



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

2807 - 09 West State Street, Concordia Historic District

ADDRESS OF PROPERTY:

2807 - 09 West State Street, Concordia Historic District

2. NAME AND ADDRESS OF OWNER:

Name(s): City of Milwaukee c/o Yves LaPierre, Department of City Development

Address: 809 North Broadway

City: State: ZIP:

Email: ylapie@milwaukee.gov

Telephone number (area code & number) Daytime: x-5762 Evening:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s):

Address:

City: State: ZIP Code:

Email:

Telephone number (area code & number) Daytime: Evening:

4. ATTACHMENTS: (Because projects can vary in size and scope, please call the HPC Office at 414-286-5712 for submittal requirements)

A. REQUIRED FOR MAJOR PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 1 reduced to 11" x 17" or 8 1/2" x 11")
A digital copy of the photos and drawings is also requested.

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to a maximum of 11" x 17")

Site Plan showing location of project and adjoining structures and fences


PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED AND SIGNED.

5. DESCRIPTION OF PROJECT:

Tell us what you want to do. Describe all proposed work including materials, design, and dimensions. Additional pages may be attached.

Exterior renovation with like materials.
Rebuild Chimney at east gable, rear chimney to be removed to below the roof line.
New roofing and gutters
Siding and trim repair or replacement with like materials
Rebuild porches
Full exterior paint job

6. SIGNATURE OF APPLICANT:



Signature

Yves LaPierre
Please print or type name

January 28, 2013
Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI 53202

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc



State Street façade showing areas to be repaired:
Eaves and gutters
Siding,
Trim
Porch rebuild to original, historic details and dimensions including built in gutter, proper skirting, new steps, new railings etc...



Front attic gable



Front façade:

Remove trim boards over front porch and repair siding.



Front porch to be rebuilt.



Chimney at east gable to be rebuilt, step flashed. Masonry to be cleaned before roofing house.



Corner boards to be replaced. Install new water table and drip board



Side porch repairs



West Gable window trim to be repaired

Scope of Work for 2534-36 North 1st Street and 2807-09 West State Street

2534-36 North 1st Street is in the Harambee Historic District and **2807-09 West State Street** is in the Historic Concordia Neighborhood. Both properties require renovations to return the properties to their original, historic condition. Contractor must be skilled and experienced in renovating older, distressed properties. Renovations require like-with-like materials that match patterns and dimensions on the existing house. Contractor is responsible for verification of all field measurements and material quantities.

Items that need renovation are listed below followed by general specs for repair items. Note that this list is to be used in conjunction with the technical specifications that are part of the bid package. Contractor must read and follow all technical specifications – (for example - comply with the lead safe rehab standards as outlined in Section 01810 LeadDust Hazards, etc...)

Bids to include all labor and materials. Change orders will not be approved for routine repairs that are part of exterior renovations and should be included in the base bid. Change orders will be considered for extraordinary circumstances that arise during renovation work and that cannot be determined through initial inspections.

2807-09 West State Street

1. Dismantle rear chimney to below the roofline and reconstruct roof at this location.
2. East gable chimney must be rebuilt and restored to original dimensions and details and step flashed. Brick pattern and details must be carefully documented, chimney dismantled, bricks saved and cleaned. Any replacement bricks must match materials and dimensions of original brick. Add stone cap. Clean chimney after complete; this is especially necessary if brick used is discolored cream city brick. Cleaning product to be Diedrich's applied per manufacturer's directions. Brick cleaning to be done before roofing to avoid staining roof. All wood to be protected from masonry cleaning chemicals.
3. Remove the small attic dormer at the southwest corner of house and restore the roofline to original condition.
4. Roof requires complete tear off, sheathing, flashing and roofing with GAF Timberline, Natural Shadow in Pewter Gray color. Metal valley flashing, drip edge and gutter apron to be color that matches or is one shade darker than roof color.
5. Rebuild eaves; replace any rotted fascia boards, soffit boards, crown molding, trim, brackets etc....
6. State Street has projecting roofed eaves at edge of roofline for the whole house. Eaves and built in gutters to be rebuilt to same dimensions and details. Gutters may be lined with waterproof EPDM material. Roofed eave areas to be lined with EPDM material in a neat manner with drip edge. Roofing material shall not be visible from ground level.
7. Attic gable balcony floor to be repaired and sheathed with waterproof, slip proof membrane.
8. Restore existing siding, shingles and trim. Any deteriorated or missing siding shall be replaced with Quarter sawn vertical grain clapboards ordered from wardclapboards.com. Sawn wood replacement shingles to be all clear cedar, vertical grain with no knots or sapwood. (Premium Grade Sidewall, 100% Vertical Grain Shingles
9. Install new water table, drip board and mitered siding at corners where missing. Trim boards above front porch must be removed and new siding, mitered for corners, added at these locations. Old corner boards must be replaced with properly mitered and fitted boards up to two feet below second floor windows.

