



**14 OCTOBER 2011**

**JACKSON APARTMENTS**

1530 North Jackson Street Milwaukee, Wisconsin 53202



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**SITE PHOTOS**

**JACKSON APARTMENTS**

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**JACKSON STREET: WEST SIDE ACROSS FROM SITE**



**JACKSON STREET: EAST SIDE ADJACENT TO 1530**



**CONTEXT**

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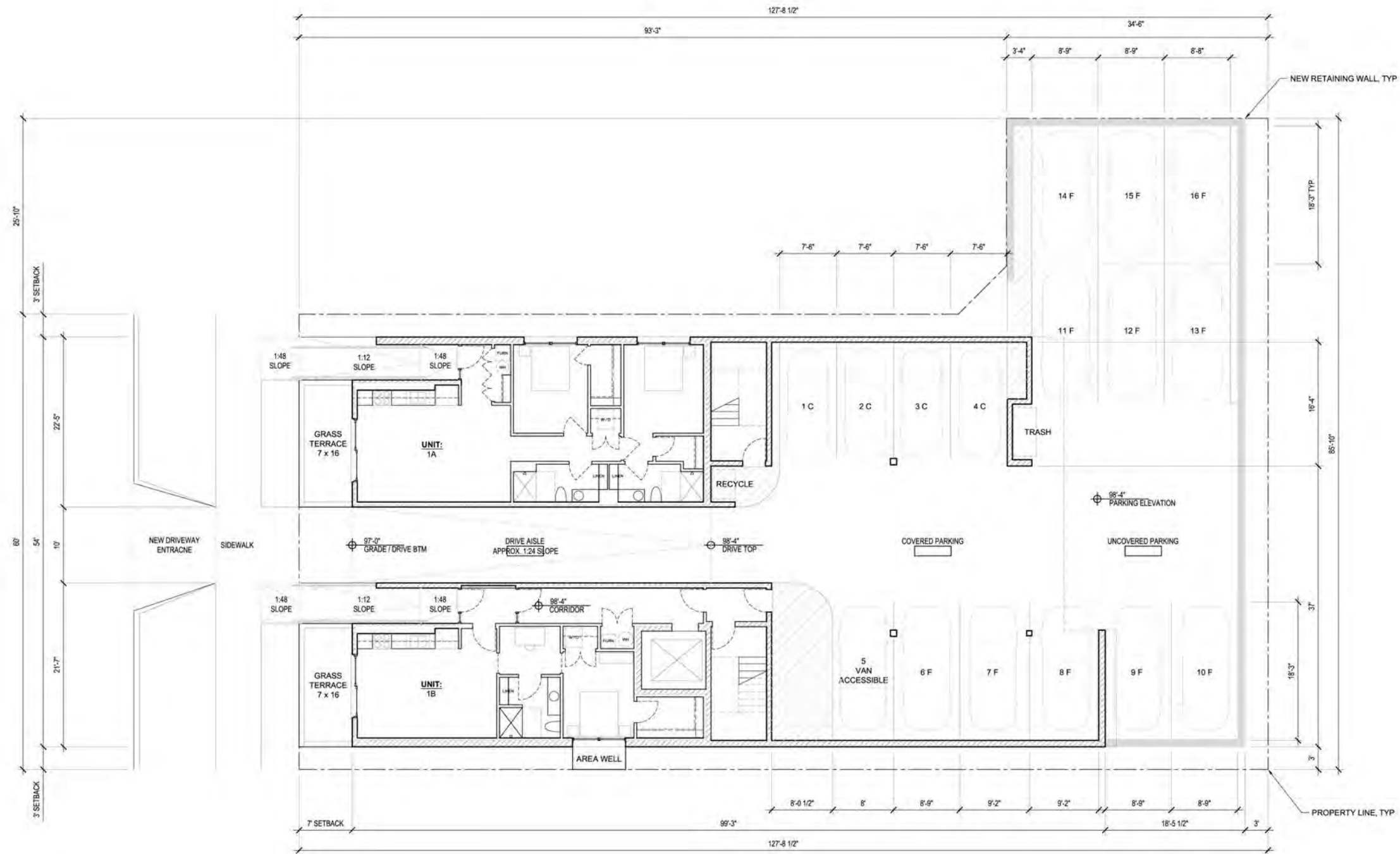


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**SITE / ENTRY LEVEL PLAN** (1" = 16')

