAPED TO THE TOP OF PLASTIC WATER OR SEWER PIPE
 - c) TRACER WIRE SHALL BE TAPED EVERY 6 TO 20 FEET AND AT ALL BENDS
 - d) TRACER WIRE SHALL HAVE AN ACCESS POINT AT A MINIMUM OF EVERY 300 FEET. AT ACCESS POINT THE TRACER WIRE IS BROUGHT UP TO THE GRADE IN VALVE BOXES, CLEANOUTS, MANHOLES, CATCH BASINS, INLETS, OR OTHER COVERED ACCESS DEVICES. WHEN RUNNING TRACE WIRE UP AT THE CURB STOPS, PUT THE WIRE ON THE OUTSIDE OF THE BOX, SO THAT THE TRACER WIRE DOESNT GET TANGLED OR TURN WHEN THE VALVE IS TURNED.
 - e) SPLICES IN TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT OR COMPRESSION TYPE CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.
 - f) THE TRACER WIRE SHALL BE TESTED AFTER INSTALLATION TO ENSURE IT IS WORKING.
3. FILTER FABRIC SHALL BE INSTALLED UNDER THE GRATES OF ALL STRUCTURES DURING CONSTRUCTION. CONTRACTOR SHALL CLEAN THE STORM SEWERS, INLETS, AND CATCH BASINS AFTER CONSTRUCTION.
4. THE STORM SEWERS SHALL CONFORM TO THE CONSTRUCTION REQUIREMENTS AND DIMENSIONS OF THE CITY OF MILWAUKEE PLUMBING CODE.
5. THE WATER MAIN AND WATER SERVICE MATERIAL SHALL BE PVC AWWA C-900, CLASS 200, DR-14 WITH PUSH-ON TYPE INTEGRAL ELASTOMERIC BELL-SPOOT JOINTS.
6. WATER VALVES SHALL BE GATE VALVES CONFORMING TO AWWA C-508-94. NON-RISING STEMS SEALED WITH TWO O-RINGS, MJ ENDS, TURN LEFT (COUNTER CLOCKWISE) TO OPEN, 2" SQUARE OPERATING NUT. ALL EXPOSED AND NON-EPOXY COATED BOLTS AND NUTS SHALL BE STAINLESS STEEL; T-BOLTS SHALL BE COR-BLUE OR HAVE FLUOROPOLYMER COATING. ALL VALVES SHALL BE FURNISHED WITH INTERIOR AND EXTERIOR EPOXY COATINGS PER AWWA C-550-90. VALVES SHALL BE INSTALLED PER FILE NO. 37 OF THE WISCONSIN STANDARD SPECIFICATIONS AND SHALL BE WRAPPED WITH POLYETHYLENE PER CHAPTER 8.21.0 OF THE WISCONSIN STANDARD SPECIFICATIONS.
7. VALVE BOXES SHALL BE CAST IRON.
8. CATCH BASIN 1 (IN WALK) SHALL HAVE A GRATE SUITABLE FOR PEDESTRIAN TRAFFIC (I.E. NARROW OPENINGS).