10. Full exterior paint job with Benjamin Moore, Moor-Gard latex paint. All existing siding and trim to be scraped thoroughly and carefully. Provide smooth surface for paint application. Paint all exterior wood surfaces with one coat of bonding primer and two coats of exterior paint. At least three different colors; to be specified by the owner. (Window sashes do not need to be painted. Aluminum storms remain in place. Any wood storms must be painted)

11. Front and side porch renovations:

- o Rebuild both porches with original details and dimensions. Front porch roof must be straightened. Railings to be built to match railing in front attic gable.
- o Front and side porches require all new railings, hand rails, newel posts, decking, stairs and skirting. Other elements may require replacement such as porch ceiling and this will be determined after exploratory demo on roof. Owner's representative will provide plans for porch details that require rebuilding.
- o Porch roof requires a complete tear off, repair or replacement of any rotted framing members, sheathing and application of new waterproof membrane. Front porch requires reconstruction of the built in gutter. All porch details to be preserved.
- o When rebuilding side porch, omit crown molding where top edge meets second level deck – leave a flat fascia board and affix a four inch, aluminum K-style gutter at porch roof perimeter. Color to be specified by owner's representative.
- o Repair and rebuild columns, deck, rails, handrails and newels to match original porch details and dimensions. Front and side porch stairs to be rebuilt to same width.
- o Install cement pads for both porches to hold stair landing and have the pad mesh with existing sidewalk.
- o Use cedar at porch skirt frame and stairs where contact with ground.

12. Remove all trees and shrubs in yard and along foundation. Grind down any large stumps.

13. Clean off bright green paint on rear and side foundation.

14. House to be secured at the end of each work day. All boards to be replaced on doors and windows to prevent vandalism and break-ins.

General Specifications for Roofing and Gutters

Roofing shingles to be used are GAF Timberline, Natural Shadow in Pewter Gray or Barkwood color, unless otherwise specified. Drip edges, gutter apron and roof valleys should match color of roof shingles as closely as possible (e.g. use black drip edge etc... when installing pewter gray shingles.)

- 1) Tear off all roofing material down to the original boards.
- 2) Inspect and replace rotted, damaged or missing boards using like-with-like dimensioned boards.
- 3) Sheath the roof with OSB a minimum of 7/16" thick to create a continuous nailing surface.
- 4) To avoid interior water damage only tear off as much roof area as can be repaired and sheathed in the same day. No roof shall be left with open areas overnight. Any roof that has not had felt applied shall be securely tarped at the end of the work day.
- 5) Install 15 lb. (non-perforated) felt with 3" minimum overlap using T-50 3/8" staples.
- 6) Install 3 ft. wide "Ice and Water Shield" along all eave lines. On eaves extending out more than 3 feet add a second row of "Ice and Water Shield" with a 6" overlap.
- 8) For all roof venting cut a 3" wide channel along the gable peak to within 2 feet of the roof edge for installation of a ridge vent. (NOTE: Pan vents are NOT permitted unless approved by owner's representative.)
- 9) Install manufactured **Black** aluminum 1-1/4" drip edge along entire gable roof edge, and **Black** gutter apron with 1/4" shingle overlap at eave edge. Install using 1-1/4" galvanized roofing nails.
- 10) Install a full shingle starter strip along the base of the roof. The architectural shingles are to be nailed down using roofing nails. The size of the nail is determined by the thickness of the roofing material (typically 1-1/4"). Nail the shingles just below the tar strip using 4 nails per shingle, or in the thickest area of the shingle follow manufactures specifications.
 - a) Install the first architectural shingle 1/4 inch over the edge of the roof to force any water away from the fascia. It will also help prevent any fascia deterioration.

b) Next mismatch the shingle gaps by cutting different amounts of material from each piece of shingle before it is laid. For example; the first row should be left alone, the second row would be cut 5 inches, the third row 11 inches and on in 6-inch increments. This staggers the architectural shingles as they are installed so the gaps from each shingle do overlap each other. Continue this process until the entire roof surface is covered, leaving the peak of the roof bare.

c) Install ridge cap of architectural shingles over the peak of the main roof. These shingles will require a 2" nail on each side to hold them in place.

