



EXHIBIT A
File No. 05110

ZNEte

BY CHOICE HOTELS

Comfort Suites at Park Place
10831 W. Park Place Drive
Tax Key Number 1110121-8

Detailed Plan Development
Owner's Statement of Intent

Site

Gross Land Area	108,016 SF	2.48A
Land Covered by Building	25,358 SF	23.5%
Land Devoted to Parking/ Driveway	52,284 SF	48.4%
Land Devoted to Open Landscaping	30,374 SF	28.1%

Building Description

This Site will contain 1 building, 4 story hotel with 1 story swimming pool building of 4,300 SF. The hotel will have 120 units of King, Double Queen, and Kid Suites rooms. There will be meeting space of 720 SF. The total square footage of the building is 88,532.

The Comfort Suites in Northern Milwaukee is a four story upper mid-scale hotel. The hotel has 120 guest rooms, executive boardrooms, and offers a complimentary hot breakfast buffet. Other amenities for the hotel include an indoor pool, whirlpool, kid's pool, on-site convenience store, full cable with HBO, guest laundry facilities and valet laundry services, and an exercise room.

Each guest room offers:

- microwave and refrigerator
- free high-speed internet
- sofa sleeper
- in-room coffee maker
- complimentary newspaper Monday thru Friday
- iron and ironing board

Parking Requirements

The Site will have 132 parking stalls. The number of parking stalls required are 1 stall per Guest Room for 120 stalls, and 1 stall per every 2 employees (16 employees) for 8 stalls. The total number of required parking stalls is 128.

Sheet Index

Title Sheet

- S-1 Architectural Site Plan
- C-1 Plat of Survey
- C-2 Site Grading
- C-3 Utility Plan
- L-1 Landscape Plan
- A-1 Elevations
Signage

Zoning

Area is zoned – GPD, General Planned Development

Miscellaneous

Height of Main Building
Height of Tower

Building Set Back	Required	Site Set Back
107 th Street	70'	78'
West Park Street	25'	27'
North Interior Lot Line	0'	11'
South Interior Lot Line	0'	140'
Parking Set Back:		
107 th Street	25'	25'-6"
West Park Street	50'	65'-0"
North Interior Lot Line	0'	35'-0"
South Interior Lot Line	0'	9'-6"

We meet all or exceed all standards of Sub 3 in regards to use, set backs, open spacing, Landscaping, etc.











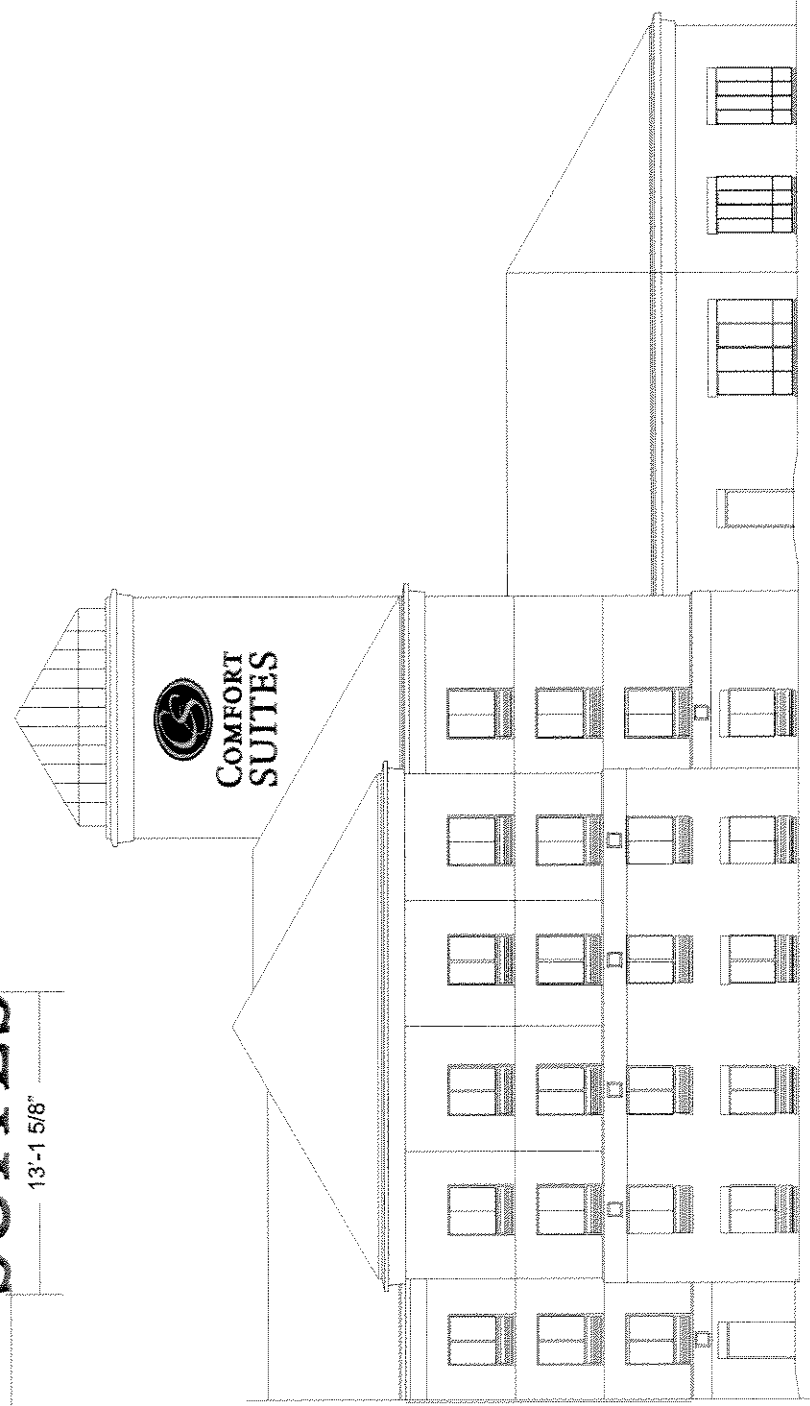
6'-6 5/8"

COMFORT SUITES

33"

24"

13'-1 5/8"



NORTH ELEVATION

Customer: **COMFORT SUITES**

Location: **MILWAUKEE, WI**

Prepared By: **MWR**

Date: **12-16-05**

File Name: **30587-24" & 30" 2-LINE LETTERS WITH LOGO**

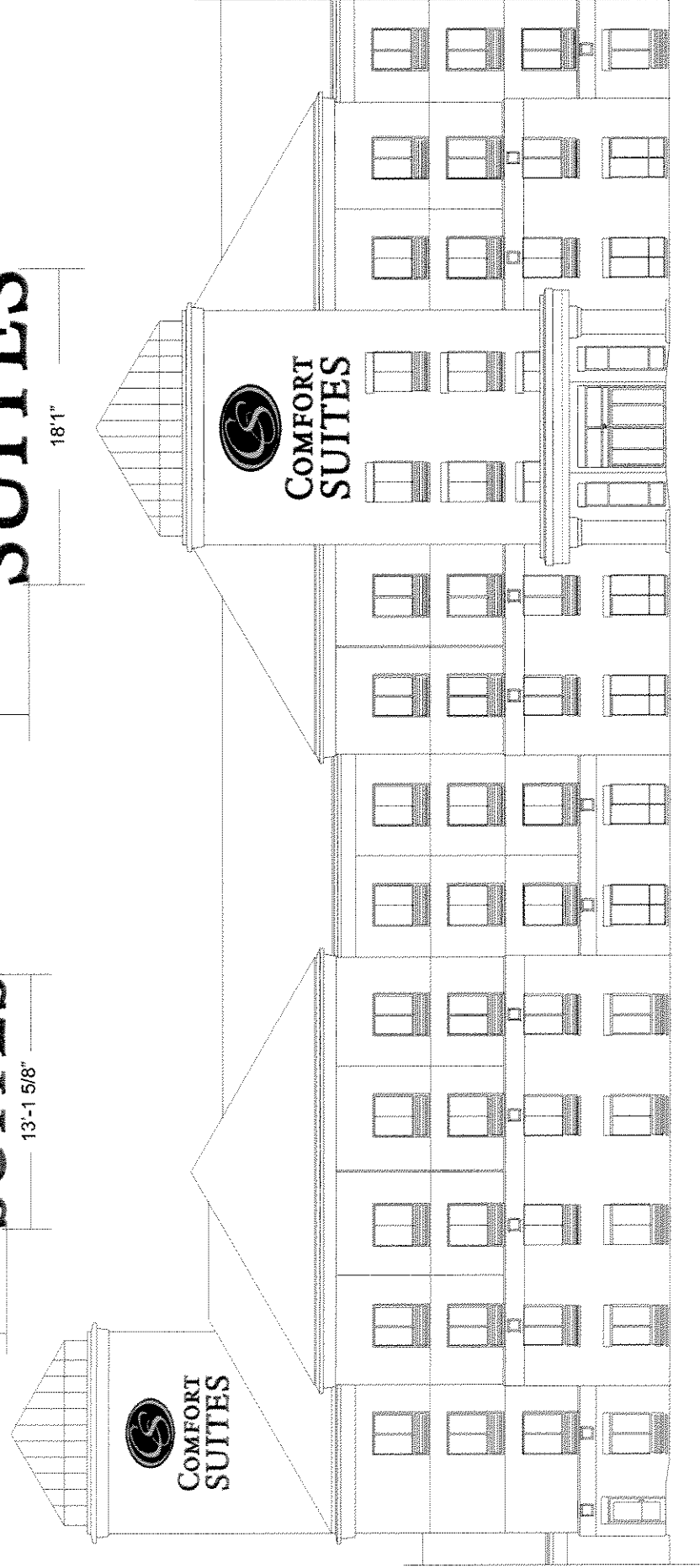
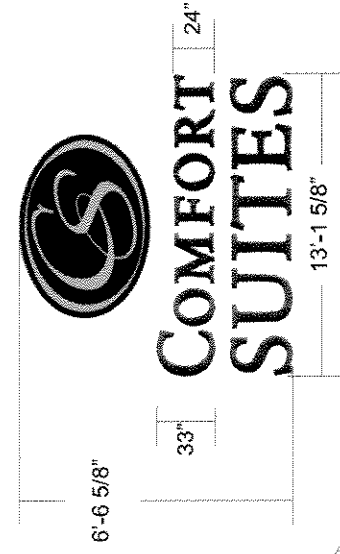
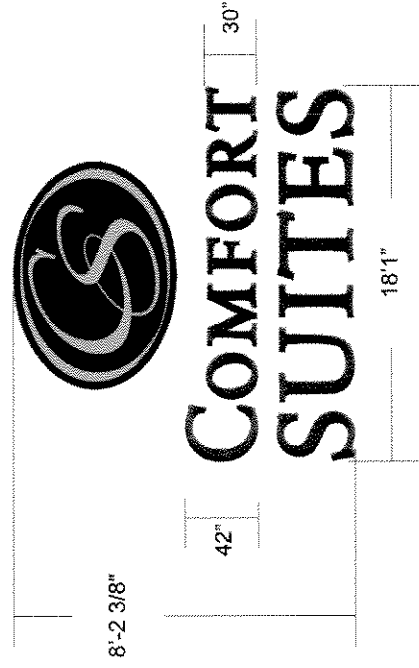
Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

Revision: **X**



Ph./ 1-800-843-9888

DISTRIBUTED BY SIGN UP COMPANY
700 21st STREET SOUTHWEST
WATERTOWN, SD 57201-0210



SOUTH ELEVATION

Customer:	COMFORT SUITES	Date:	12-16-05	Prepared By:	MWR	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>
Location:	MILWAUKEE, WI	File Name:	30587-24" & 30" 2-LINE LETTERS WITH LOGO		Revision:	



DISTRIBUTED BY SIGN UP COMPANY
709 2nd STREET SOUTHWEST
PO BOX 210
WATERTOWN, SD 57201-0210



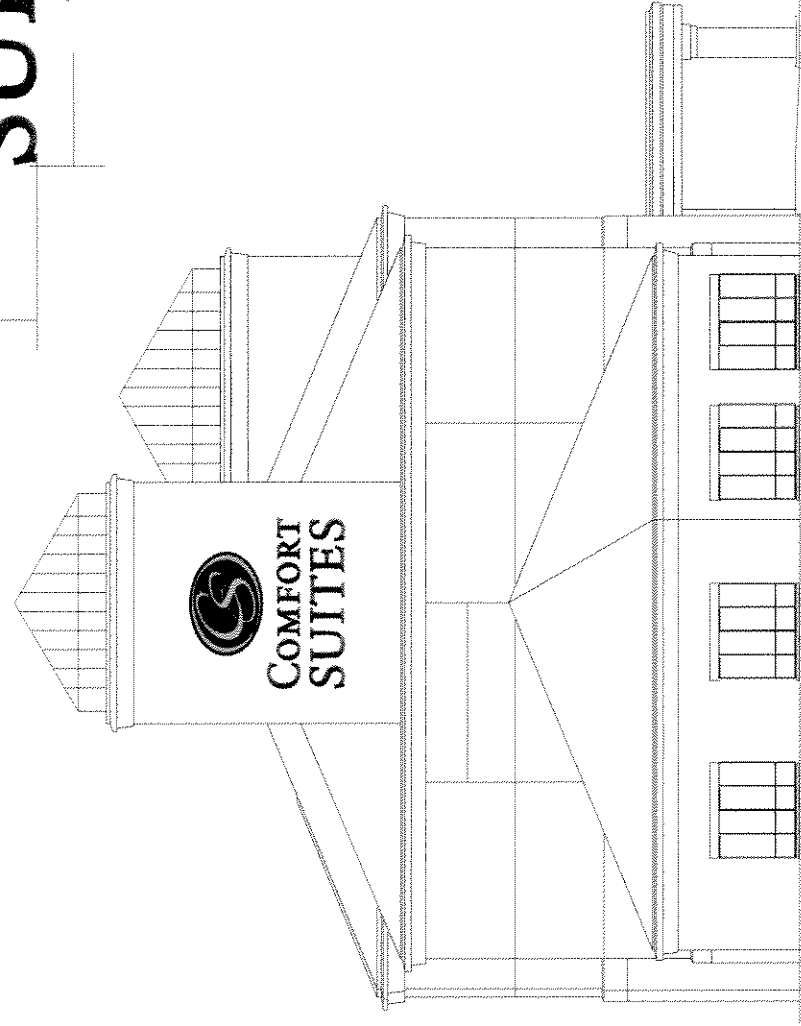
8'-2 3/8"