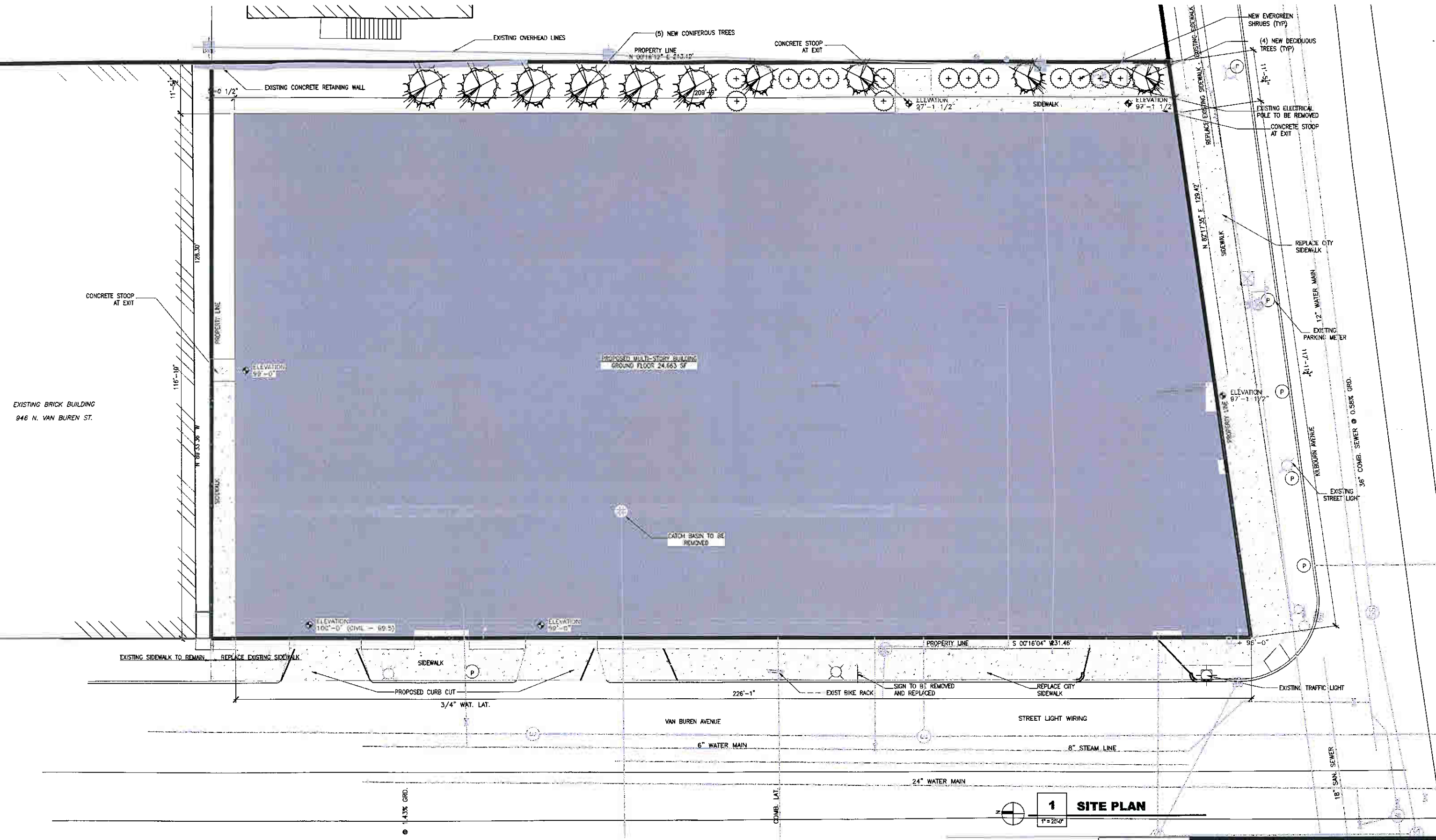


RE: BOOKENZ II
UTILITY PLAN
FOR: NEW LAND ENTERPRISES
PART OF NW 1/4 SEC. 28, T7N, R22E
CITY OF MILWAUKEE, MILWAUKEE CO. WI.

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD. - WALKESHA, WISCONSIN 53188
TEL. (262) 542-5787 FAX (262) 542-7886

SCALE: 1" = 20'	DATE: 9/2/2009
DRAWN BY: B.S./M.W. CHECKED BY: H.D.H. FILE NO.: MILWAUKEE 808	REVISED: 9/28/2009
BOOK NO.: MLW #1	JOB: S7583 SHEET 3 OF 5

