



MILWAUKEE VENUES



PROJECT INFORMATION

Frank Productions
Deer District (Block 3)



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/15/22	TYPE ZONING SUBMITTAL

DPD ZONING SUBMITTAL
FOR PORTION OF BLOCK 3
OF MILWAUKEE BUCKS
ARENA DEVELOPMENT - GPD

KEY PLAN

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

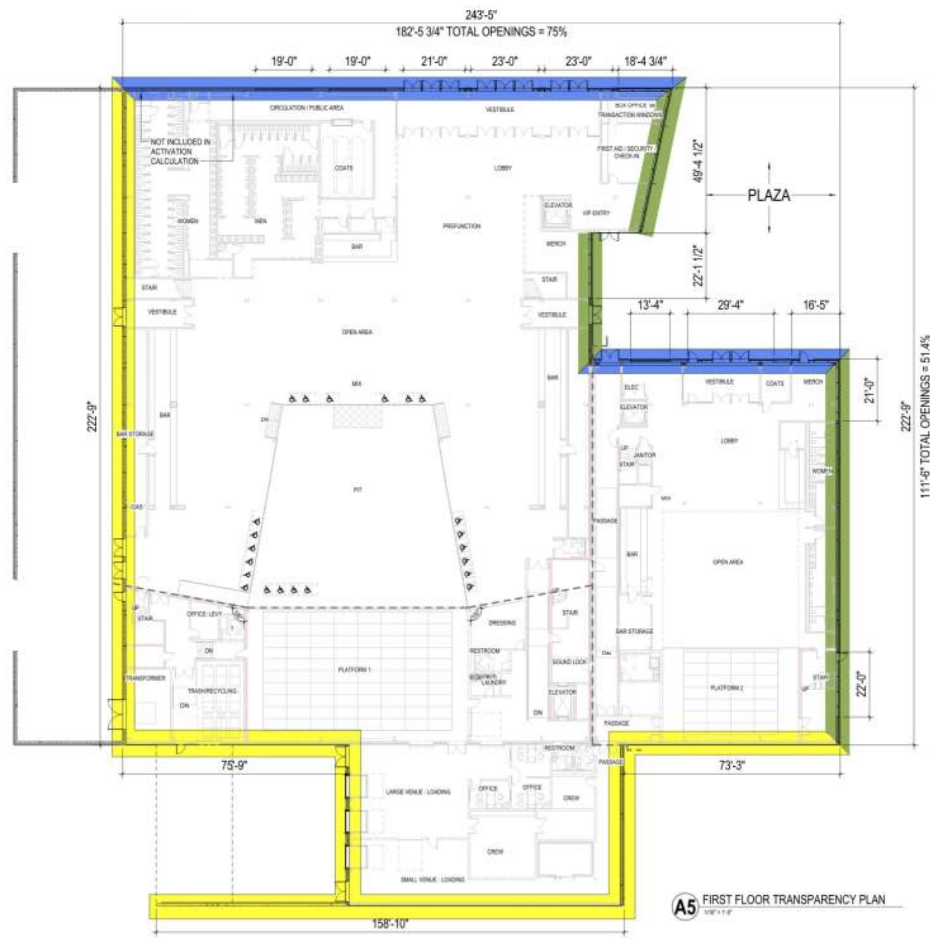
These documents reflect progress and plans and may be subject to change, including additional areas. These are not final construction documents and shall not be used for final building or construction-related decisions.

SHEET INFORMATION

PROJECT MANAGER: MJL
PROJECT NUMBER: 2-20225-02

FIRST FLOOR
TRANSPARENCY
PLAN

A1-1



HIGH ACTIVATION AREA

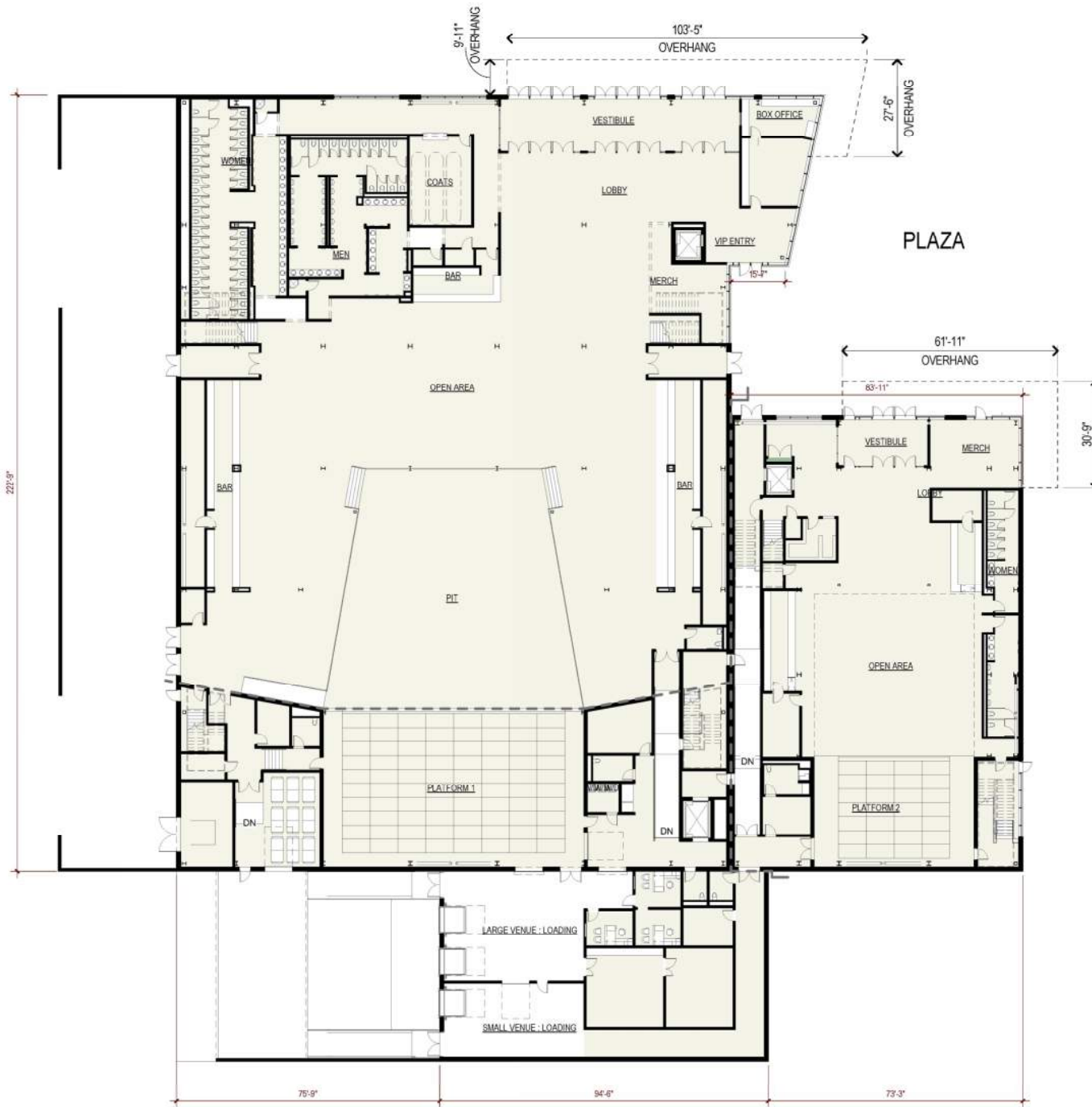
Overall Length	Total Window Opening Length	Transparency Activation(%)	
North Facade	243'-0"	182'-6 3/4"	75%
Total	243'-0"	182'-6 3/4"	75%