11) All roof valleys shall be installed as open roof valleys using 26 gauge prefinished **Black** aluminum. Start by running a piece of ice and water shield 36" wide up the entire length of the valley and stapled against the wood, then run 15 # felt lapping past the valley 12"-18" on each side of the valley.

a) Using a metal valley with a "w" bend in the metal, to slow water from rushing under the shingles, run the metal valley piece up the valley starting at the bottom of the valley and work your way to the top. The metal valley needs to be black in color to compliment the color of the roof shingles.

b) Install the shingles past the valley center on one side of the flashing all the way up. Do not drive nails into the flashing. Then install shingles on the other side. Again, do not drive nails through flashing. Overlap shingles as you go, much like weaving.

c) Snap a chalk line 3 inches from the center of the valley at the top of the valley and widen the gap by 1/8" per running foot on each side of the valley as it runs downward.

d) Place a piece of sheet metal under the shingles to make sure you will not damage the flashing. Use a utility knife with a hook blade to cut the shingles along the chalk line.

e) Snip off the corners of adjacent shingles (dub) to protect against water being channeled under shingles. Lift up shingles and use a hook blade to cut all the pointed unexposed ends. Make each cut about 2 inches from the point.

f) Caulk twice between shingles and flashing. Using roofing cement in a caulk tube, insert the tube's tip all the way under the shingles and run a continuous bead. Then hold the nozzle 2 inches back and apply a second bead nearer the edge. Then lift up each top shingle and apply roofing cement to adhere the shingles to each other. This is to seal out water and to attach the shingles because there are no nails.

Gutters

Install new half-round gutters and downspouts. Gutter and downspout color to be **granite gray** unless otherwise specified. Gutters to be half-round unless otherwise specified.

a) Half-round gutters must be installed with brackets or straps installed under the roof shingles and not directly mounted to the fascia board. All gutters shall be a minimum of .032 gauge, maintain a minimum slope of 1/2" per 10 running feet of gutter, and shall be attached approximately every 32" on center, or every other rafter tail, and shall be a minimum of 1/2" from the fascia board.

b) Gutters longer than 40 feet should be sloped in two directions from the midpoint of the gutter and connected to a minimum of a 4" diameter downspout. All downspouts shall be a minimum of 024 gauge.

Go to this link to find out more about 1/2 round gutters vs. K style including price, <http://www.guttersupply.com/p-halfround.gstml>

Aluminum half round gutters are supplied by the gutter store in various colors. www.merchantcircle.com/business/The.Gutter.Store.414-258-8000

Chimneys and flashing

- If the chimney exits the roof below the ridge, a chimney saddle must be installed where none exist.
- All chimneys shall be flashed with permanent metal base flashing and counter flashing. Step flashing to be installed when specified.
- Install appropriate flashing at any wall and roof intersections.

Decorative tin ornamentation and metal flashing

- To be repaired per specifications provided by owner's representative

GENERAL SPECIFICATIONS for CARPENTRY

These guidelines to be followed where applicable

All wood repair and replacement to be made with **clear wood, no knots, no sapwood**. All new wood must be primed and painted as soon as possible after installation to insure durability of paint job.

Repair and replacement of wood siding, shingles and trim must match dimensions and patterns of existing siding, shingles and trim.

Porch Repairs/Reconstruction:

1. Secure porch roof while deck, posts and roof are inspected for deterioration. Replace damaged or deteriorated framing members with same dimensioned materials. Install new porch foundation piers directly below each column.
2. Raise and level porch roof leaving a slight slope to allow water runoff. Install new 6"x 6" posts that extend from the ground to the porch roof. Columns are to be placed in same locations as existing columns. Sheathe roof with 7/16" OSB and apply appropriate roofing. OSB must not be visible on finished porch roof. See drawings supplied for boxing columns and capitol design.
3. When rebuilding wood porch decks use primed Fir tongue & groove 5/4" x 4" decking. Deck boards to be primed on all sides before installation. All decking shall extend a minimum of 1" beyond the porch skirt framing
 - a) All porch decks shall have a slope from the house to the outer porch edge of 1/8" per linear running foot.
 - b) All decking will be laid perpendicular to the house and be supported at the house with a ledger board and by joists a minimum of 16" on center (if new), or IAW with the specifications of the UDC.
 - c) All joists will be mounted by means of joist hangers properly installed.
4. Porch railings to be a maximum of 36" tall on residential homes in historic areas unless otherwise indicated.
 - a) Porch hand rails will include a bread loaf upper rail and a bottom rail built up with 2X and 1X material (see plans). Bottom rail to be installed 3" inches above the porch deck.
 - b) Railings will be attached to newel posts, columns, or the house with 4" galvanized counter-sunk screws to allow future repair and replacement.