FILE NAME: S:\Projects\17583.dwg\17583.dwg



1 SITE PLAN
1" = 20'0"

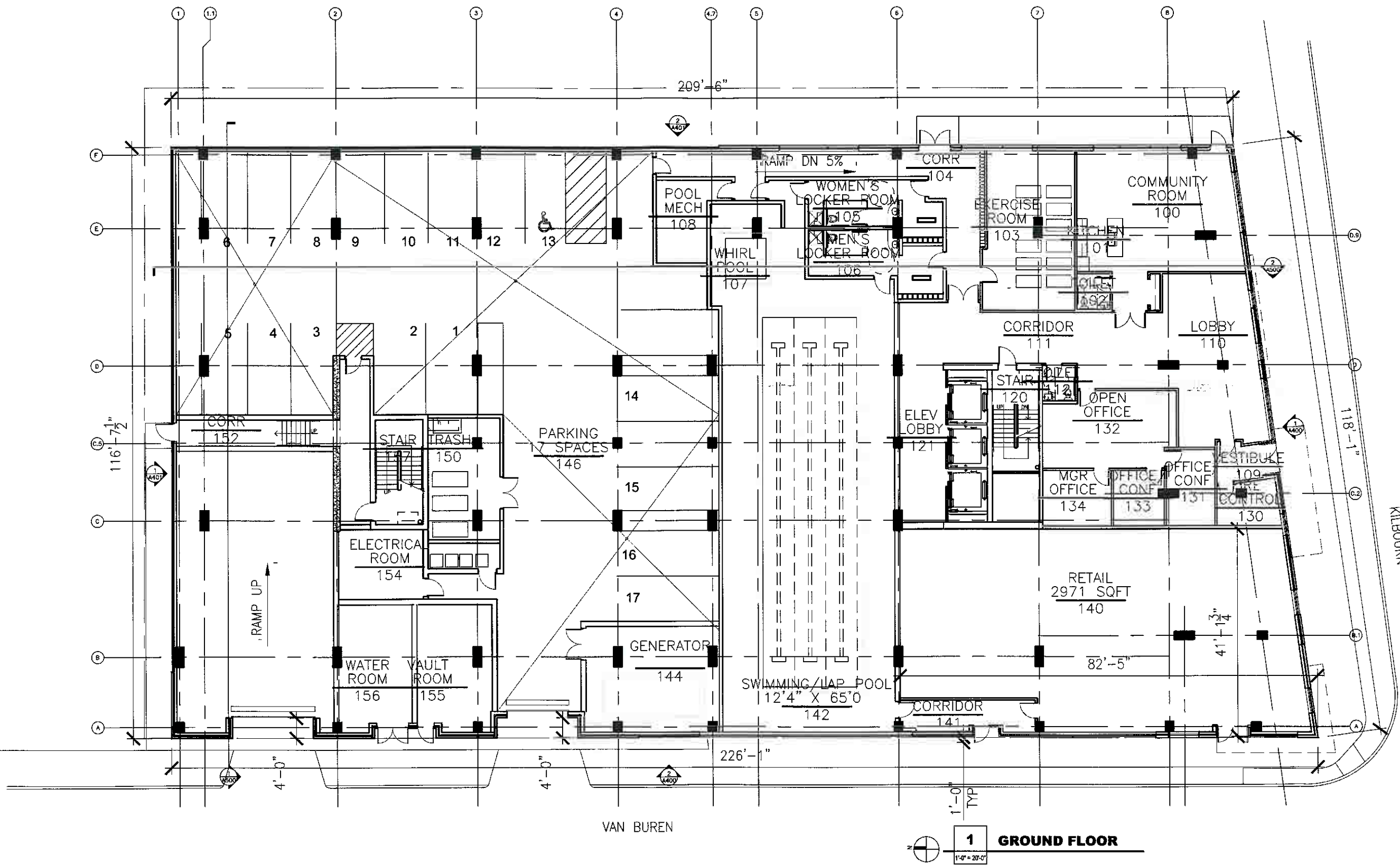
KILBOURN AND VAN BUREN

DATE: 10_02_09