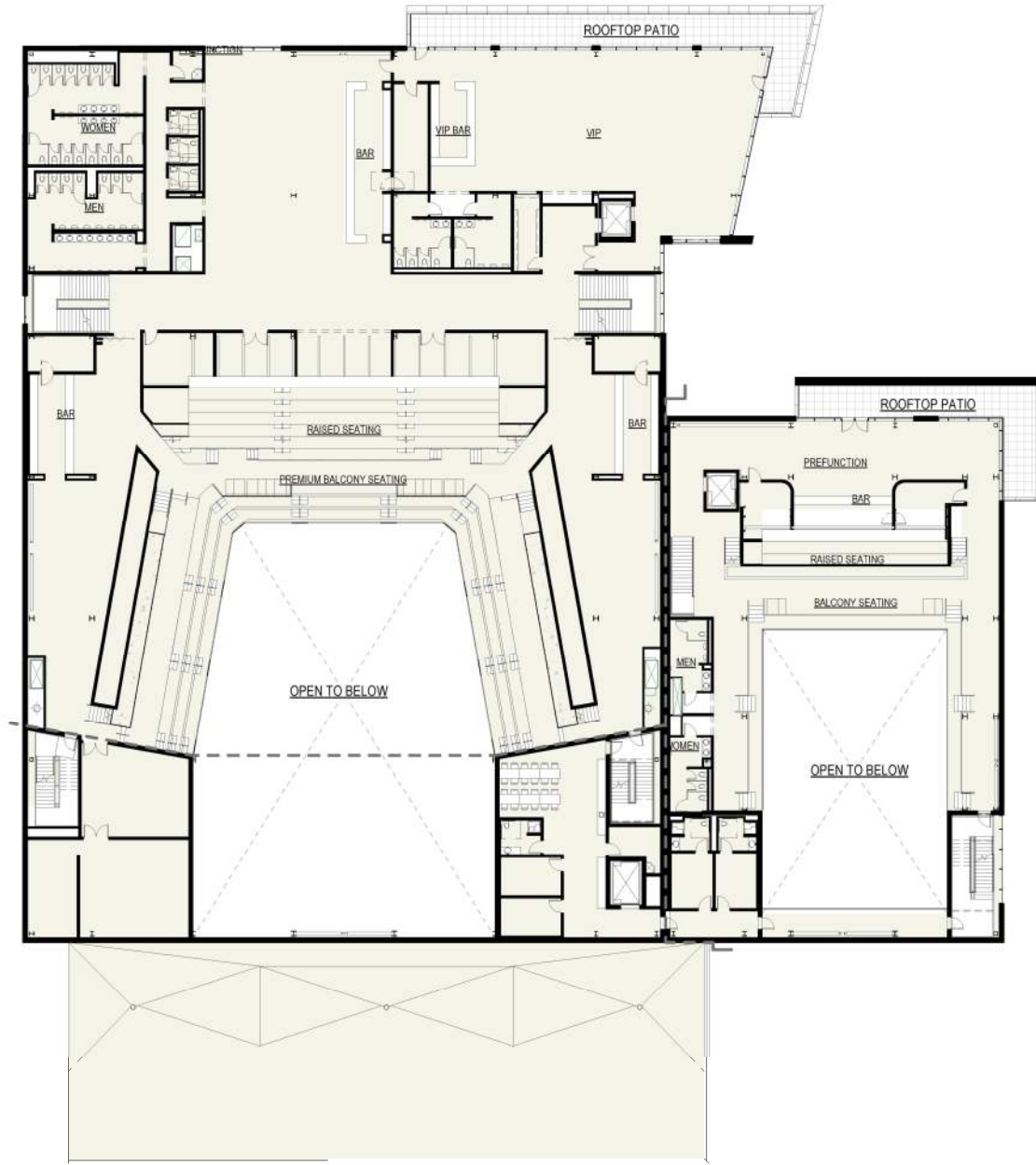
MEDIUM ACTIVATION AREA

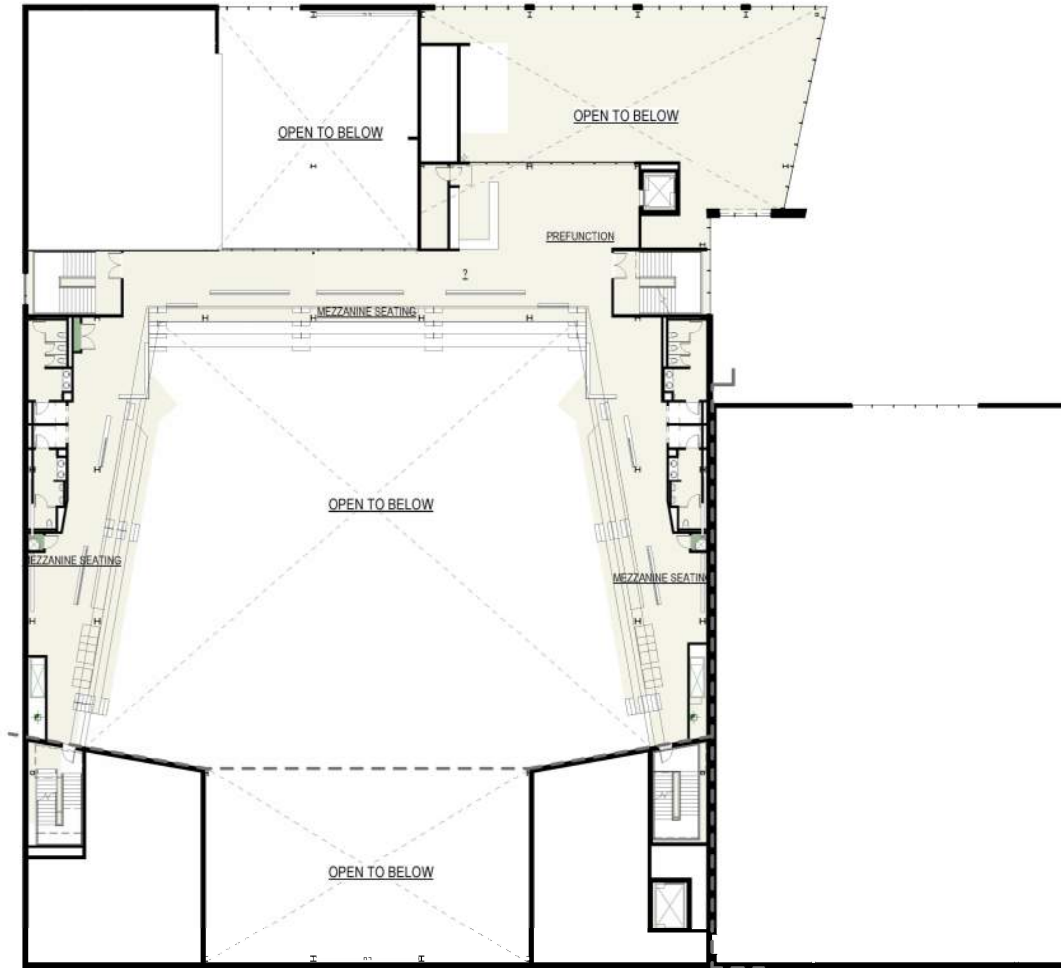
Overall Length	Total Window Opening Length	Transparency Activation(%)	
East Facade	222'-0"	114'-4"	51.4%
Total	222'-0"	114'-4"	51.4%