GENERAL SPECIFICATIONS for MASONRY

All brick and mortar repairs must blend with existing brick and mortar color, patterns, mortar mix and joint thickness. Repairs must maintain the historic integrity of existing brick and masonry work. These guidelines to be followed where applicable.

- 1) When doing mortar or brick repair, or replacement on historic homes the following process/procedure is to be followed:
- 2) Inspect all masonry for signs of deterioration. Identify any bricks that are cracked or spalled, and determine the reason for the damage. Replace damaged bricks using like-with-like material.
- 3) Check for cracks in the mortar joints and determine if excessive settling has occurred which will require additional foundation repairs.
- 4) When repairing foundations be sure to incorporate the same brick pattern. The contractor shall use like-with-like dimensioned bricks of similar color and density for any repairs.
- 5) When removing any damaged brick from a chimney, or rebuilding a chimney it is critical that the contractor take photos of the existing chimney, so that they can duplicate the corbelling pattern that exists. Rebuilt chimneys MUST be completed using the same type, pattern and dimensions as the existing chimney. When in doubt the chimney design on page 97 of "As Good As New" may be used if approved by the Owner's Representative.
- 6) When tuckpointing brick or block the old mortar must be removed to a minimum depth of 3/4" by means of a tuckpointer's rake pulled across the joint or lightly tapping with a hammer. If the mortar does not come loose a hammer and plugging chisel should be used. Either of these methods is preferred. Use of an electric grinder should only be done in areas that are not visible to the general public such as rear walls, and then only after being approved by the Owner's Representative. Great care must be taken not to damage the brick. "No mortar removal is to be done using a reciprocating saw with a masonry blade."
- 7) When applying the new mortar to Cream City brick the joint should be damp but not dripping wet. The new mortar should use a lime mortar mix with one part lime to two parts sand. Use Type "K" mortar if available and Type "O" mortar as a second option.
- 8) When tuckpointing it is important that the mortar match the existing mortar in color. New mortar must be colored or tinted and installed in an inconspicuous test area, prior to installing it in highly visible areas.
- 9) When applying mortar a grout bag or knife-like tuckpointing tool should be used to push the mortar all the way back into the joint. Tuckpointing should be

done in 1/4 inches layers, packing each layer before applying the next. Apply mortar as neatly as possible and avoid smearing mortar on the face of the brick.

10) When the final layer begins to set up slightly, it MUST be tooled to match the style of the existing joints. (See pg 85 of "As Good As New"), unless another style is approved by the Owner's Representative prior to initiating any project work.