COMFORT
SUITES

42"

30"

18'1"



WEST ELEVATION

Customer: **COMFORT SUITES**
Location: **MILWAUKEE, WI**

Date: **12-16-05**
File Name: **30587-24" & 30" 2-LINE LETTERS WITH LOGO**

Prepared By: **MWR**
Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

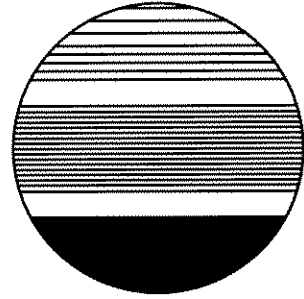
Revision: **X**



Sign Makers / Image Builders

Ph./ 1-800-843-9888

DISTRIBUTED BY SIGN UP COMPANY
700 2nd STREET SOUTHWEST
PO BOX 210
WATERTOWN, SD 57201-0210



PROPOSED ADDITION
FOR

Comfort Suites Hotel

10831 West Park Place
Milwaukee, Wisconsin

120 UNITS

SITE PLANS

- S1 ARCHITECTURAL SITE PLAN
- S-00 COVER SHEET
- S-01 PLAT OF SURVEY
- C-01 GRADING AND EROSION CONTROL PLAN
- C-02 SITE UTILITY PLAN
- C-03 DIMENSIONED SITE PLAN
- L-01 LANDSCAPING PLAN
- L-02 LANDSCAPING NOTES & DETAILS
- D1 DUMPSTER PLAN
- L1 PHOTOMETRIC/LIGHTING PLAN
- SI SIGNAGE

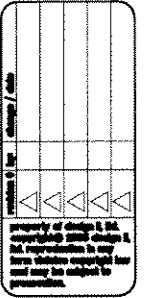
ARCHITECTURAL PLANS

- A1 EXTERIOR ELEVATIONS
- A2 FIRST & SECOND FLOOR PLANS
- A3 THIRD & FOURTH FLOOR PLANS

BUILDING DATA:

FLOOR AREA	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	TOTAL SQ. FT.
NET SQ. FT.					
GROSS SQ. FT.					

(6) STORIES - 6'-0" AVERAGE ROOF PITCH

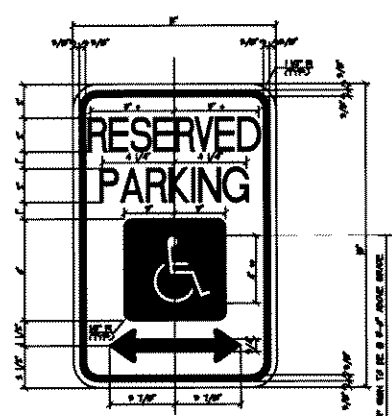


Proposed Addition For:
Comfort Suites
10831 West Park Place
Milwaukee, WI

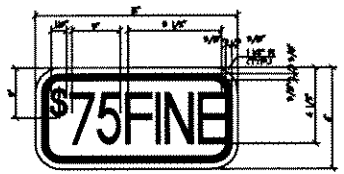


design III
ARCHITECTS
1000 N. MILWAUKEE AVENUE
MILWAUKEE, WI 53233
TEL: 414-224-1100 FAX: 414-224-1101

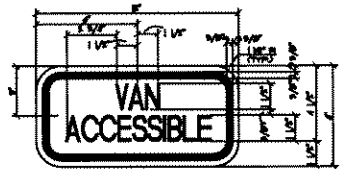
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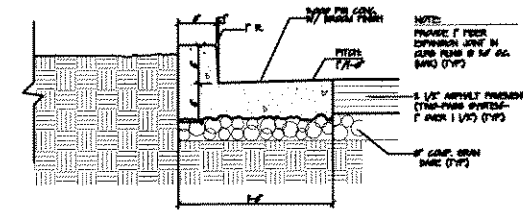
COLORS
 Legend and Border: GREEN
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 Background: WHITE
 • Yellow Spacing SW
 • See Symbol 'X' For Spacing Properties
ACCESSIBLE PARKING SIGN
 8" x 36" - 0"



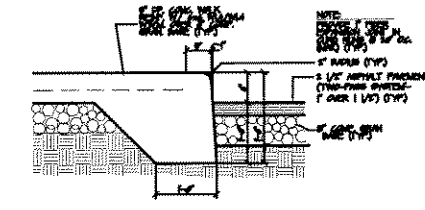
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\$75 FINE SIGN
 18" x 12" - 0"



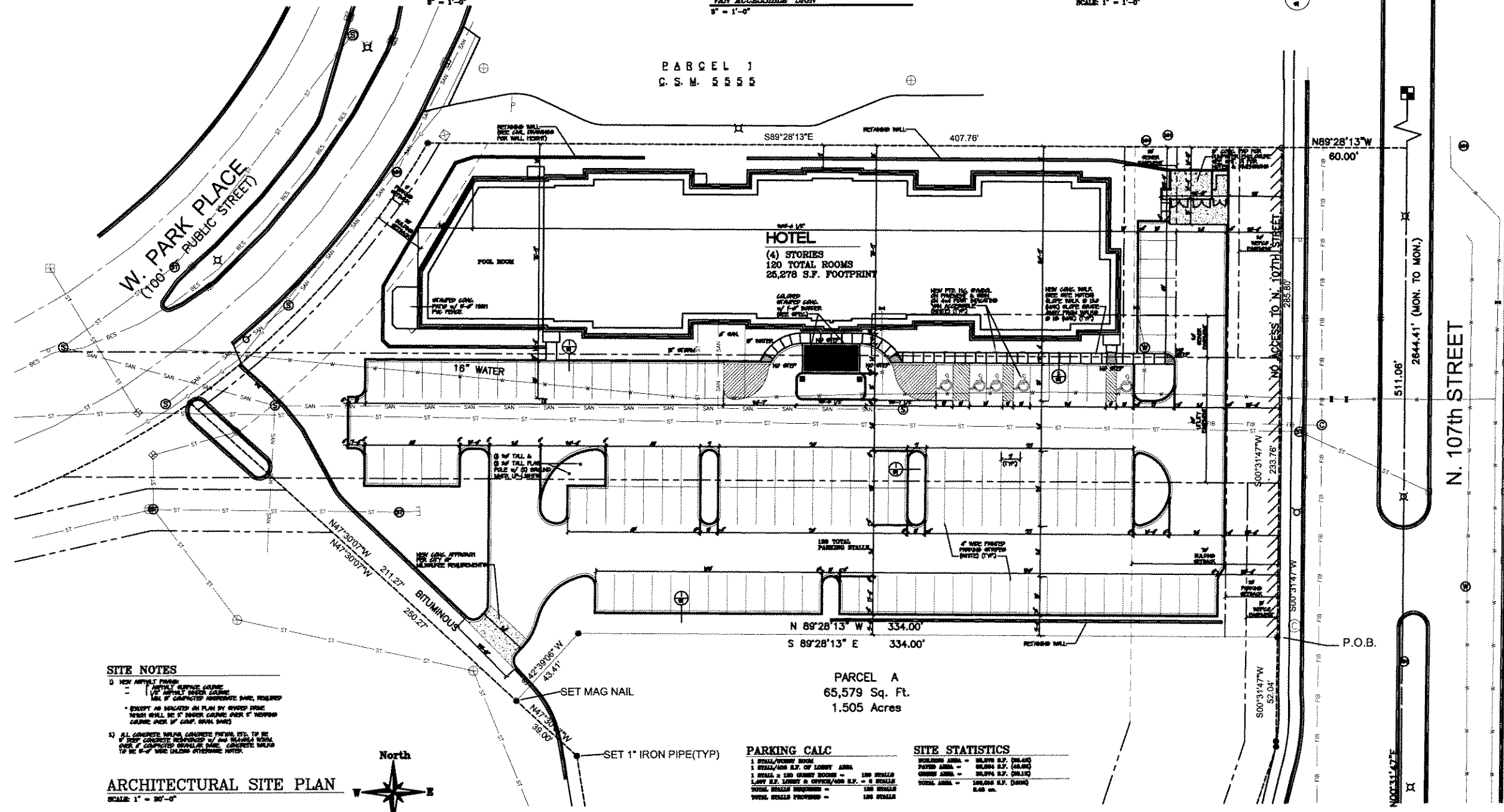
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VAN ACCESSIBLE SIGN
 18" x 12" - 0"



DETAIL
 SCALE: 1" = 1'-0"



DETAIL
 SCALE: 1" = 1'-0"



SITE NOTES
 1) NEW ASPHALT PAVEMENT
 2) 1/2" ASPHALT SURFACE COURSE
 3) 1/2" ASPHALT BINDER COURSE
 4) 1/2" COMPACTED GRANULAR FILL, REPAVED
 5) EXCEPT AS INDICATED ON PLAN BY REVED DASHES
 6) REVED SHALL BE 4" HATCH COURSE OVER 4" HATCH
 7) COURSE OVER 4" COMP. GRAN. FILL
 8) ALL CONCRETE SHALL BE CONCRETE PERMITS TO BE
 9) 4" DEEP CONCRETE REPAVED TO 4" HATCH SHALL BE
 10) 4" DEEP CONCRETE REPAVED TO 4" HATCH SHALL BE
 11) TO BE 4" DEEP CONCRETE REPAVED TO 4" HATCH SHALL BE

ARCHITECTURAL SITE PLAN
 SCALE: 1" = 30'-0"



PARCEL 1
 P.S.M. 55555

PARCEL A
 65,579 Sq. Ft.
 1.505 Acres

PARKING CALC

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SITE STATISTICS

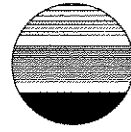
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Proposed Addition For:
Comfort Suites
 Wood Park Place
 Middletown, VA

Proposed Addition For:
Comfort Suites
 Wood Park Place
 Middletown, VA

design III
 1000 N. 107th Street
 Middletown, VA 22645
 540.565.5555

Project No. 0574
 Date 12-6-2005
 Sheet No. 51



COMFORT SUITES

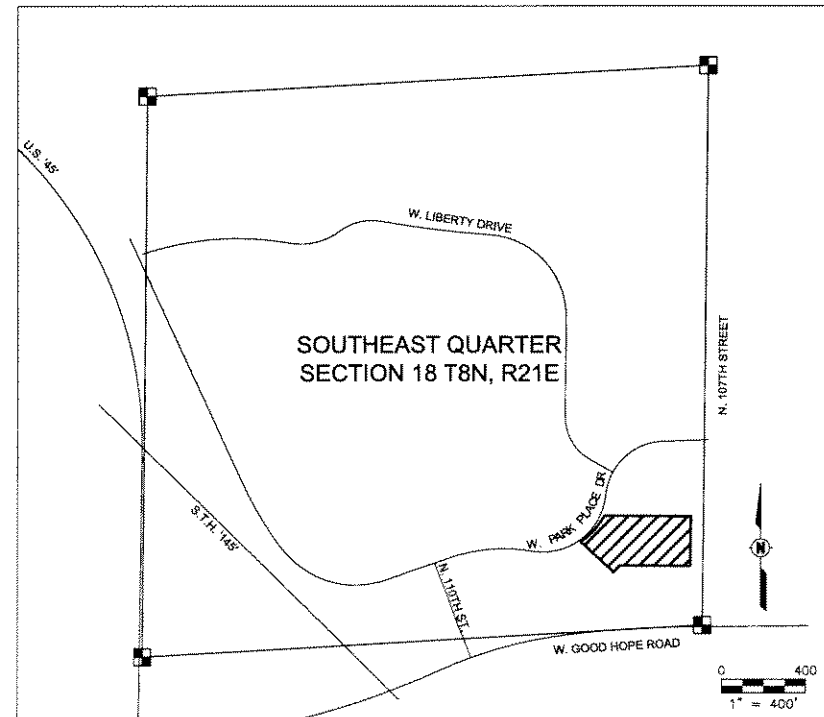
Liberty Property Trust West Park Place Milwaukee, Wisconsin

Drawing Index

Sheet #	Reference #	Description
1		COVER SHEET
2	S-01	PLAT OF SURVEY
3	C-01	GRADING AND EROSION CONTROL PLAN
4	C-02	SITE UTILITY PLAN
5	C-03	SITE DIMENSION PLAN
6	L-01	LANDSCAPING PLAN
7	L-02	LANDSCAPING PLAN

NOTES:

- The surveyed property is Parcel 1 of a Certified Survey Map that is a redvision of Parcel 1 of Certified Survey Map 6940 as recorded with the Milwaukee County Register of deeds, and that has not been recorded as of June 25, 2005. Parcel Tax Key Number: 11-0121-6.
- No Vehicular access is allowed to West Good Hope Road, or North 107th Street.
- All bearings are referenced to Grid North North of the Wisconsin State Plane Coordinate System, South Zone. In said Zone, the east line of the Northeast 1/4 of Section 18, Town 8 North, Range 21 East, is assumed to bear North 00°31'47" East.
- Horizontal Datum: North American Datum of 1827, Wisconsin State Plane, South Zone.
- Vertical Datum is based on City of Milwaukee Datum.
- Underground utilities are shown for informational purposes only and are not guaranteed to be accurate or all inclusive. The Contractor/Owner is responsible for making his own determination as to the type and location of underground utilities as may be necessary to avoid damage thereto. Contractor/Owner shall call Digger's Hotline, prior to any construction.
- Field Survey performed on May 16, 2005, June 27 and September 2, 2005 by STS Consultants.
- Entire area surveyed is in Flood Zone C as shown on FEMA "Flood Insurance Rate Map" numbered 5502780054B dated March 1, 1982.
- Underground utilities are based on field located marks by Diggers Hotline, Ticket No. 2005269907, June 22, 2005. STS Consultants, Ltd., accepts no responsibility for existing utilities not marked by Diggers Hotline.
- Access to public road to be provided by future document.
- Property is zoned "GPD"-General Planned Development.
- Parcel is a vacant lot.



