

DR. WESLEY L. SCOTT SENIOR LIVING COMMUNITY

2800 WRIGHT STREET MILWAUKEE, WISCONSIN

Exhibit 'A'
File no. 050245
Drawings

PROJECT DEVELOPER:
GORMAN & COMPANY, INC.
1244 SOUTH PARK STREET
MADISON, WISCONSIN 53715

PROJECT ARCHITECT:
MICHAEL JEFFERS, AIA
GORMAN & COMPANY, INC.
1244 S. PARK STREET
MADISON, WI. 53715
(608) 257-4410 EXT. 329
CELL (608) 219-4842
FAX (608) 257-8797

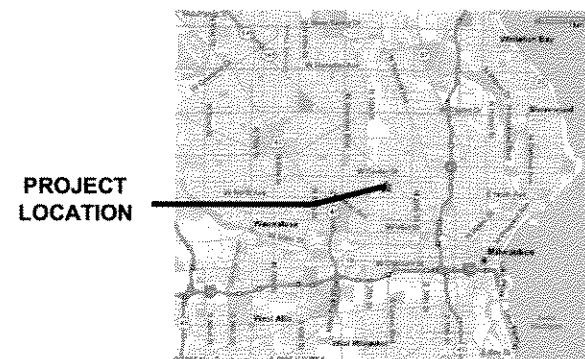


INDEX OF DRAWINGS

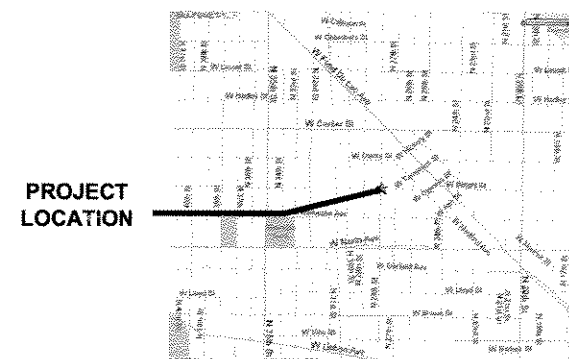
- 1.01 TITLE SHEET
- SITE SURVEY
- C1.0 SITE LAYOUT PLAN
- C2.0 SITE GRADING PLAN
- C3.0 SITE UTILITY PLAN
- LA-1 LANDSCAPING PLAN
- 4.00 PARKING LEVEL PLAN
- 5.11 BUILDING ELEVATIONS
- 5.12 BUILDING ELEVATIONS & SIGNAGE DETAILS
- 5.13 RENDERED ELEVATIONS

PROJECT MANAGER:
JUDY SULLIVAN
GORMAN & COMPANY
1244 S. PARK STREET
MADISON, WI 53715
CELL (608) 444-6845
FAX (608) 257-8797

LOCATION MAP



VICINITY MAP



1. GROSS LAND AREA	32,405 SF	.744 ACRES
2. BUILDING COVERAGE	21,402 SF	66.04%
3. IMPERVIOUS AREA PARKING / DRIVES SIDEWALKS & STOOPS	4,210 SF	12.99%
4. LANDSCAPE OPEN SPACE	6,793 SF	20.96%
5. DENSITY		
5.A DWELLING UNITS	80 UNITS	107.5 UNITS/ACRE
RESIDENTIAL BUILDING AREA	75,531 SF	
5.B RESIDENTIAL SUPPORT USES	23,148 SF	
TOTAL BUILDING AREA	98,679 SF	
6. NUMBER OF BUILDINGS	1 EXISTING WITH ADDITION	
7. DWELLING UNITS / BUILDING	80	
8. BEDROOMS PER UNIT - UNIT MIX		
1 BEDROOM UNITS	50	
2 BEDROOM UNITS	30	
TOTAL DWELLING UNITS	80	
TOTAL BEDROOMS	110	
9. PARKING		
	42 CARS	
	53 CARS/DWELLING UNIT	

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Senior Living Community
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MILWAUKEE, WI

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Checked: MEJ
Date: 06.03.05

Revisions:

Project No.

2005.02

Sheet No.

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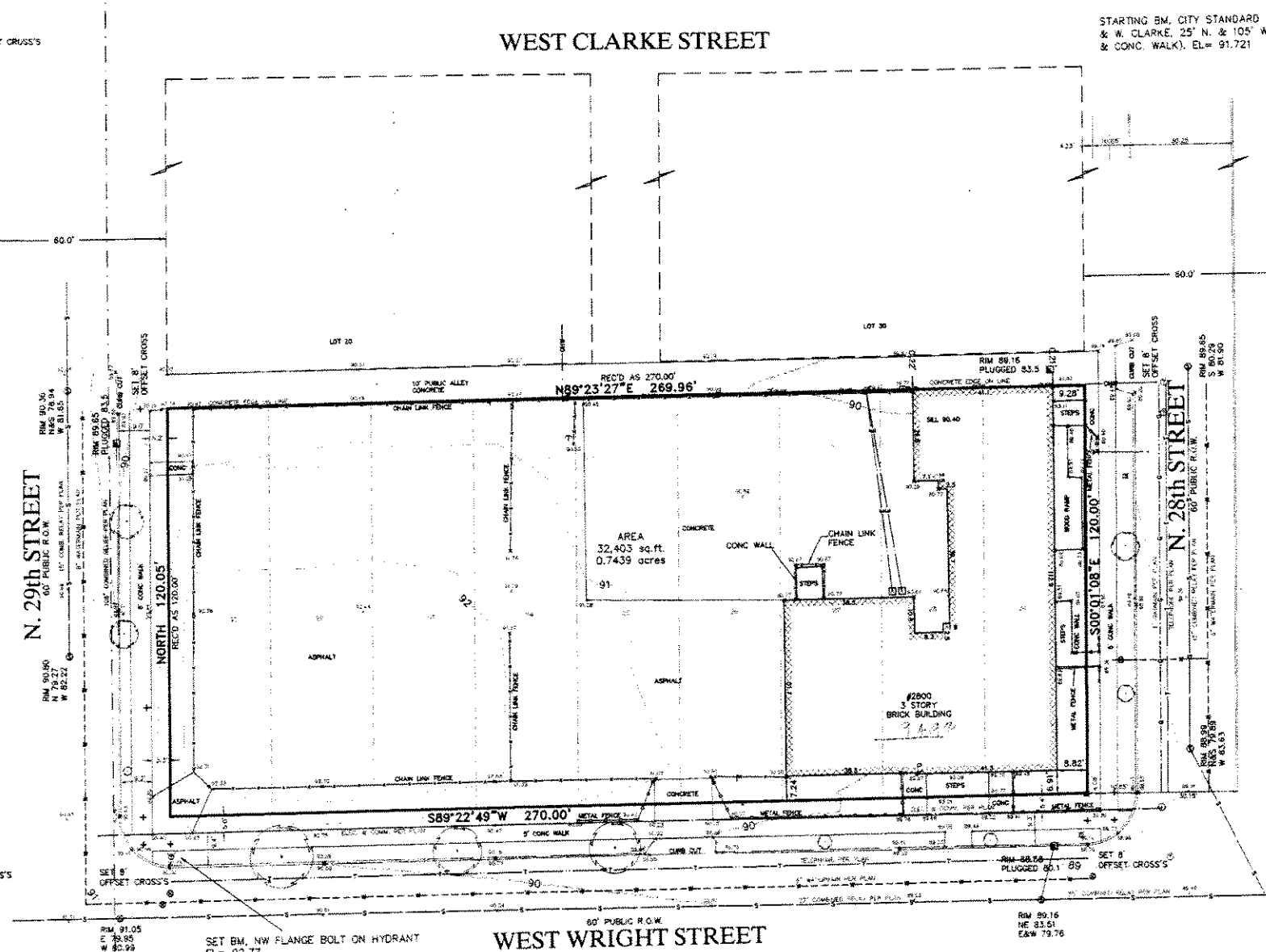
PLAT OF SURVEY WITH TOPOGRAPHIC DATA