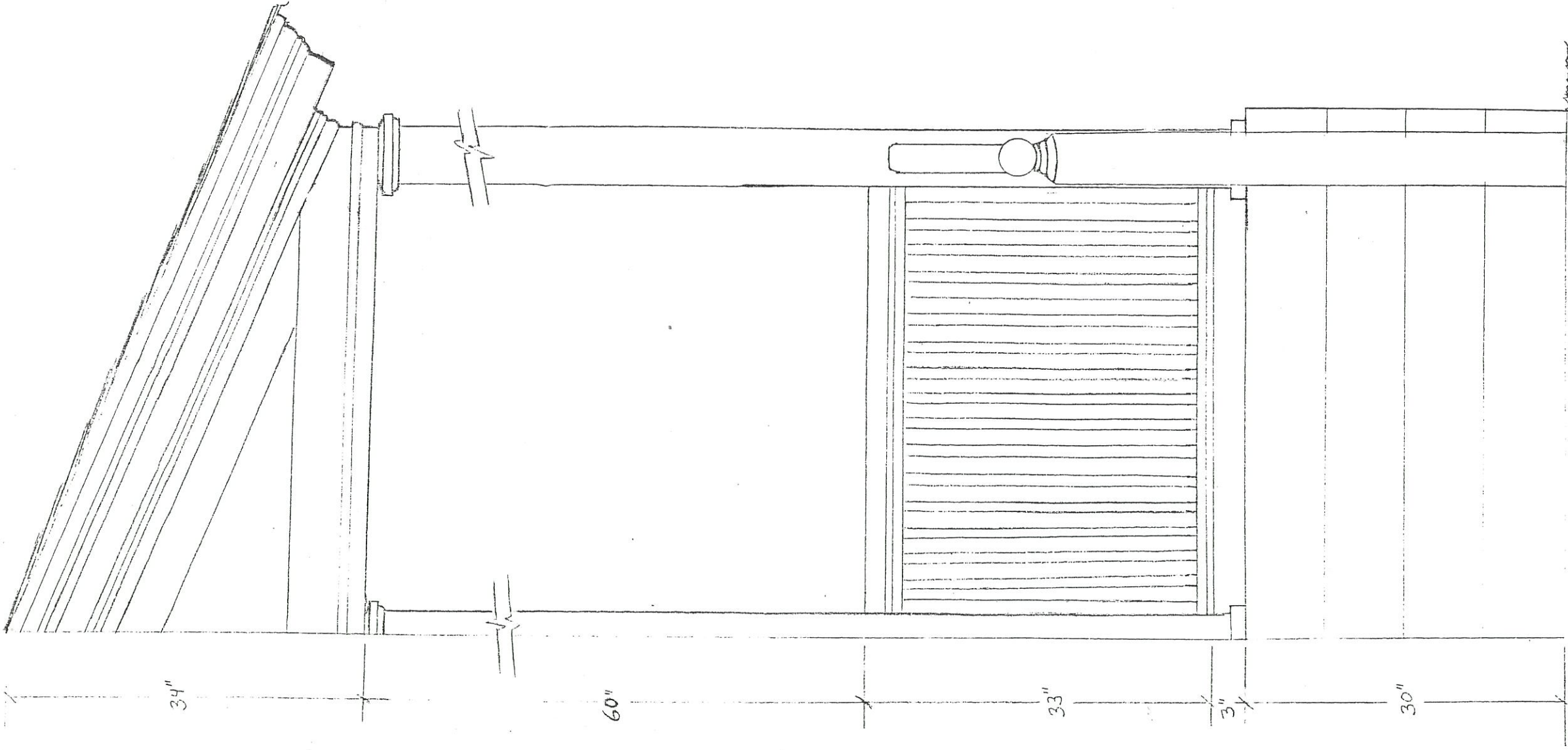
11) Clean up any excess mortar immediately using phosphoric acid. If this does not work use muriatic acid. Use muriatic acid in a solution of 1 part muriatic acid to 10 parts water. Apply the acid mixture with a large sponge. Leave the acid in contact with the masonry for 30 seconds then use a scrub brush to remove any excess mortar. When clean, rinse thoroughly with water and neutralize the cleaned area with 1 cup of household ammonia to 1 gallon of water. Muriatic acid is dangerous so do not get in contact with eyes or skin, and always keep a neutralizing agent like baking soda on hand.











SIDE PORCH 2807 W. STATE
~~REAR PORCH 2808 W. WELLS~~ (EAST ELEVATION)

SCALE: 1" = 1'-0"

HOUSE WALL

HOUSE WALL

6'-8" RAILING TO WALL

6'-8" RAILING TO NEWEL

14'-6" EAST EDGE OF PORCH ROOF

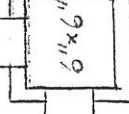
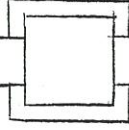
5'-4 1/2" FRONT RAILING TO NEWEL