STORM DRAINAGE

CITY OF MILWAUKEE
 MILWAUKEE, WISCONSIN
 PHONE: (262)
 FAX: (262)
 CONTACT: MR. PAUL DAY, P.E.

DOMESTIC WATER

CITY OF MILWAUKEE WATER UTILITY
 MILWAUKEE, WISCONSIN
 PHONE: (414)
 FAX: (414)
 CONTACT:

SANITARY SEWER

MMSD
 WAUKESHA, WISCONSIN 53186
 PHONE: (262)524-3585
 FAX: (262)
 CONTACT: MR. PAUL DAY, P.E.

POWER

WE ENERGIES - ELECTRIC DIVISION
 1830 S. WEST AVENUE
 WAUKESHA, WISCONSIN 53189
 PHONE: (262)
 FAX: (262)
 CONTACT:

TELEPHONE

SBC AMERITECH
 2005 PENNAUKEE ROAD
 WAUKESHA, WISCONSIN 53188
 PHONE: (262)996-7425
 FAX: (262)
 CONTACT: MARSHA FOSTER

GAS

WE ENERGIES - GAS DIVISION
 1830 S. WEST AVENUE
 WAUKESHA, WISCONSIN 53189
 PHONE: (262)549-1100
 FAX: (262)
 CONTACT: MR. MARK ROBINSON

CABLE

TIME WARNER CABLE

SOILS ENGINEER

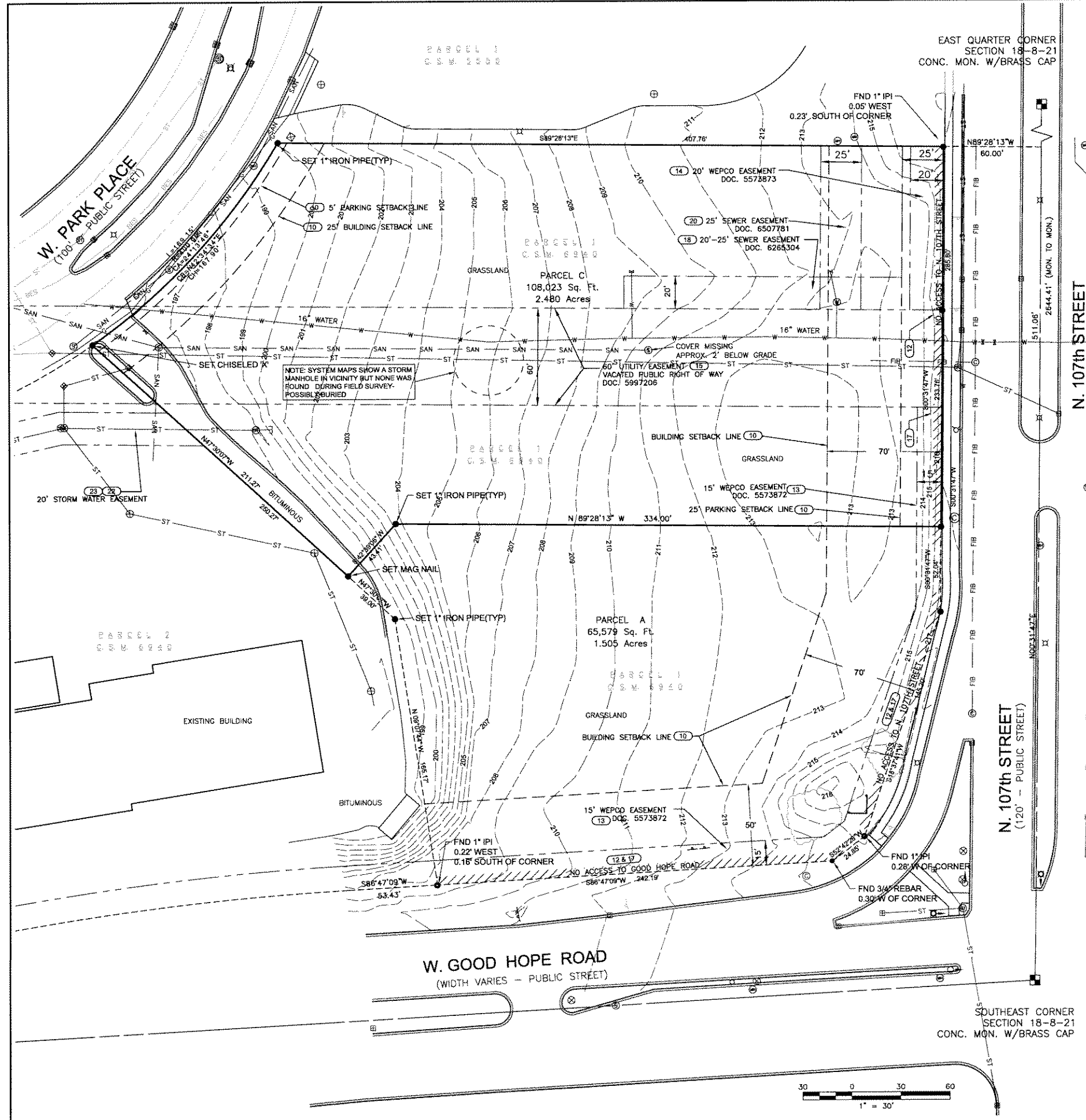
STS CONSULTANTS, LTD.
 11425 W. LAKE PARK DRIVE
 MILWAUKEE, WISCONSIN 53224
 PHONE: (414)359-3030
 FAX: (414)359-0822
 CONTACT: DANIEL L. SCHNEIDER, P.E.

Issued

12/14/2005 Issued For Approval

Prepared By: STS Consultants, Ltd.

STS Project Number: 588042



SCHEDULE B II EXCEPTIONS

- TERMS, PROVISIONS AND CONDITIONS OF PLANNED DEVELOPMENT AGREEMENT RECORDED AS DOCUMENT NO. 5478444 AND AMENDMENTS RECORDED AS DOCUMENT NOS. 5718414, 5875152, 6209535, 6556666, 6481468, AND 7181916 - AS SHOWN ON SURVEY.
- BUILDING SETBACK LINES
GOOD HOPE ROAD - 50 FEET
107TH STREET - 70 FEET
ALL OTHER ROADS - 25 FEET
BUILDING MAXIMUM HEIGHT - 45 FEET
PARKING SETBACK LINES
WEST PARK PLACE - 5 FEET
107TH STREET - 25 FEET
- LIMITATIONS FOR CONTROLLED ACCESS HIGHWAY BY STATE HIGHWAY COMMISSION OF WISCONSIN RECORDED AS DOCUMENT NO. 3094079-BLANKET RESTRICTION - UNABLE TO MAP.
- ACCESS RESTRICTION AND LIMITED HIGHWAY EASEMENT GRANTED IN AWARD OF DAMAGES RECORDED AS DOCUMENT NO. 4048781 - AS SHOWN ON MAP.
- UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 5573872 - AS SHOWN ON MAP.
- UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 5573873 - AS SHOWN ON MAP.
- EASEMENT GRANTED TO CITY OF MILWAUKEE RECORDED AS DOCUMENT NO. 5987206 - AS SHOWN ON MAP.
- COVENANT APPEARING ON CERTIFIED SURVEY MAP NOS. 5555 AND 6940 - BLANKET RESTRICTION - UNABLE TO MAP. THAT ALL UTILITY LINES PROVIDE ELECTRIC POWER AND TELEPHONE SERVICE AND CABLE TELEVISION OR COMMUNICATIONS SYSTEMS LINES OR CABLES TO ALL LOTS IN THE CERTIFIED SURVEY MAP SHALL BE INSTALLED UNDERGROUND IN EASEMENTS PROVIDED THEREFOR.
- COVENANT PROHIBITING VEHICULAR ACCESS TO NORTH 107TH STREET SET FORTH ON C.S.M. NO. 3555 AND C.S.M. NO. 6940 AND LIMITED ACCESS TO WEST PARK PLACE - AS SHOWN ON MAP.
- TERMS, PROVISIONS, CONDITIONS AND EASEMENTS SET FORTH IN INSTRUMENT RECORDED AS DOCUMENT NO. 6265304 - AS SHOWN ON MAP.
- COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AS DOCUMENT NO. 8126338 - BLANKET RESTRICTION.
- SEWER LINE EASEMENT AGREEMENT RECORDED AS DOCUMENT NO. 6507781 - AS SHOWN ON MAP.
- COVENANTS, CONDITIONS AND RESTRICTIONS PER DOCUMENT NO. 717020 - BLANKET RESTRICTION.
- DECLARATION OF STORM WATER MANAGEMENT EASEMENT RECORDED AS DOCUMENT NO. 6061940 - AS SHOWN ON MAP.
- STORM WATER MANAGEMENT PLAN EASEMENT AGREEMENT RECORDED AS DOCUMENT NO. 787821 AND AMENDMENT TO STORM WATER MANAGEMENT PLAN AGREEMENT RECORDED AS DOCUMENT NO. 7999666 - AS SHOWN ON MAP.

NOTES:

- The surveyed property is part of Parcel 1 of a Certified Survey Map that is a subdivision of Parcel 1 of Certified Survey Map 8940 as recorded with the Milwaukee County Register of Deeds, and that has not been recorded as of June 25, 2005. Parcel Tax Key Number 111-0121-8.
- No Vehicular access is allowed to North 107th Street.
- All bearings are referenced to Grid North North of the Wisconsin State Plane Coordinate System, South Zone. In said Zone, the east line of the Northwest 1/4 of Section 16, Town 8 North, Range 21 East, is required to bear North 00°31'47" East.
- Horizontal Datum: North American Datum of 1927, Wisconsin State Plane, South Zone.
- Vertical Datum is based on City of Milwaukee Datum.
- Underground utilities are shown for informational purposes only and are not guaranteed to be accurate or all inclusive. The Contractor/Owner is responsible for making his own determination as to the type, size and location of underground utilities as may be necessary to avoid damage thereto. Contractor/Owner shall call Digger's Hotline prior to any construction.
- Field Survey performed on May 16, 2005 and June 27, 2005 by STS Consultants.
- Entire area surveyed is in Flood Zone C as shown on FEMA "Flood Insurance Rate Map" numbered 500278034B dated March 1, 1982.
- Underground utilities are based on field located marks by Digger's Hotline, Ticket No. 2005269607, June 22, 2005. STS Consultants, Ltd., accepts no responsibility for existing utilities not marked by Digger's Hotline.
- Property is zoned "GPD"-General Planned Development.
- Parcel is a vacant lot.

METES & BOUNDS DESCRIPTION

Parcel C
A part of Parcel 1 of Certified Survey Map (C.S.M.) No. 8940 as recorded on April 2, 2001, on Reel 5042, Image 1183, as Document No. 8044595, being a subdivision of Parcel 2 of Certified Survey Map No. 5555 recorded as Document No. 5487882 and lands all being a part of the Southeast Quarter of the Southeast Quarter of Section 16, Township 8 North, Range 21 East, City of Milwaukee, Milwaukee County, State of Wisconsin, more fully described as follows:
Commencing at the Southeast Corner of said Section 16, thence North 00°31'47" East along the East line of said Southeast Quarter, 511.08 feet; thence North 89°28'13" West, 80.00 feet to the northeast corner of Parcel 1 of said C.S.M. 8940, also being the POINT OF BEGINNING; thence South 00°31'47" West along the east line of said Parcel 1, 233.76 feet; thence North 89°28'13" West, 334.00 feet; thence South 42°38'06" West, 43.41 feet to the west line of said Parcel 1; thence North 47°30'07" West along said west line, 213.27 feet to a point on the southerly right-of-way of West Park Place, also being a non-tangent point of curvature; thence 159.15 feet along the arc of a curve to the left and westerly right-of-way of West Park Place, also being a non-tangent point of curvature, with a radius of 420.00 feet, and a short bearing North 42°34'34" East, 187.90 feet to the north line of said Parcel 1; thence South 89°28'13" East along said north line, 407.76 feet to the POINT OF BEGINNING. Containing 108,023 square feet, or 2.480 Acres more or less.

Parcel A
A non-exclusive easement for ingress and egress for the benefit of Parcel A on the balance of Parcel 1 of Certified Survey Map No. 8940.