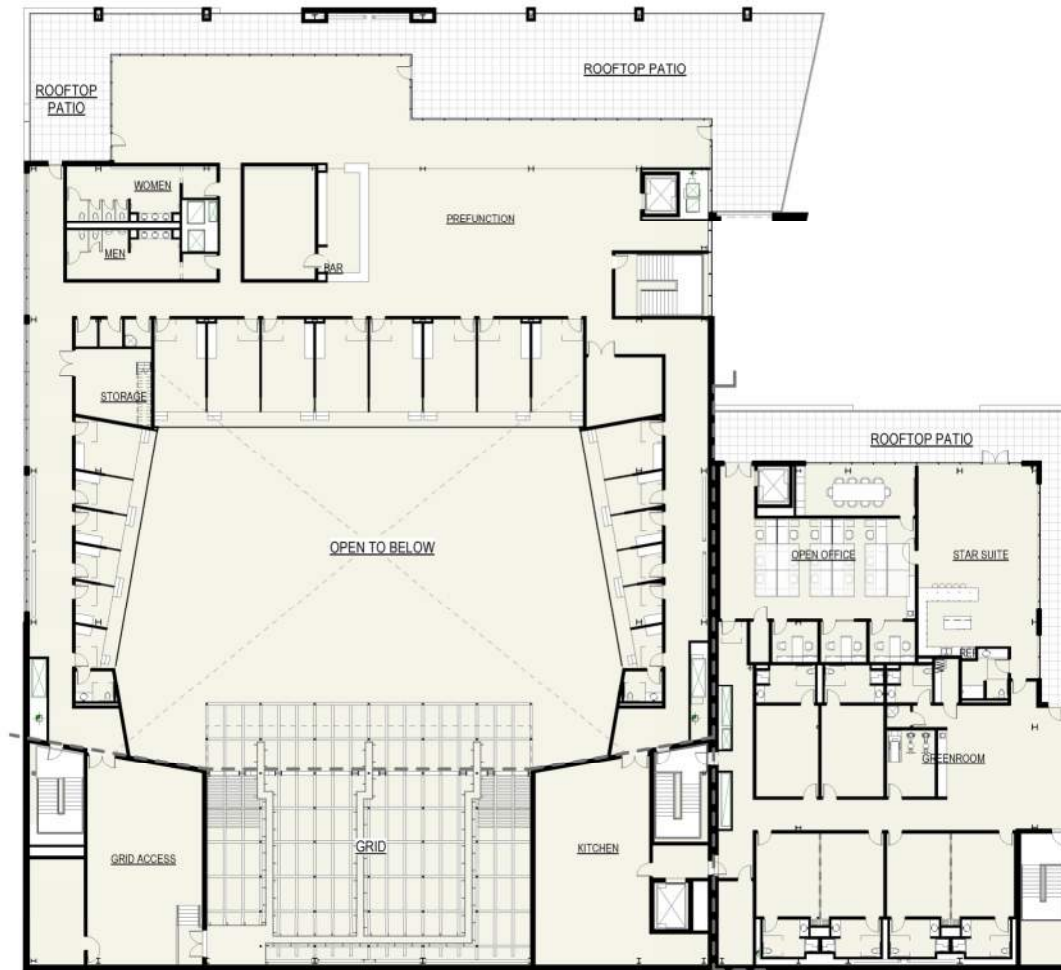
LOW ACTIVATION AREA

No Glazing Requirements



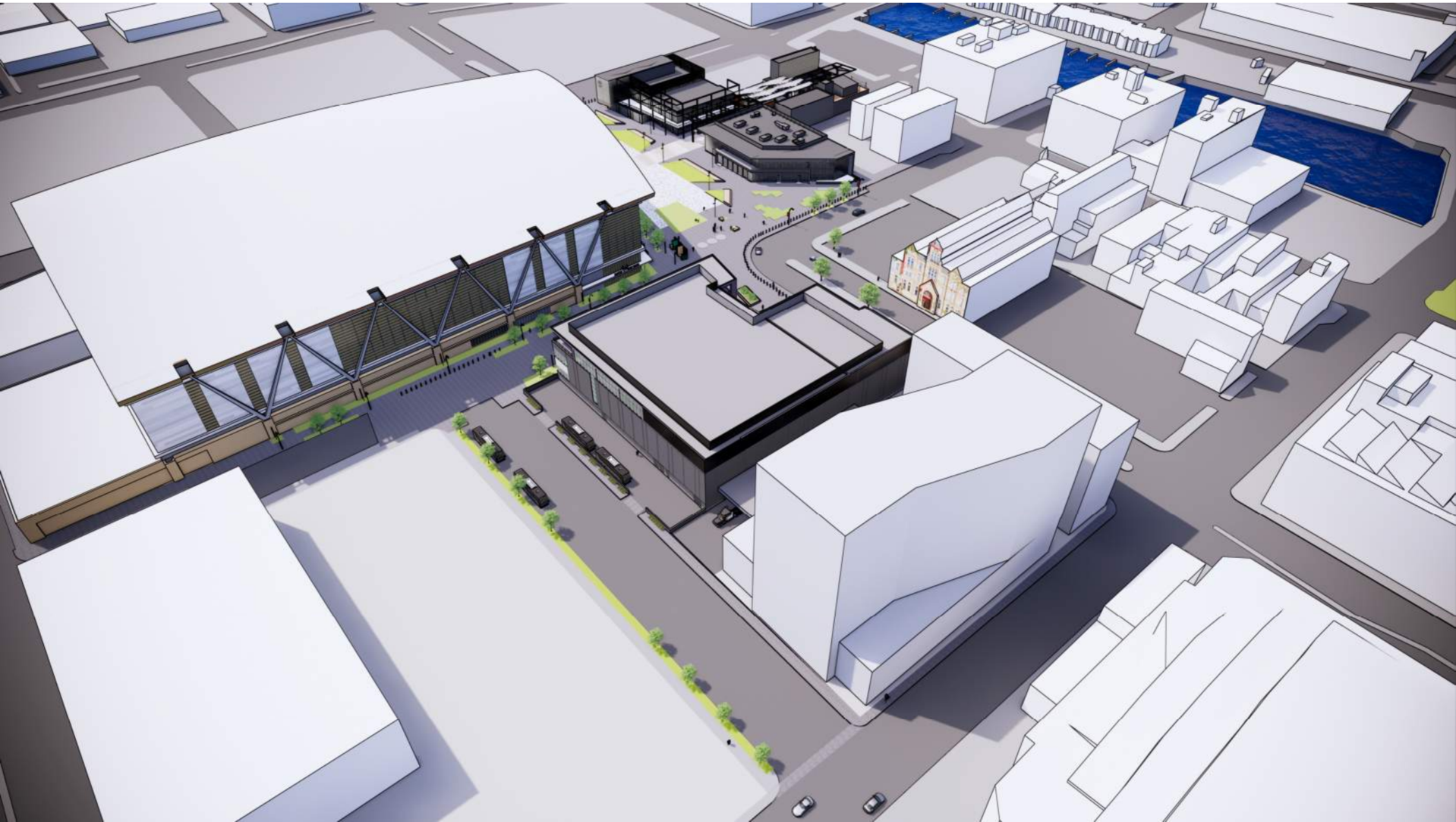






















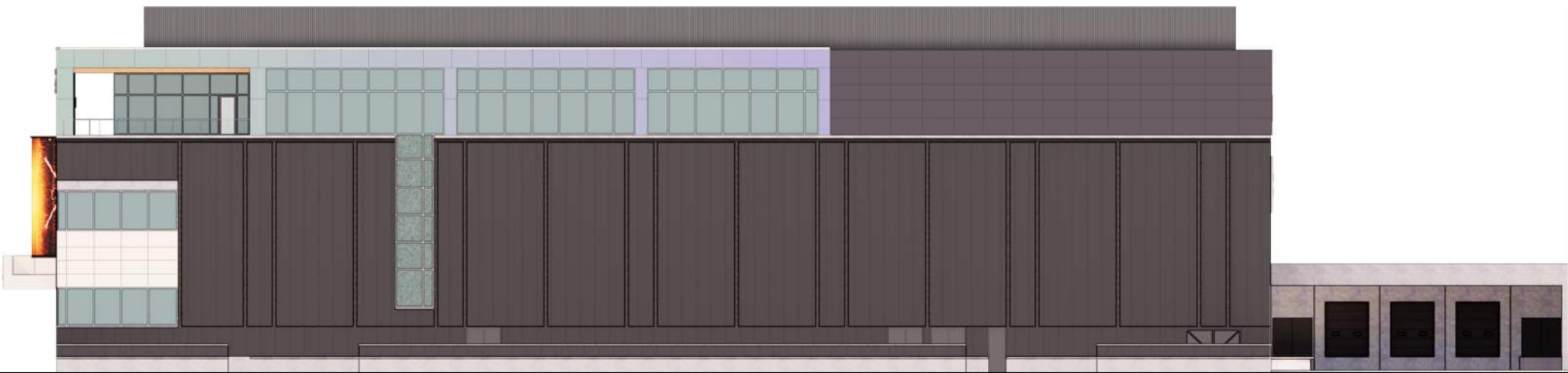
The Venue

SPONSOR
LOGO



South Elevation







MILWAUKEE VENUES

Frank Productions Deer District (Block 3)