KNOWN AS 2802 WEST WRIGHT STREET, CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.
 LOTS 21 THRU 29 IN BLOCK 5 IN GERMANIA PARK SUBDIVISION, BEING PART OF THE NORTHEAST 1/4 OF
 SOUTHEAST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 21 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE
 COUNTY, WISCONSIN.
 MARCH 8, 2005 GORMAN & COMPANY INC. SURVEY NO. 162220-RMK

STARTING BM, CITY STANDARD #154, N.W. COR. OF N. 28th
 & W. CLARKE, 25' N. & 105' W. OF CURBS (BETW. BUILDING
 & CONC. WALK). EL= 91.721

LEGEND

- ▲ BENCHMARK
- SECTION CORNER
- IRON PIPE FOUND
- IRON PIPE SET
- ⊙ BOLLARD
- ⊕ SOIL BORING/MONITORING WELL
- ⊕ FLAGPOLE
- ⊕ MAILBOX
- ⊕ SIGN
- ⊕ BILLBOARD
- ⊕ CONTROL BOX
- ⊕ TRAFFIC SIGNAL
- ⊕ RAILROAD CROSSING SIGNAL
- ⊕ CABLE PEDESTAL
- ⊕ POWER POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ LIGHT POLE
- ⊕ SPOT/YARD/PEDESTAL LIGHT
- ⊕ GROUND OR OTHER SPOT SHOT
- ⊕ HANDICAPPED PARKING
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC PEDESTAL
- ⊕ ELECTRIC METER
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ MARKED FIBER OPTIC
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ STORM MANHOLE
- ⊕ ROUND INLET
- ⊕ SQUARE INLET
- ⊕ STORM SEWER END SECTION
- ⊕ SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT OR SEPTIC VENT
- ⊕ SANITARY INTERCEPTOR MANHOLE
- ⊕ MISCELLANEOUS MANHOLE
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER SERVICE CURB STOP
- ⊕ WATER MANHOLE
- ⊕ WELL
- ⊕ WATER SURFACE
- ⊕ WETLANDS FLAG
- ⊕ MARSH
- ⊕ CONIFEROUS TREE
- ⊕ DECIDUOUS TREE
- ⊕ SHRUB
- EDGE OF TREES
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BUREAU ELEC. SERV.
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC



I Certify that I have surveyed the above described property (Property), and the above map is correct to the best of my professional knowledge and belief and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary lines, apparent easements and loadings and visible encroachments. If any, this survey is made for the exclusive use of the present owners of the Property, and one those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

STEPHAN G. SOUTHWELL
 REGISTERED WISCONSIN LAND SURVEYOR S-1939

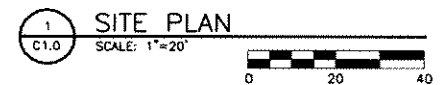
National Survey & Engineering
 A Division of N.A. Smith & Associates, Inc.

262-781-1000
 Fax 262-797-7373
 16745 W. Bluemound Road
 Suite 200
 Brookfield, WI 53005-5938
 www.nsaec.com

NOTES:
 -DIGGERS HOTLINE TICKET NO. 2005-02-02944
 -LEGAL DESCRIPTION WAS OBTAINED FROM THE CITY OF MILWAUKEE ASSESSOR'S OFFICE WHICH MAY NOT BE CURRENT, ACCURATE OR COMPLETE.
 -EASEMENTS, IF ANY, ARE NOT SHOWN
 -ELEVATIONS ARE BASED ON THE CITY OF MILWAUKEE DATUM