Address: 10831 W. Park Place Drive
Tax Key Number: 111-0121-8

SURVEYOR'S CERTIFICATE

I hereby certify to Milwaukee Holdings, Ltd., its agents and employees, Liberty Property Trust and Chicago Title Insurance Company, that (a) this survey was prepared by me or under my supervision; (b) the legal description of the property as set forth herein, and the location of all improvements, encroachments, fences, easements, roadways, rights of way and setback lines which are either visible or of record in Milwaukee County, Wisconsin (according to the Title Insurance Number 1193613, dated May 18, 2005, issued by the Title Company), are accurately reflected herein; (c) the survey accurately depicts the state of facts as they appear on the ground; (d) except as shown herein, there are no improvements, encroachments, fences or roadways on any portion of the property reflected herein; (e) the property shown herein does not have access to a publicly dedicated roadway; (f) all public streets necessary for access to the property have been completed and dedicated; (g) there is direct access between each public street and the property along the entire common boundaries; (h) the property is zoned "GPD"-Special Planned Development, which will permit the use of the property as a full service, sit down restaurant with alcoholic beverage service and with adjacent parking; (i) the property is not in a flood hazard zone and is not in a wetlands, flood plain, coastal zone designation or otherwise environmentally sensitive area; (j) the title lines and lines of setback herein are the same lines and lines of setback required for the operation of the property either under the property through adjoining public streets; or (k) the survey shows the location and direction of all storm drainage systems for the collection and disposal of all surface drainage; and (l) the property surveyed contains 2.480 acres and 108,023 square feet. Any discharge into streams, rivers, or other conveyance systems is shown on the survey. This survey has been made in accordance with "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" jointly established and adopted by American Land Title Association (ALTA) and American Congress on Surveying and Mapping (ACSM), as most recently revised or amended and meets the accuracy requirements of an Urban Survey, as defined therein and includes all items in Table A thereof.

VICINITY MAP

Dated: September 7, 2005
Craig W. Riley, RLS
Registration No. S-2264
STS Consultants, Ltd.
11425 W. Lake Park Drive
Milwaukee, WI 53215
Phone: 414-359-3030
Fax: 414-359-0822

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**COMFORT SUITES
WEST PARK PLACE
MILWAUKEE, WISCONSIN**

PLAT OF SURVEY

Issued

Rev Date Description

Designed: _____
Drawn: CJH 8/24/2005
Checked: CWR 8/24/2005
Approved: CWR 8/24/2005

PROJECT NUMBER
88042

SHEET REFERENCE NUMBER
S-01

SHEET 02 OF 0X

C:\projects\88042\88042.plt.dwg, 12/16/2005 2:35:19 PM, hmc



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COMFORT SUITES
WEST PARK PLACE
MILWAUKEE, WISCONSIN

GRADING AND EROSION CONTROL PLAN

Issued

Rev. Date

Description

Designed: DLS 12/12/2005

Drawn: CSH 12/14/2005

Checked: DLS 12/14/2005

Approved: DLS 12/14/2005

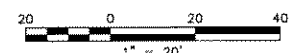
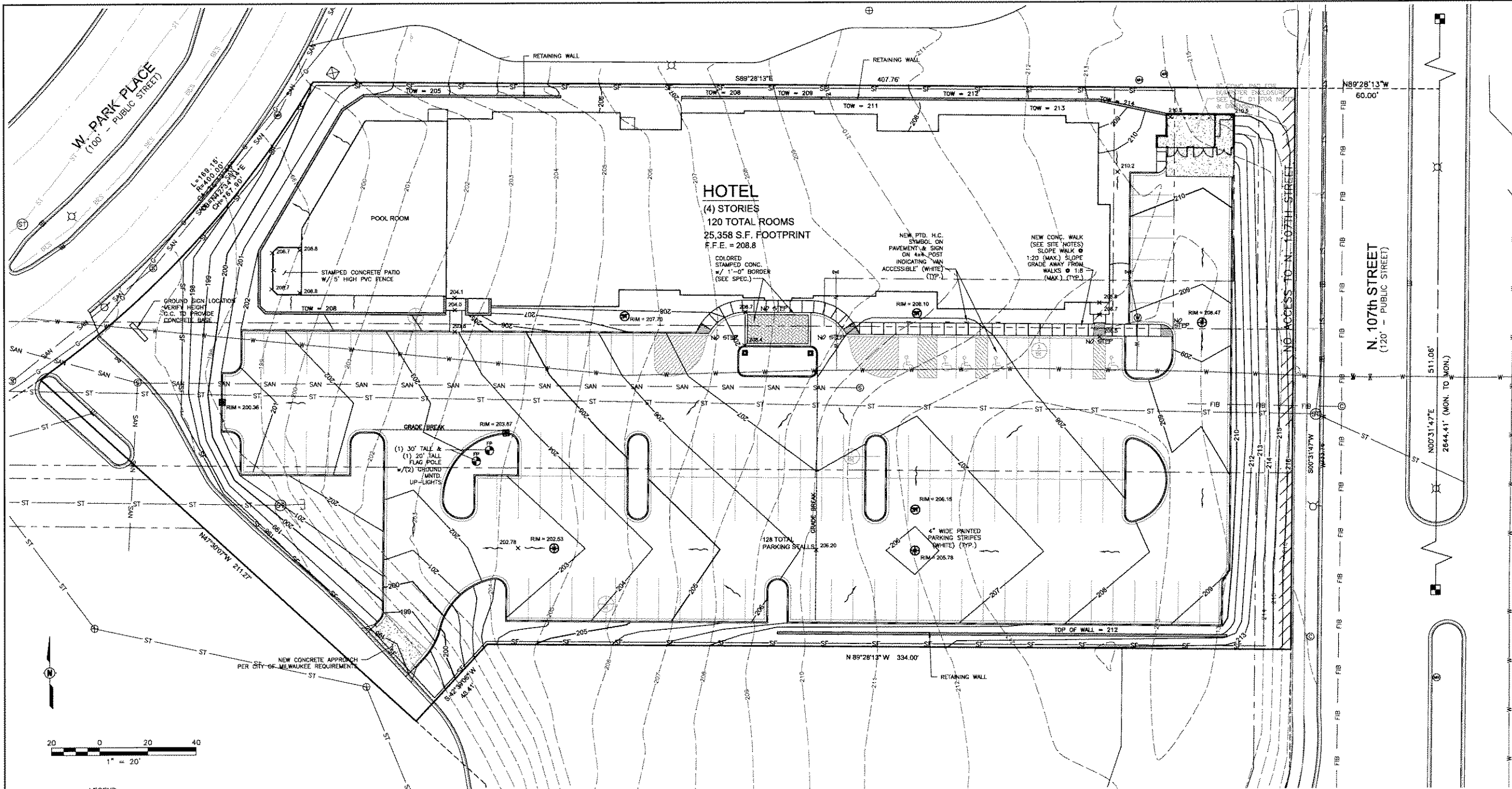
PROJECT NUMBER

588042

SHEET REFERENCE NUMBER

C-01

SHEET 03 OF 03



LEGEND

— SF	SILT FENCE
— SAN	SANITARY SEWER
— ST	STORM SEWER
— W	WATER MAIN
— E	UNDERGROUND ELECTRIC
— T	UNDERGROUND TELEPHONE
— BES	BUREAU OF ELECTRICAL SERVICE
---	EASEMENT BOUNDARY
→	DRAINAGE ARROW
⊙	MANHOLE
⊙	SANITARY MANHOLE
⊙	STORM MANHOLE
⊙	CATCH BASIN ROUND
⊙	CATCH BASIN SQUARE
⊙	SIGN
⊙	LIGHT POLE
⊙	TRAFFIC SIGNAL POLE
⊙	PULL BOX
⊙	TELEPHONE PEDESTAL
⊙	HYDRANT
⊙	WATER VALVE
⊙	WATER MAIN MANHOLE
⊙	COMMUNICATIONS MANHOLE



THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

SITE NOTES

- 1.) THE PRIME CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES, PUBLIC AND PRIVATE, ON THE SITE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE COSTS ASSOCIATED WITH REPAIRING ANY UTILITIES DAMAGED DURING CONSTRUCTION.
- 2.) PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE CONCURRENT WITH EARTHWORK ON SITE.
- 3.) HAULING HOURS MUST BE CONFIRMED WITH THE CITY PRIOR TO BEGINNING WORK.
- 4.) ALL DIMENSIONS SHOWN ARE TO FACE OF CURB.
- 5.) ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE CODES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- 6.) REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS.
- 7.) ALL PROPOSED RETAINING WALLS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.

GENERAL GRADING & DRAINAGE NOTES

- 1.) ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER FLOWLINE GRADES UNLESS OTHERWISE NOTED.
- 2.) REFER TO THE SITE PLAN/RECORD PLAT FOR MOST CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
- 3.) THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATION FROM PLAN.
- 4.) ALL CONSTRUCTION SHALL CONFORM TO LOCAL CODES.
- 5.) POSITIVE DRAINAGE FROM THE SITE MUST BE PROVIDED AT ALL TIMES.
- 6.) THE GRADING CONTRACTOR MUST BE AWARE OF ALL EXISTING AND PROPOSED UTILITIES AT ALL TIMES DURING CONSTRUCTION.
- 7.) DRAINAGE EASEMENTS WILL BE PROVIDED BY OTHERS.
- 8.) CATCH BASIN PROTECTION AROUND ALL PROPOSED CB'S PER THE ATTACHED DETAIL.

EROSION CONTROL NOTES

- 1.) ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL Viable TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL TEMPORARY PONDING, DIKES, HAY BALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- 2.) ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A ROCK ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- 3.) ALL STOCKPILES MUST HAVE ADEQUATE SEDIMENT TRAPPING SYSTEMS INSTALLED AROUND THEM.
- 4.) TEMPORARY SEEDING, FERTILIZING, AND TYPE I MULCHING MUST BE APPLIED WITHIN 7 DAYS OF ROUGH GRADING ON 3:1 SLOPES OR STEEPER, 14 DAYS ON 10:1 TO 3:1 SLOPES, OR 21 DAYS ON SLOPES FLATTER THAN 10:1 UNLESS PRECLUDED BY SNOW COVER.
- 5.) THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING AND/OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.



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MILWAUKEE, WISCONSIN

UTILITY PLAN

Issued	
Rev	Date
Description	

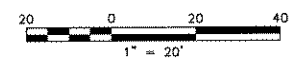
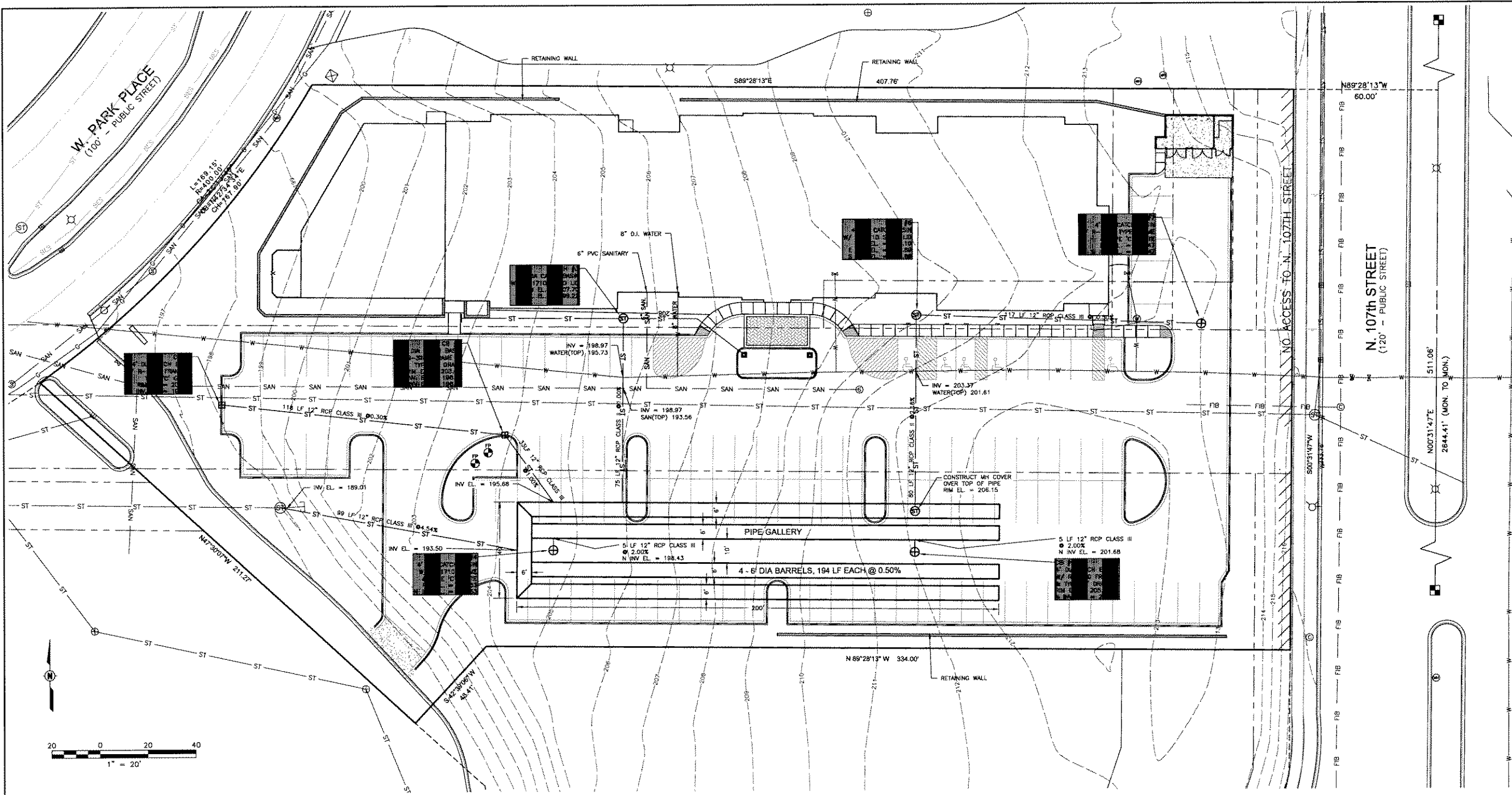
Designed: DLS 12/12/2005
Drawn: C.M. 12/14/2005
Checked: DLS 12/14/2005
Approved: DLS 12/14/2005