DPD ZONING SUBMITTAL FOR PORTION OF BLOCK 3 OF MILWAUKEE BUCKS ARENA DEVELOPMENT - GPD



SHEET INDEX

AS-1 CONTEXT PHOTOS

CIVIL DRAWINGS

- 1 PLAT OF SURVEY WITH TOPOGRAPHY
- C102 SITE LAYOUT PLAN
- C104 SITE GRADING PLAN
- C105 SITE UTILITY PLAN

LANDSCAPE DRAWINGS

- L101 LANDSCAPE PLAN
- L201 LANDSCAPE DETAILS

PEDESTRIAN ACCESS EXHIBIT

ARCHITECTURAL DRAWINGS

- A1-0 ARCHITECTURAL SITE PLAN
- A1-1 FIRST FLOOR TRANSPARENCY PLAN
- A1-2 FIRST AND SECOND FLOOR PLAN
- A1-3 MEZZANINE AND SUITE LEVEL
- A2-0 WEST AND EAST ELEVATION
- A2-1 NORTH AND EAST ELEVATION
- A2-2 SOUTH ELEVATION AND SITE SECTION
- A2-3 ARCHITECTURAL RENDERING
- A2-4 ARCHITECTURAL RENDERING
- A2-5 ARCHITECTURAL RENDERING
- A2-6 ARCHITECTURAL RENDERING
- A2-7 ARCHITECTURAL RENDERING
- A2-8 ARCHITECTURAL RENDERING
- A2-9 ARCHITECTURAL RENDERING



DPD ZONING SUBMITTAL

10/17/2022

PROJECT NUMBER: 2-20225-02

©2022 Savanah for Architects, LLC

E



D

Aerial View

C



B

Aerial View

A



Looking West from Vel Phillips Ave



Looking West from Vel Phillips Ave



intention | motion | green bay | silver | white

PROJECT INFORMATION

Frank Productions -
Deer District (Block 3)



D

ISSUANCE AND REVISIONS

DATE	DESCRIPTION

**DPD ZONING SUBMITTAL
FOR PORTION OF BLOCK 3
OF MILWAUKEE BUCKS
ARENA DEVELOPMENT - GPD**

C

KEY PLAN

B

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and are not to be used for construction. They are subject to change, including additional sheets. These sheets are not for construction documents and shall not be used for final building or construction-related purposes.

SHEET INFORMATION

PROJECT MANAGER: M.J.L.

PROJECT NUMBER: 2-20225-02

A

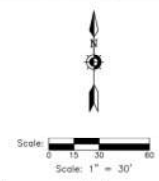
CONTEXT PHOTOS

AS-1



Site Statistics

Item	Quantity
1. Gross land area (approximately):	Lot 1 = 68,630 sf (1.576 acres) Outlot 1 = 60,367 sf (1.387 acres) Outlot 2 = 7666 sf (0.176 acres)
2. Maximum amount of land covered by principal buildings (approximately):	Outlot 1 (5th Street service drive and north plaza) = 0 sf (0% Lot Coverage) Outlot 2 (east plaza) = 0 sf (0% Lot Coverage)
3. Maximum amount of land devoted to parking, drives and parking structures (approximately):	Lot 1 = 15,432 sf (22% Lot Coverage) Outlot 1 = 25,226 sf (42% Lot Coverage) Outlot 2 = 0 sf (0% Lot Coverage)
4. Minimum amount of land devoted to landscape open space (approximately):	Lot 1 = 428 sf (0.6% Landscape open space) Outlot 1 = 4830 sf (8% Landscape open space) Outlot 2 = 365 sf (0.7% Landscape open space)
5. Maximum proposed dwelling unit density if residential and/or total square footage devoted to non-residential uses:	not applicable
6. Proposed number of buildings:	1 building
7. Maximum number of dwelling units per building:	not applicable
8. Bedrooms per unit:	not applicable
9. Parking spaces provided, whether surface or in structures, and ratio per use if residential, or per thousand square feet of building area if not residential. Bicycle parking spaces provided, pursuant to s. 235-404. (approximately):	Automobile parking spaces: not applicable Bicycle parking spaces: not applicable Automobile parking spaces per residential unit ratio = not applicable Automobile parking spaces per 1000 sf for non-residential uses: not applicable - anticipated that patrons and employees will utilize adjacent parking structures, tramway, bicycles, or ride share. 20 Bicycle parking spaces provided per City of Milwaukee request. (10 Bicycle parking spaces required based on Theater use in zoning code table 235-404-1)



DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

KEY INDEX

[Symbol]	PROJECT LIMITS
[Symbol]	AREAS IDENTIFIED BY CONSTRUCTION NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS TO BE RETAINED: NEW ASPHALT, PAVEMENT, FERTILIZER, AND MULCH (TOP) USE DASHED TOPS, OR REPORT TOPS, IF NEEDED
[Symbol]	NEW ASPHALT CONCRETE (DECK SURF)
[Symbol]	NEW CONCRETE SLAB
[Symbol]	NEW HEAVY DUTY CONCRETE SLAB
[Symbol]	NEW CUSTOM BRUSHED TILE PAVERS TO MATCH PAVERS IN DEER DISTRICT
[Symbol]	HIGH-RISE CONCRETE CURB & GUTTER 18" HIGHER UNLESS OTHERWISE NOTED
[Symbol]	LOW-RISE CONCRETE CURB & GUTTER 12" HIGHER UNLESS OTHERWISE NOTED
[Symbol]	DEPRESSED CONCRETE CURB & GUTTER IF DEPRESSED UNLESS OTHERWISE NOTED



reliable | modern | green | drive | smart

PROJECT INFORMATION
Frank Productions - Deer District (Block 3)