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

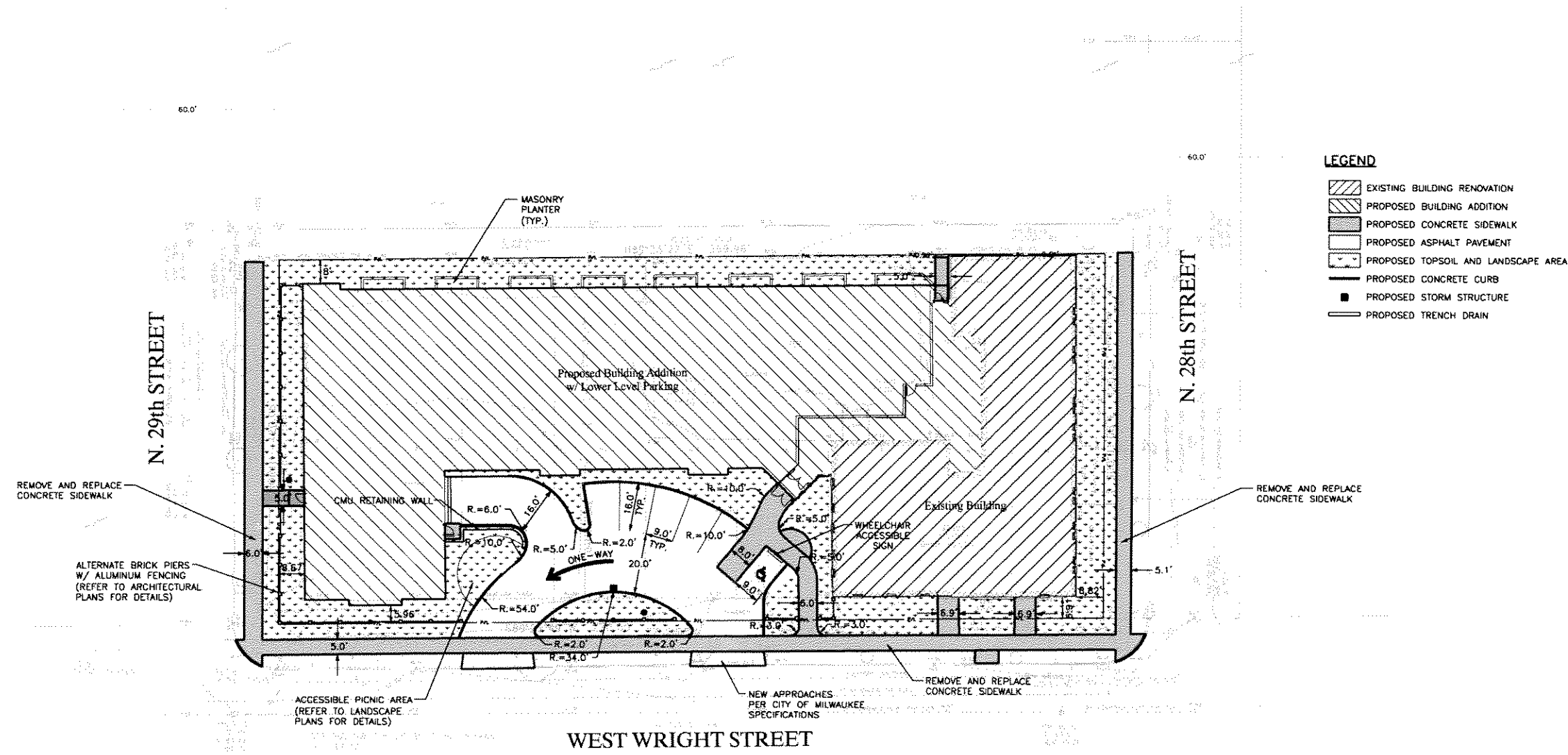
National Survey & Engineering



GENERAL NOTES

1. ALL UNDERGROUND STRUCTURES ARE SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND DEPTH.
2. COMPLY WITH THE CITY OF MILWAUKEE REGARDING OCCUPANCY OF THE RIGHT-OF-WAY AND PEDESTRIAN AND VEHICULAR SAFETY.

WEST CLARKE STREET



LEGEND

- EXISTING BUILDING RENOVATION
- PROPOSED BUILDING ADDITION
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED TOPSOIL AND LANDSCAPE AREA
- PROPOSED CONCRETE CURB
- PROPOSED STORM STRUCTURE
- PROPOSED TRENCH DRAIN

ON-SITE PARKING DATA

- 36 - STANDARD 9'x18' LOWER LEVEL STALLS
- 5 - 9'x16' SURFACE STALLS
- 1 - ACCESSIBLE SURFACE STALLS
- 42 - TOTAL PARKING STALLS

BUILDING DATA

- USE: SENIOR LIVING COMMUNITY
- SETBACK: AVERAGE BUT NEVER LESS THAN 15'
- HEIGHT: EXISTING BUILDING - 48'-0" +/-
 PROPOSED BUILDING FASCIA - 44'-0" +/-
 PROPOSED BUILDING ROOF - 52'-0" +/-



Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com



One Honey Creek Corporate Center
 125 South 84th Street, Suite 401
 Milwaukee, WI 53214-1470
 414 259-1500
 FAX 259-0037
 Web Site: www.gsaai.com

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 MILWAUKEE, WI

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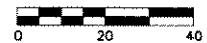
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1 SITE GRADING PLAN
 C2.0 SCALE: 1"=20'



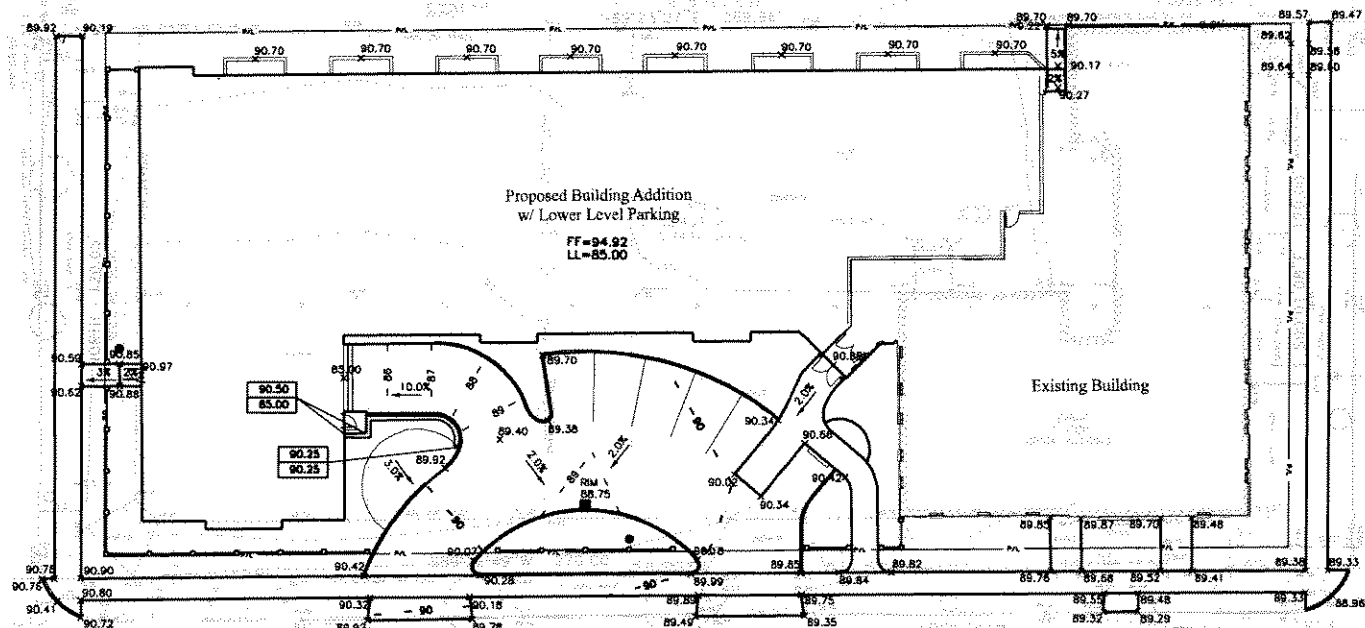
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WEST CLARKE STREET

N. 29th STREET

N. 28th STREET



WEST WRIGHT STREET

LEGEND

- PROPOSED MANHOLE
- PROPOSED STORM STRUCTURE
- PROPOSED TRENCH DRAIN
- 21 EXISTING CONTOUR
- 21- PROPOSED CONTOUR
- x 21.5 PROPOSED SPOT ELEVATION
- 90.50 TOP OF WALL ELEVATION
- 85.00 BOTTOM OF WALL ELEVATION

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GORMAN & COMPANY INC.
 REAL ESTATE DEVELOPMENT AND MANAGEMENT
 1244 S. PARK ST. MADISON, WI 53715

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 C2.0



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IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



One Henry Creek Corporate Center
 125 South 84th Street, Suite 401
 Milwaukee, WI 53214-1470
 414 259-1350
 414 259-1350
 FAX 259-0037
 Web Site: www.gsaol.com

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1 SITE UTILITY PLAN
 C3.0 SCALE: 1"=20'