PROJECT NUMBER
588042

SHEET REFERENCE NUMBER

C-02

SHEET 04 OF 04



LEGEND

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER MAIN
- E — UNDERGROUND ELECTRIC
- T — UNDERGROUND TELEPHONE
- BES — BUREAU OF ELECTRICAL SERVICE
- — EASEMENT BOUNDARY
- — SETBACK LINE
- ⊕ — MANHOLE
- ⊕ — SANITARY MANHOLE
- ⊕ — STORM MANHOLE
- ⊕ — CATCH BASIN ROUND
- ⊕ — CATCH BASIN SQUARE
- ⊕ — SIGN
- ⊕ — LIGHT POLE
- ⊕ — TRAFFIC SIGNAL POLE
- ⊕ — PULL BOX
- ⊕ — TELEPHONE PEDESTAL
- ⊕ — HYDRANT
- ⊕ — WATER VALVE
- ⊕ — WATER MAIN MANHOLE
- ⊕ — COMMUNICATIONS MANHOLE



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X:\Projects\588042\DWG\C-02-PLAN01.dwg, 12/16/2005 11:51:42 AM, hwhiz



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COMFORT SUITES
WEST PARK PLACE
MILWAUKEE, WISCONSIN

SITE DIMENSION PLAN

Issued

Rev. Date
Description

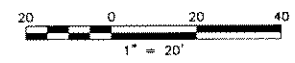
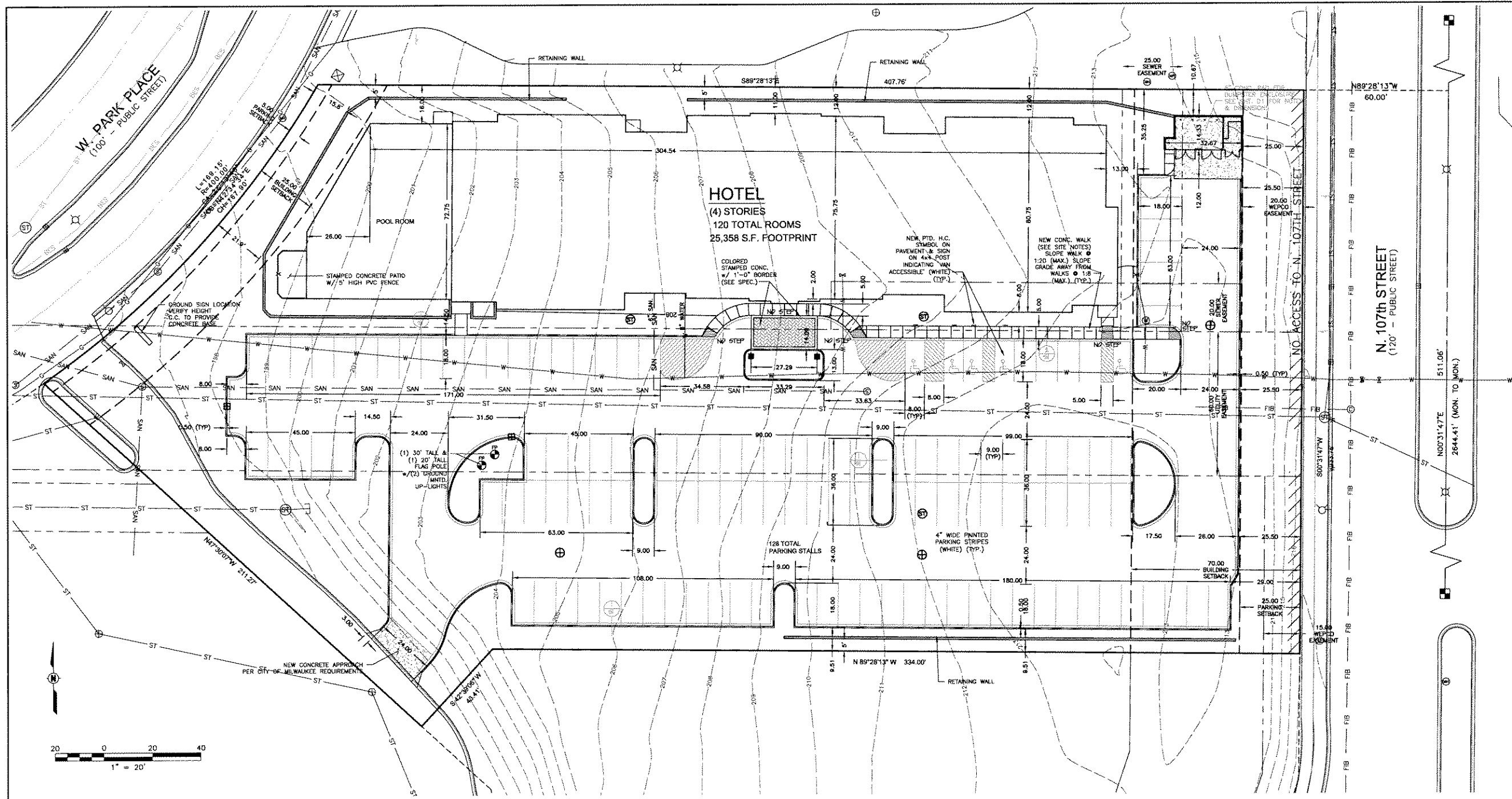
Designed: D.S. 12/12/2005
Drawn: C.J.H. 12/14/2005
Checked: D.S. 12/14/2005
Approved: D.S. 12/14/2005

PROJECT NUMBER
588042

SHEET REFERENCE NUMBER

C-03

SHEET 05 OF 08



THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE ON ALL INCLUDING. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.

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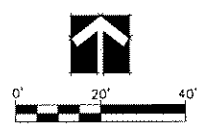
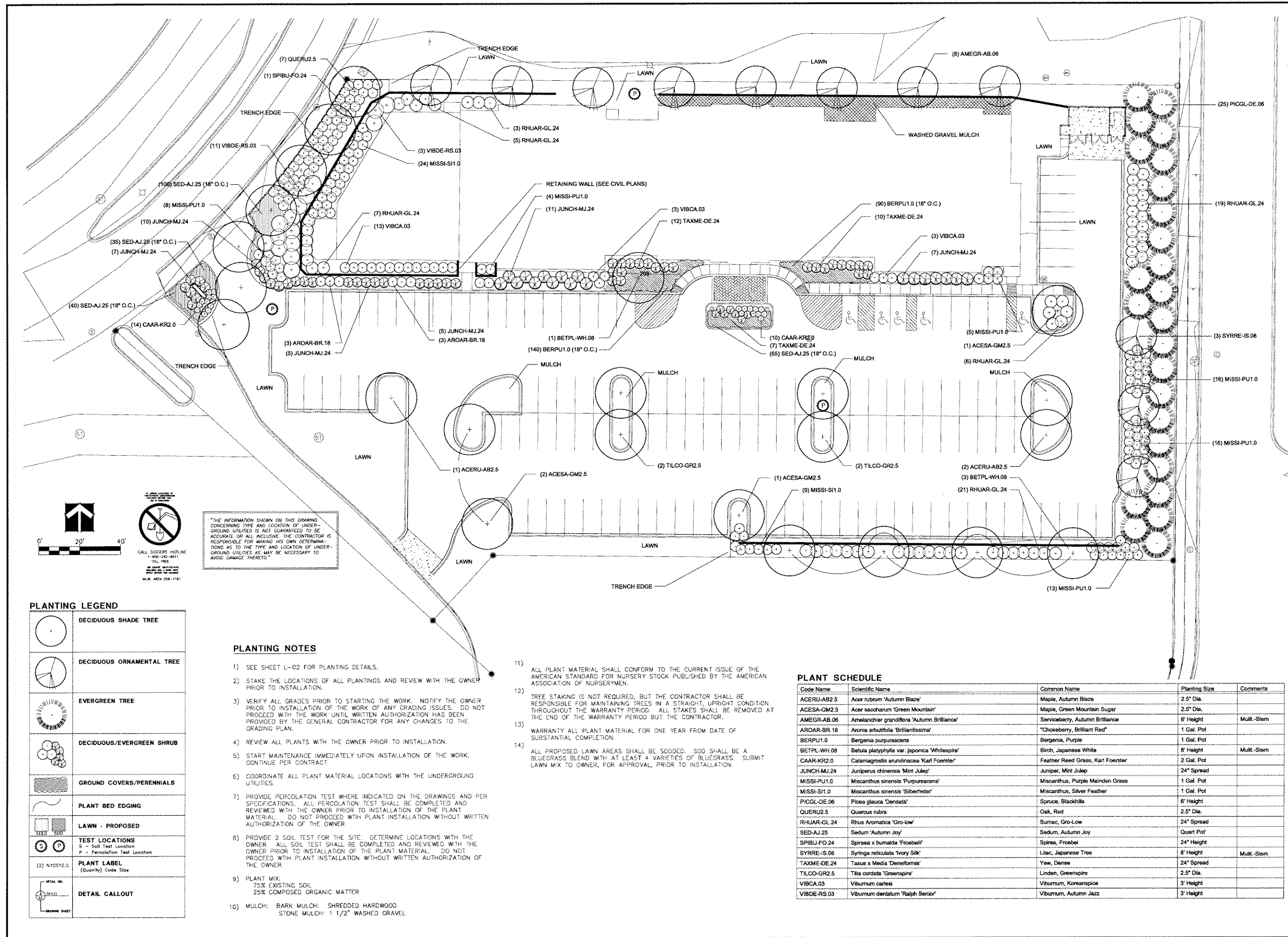
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COMFORT SUITES
WEST PARK PLACE
MILWAUKEE, WISCONSIN

LANDSCAPE PLAN



"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF."

PLANTING LEGEND

	DECIDUOUS SHADE TREE
	DECIDUOUS ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS/EVERGREEN SHRUB
	GROUND COVERS/PERENNIALS
	PLANT BED EDGING
	LAWN - PROPOSED
	TEST LOCATIONS S - Soil Test Location P - Percolation Test Location
	PLANT LABEL (Quantity) Code Size
	DETAIL CALLOUT

PLANTING NOTES

- SEE SHEET L-02 FOR PLANTING DETAILS.
- STAKE THE LOCATIONS OF ALL PLANTINGS AND REVIEW WITH THE OWNER PRIOR TO INSTALLATION.
- VERIFY ALL GRADES PRIOR TO STARTING THE WORK. NOTIFY THE OWNER PRIOR TO INSTALLATION OF THE WORK OF ANY GRADING ISSUES. DO NOT PROCEED WITH THE WORK UNTIL WRITTEN AUTHORIZATION HAS BEEN PROVIDED BY THE GENERAL CONTRACTOR FOR ANY CHANGES TO THE GRADING PLAN.
- REVIEW ALL PLANTS WITH THE OWNER PRIOR TO INSTALLATION.
- START MAINTENANCE IMMEDIATELY UPON INSTALLATION OF THE WORK. CONTINUE PER CONTRACT.
- COORDINATE ALL PLANT MATERIAL LOCATIONS WITH THE UNDERGROUND UTILITIES.
- PROVIDE PERCOLATION TEST WHERE INDICATED ON THE DRAWINGS AND PER SPECIFICATIONS. ALL PERCOLATION TEST SHALL BE COMPLETED AND REVIEWED WITH THE OWNER PRIOR TO INSTALLATION OF THE PLANT MATERIAL. DO NOT PROCEED WITH PLANT INSTALLATION WITHOUT WRITTEN AUTHORIZATION OF THE OWNER.
- PROVIDE 2 SOIL TEST FOR THE SITE. DETERMINE LOCATIONS WITH THE OWNER. ALL SOIL TEST SHALL BE COMPLETED AND REVIEWED WITH THE OWNER PRIOR TO INSTALLATION OF THE PLANT MATERIAL. DO NOT PROCEED WITH PLANT INSTALLATION WITHOUT WRITTEN AUTHORIZATION OF THE OWNER.
- PLANT MIX:
75% EXISTING SOIL
25% COMPOSED ORGANIC MATTER
- MULCH: BARK MULCH: SHREDDED HARDWOOD
STONE MULCH: 1 1/2" WASHED GRAVEL
- ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- TREE STAKING IS NOT REQUIRED, BUT THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TREES IN A STRAIGHT, UPRIGHT CONDITION THROUGHOUT THE WARRANTY PERIOD. ALL STAKES SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD BUT THE CONTRACTOR.
- WARRANTY ALL PLANT MATERIAL FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- ALL PROPOSED LAWN AREAS SHALL BE SODDED. SOD SHALL BE A BLUEGRASS BLEND WITH AT LEAST 4 VARIETIES OF BLUEGRASS. SUBMIT LAWN MIX TO OWNER, FOR APPROVAL, PRIOR TO INSTALLATION.