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
08-23-2022	DPD ZONING SUBMITTAL
10-11-2022	DPD ZONING RE-SUBMITTAL

DPD ZONING SUBMITTAL FOR PORTION OF BLOCK 3 OF MILWAUKEE BREWERS ARENA DEVELOPMENT - GDP

KEY PLAN



7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurinc.com

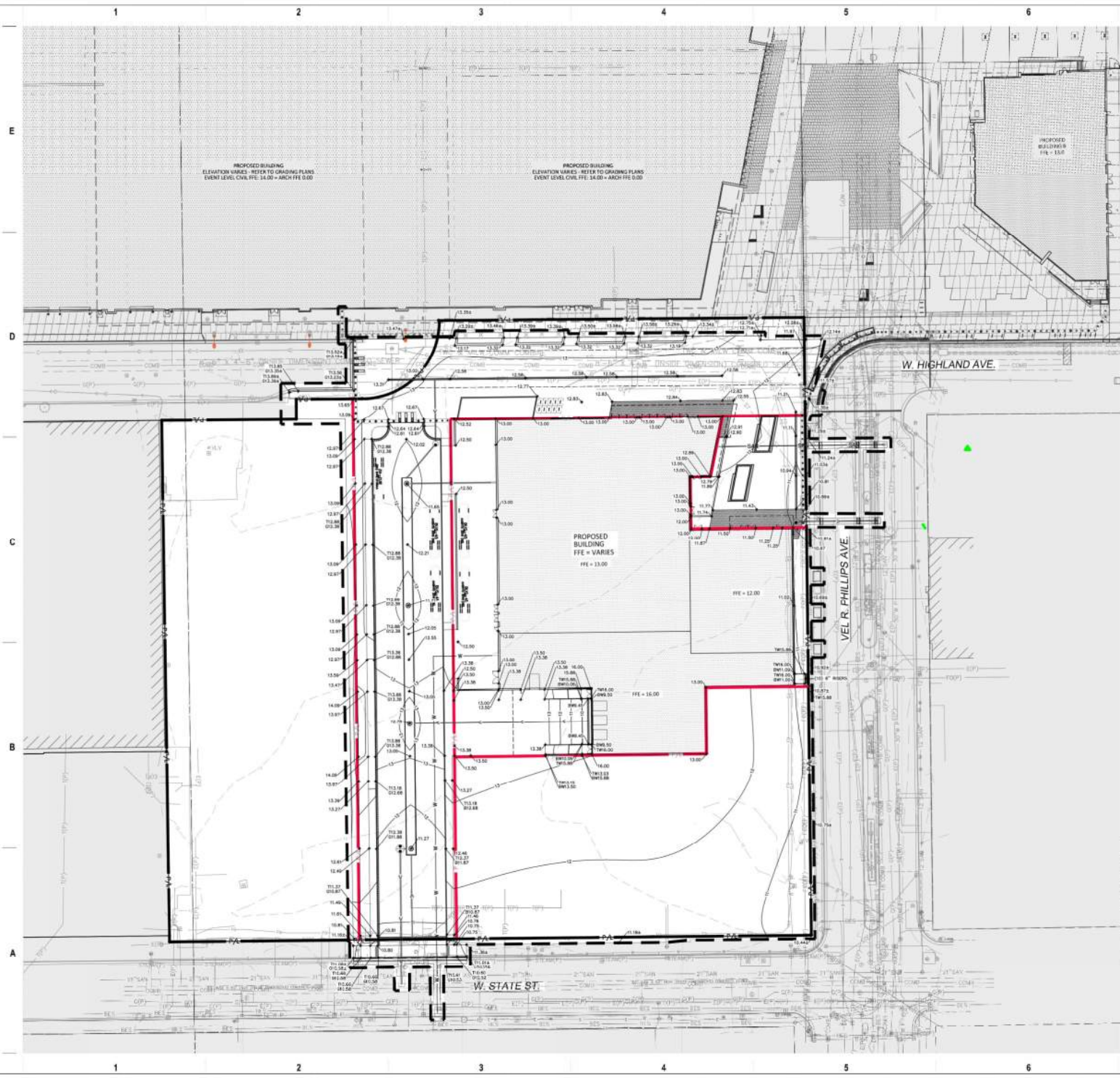
SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
These documents reflect progress and have not yet been issued for construction. They are not to be used for construction-related purposes.

PROJECT MANAGER: M.J.L.
PROJECT NUMBER: 2-20225-02
SITE LAYOUT PLAN

C102

NOT FOR CONSTRUCTION PRELIMINARY PRINT



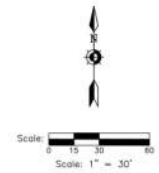
ISSUANCE AND REVISIONS

DATE	DESCRIPTION
08-23-2022	DPD ZONING SUBMITTAL
10-17-2022	DPD ZONING RE-SUBMITTAL

DPD ZONING SUBMITTAL FOR PORTION OF BLOCK 3 OF MILWAUKEE BUCKS ARENA DEVELOPMENT - GPD

KEY PLAN

7711 N. Port Washington Road
 Milwaukee, Wisconsin 53217
 kapurinc.com



DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

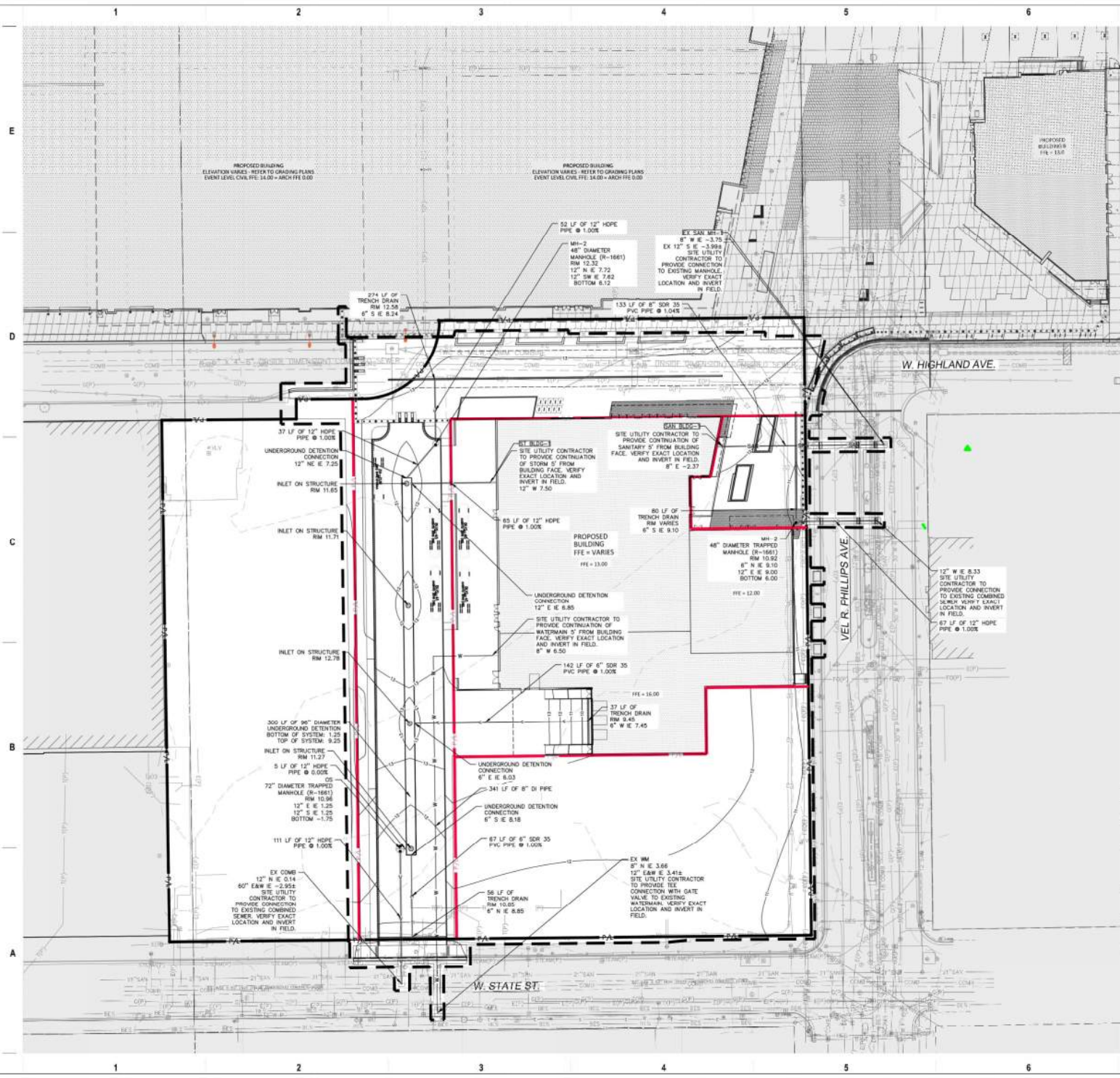
GRADING NOTES
 GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING CORRECTNESS OF AND COMPLETING THE GRADATION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY PROPOSED CHANGES. UTILITIES OF OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL, FIRE, OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM DRAINAGE / RELOCATION OF THE UTILITIES SHOWN HEREIN IS ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

KEY INDEX

- PROJECT LIMITS
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- ▲ 6.00' PROPOSED SPOT GRADE
- ▲ 8.00' MATCH EXISTING GRADE
- ▲ 10.00' PROPOSED OUTER GRADE (UNLESS OTHERWISE NOTED)
- ▲ 14.00' MATCH EXISTING INTERIOR GRADE
- ▲ 14.00' PROPOSED TOP OF WALL
- ▲ 10.00' PROPOSED BOTTOM OF WALL

SHEET INFORMATION
PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
 These documents reflect progress and their use may be subject to change, including additional work. These are not final construction documents and shall not be used for final building or construction-related purposes.