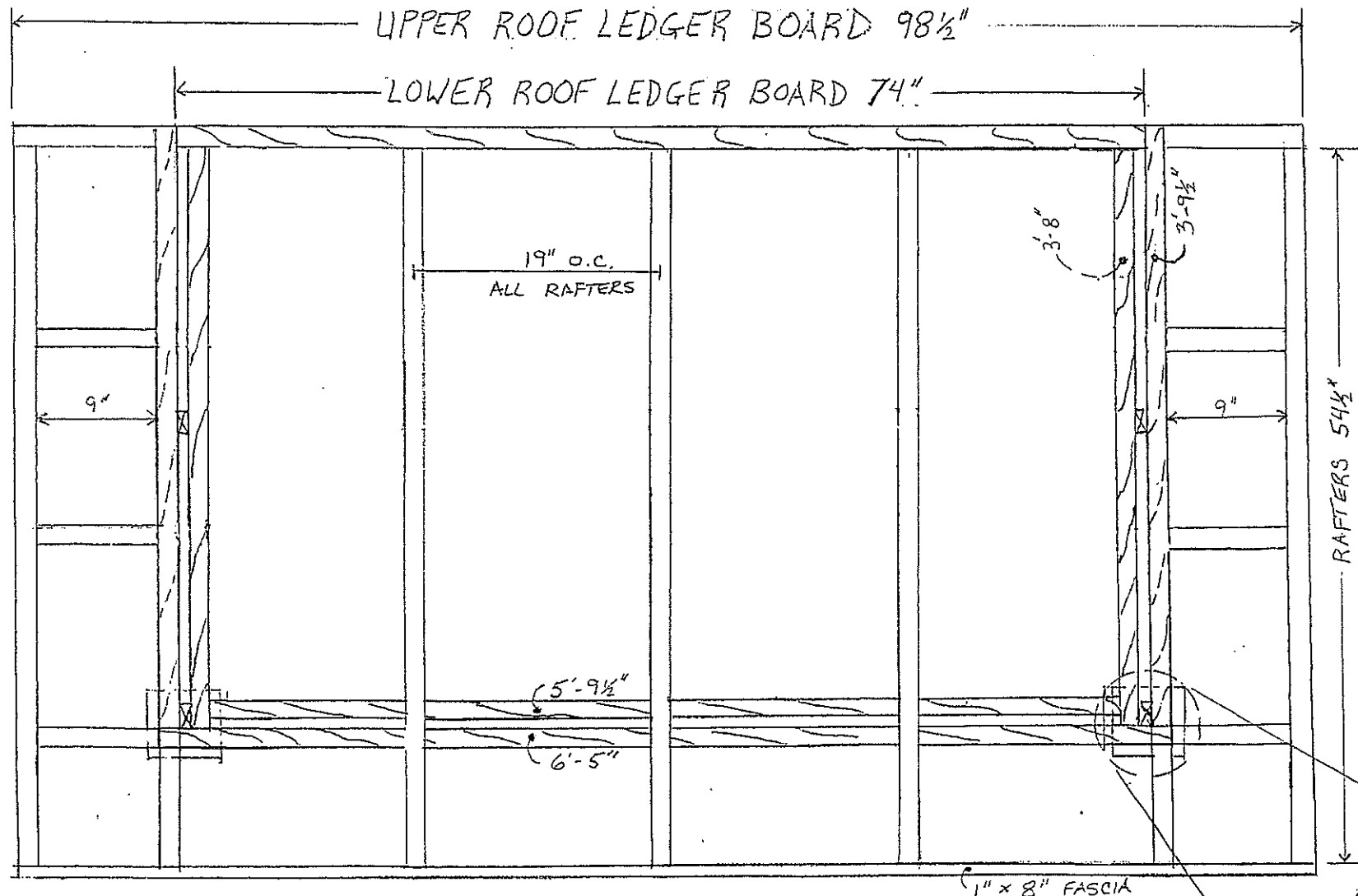
6"x6"