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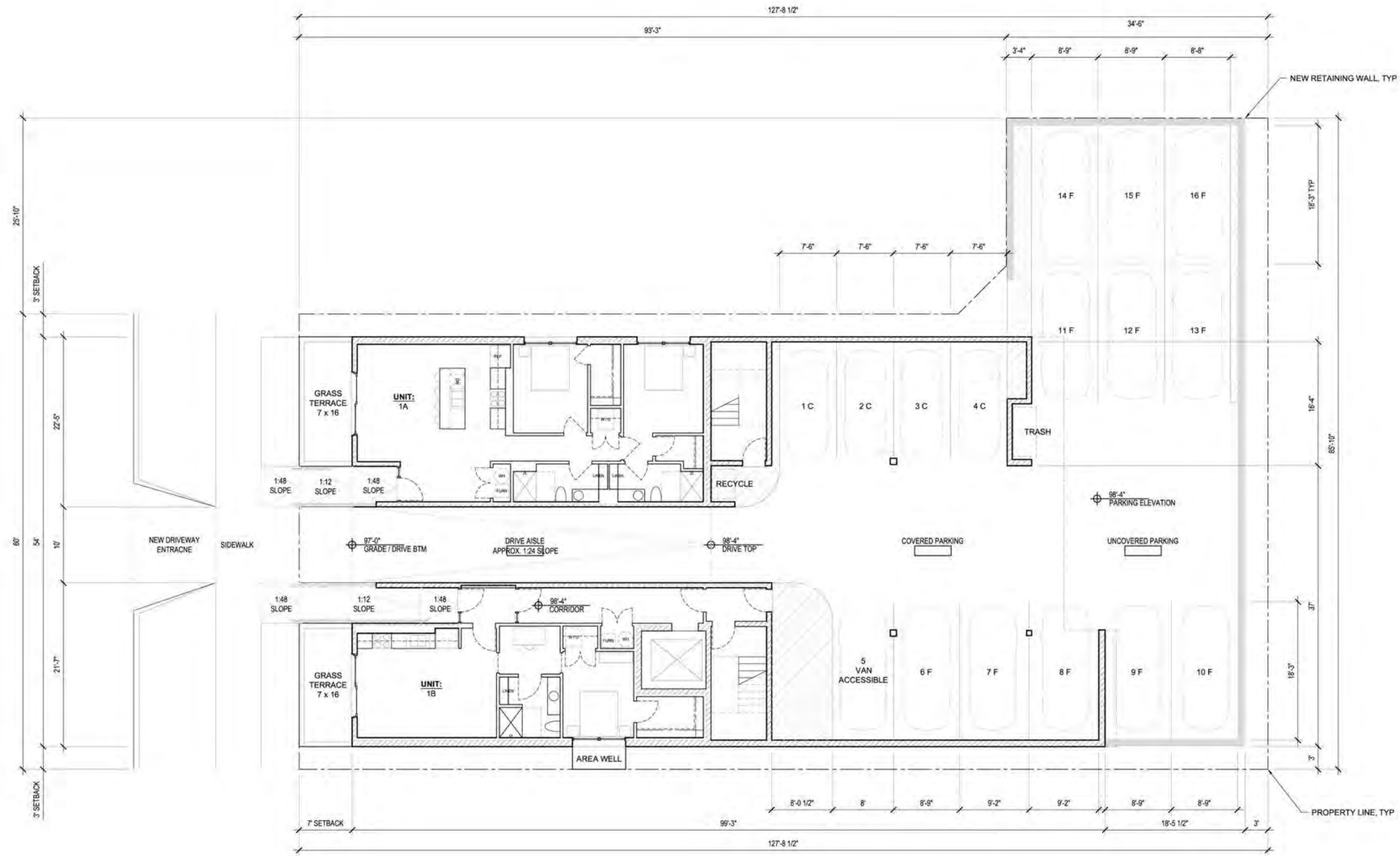


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**ALT SITE / ENTRY LEVEL PLAN** (1" = 16') with alternate entry to Northwestern dwelling unit