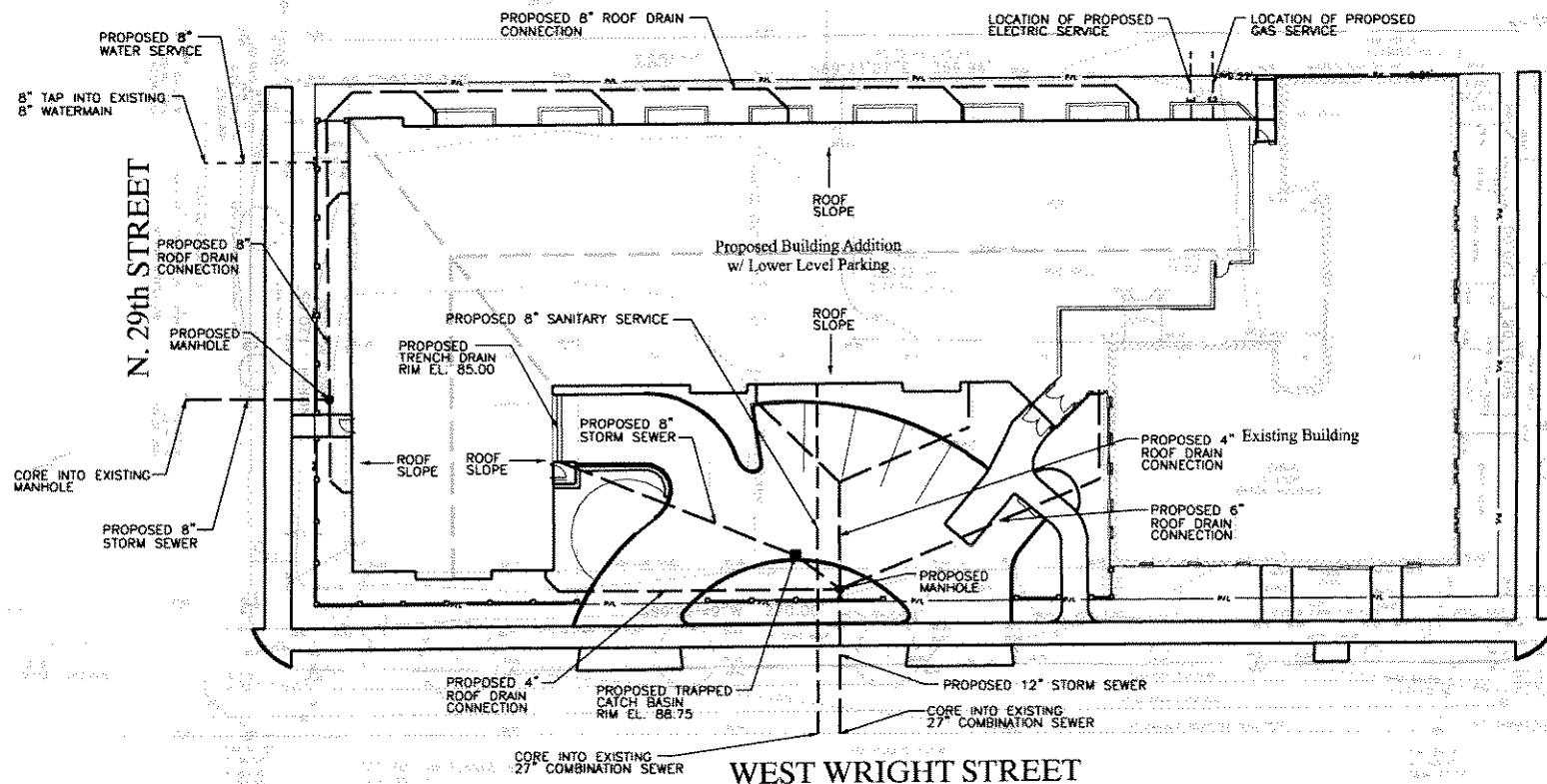


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2. COMPLY WITH THE CITY OF MILWAUKEE REGARDING OCCUPANCY OF THE RIGHT-OF-WAY AND PEDESTRIAN AND VEHICULAR SAFETY.

WEST CLARKE STREET

WORKING WITH THE CITY OF MILWAUKEE FOR THE USE OF THE RIGHT-OF-WAY FOR THE OCCUPANCY OF THE RIGHT-OF-WAY AND PEDESTRIAN AND VEHICULAR SAFETY.



LEGEND

- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED GAS SERVICE
- PROPOSED ELECTRIC SERVICE
- PROPOSED LIGHT FIXTURE
- PROPOSED STORM STRUCTURE
- PROPOSED MANHOLE
- EXISTING WATER MAIN
- EXISTING SANITARY/COMBINATION SEWER
- EXISTING TELEPHONE
- EXISTING GAS
- EXISTING ELECTRIC
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING SANITARY MANHOLE

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GRAEF ANHALT SCHLOEMER
 and Associates Inc.