PLANT SCHEDULE

Code Name	Scientific Name	Common Name	Planting Size	Comments
ACERU-AB2.5	<i>Acer rubrum</i> 'Autumn Blaze'	Maple, Autumn Blaze	2.5" Dia.	
ACESA-GM2.5	<i>Acer saccharum</i> 'Green Mountain'	Maple, Green Mountain Sugar	2.5" Dia.	
AMEGR-AB.06	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	Serviceberry, Autumn Brilliance	6' Height	Multi-Stem
AROAR-BR.18	<i>Aronia arbutifolia</i> 'Brilliantissima'	'Chokeberry, Brilliant Red'	1 Gal. Pot	
BERPU1.0	<i>Bergenia purpurascens</i>	Bergenia, Purple	1 Gal. Pot	
BETPL-WH.08	<i>Betula platyphylla</i> var. <i>japonica</i> 'Whitespire'	Birch, Japanese White	8' Height	Multi-Stem
CAAR-KR2.0	<i>Calamagrostis arundinacea</i> 'Karl Foerster'	Feather Reed Grass, Karl Foerster	2 Gal. Pot	
JUNCH-MJ.24	<i>Juniperus chinensis</i> 'Mint Julep'	Juniper, Mint Julep	24" Spread	
MISSI-PU1.0	<i>Miscanthus sinensis</i> 'Purpureascens'	Miscanthus, Purple Maiden Grass	1 Gal. Pot	
MISSI-SI1.0	<i>Miscanthus sinensis</i> 'Siberfeder'	Miscanthus, Silver Feather	1 Gal. Pot	
PICGL-DE.06	<i>Picea glauca</i> 'Densata'	Spruce, Blackhills	6' Height	
QUERU2.5	<i>Quercus rubra</i>	Oak, Red	2.5" Dia.	
RHUAR-GL.24	<i>Rhus aromatica</i> 'Gro-low'	Sumac, Gro-Low	24" Spread	
SED-AJ.25	<i>Sedum</i> 'Autumn Joy'	Sedum, Autumn Joy	Quart Pot	
SPIBU-FO.24	<i>Spiraea x bumalda</i> 'Froebel'	Spiraea, Froebel	24" Height	
SYRRE-IS.08	<i>Syringa reticulata</i> 'Ivory Silk'	Lilac, Japanese Tree	8' Height	Multi-Stem
TAXME-DE.24	<i>Taxus x Media</i> 'Densiformis'	Yew, Dense	24" Spread	
TILCO-GR2.5	<i>Tilia cordata</i> 'Greenspire'	Linden, Greenspire	2.5" Dia.	
VIBCA.03	<i>Viburnum carlesii</i>	Viburnum, Koreanspice	3' Height	
VIBDE-RS.03	<i>Viburnum dentatum</i> 'Ralph Senior'	Viburnum, Autumn Jazz	3' Height	

issued

Rev. Date Description

Designed: SAS 12/15/2005
Drawn: SAS 12/16/2004

Checked:
Approved:

PROJECT NUMBER
588042

SHEET REFERENCE NUMBER

L-01

SHEET XX OF XX



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COMFORT SUITES
WEST PARK PLACE
MILWAUKEE, WISCONSIN

LANDSCAPE PLAN

Issued

Raw Date
Description

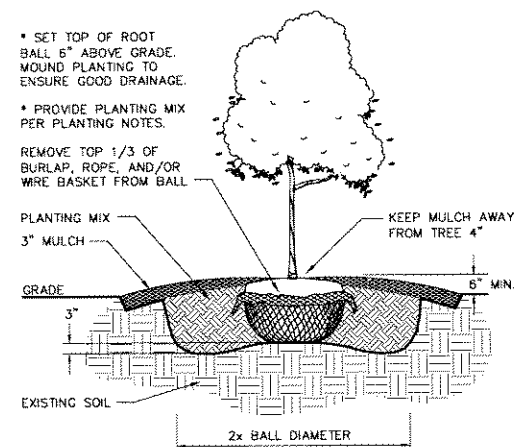
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Drawn: BAB 12/15/2004
Checked:
Approved:

PROJECT NUMBER
588042

SHEET REFERENCE NUMBER

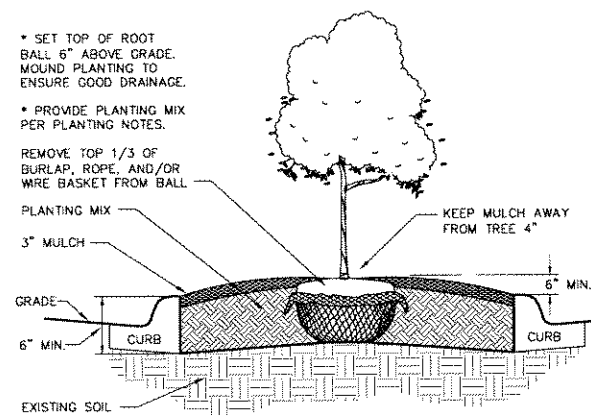
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SHEET XX OF XX



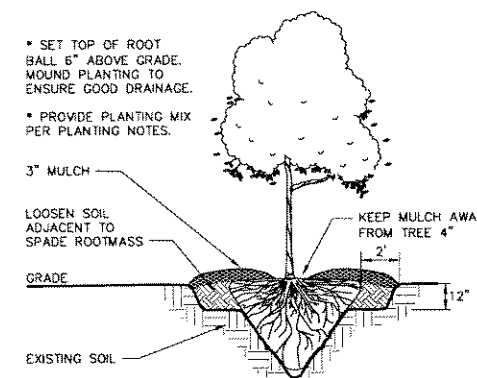
DECIDUOUS TREE PLANTING DETAIL

SCALE: NOT TO SCALE



ISLAND TREE PLANTING DETAIL

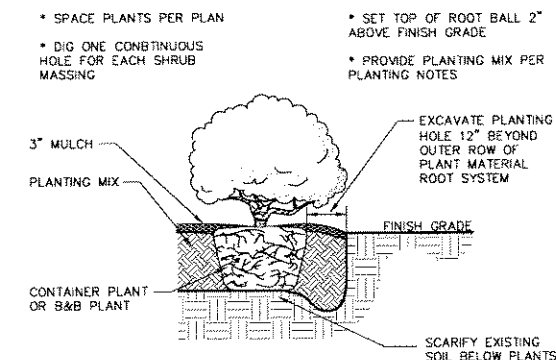
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MINIMUM TREE SPADE REQUIREMENTS			
SPADE SIZE (DIA.)	OAK TREES (DIA.)	DECIDUOUS TREES (DIA.)	EVERGREEN TREES (HT.)
42"	1'-1 1/2"	2'-3"	5'-7'
60"	1 1/2'-2 1/2"	3'-4"	7'-9'
78"	2 1/2'-3 1/2"	4'-6"	9'-14'
90"	3 1/2'-4'	6'-8"	14'-18'

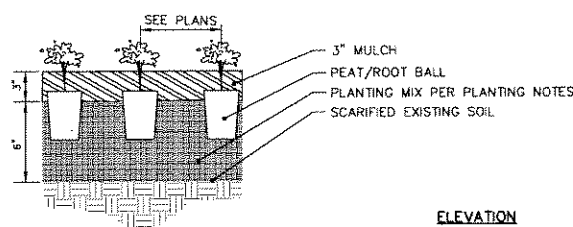
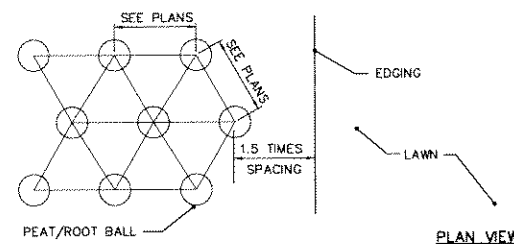
MECHANICAL PLANTING DETAIL

SCALE: NOT TO SCALE



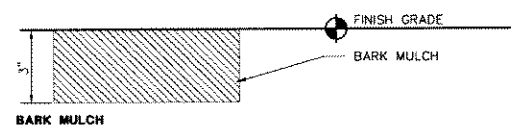
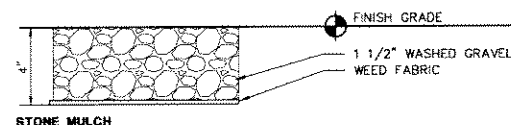
TYPICAL SHRUB PLANTING

SCALE: NOT TO SCALE



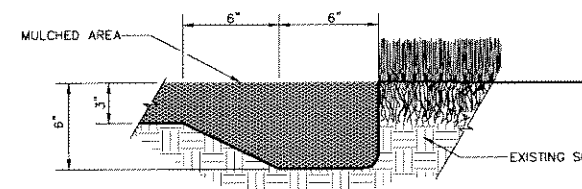
GROUNDCOVER DETAIL

SCALE: NOT TO SCALE



MULCH DETAILS

SCALE: NOT TO SCALE



- UNIFORMLY EDGE BEDS TO PROVIDE A CLEAR CUT DIVISION LINE BETWEEN PLANTING AREA AND ADJACENT LAWN. FORM BED SHAPE AS INDICATED ON DRAWING.

TRENCH EDGING DETAIL

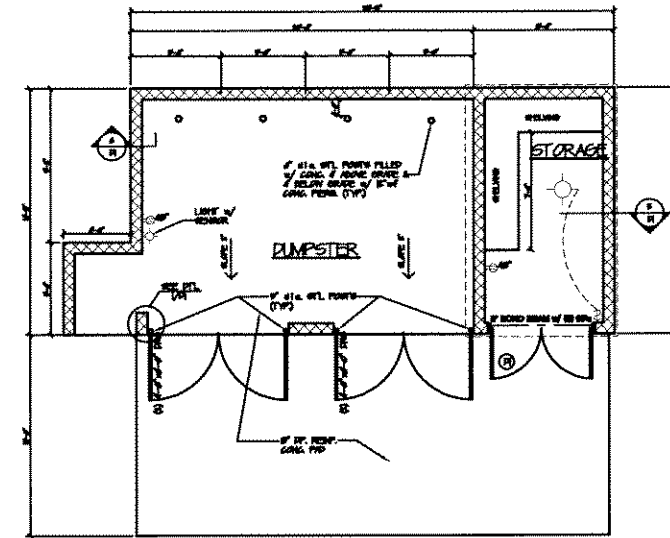
SCALE: NOT TO SCALE

PERCOLATION TEST

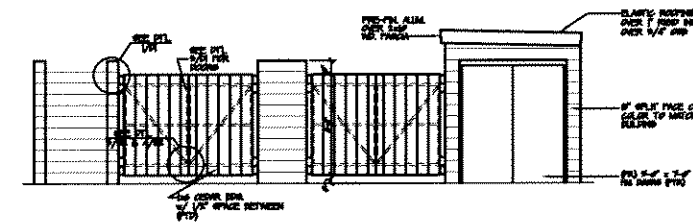
- Percolation Test: Submit written results and recommendations:
- Conduct percolation tests per locations noted on drawings. Conduct the tests only under the observation of the Landscape Architect or Landscape Architect's representative. Each test is to consist of digging a pit no less than 24 inches deep and 12 inches in diameter. The pit shall then be filled with water and kept full for a minimum of 12 hours. The pit shall then be refilled. Observe for another 24 hours. Document water level after 24-hour observation period. Make recommendations for any drainage measures necessary. If the hole is filled two (2) times in the first hour of the initial saturation period, and the water drains completely away, no further testing is required.

SOIL TEST

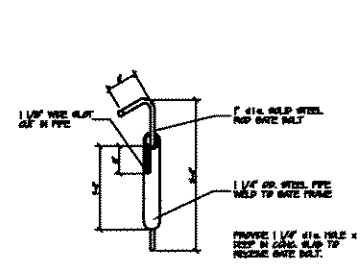
- Provide the number of soil test required in the Planting Plans General Notes on the Drawing.
- The soil test shall determine the minimum's of the following:
Mechanical Analysis
Magnesium
Potassium
Phosphorus
Soluble Salt
Organic Matter.
- Soil test shall be conducted by a State Laboratory or recognized Commercial Laboratory.