PROJECT MANAGER M.J.L.
PROJECT NUMBER 2-20225-02
SITE GRADING PLAN



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
08-23-2022	DPD ZONING SUBMITTAL
10-11-2022	DPD ZONING RE-SUBMITTAL

DPD ZONING SUBMITTAL FOR PORTION OF BLOCK 3 OF MILWAUKEE BRICKS ARENA DEVELOPMENT - GPD

KEY PLAN



7711 N. Port Washington Road
 Milwaukee, Wisconsin 53217
 kapurinc.com

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
 These documents reflect progress and their use may be subject to change including additional work. They are not final construction documents and shall not be used for final building or construction-related purposes.

PROJECT MANAGER M.J.L.

PROJECT NUMBER 2-2022-02

SITE UTILITY PLAN

C105

Scale: 1" = 30'

DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

UTILITY NOTES

1. GENERAL CONTRACTOR OF THIS SUB CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

2. GENERAL CONTRACTOR OF THIS SUB CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

3. GENERAL CONTRACTOR OF THIS SUB CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

4. GENERAL CONTRACTOR OF THIS SUB CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

5. GENERAL CONTRACTOR OF THIS SUB CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

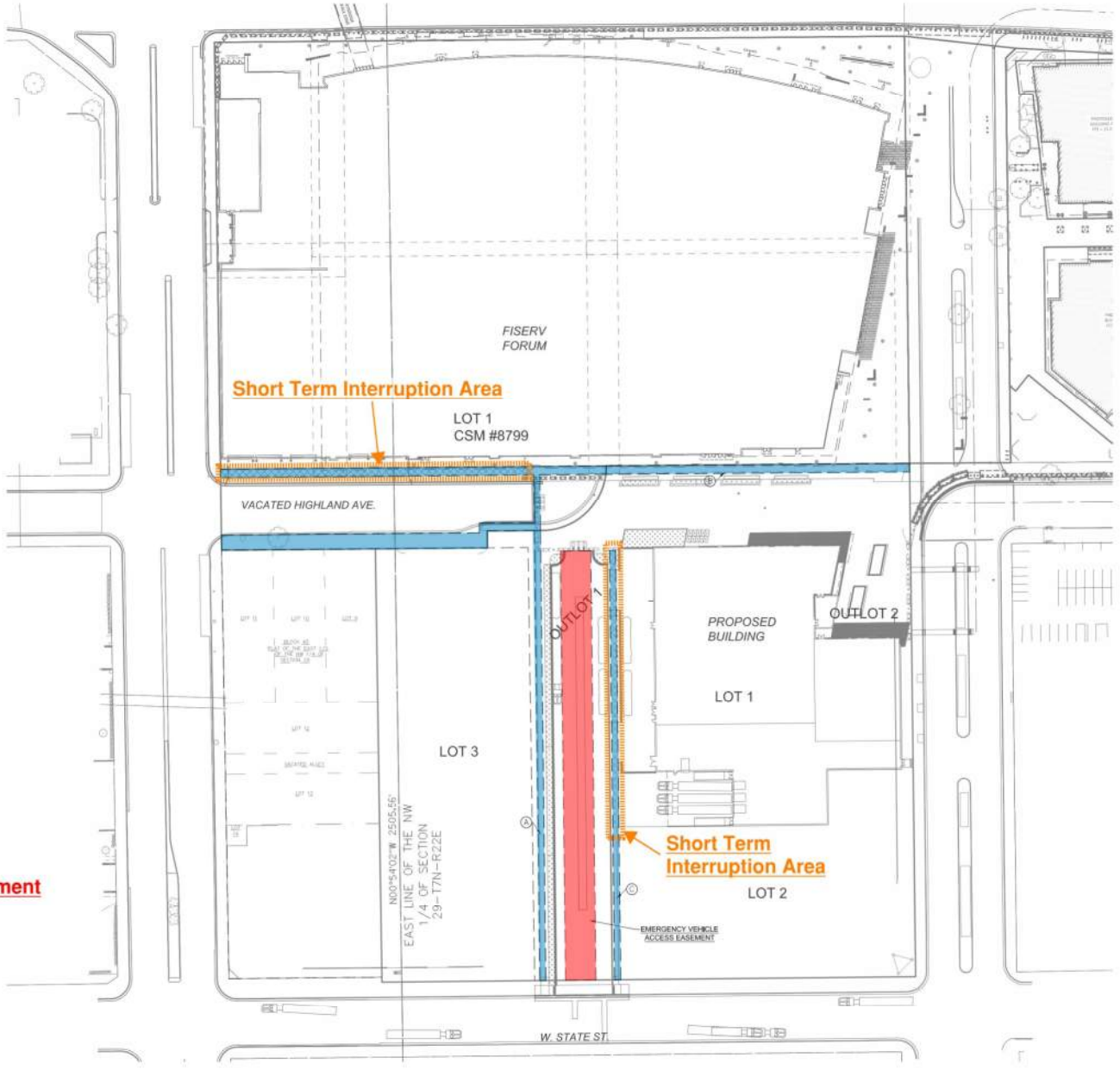
6. GENERAL CONTRACTOR OF THIS SUB CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

7. FOR ALL WORK GENERAL CONTRACTOR OF THIS SUB CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.



EASEMENT EXHIBIT

BEING A PART OF THE NE 1/4 OF THE NW 1/4 AND PART OF THE NW 1/4 OF THE NE 1/4 ALL IN SECTION 29 IN TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.



PEDESTRIAN ACCESS
10/17/2022

Pedestrian Access
Pursuant to separate documents

Emergency Vehicle Access Easement
Pursuant to separate documents

REVISION: S:_design\project\44\320601 - Frank Productions Block 3\plan\2022\220601_A EASEMENT EXHIBIT.dwg



PROJECT:
FRANK PRODUCTIONS - BLOCK 3

LOCATION:
1001 VEL R. PHILLIPS AVE., MILWAUKEE, WI 53203



RELEASED:
REVIEW

REVISIONS:

#	DATE	DESCRIPTION
0001	0000	0000
0002	0000	0000
0003	0000	0000
0004	0000	0000
0005	0000	0000
0006	0000	0000
0007	0000	0000
0008	0000	0000
0009	0000	0000
0010	0000	0000



SEAL:

all in

SHEET:
EXHIBIT A

PROJECT MANAGER:
PROJECT NUMBER: 220601
DATE: 10/17/2022

SHEET NUMBER:
1



milwaukee | madison | green bay | oregon | alaska

PROJECT INFORMATION

Frank Productions
Deer District (Block 3)



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/20/22	DPD ZONING SUBMITTAL

**DPD ZONING SUBMITTAL
FOR PORTION OF BLOCK 3
OF MILWAUKEE BUCKS
ARENA DEVELOPMENT - GPD**

KEY PLAN

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and shall not be used for construction. They are subject to change, including additional sheets. These documents are not intended to be used for final building or construction-related purposes.