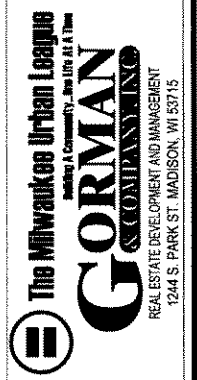
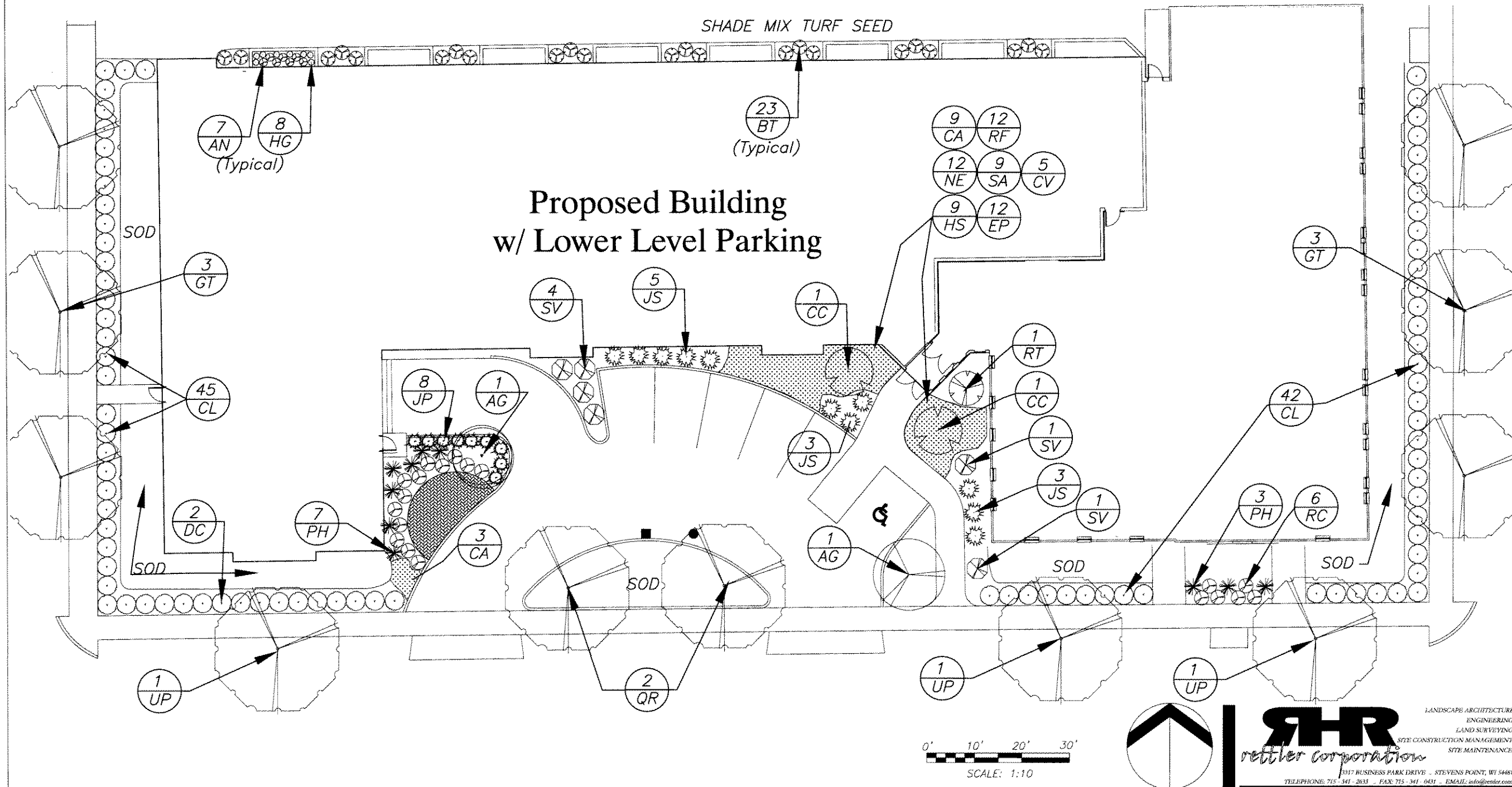
One Honey Creek Corporate Center
 125 South 84th Street, Suite 401
 Milwaukee, WI 53214-1476
 414 259-1900
 FAX 259-0037
 Web Site: www.gasai.com

PLANTING SCHEDULE

SYMBOL	SCIENTIFIC NAME	COMMON NAME	TYPE	QUANTITY	SIZE
TREES					
GT	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	B&B	6	2"
UP	ULMUS PARVIFOLIA	LACEBARK ELM	B&B	1	2"
QR	QUERCUS RUBRA	RED OAK	B&B	2	2"
CC	CECROPS CANADENSIS	EASTERN REDBUD	B&B	2	2"
AC	AMELANCHIER GRANDIFLORA	AUTUMN BRILLIANCE SERVICEBERRY	B&B	2	2"
SHRUBS					
BT	BERBERIS THUNBERGII	GOLDEN BARBERY	CONT	23	18"-24"
CL	COTONEASTER LUCIDUS	PEKING COTONEASTER	CONT	87	2"-3"
SV	SPIRAEA X VAN HOUTTEI	BRIDAL WREATH SPIREA	CONT	7	2"-3"
RC	ROSA 'CHAMPAGNE'	CHAMPAGNE ROSE	CONT	19	18"-24"
RT	RHUS TYPHINA	STACHORN SUMAC	CONT	1	3"-4"
EVERGREEN SHRUBS					
JS	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	CONT	11	24"-36"
JP	JUNIPERUS PROCUMBENS 'NANA'	DWARF J.G. JUNIPER	CONT	8	24"-36"
PERENNIALS					
AN	ATHYRIUM NIPPONICUM	JAP. PAINTED FERN	CONT	58	1 GAL
CA	CALAMAGROTIS ACUTIFLORA	KARL FORESTER FRG	CONT	12	1 GAL
CV	COREOPSIS VERTICILLATA	ZAGREB COREOPSIS	CONT	5	1 GAL
EP	ECHINAZEA PURPUREA	CONFLOWER	CONT	12	1 GAL
HG	HOSTA 'GOLDEN TIARA'	GOLDEN TIARA HOSTA	CONT	66	1 GAL
HS	HEMEROCALLIS	STELLA D'ORO DAYLILY	CONT	9	1 GAL
NE	NEPETA FAASSENNI 'WALKERS LOW'	WALKERS LOW CATMINT	CONT	12	1 GAL
RF	RUDEBECKIA FULGIDA	GOLDSTRUM RUDBECKIA	CONT	12	1 GAL
SA	SEDUM 'AUTUMN JOY'	AUTUMN JOY SEDUM	CONT	9	1 GAL

GENERAL NOTES

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL PLANTS SHALL BE REVIEWED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- EXCEPT IN PERENNIAL BEDS, ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF 1-1/2" WASHED STONE WITH WEED BARRIER UNDERLAYMENT. PERENNIAL BEDS TO HAVE 3" HARDWOOD MULCH.
- LANDSCAPE EDGING SHALL BE EDG-KING PLASTIC EDGING, OR EQUALLY APPROVED.
- SEEDED TURF AREAS TO BE FERTILIZED AND MULCHED WITH PENN MULCH OR EQUIVALENT.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY ZONING ORDINANCE.
- SEE THE PROJECT MANUAL FOR SPECIFICATIONS AND REQUIREMENTS FOR PLANTING, STAKING OF TREES, WARRANTY PERIOD, MAINTENANCE, ETC.
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- ALL EXISTING STREET TREES TO BE REMOVED DURING CONSTRUCTION.
- ALL TREES IN TURF AREAS TO BE MULCHED WITH A 4" DIAMETER TREE RING.