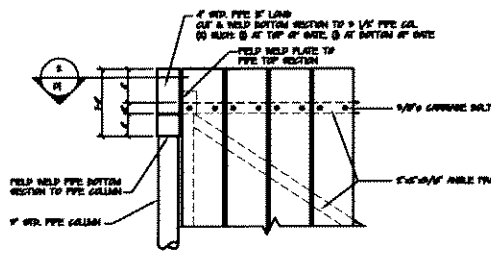
DUMPSTER PLAN
SCALE 1/4" = 1'-0"



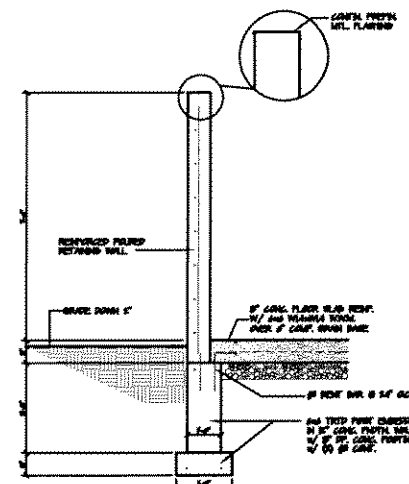
ELEVATION
SCALE 1/4" = 1'-0"



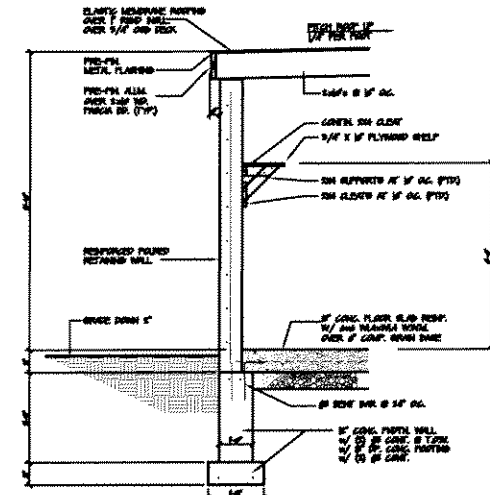
GATE BOLT
NO SCALE



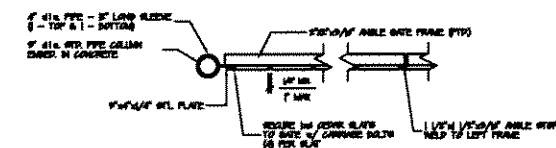
GATE HINGE ELEVATION
SCALE 1" = 1'-0"



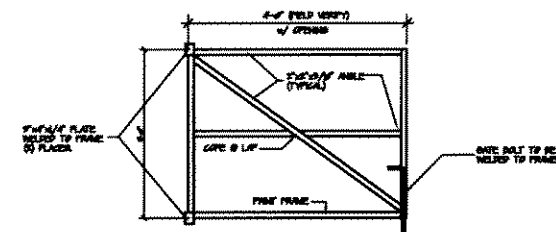
FENCE SECTION
SCALE 1/4" = 1'-0"



WALL SECTION
SCALE 1/4" = 1'-0"



TRASH ENCLOSURE GATE
SCALE 1" = 1'-0"

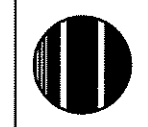


GATE FRAME
SCALE 1/4" = 1'-0"

DATE	DESCRIPTION

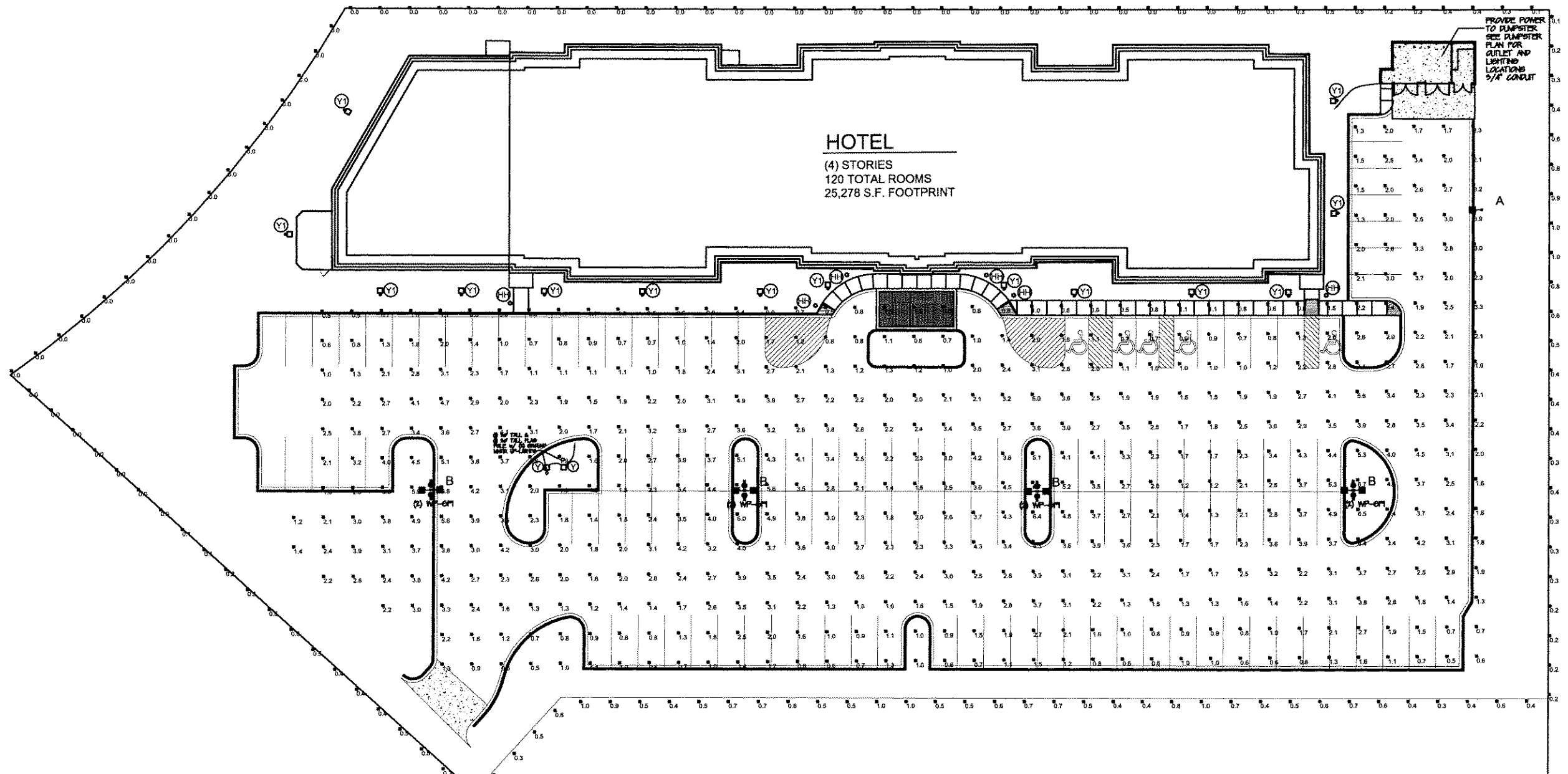
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Proposed Addition For:
Comfort Suites
10000 Wood Park Place
Middletown, NJ



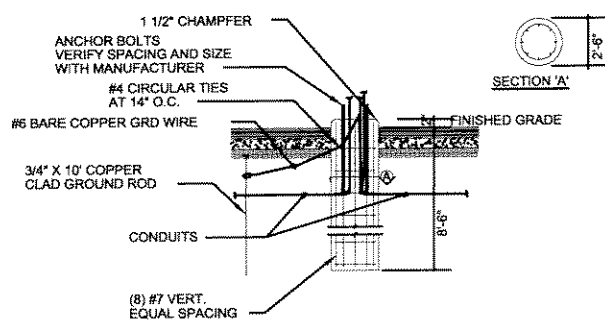
design III
ARCHITECTS
10000 Wood Park Place
Middletown, NJ 07940
TEL: 908-682-4400 FAX: 908-682-4405

PROJECT NO. 0574
DATE 12-8-2005
SHEET NO. D1



HOTEL
 (4) STORIES
 120 TOTAL ROOMS
 25,278 S.F. FOOTPRINT

PROVIDE POWER TO PLASTER SEE PLASTER PLAN FOR OUTLET AND LIGHTING LOCATIONS 3/4" CONDUIT



25' LIGHT POLE BASE DETAIL
 SCALE: NONE

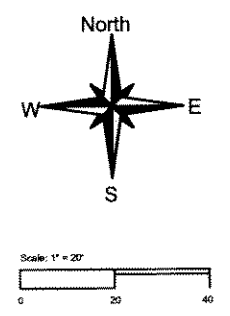
- NOTES**
- CONDUIT SHALL BE RIGID SCHEDULE 40 PVC. BURY A MINIMUM OF 30" BELOW FINISHED GRADE.
 - WIRE SHALL BE TYPE THIN STRANDED COPPER CONDUCTOR. CONDUCTOR SIZE TO ALL LIGHT POLES SHALL BE (2) #4, (1) #4 GRD. IN 1-1/4" CONDUIT.
 - EXTEND PARKING LOT LIGHTING CONDUITS UNDER FLOOR OF BUILDING TO CONTROLLER LOCATION. CONTACT BUILDING CONTRACTOR FOR THE EXACT LOCATION OF THE LIGHTING CONTROLLER.
 - CIRCUIT BREAKERS AND LIGHTING CONTROLLER SHALL BE FURNISHED AND INSTALLED BY BUILDING CONTRACTOR.
 - BUILDING CONTRACTOR SHALL FURNISH AND INSTALL WIRE FROM BRANCH CIRCUIT PANELBOARD TO LIGHTING CONTROLLER AND SHALL MAKE ALL FINAL CONNECTIONS AT PANELBOARD AND LIGHTING CONTROLLER.
 - THIS CONTRACTOR SHALL FURNISH AND INSTALL LIGHTING FIXTURES, POLES, ARMS, LAMPS, PARKING LOT LIGHTING CONDUIT AND WIRE.
 - MOUNT POLES WITH LEVELING NUTS. TIGHTEN NUTS TO TORQUE LEVEL RECOMMENDED BY MANUFACTURER. GROUT VOID BETWEEN POLE BASE AND FOUNDATION. USE NONSHRINK OR EXPANDING CONCRETE GROUT FIRMLY PACKED TO FILL SPACE. INSTALL A SHORT PIECE OF 1/2" DIA PIPE TO MAKE A DRAIN HOLE THROUGH GROUT. ARRANGE TO DRAIN CONDENSATION FOR INTERIOR OF POLE.

- (Y1) LITHONIA - KFL2 100M RW 120 TM CR EV CONC. BASE MOUNTED, BUILDING ACCENT.
- (Y) LITHONIA - KFL2 100M RW 120 TM CR EV BASE MOUNTED, FLAG POLE LIGHT.
- (HH) BALLARD LIGHTS TO BE 50 WATT MH, 6" LITHONIA KB-6 x 42" HIGH 120V, FINISH TO BE BRONZE.

Luminaire Schedule						
Project: Road Lighting Project						
Qty	Symbol	Label	Description	Lumens	LLF	Additional Equipment/Information
1	A		PR2632-M (320W PSMH)	30000	0.800	PS4S25C182 (25' Pole)
4	B		2 x PR2632-M (320W PSMH)	30000	0.800	PS4S25C252 (25' Pole)

Footcandle values shown at grade using mean kerneis

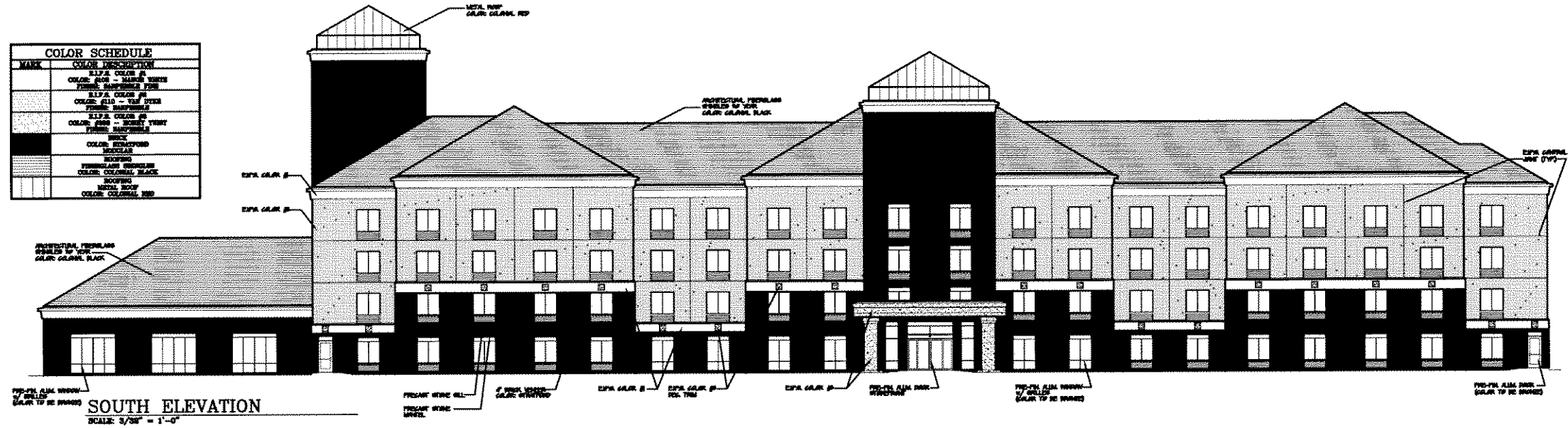
Numeric Summary					
Project: Road Lighting Project					
Location	Avg	Max	Min	Avg/Min	Max/Min
Local	2.33	5.7	0.6	4.86	13.40
Parking	0.28	1.0	0.0	0.00	0.00
Property Line					



RUUD LIGHTING
 Ruud Lighting, Inc.
 5201 Washington Avenue
 Racine, WI 53408
 1-800-236-7000
 www.ruudlighting.com

Date: 12/07/05
 Filename: CHD-MWEDH.a32
 Layout by: Eric H.
 Project Name: Comfort Suites
 Project Location: Milwaukee, WI

Project conditions that differ from those provided to Ruud will affect footcandle values.
 Luminaire field measurements are conducted in a laboratory environment.
 The customer is responsible for verifying compliance with applicable codes.