SCALE: AS NOTED

A001


KINDNESS
 architecture + planning
 517e menomonee st. MILWAUKEE wi 53202



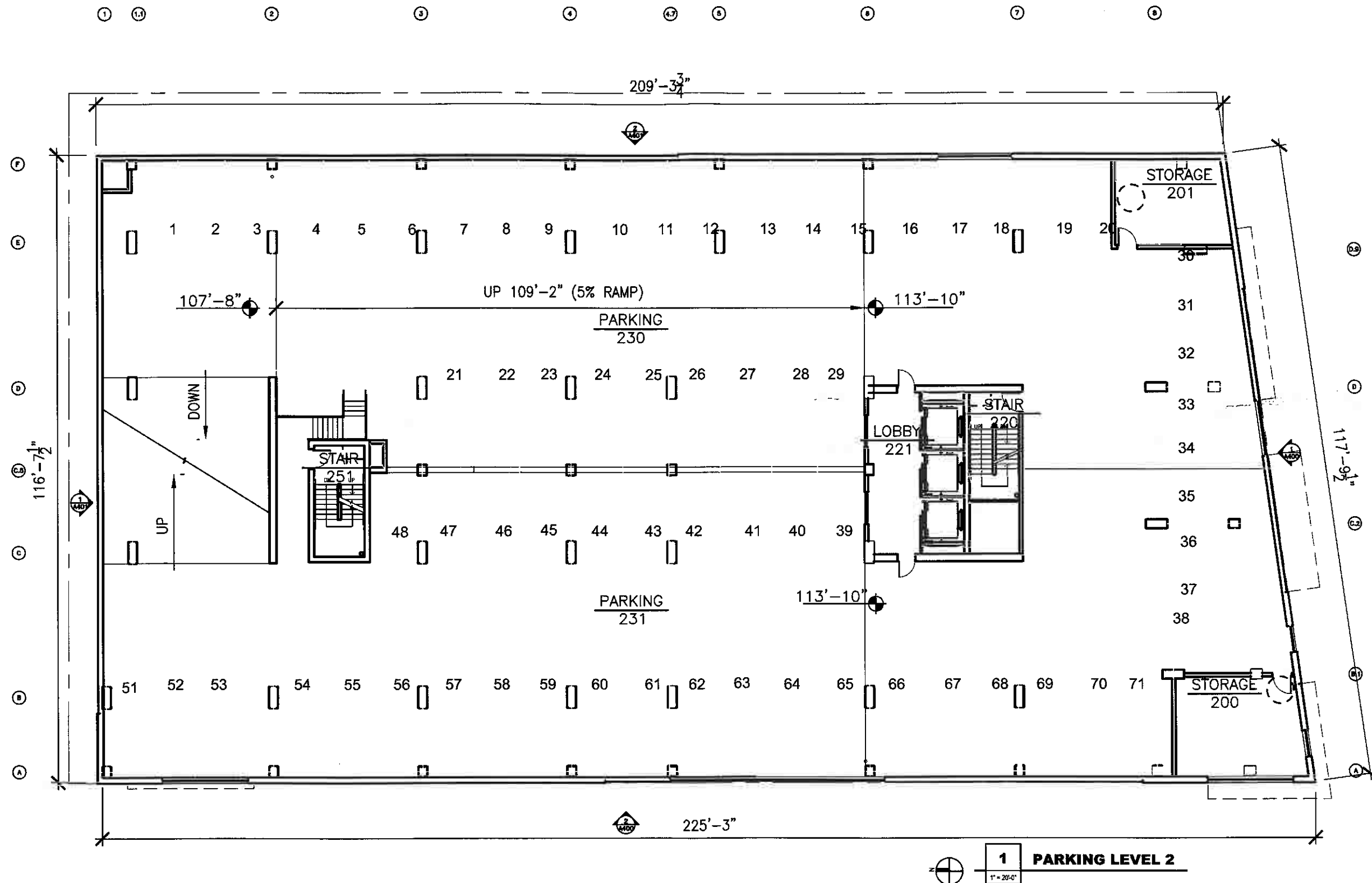