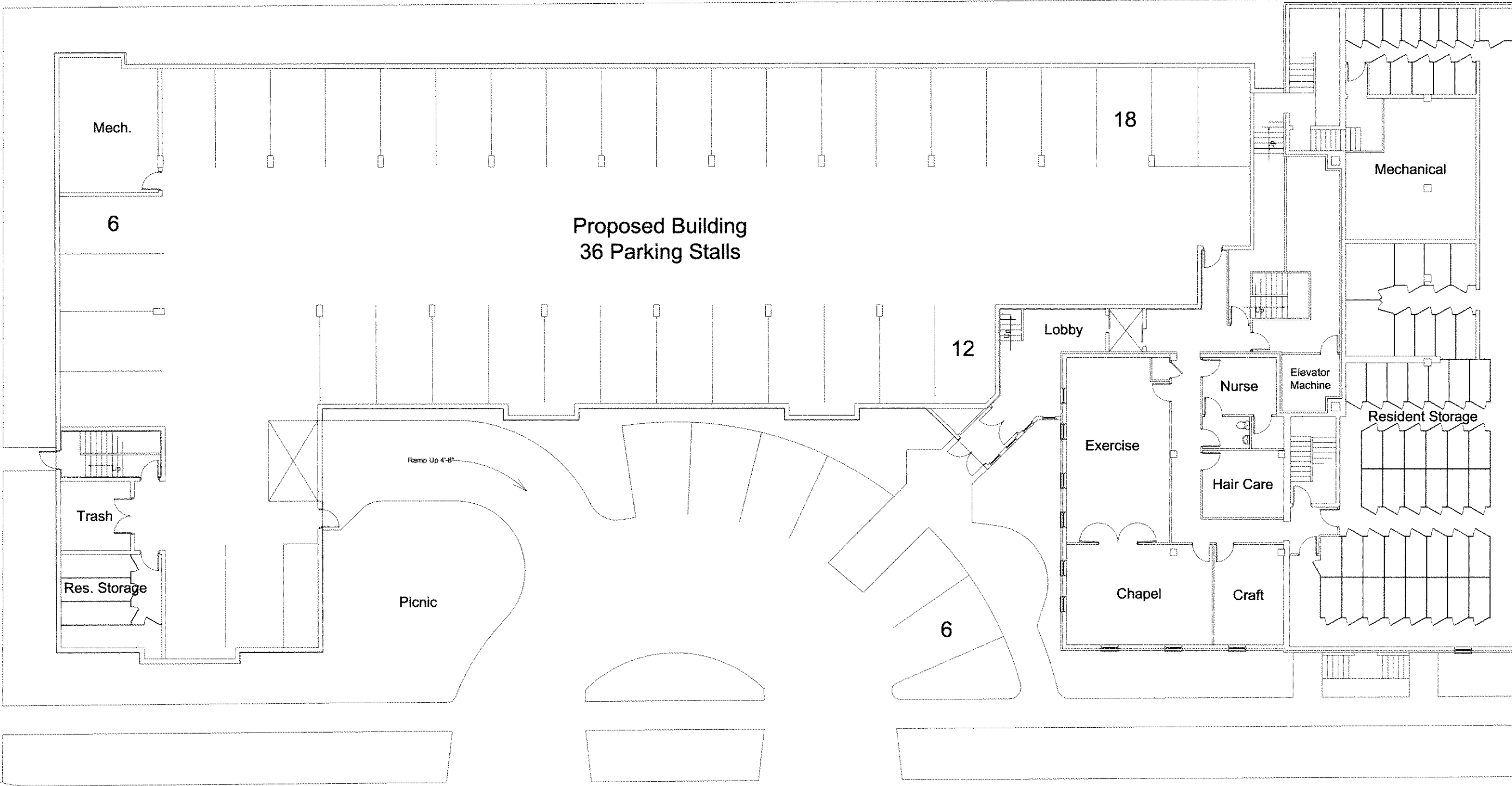
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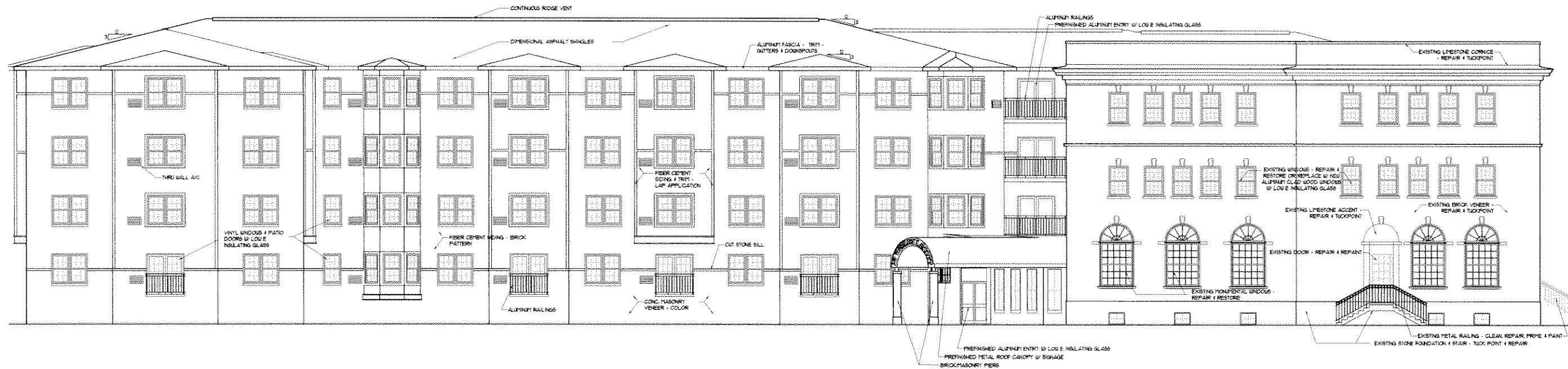
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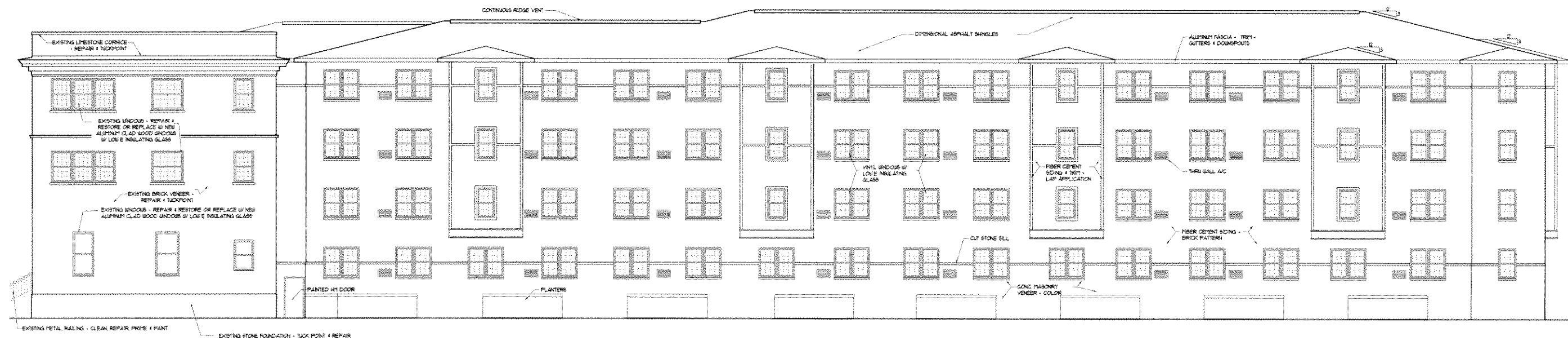
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2 SOUTH ELEVATION
SCALE: 1/8" = 1' - 0"