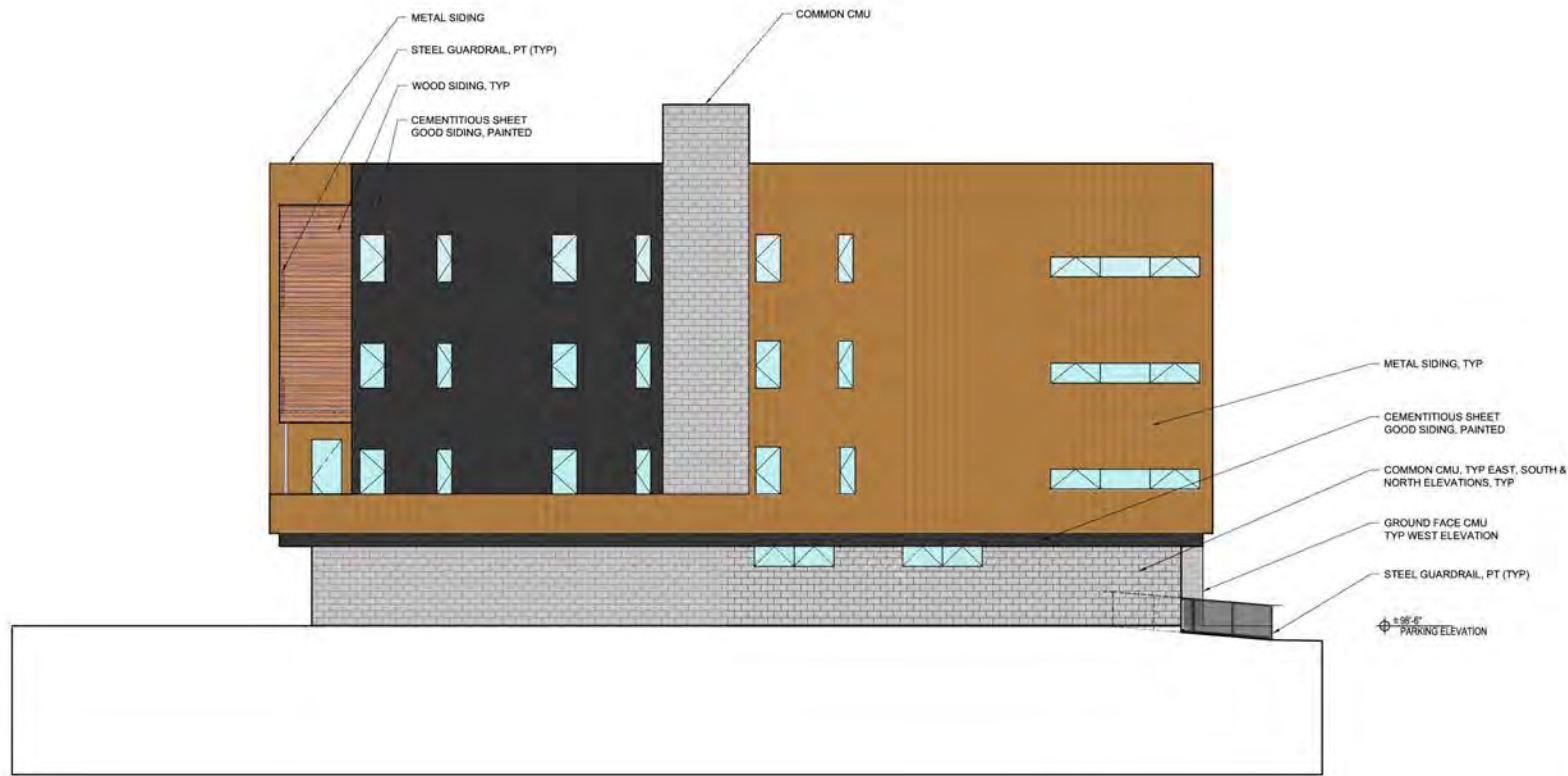
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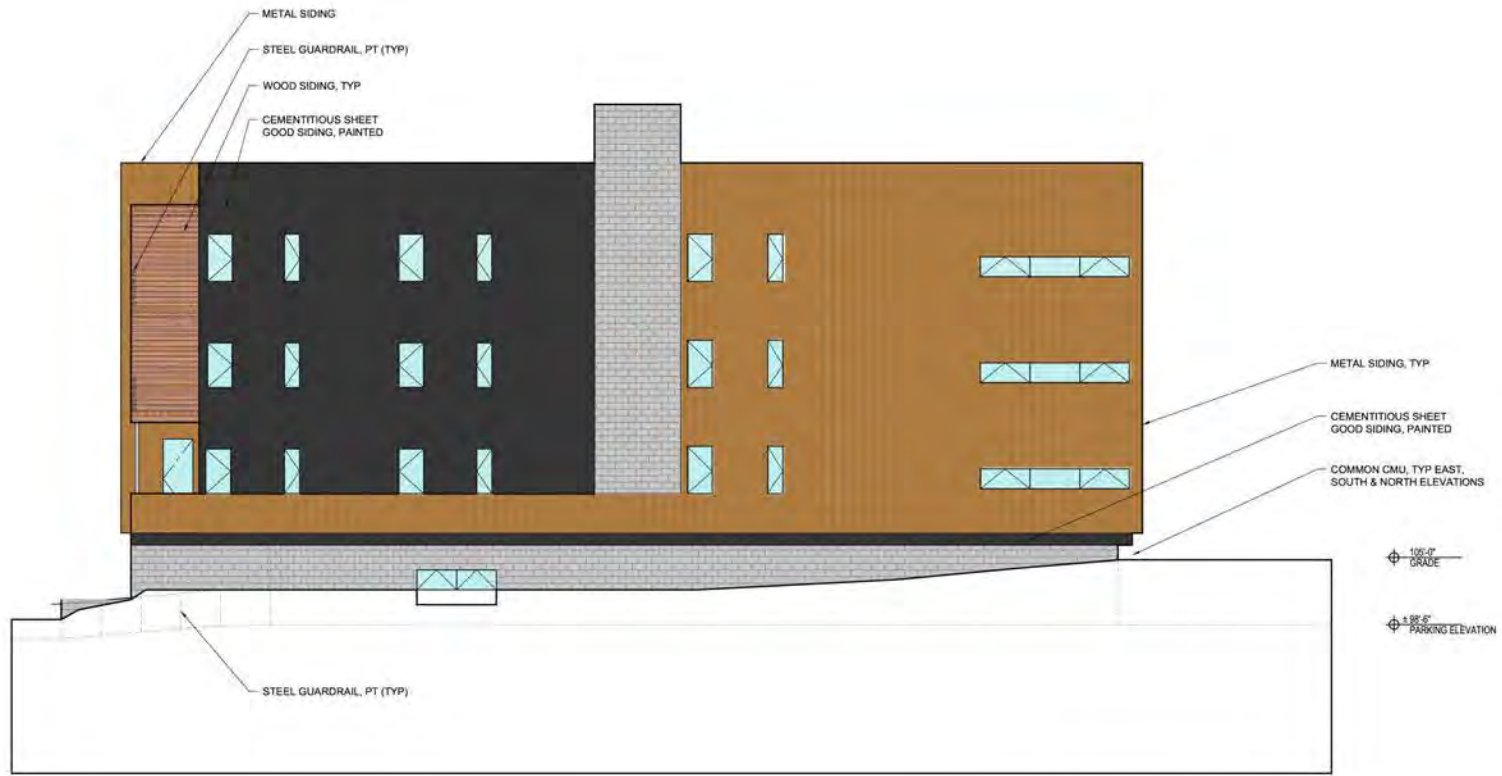




NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

**EXTERIOR ELEVATIONS**

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**METAL PANEL**

**WOOD SIDING**

**CEMENTITIOUS SHEET GOOD, PAINTED**

**STEEL GUARDRAIL, PAINTED**  
(typical all terrace locations & Western entries)

**WOOD SIDING @ TERRACE UNDERSIDE**  
(typical all wood terraces)

**COMMON CMU**

**GROUND FACE CMU**  
(typical on Western & street side exposure)

**GROUND FACE CMU RETAINING WALL**  
(typical on Western & street side exposure)

**CONCRETE RAMP, TYPICAL**

**JACKSON STREET PERSPECTIVE: 14 UNIT BUILDING**

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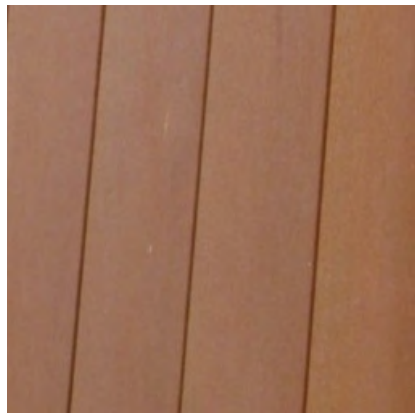
**ALT METAL SIDING (STANDING SEAM)**