KILBOURN AND VAN BUREN

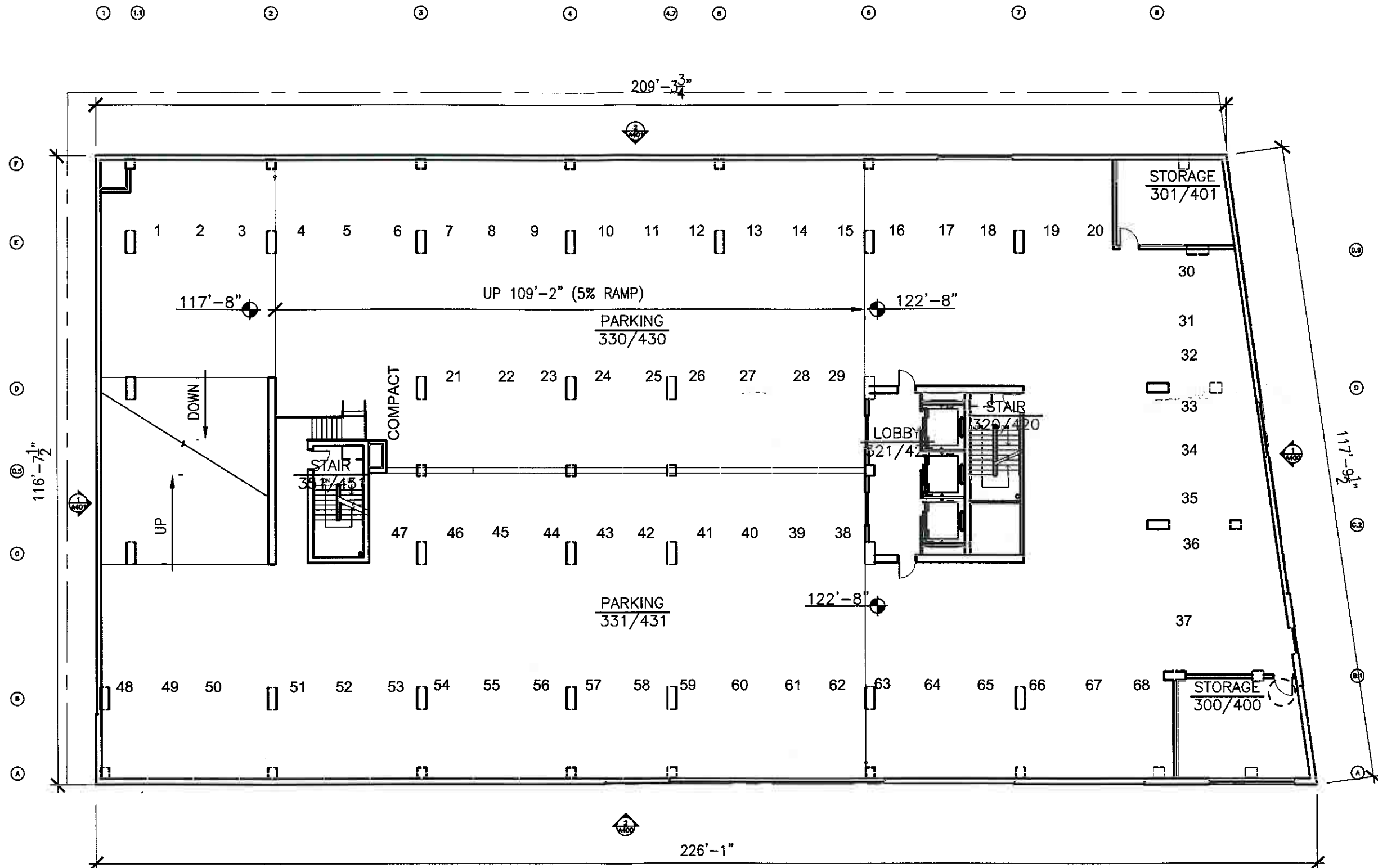
DATE: 10_02_09

SCALE: AS NOTED **A200**

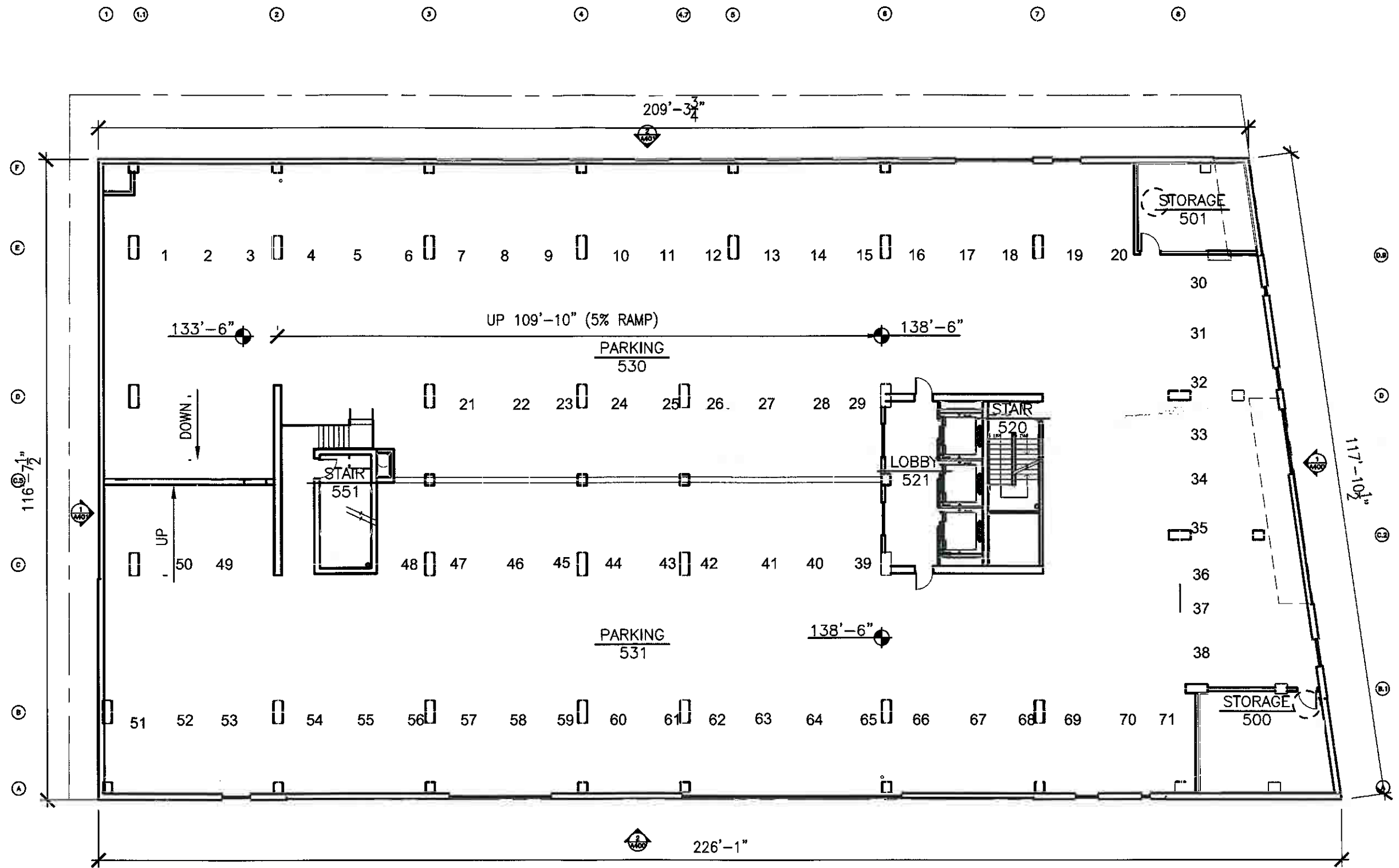
1 GROUND FLOOR
1/8" = 20'-0"

KINDNESS
architecture + planning
NEW LAND CONSTRUCTION
517 e menomonee st. MILWAUKEE WI 53202





1 3-4 PARKING LEVEL
1" = 20'-0"