1 NORTH ELEVATION
SCALE: 1/8" = 1' - 0"

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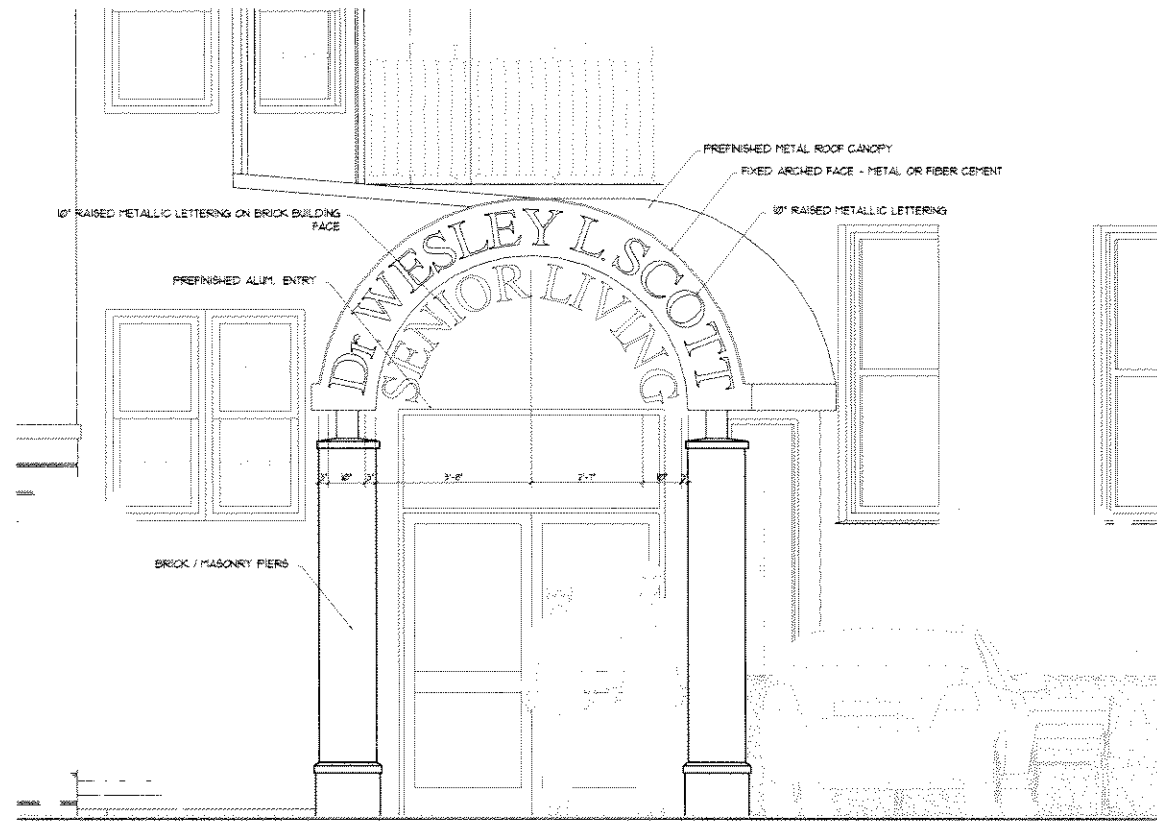
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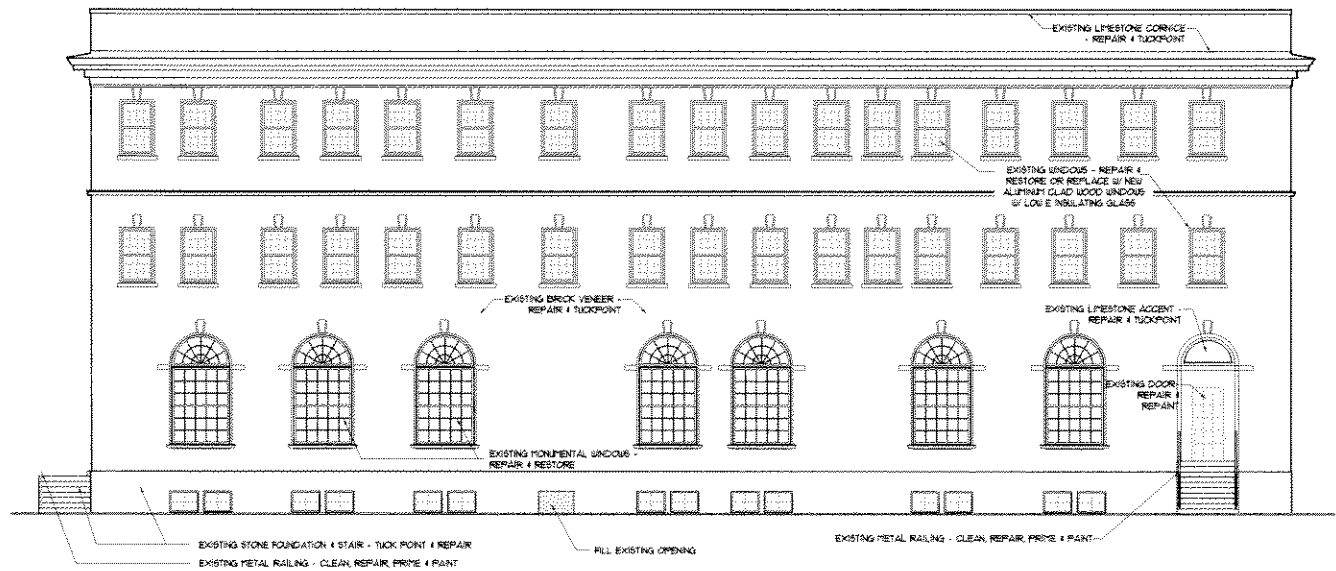
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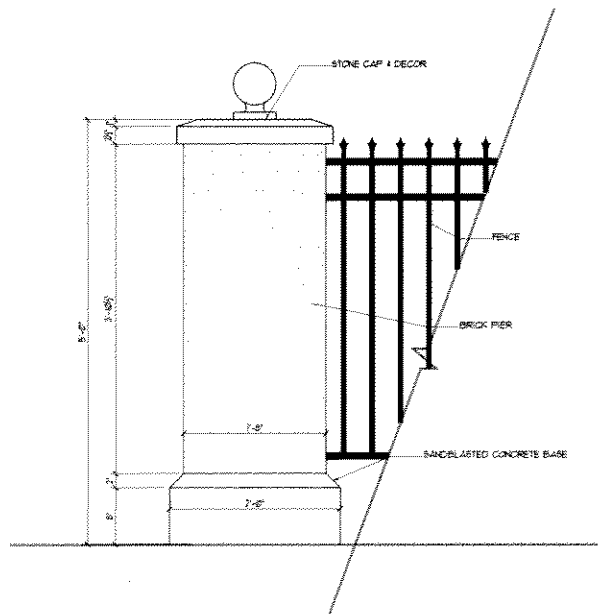
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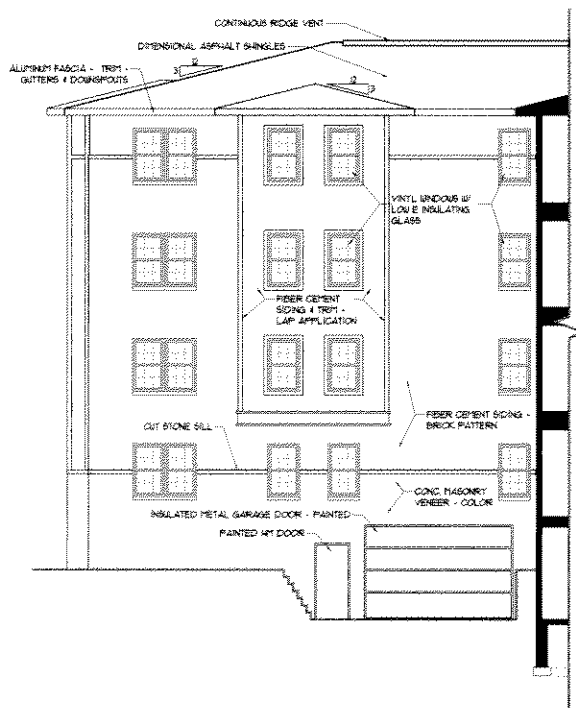
4 SIGNAGE DETAIL
SCALE: 1/2" = 1' - 0"