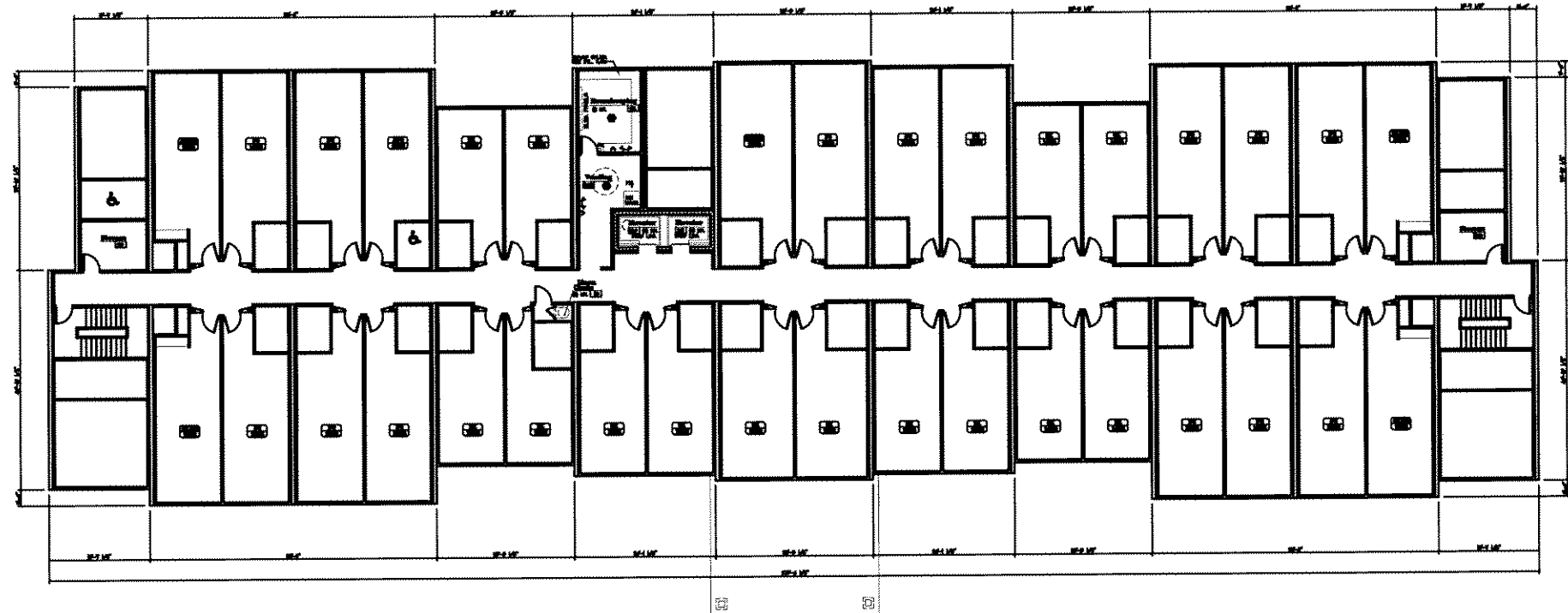
DATE:	12-0-2005
PROJECT:	Comfort Suites
SHEET:	A1

Proposed Addition For:
Comfort Suites
Wood Park Place
Milwaukee, WI

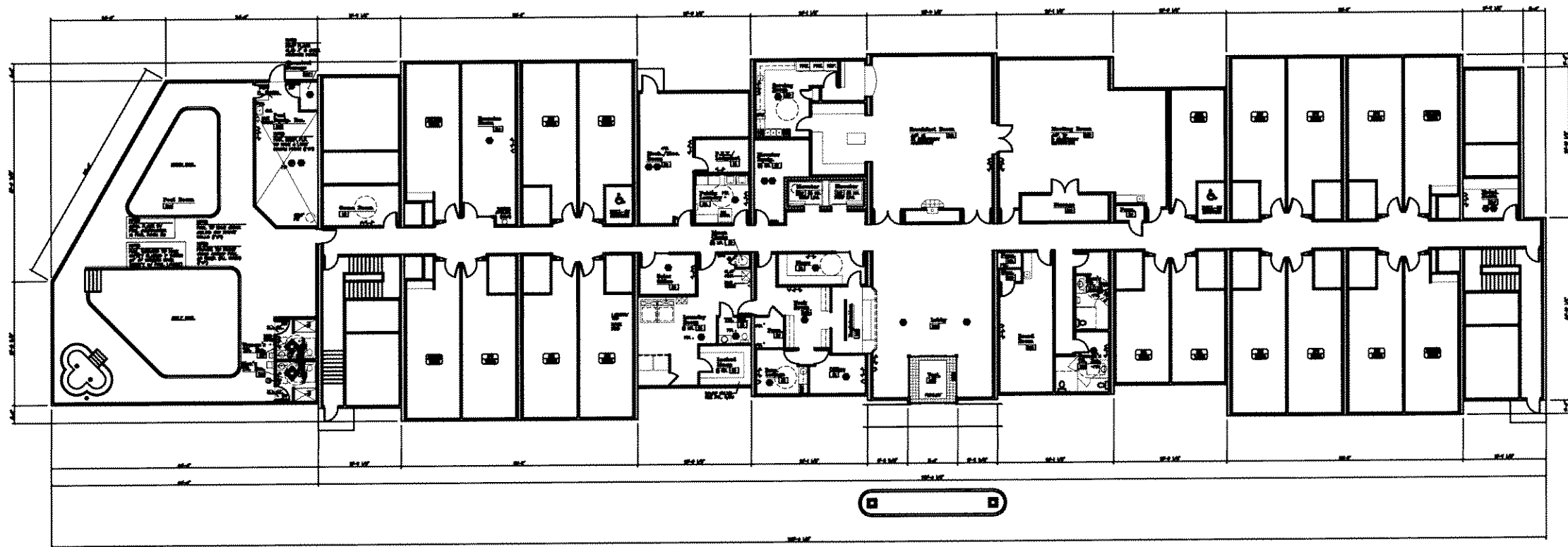
design III
ARCHITECTS
1000 N. MILWAUKEE AVE.
MILWAUKEE, WI 53233
TEL: 414.333.3333 FAX: 414.333.3333

PROJECT NO: 0574
DATE: 12-0-2005
SHEET NO: A1

SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"



SECOND FLOOR ROOM BREAKDOWN

Room No.	Room Name	Area (sq ft)
201	Office	100
202	Office	100
203	Office	100
204	Office	100
205	Office	100
206	Office	100
207	Office	100
208	Office	100
209	Office	100
210	Office	100
211	Office	100
212	Office	100
213	Office	100
214	Office	100
215	Office	100
216	Office	100
217	Office	100
218	Office	100
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291	Office	100
292	Office	100
293	Office	100
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295	Office	100
296	Office	100
297	Office	100
298	Office	100
299	Office	100
300	Office	100

FIRST FLOOR ROOM BREAKDOWN

Room No.	Room Name	Area (sq ft)
101	Reception	500
102	Office	100
103	Office	100
104	Office	100
105	Office	100
106	Office	100
107	Office	100
108	Office	100
109	Office	100
110	Office	100
111	Office	100
112	Office	100
113	Office	100
114	Office	100
115	Office	100
116	Office	100
117	Office	100
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196	Office	100
197	Office	100
198	Office	100
199	Office	100
200	Office	100

TOTAL ROOM BREAKDOWN

Room No.	Room Name	Area (sq ft)
101	Reception	500
102	Office	100
103	Office	100
104	Office	100
105	Office	100
106	Office	100
107	Office	100
108	Office	100
109	Office	100
110	Office	100
111	Office	100
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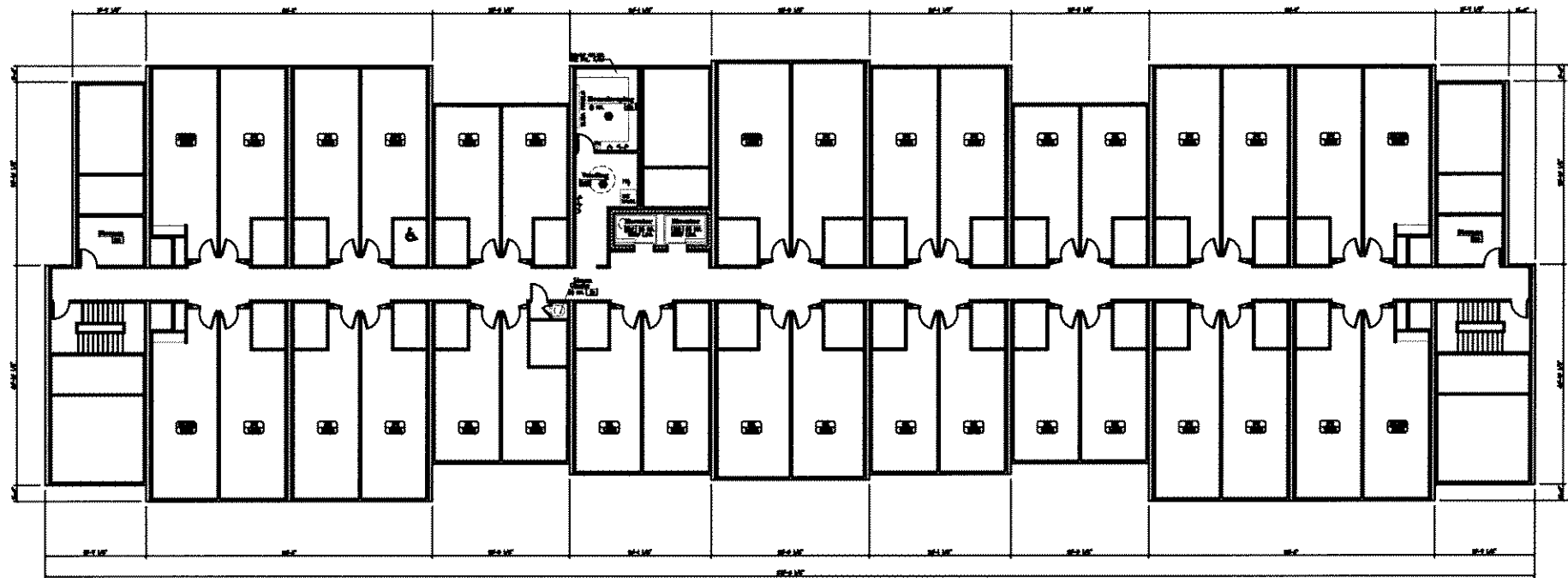
Project no. 0674
date 12-6-2005
sheet no. A2

PROPERTY OF
DESIGN III, INC.
1000 WOOD PARK PLACE
MILWAUKEE, WI 53212
TEL: 414-224-3800
FAX: 414-224-3801

Proposed Addition For:
Comfort Suites
Wood Park Place
Milwaukee, WI

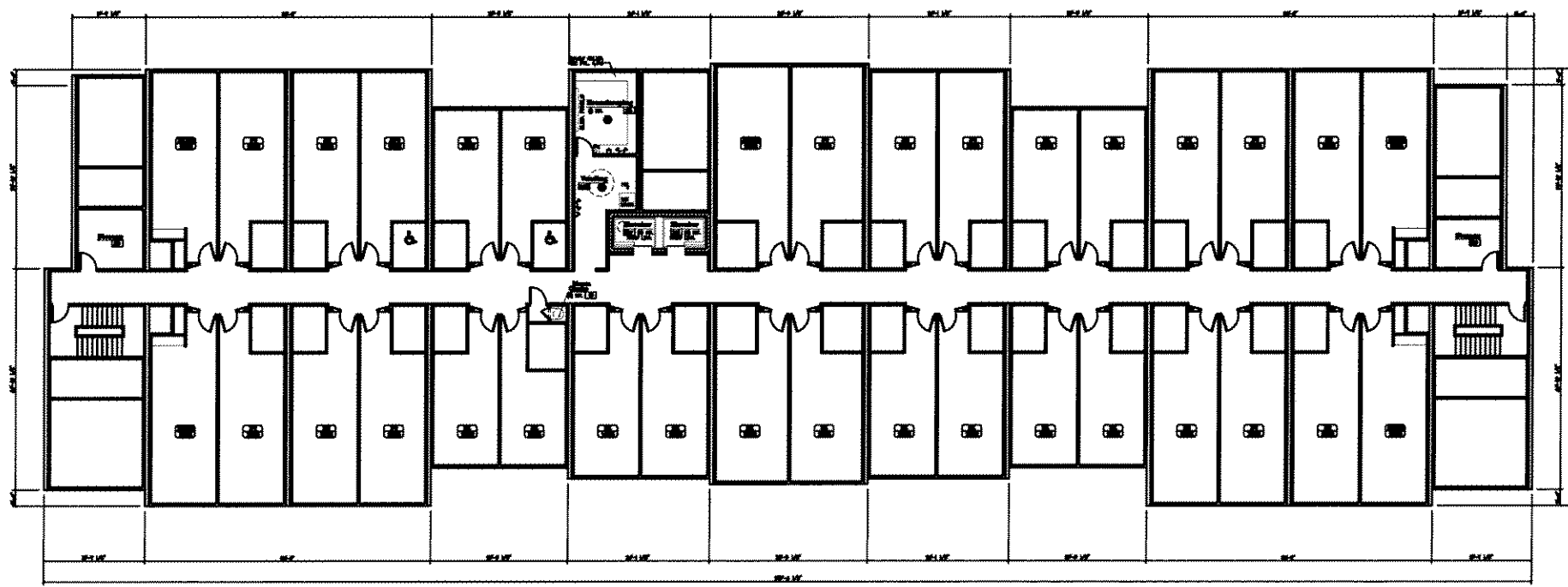


design III, Inc.
1000 WOOD PARK PLACE
MILWAUKEE, WI 53212
TEL: 414-224-3800
FAX: 414-224-3801



FOURTH FLOOR PLAN

SCALE: 3/8" = 1'-0"



THIRD FLOOR PLAN

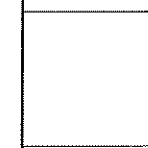
SCALE: 3/8" = 1'-0"



FOURTH FLOOR ROOM BREAKDOWN and THIRD FLOOR ROOM BREAKDOWN tables with columns for room names and counts.

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DESIGN III, INC.
12-6-2005
A3

Proposed Addition For: **Comfort Suites**
West Park Plaza
Tombstown, NJ



design III
ARCHITECTS
300 NORTH AVENUE
MILLSBORO, NJ 08066
TEL: 856-636-6000
WWW.DESIGNIII.COM

Project No: 0674
Date: 12-6-2005
Sheet No: A3