SHEET INFORMATION

PROJECT MANAGER	MJL
PROJECT NUMBER	2-20225-02

**ARCHITECTURAL
SITE PLAN**

A1-0

DATE	DESCRIPTION
10/20/2025	3RD DRAFT SUBMITTAL

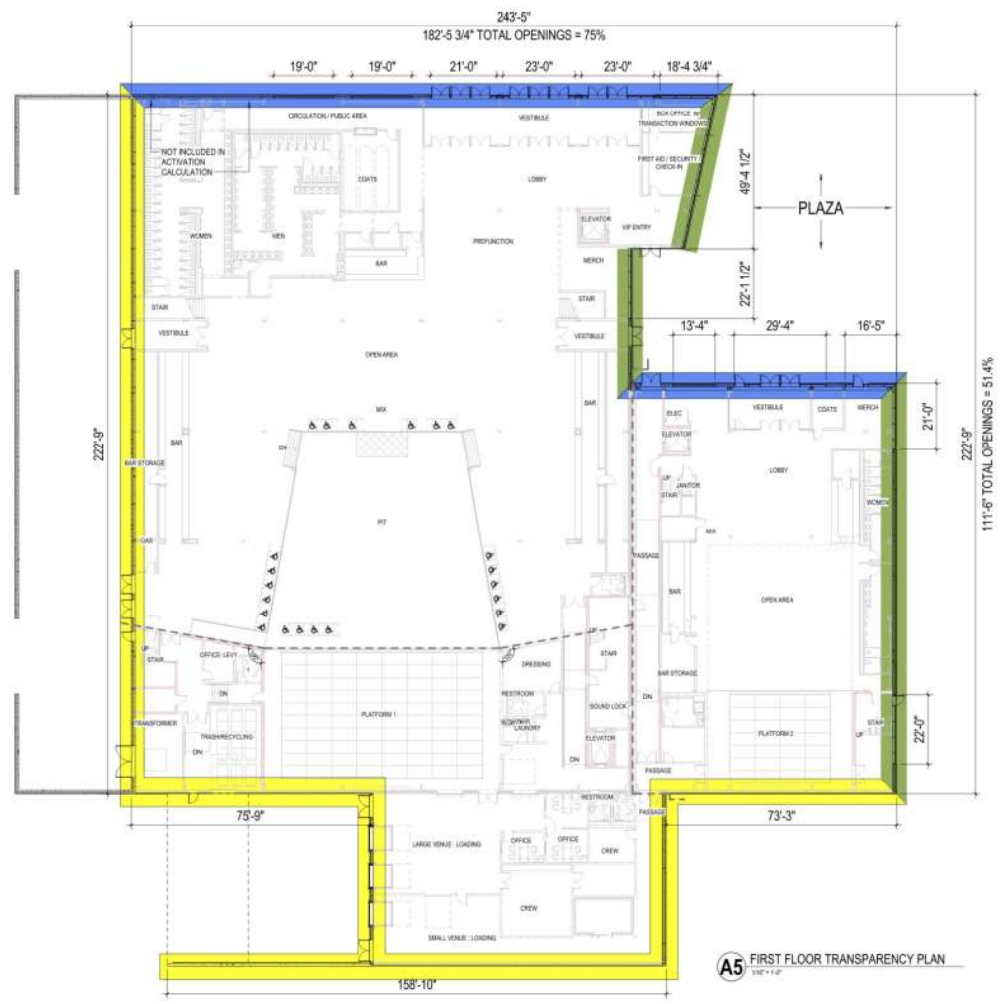
E

D

C

B

A



HIGH ACTIVATION AREA

	Overall Length	Total Window Opening Length	Transparency Activation(%)
North Facade	243'-5"	182'-5 3/4"	75%
Total	243'-5"	182'-5 3/4"	75%

MEDIUM ACTIVATION AREA

	Overall Length	Total Window Opening Length	Transparency Activation(%)
East Facade	222'-9"	114'-0"	51.4%
Total	222'-9"	114'-0"	51.4%

LOW ACTIVATION AREA
No Glazing Requirements

A5 FIRST FLOOR TRANSPARENCY PLAN
1/8" = 1'-0"



milwaukee | madison | green bay | oregon | alaska

PROJECT INFORMATION

Frank Productions
Deer District (Block 3)



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/20/22	2022 ZONING SUBMITTAL

DPD ZONING SUBMITTAL
FOR PORTION OF BLOCK 3
OF MILWAUKEE BUCKS
ARENA DEVELOPMENT - GPD

KEY PLAN

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and are not for use as a basis for construction. These documents are subject to change, including without limitation, due to changes in project requirements and shall not be used for final building or construction-related purposes.

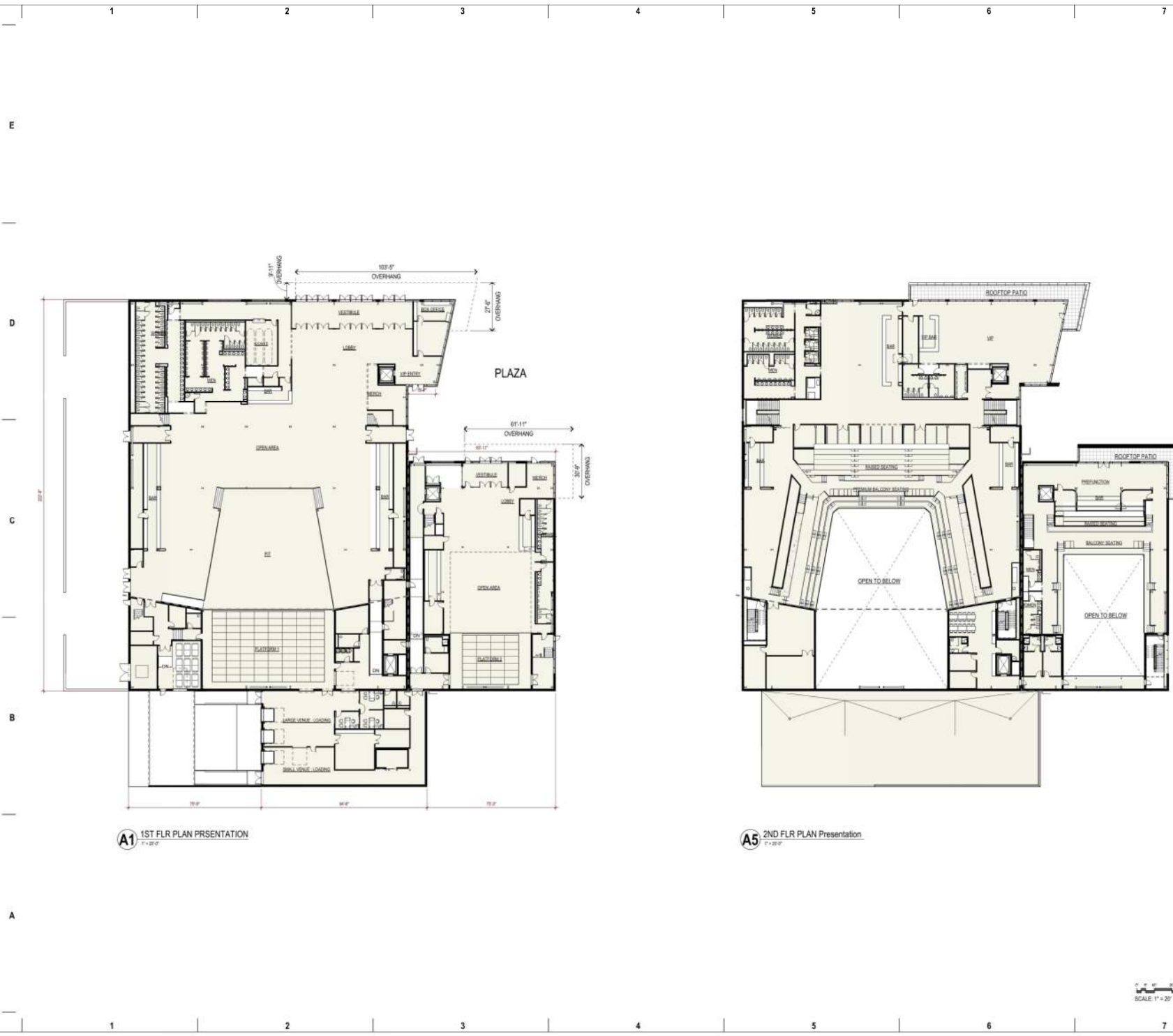
SHEET INFORMATION

PROJECT MANAGER: MJL
PROJECT NUMBER: 2-2022S-02

FIRST AND SECOND
FLOOR PLAN

A1-2

© 2022 Eureka Group Holdings, Inc.



A1 1ST FLR PLAN PRESENTATION
1" = 20' 0"

A5 2ND FLR PLAN Presentation
1" = 20' 0"





milwaukee | madison | green bay | oregon | alaska

PROJECT INFORMATION

Frank Productions
Deer District (Block 3)



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/20/2022	DPD ZONING SUBMITTAL

DPD ZONING SUBMITTAL
FOR PORTION OF BLOCK 3
OF MILWAUKEE BUCKS
ARENA DEVELOPMENT - GPD

KEY PLAN

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and review only. They are subject to change, including additional details. These documents are not for construction and shall not be used for final building or construction-related purposes.