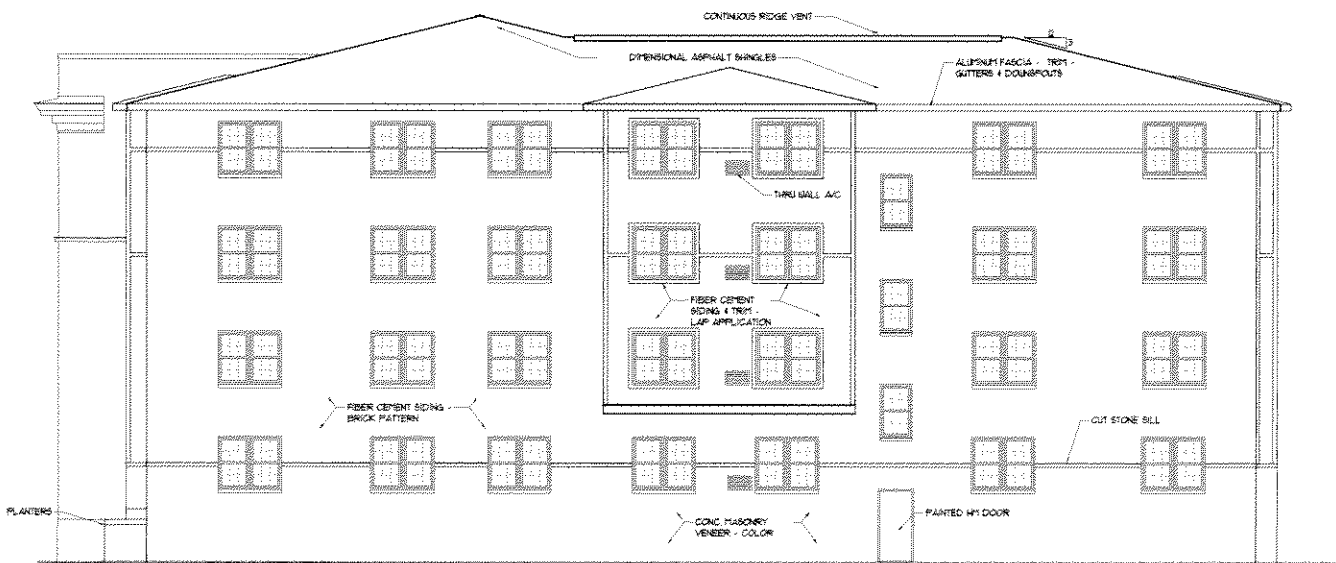
2 EAST ELEVATION
SCALE: 1/8" = 1' - 0"



5 ALTERNATE FENCE DETAIL
SCALE: 1" = 1' - 0"



3 EAST INTERIOR ELEVATION
SCALE: 1/8" = 1' - 0"



1 WEST ELEVATION
SCALE: 1/8" = 1' - 0"

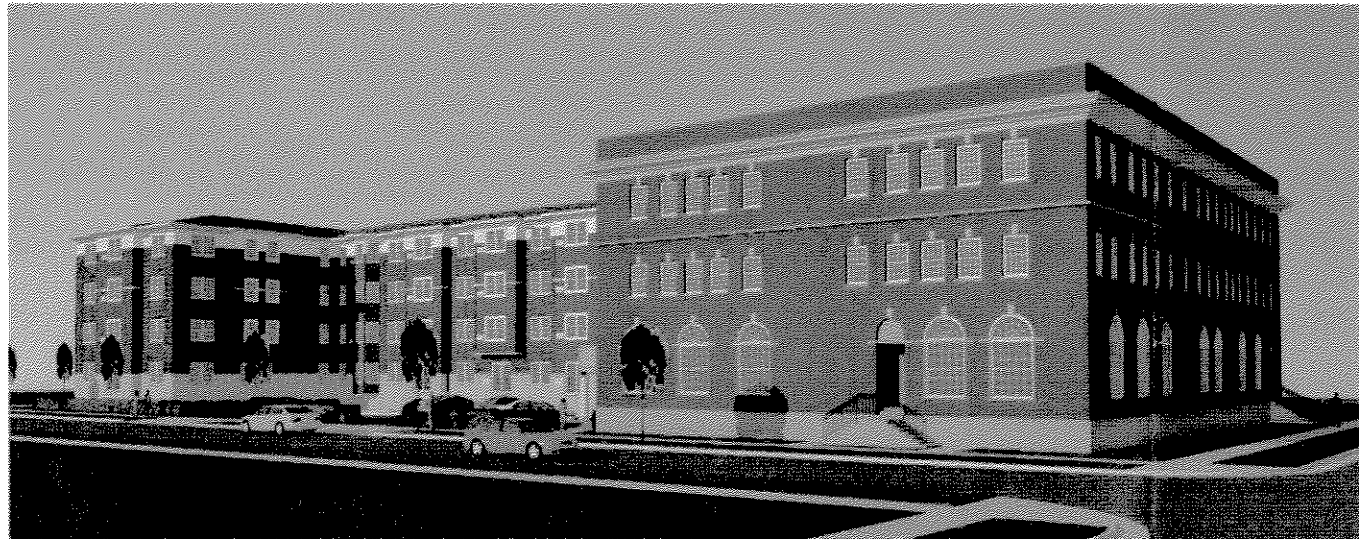
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5 VIEW FROM THE SOUTHWEST
NO SCALE



4 VIEW FROM THE WEST
NO SCALE



3 VIEW FROM THE SOUTHEAST
NO SCALE



2 ENTRY AREA AND CANOPY
NO SCALE



1 VIEW FROM THE SOUTH
NO SCALE

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