1 PARKING LEVEL 5
1" = 20'-0"

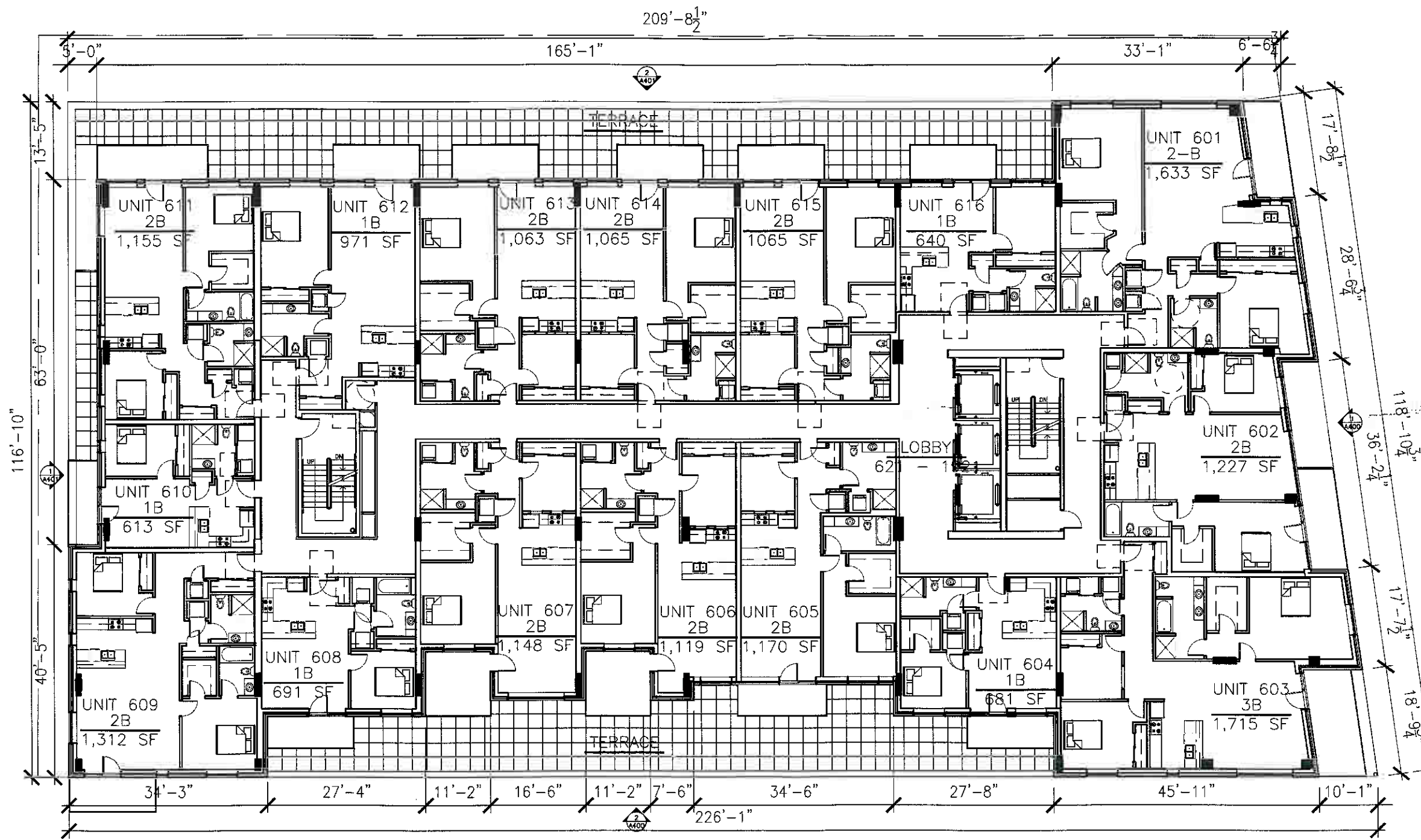
KILBOURN AND VAN BUREN

DATE: 10_02_09

SCALE: AS NOTED

A203

KINDNESS
architecture + planning
NEW LAND CONSTRUCTION
517 e menomonee st. MILWAUKEE wi 53202



UNIT MIX

#	TYPE	SF RANGE
5	1 BED	613 - 971 SF
10	2 BED	957 - 1,633 SF
1	3 BED	1,715 SF
16 TOTAL UNITS/FLOOR		
X14 FLOORS		
224 UNITS		

1 UNIT PLANS FLOORS 6 - 19
1" = 20'-0"

KILBOURN AND VAN BUREN

DATE: 10_02_09

SCALE: AS NOTED

A204

KINDNESS
architecture + planning
NEW LAND CONSTRUCTION
517 e menomonee st. MILWAUKEE WI 53202

ELEVATIONS NOT CURRENT
(SEE 'SUPPLEMENTAL INFO')