7" x 7" x 1/2" PLINTH BLOCK

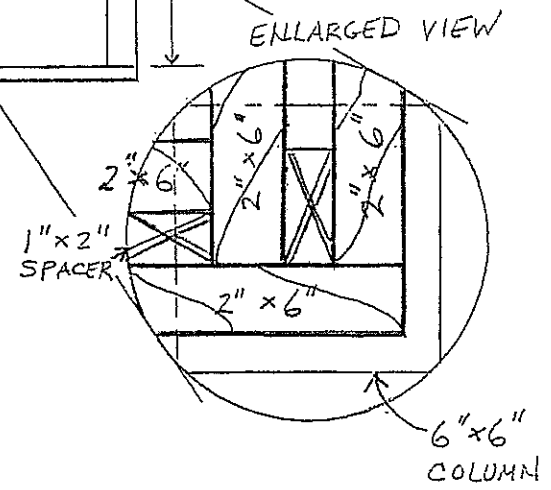
2807 W. STATE.
2808 W. WELLS

6'-1 1/2" SOUTH EDGE OF PORCH ROOF
UPPER PORCH RAIL PLAN



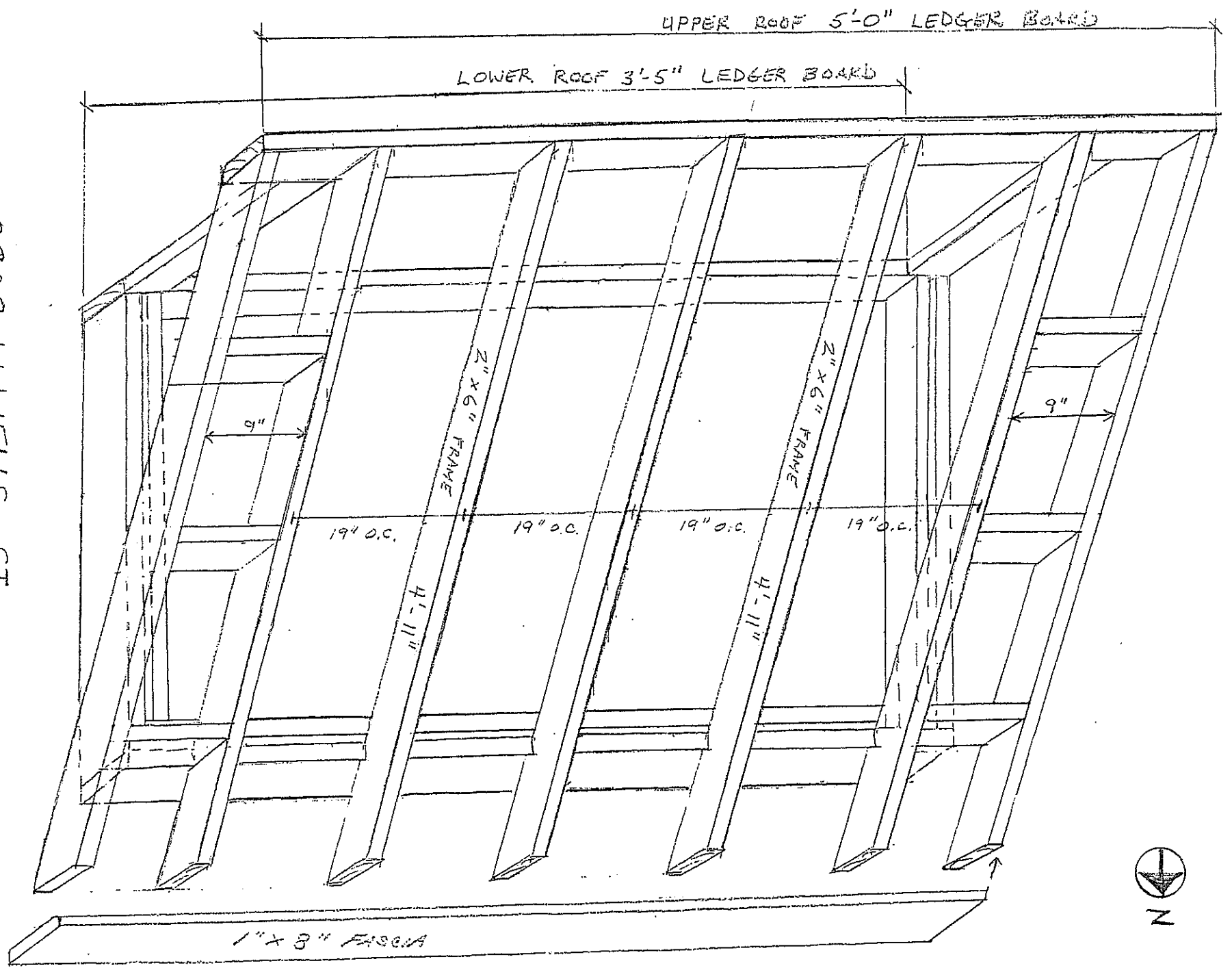


- * ALL STRUCTURAL FRAMING MEMBERS 2" x 6"
- ▣ INDICATES LOWER FRAMING ABOVE COLUMNS
- ▢ INDICATES ROOF FRAMING



PORCH ROOF FRAMING PLAN 2808 W. WELLS
 SCALE 1" = 1'-0"

2808 W. WELLS ST.
PORCH ROOF AXON. FRAMING CONCEPT.



TYPICAL EAVE DETAIL

ACTUAL SIZE