**CORNER CONDITION @ METAL SIDING**



**GUARDRAILS (ALTERNATE)**



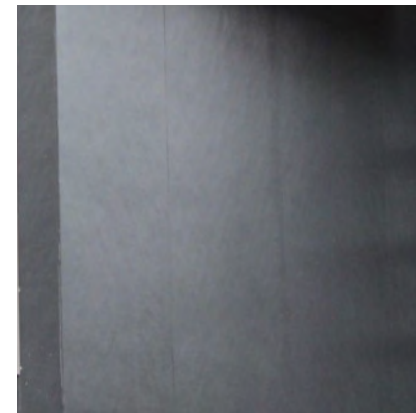
**METAL SIDING**



**WOOD SIDING**



**CONCRETE BLOCK**



**CEMENTITIOUS PANEL, PAINTED**



**GUARDRAILS**

**EXTERIOR MATERIAL PALETTE**

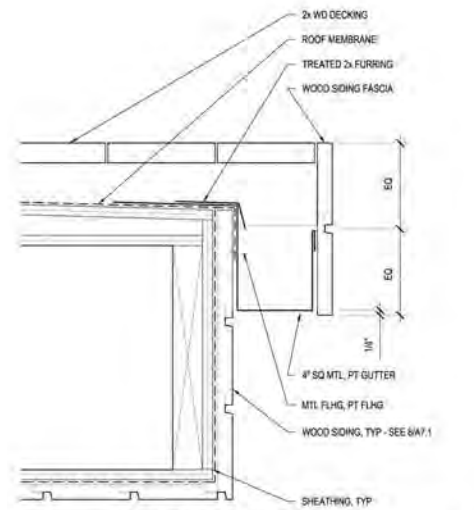
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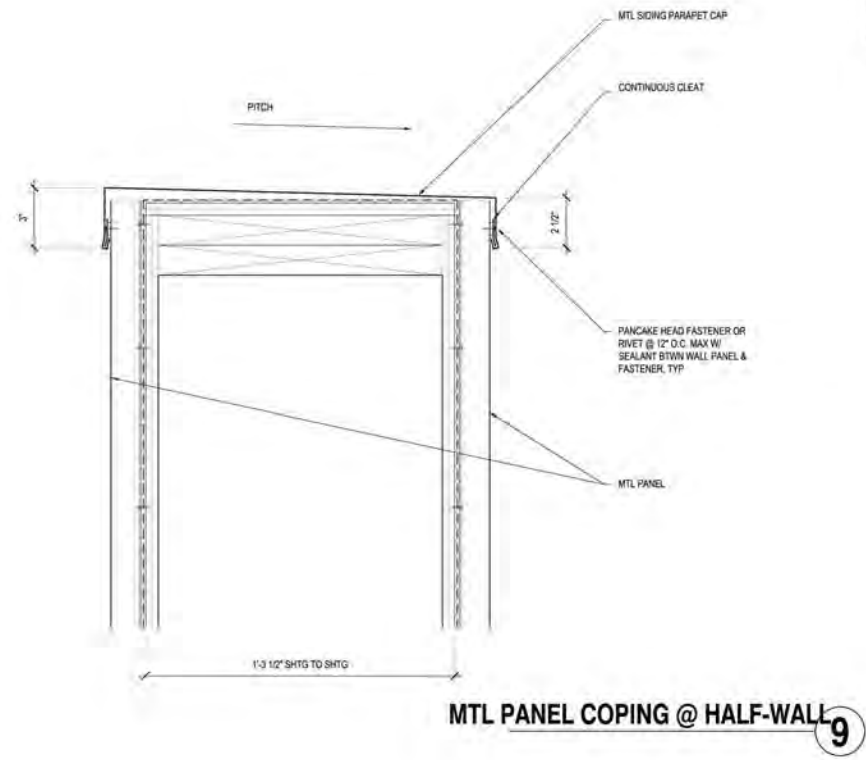


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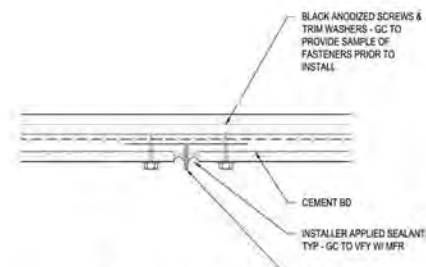