KILBOURN AND VAN BUREN

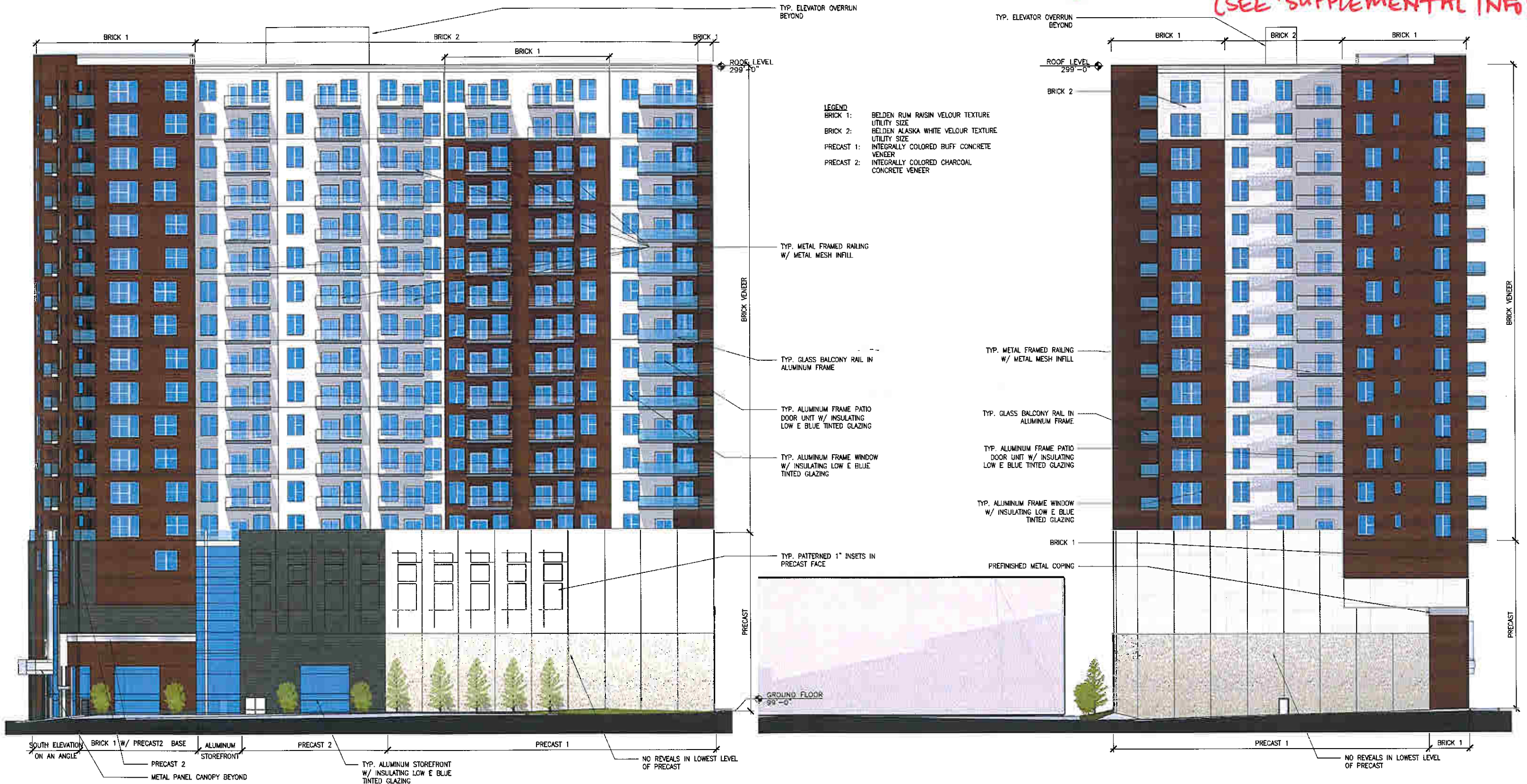
DATE: 10_02_09

SCALE: AS NOTED

A400

KINDNESS
architecture + planning
NEW LAND CONSTRUCTION
517e menomonee st. MILWAUKEE WI 53202

ELEVATIONS NOT CURRENT
(SEE 'SUPPLEMENTAL INFO')



KILBOURN AND VAN BUREN

DATE: 10_02_09

SCALE: AS NOTED

A401

KINDNESS
architecture + planning

NEW LAND CONSTRUCTION

517e menomonee st. MILWAUKEE WI 53202