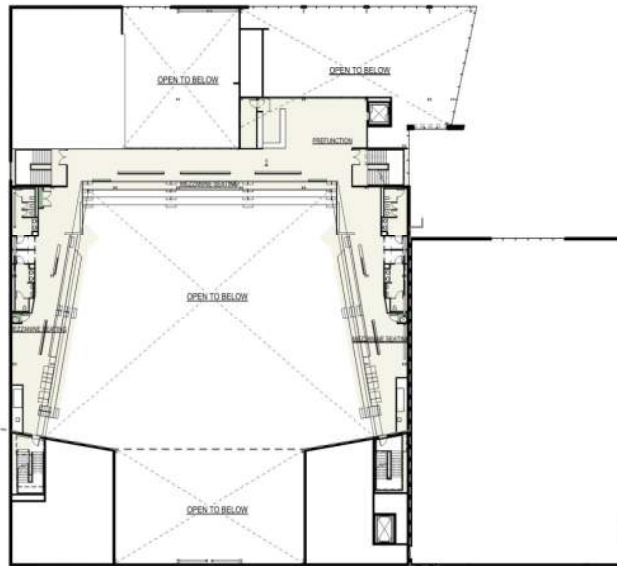
SHEET INFORMATION

PROJECT MANAGER: MJL
PROJECT NUMBER: 2-20225-02

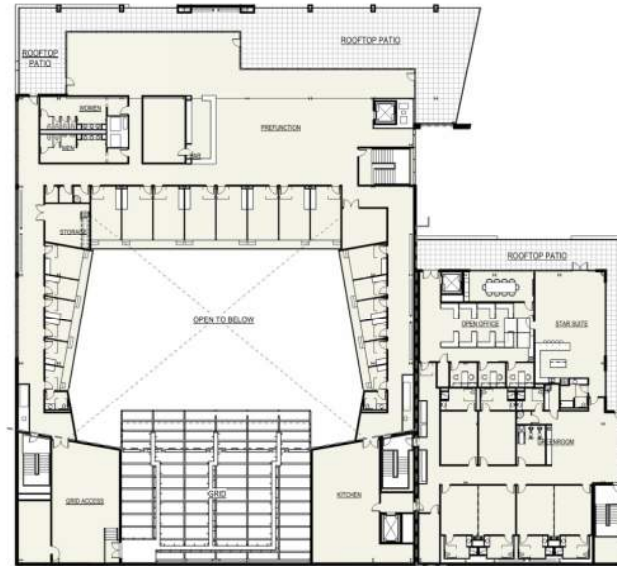
MEZZANINE & SUITE
LEVEL

A1-3

© 2022 EUSA Group, Inc. All Rights Reserved.



A1 MEZZANINE LEVEL PLAN PRESENTATION
T-107



A5 SUITE LEVEL PLAN PRESENTATION
T-107



SCALE: 1" = 20'



West Elevation



East Elevation



interior | exterior | green bay | server | utility

PROJECT INFORMATION

Frank Productions
Deer District (Block 3)



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/11/22	DPD ZONING SUBMITTAL
10/11/22	DPD ZONING SUBMITTAL UPDATES

DPD ZONING SUBMITTAL
FOR PORTION OF BLOCK 3
OF MILWAUKEE BUCKS
ARENA DEVELOPMENT - GPD

KEY PLAN

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

These documents reflect progress and shall not be used for construction. These documents are not to be used for final building or construction-related purposes.

SHEET INFORMATION

PROJECT MANAGER: M.J.L.
PROJECT NUMBER: 2-2022S-02

WEST & EAST
ELEVATION

A2-0

PROJECT INFORMATION

Frank Productions
Deer District (Block 3)



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
REVISION 2	DPD ZONING SUBMITTAL
TOTAL/2025	DPD ZONING SUBMITTAL UPDATES

DPD ZONING SUBMITTAL
FOR PORTION OF BLOCK 3
OF MILWAUKEE BUCKS
ARENA DEVELOPMENT - GPD

KEY PLAN

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents show progress and are not for use for final building or construction-related purposes.

SHEET INFORMATION

PROJECT MANAGER: M.J.L.
PROJECT NUMBER: 2-20225-02

NORTH & EAST
ELEVATION

A2-1



North Elevation



Partial North Elevation - Plaza



Partial East Elevation - Plaza



milwaukee | madison | green bay | sheboygan | wisconsin

PROJECT INFORMATION

Frank Productions
Deer District (Block 3)



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/11/22	DPD ZONING SUBMITTAL
10/11/22	DPD ZONING SUBMITTAL UPDATES

DPD ZONING SUBMITTAL
FOR PORTION OF BLOCK 3
OF MILWAUKEE BUCKS
ARENA DEVELOPMENT - GPD

KEY PLAN

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

These documents reflect preliminary and/or conceptual information and are not intended to be used for final building or construction-related purposes. These documents are subject to change, including additional work. There is no warranty that construction documents and other work will be used for final building or construction-related purposes.

SHEET INFORMATION

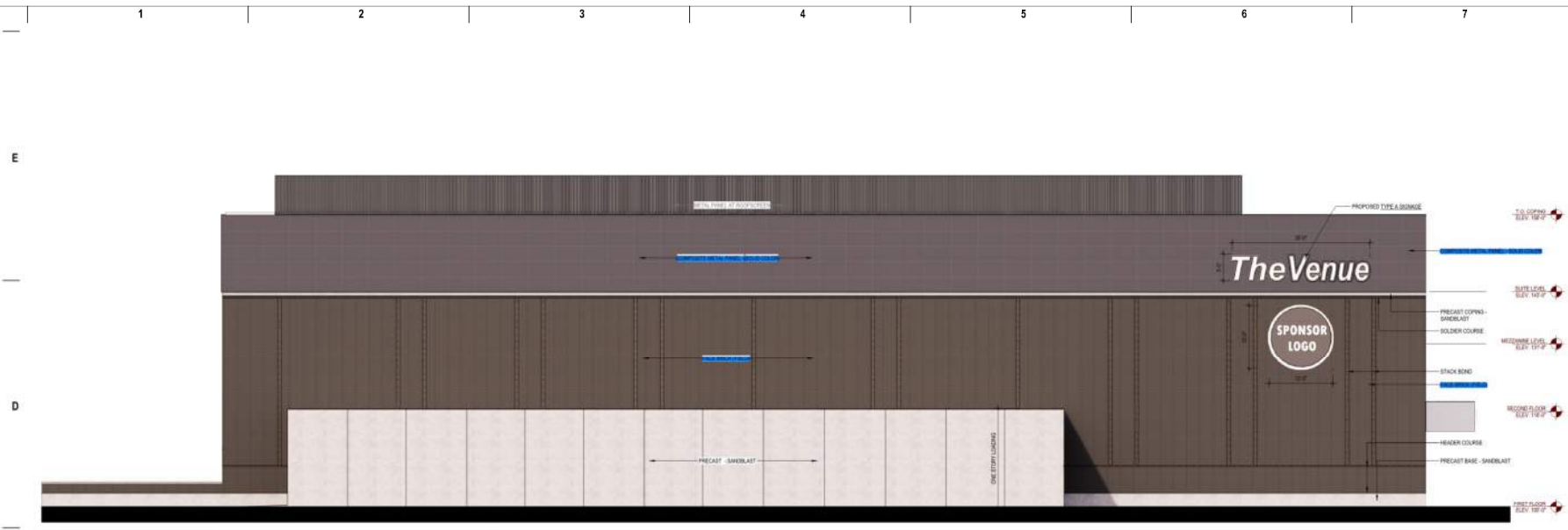
PROJECT MANAGER M.J.L.

PROJECT NUMBER 2-202225-02

SOUTH ELEVATION
& SITE SECTION

A2-2

© 2022 EquiArch, Inc.



South Elevation



Site Section