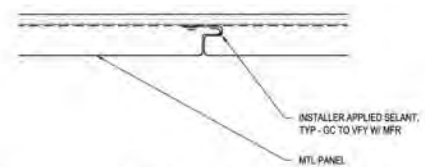
**TYP TERRACE EDGE** 20



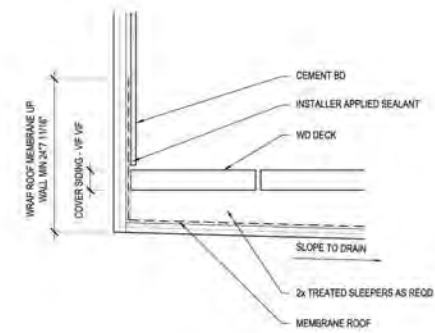
**MTL PANEL COPING @ HALF-WALL** 9



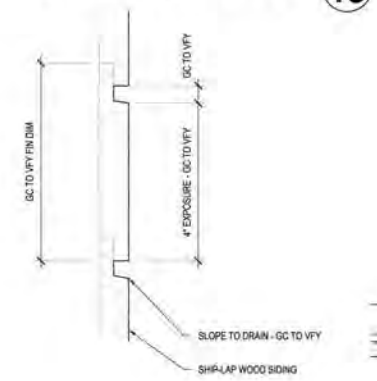
**CEMENT BD PANEL JNT** 5



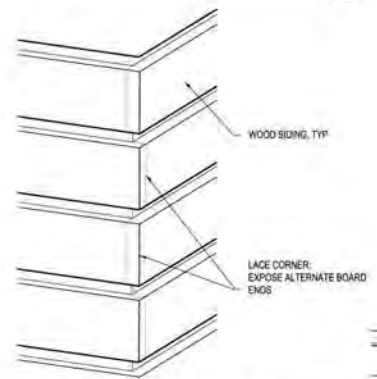
**MTL PANEL HORIZ JNT** 4



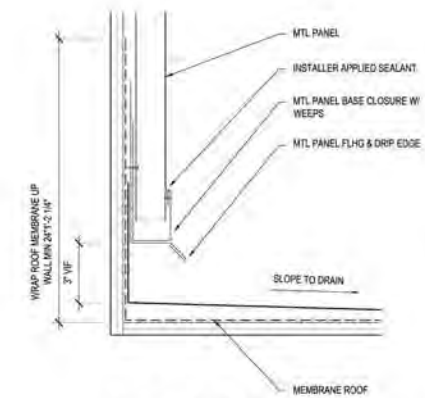
**CEMENT BD @ WD DECK** 13



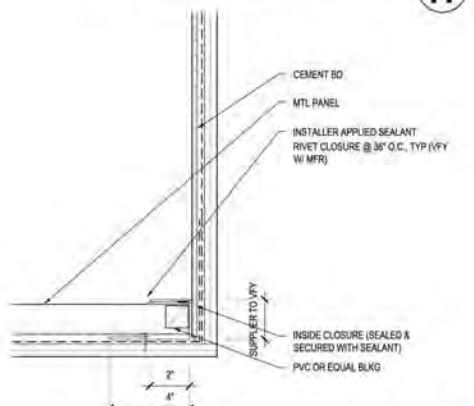
**WD SIDING PROFILE** 8  
6\"/>



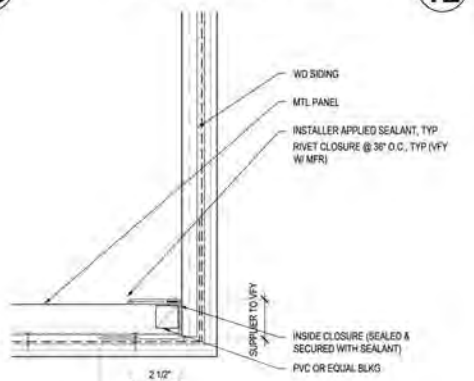
**WD SIDING OUTSIDE CORNER** 3



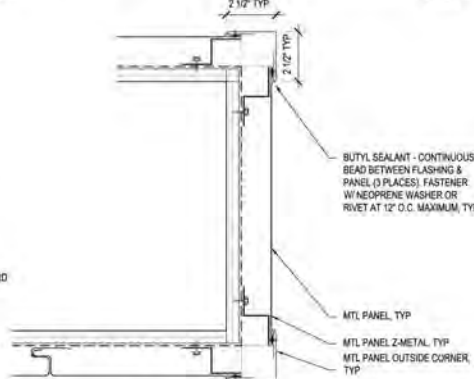
**MTL PANEL @ ROOF** 17



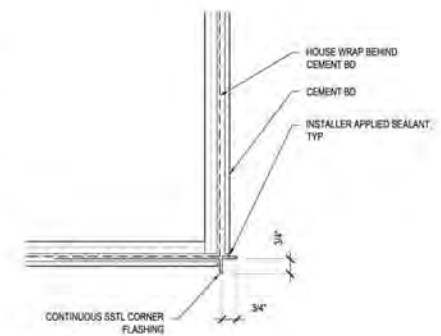
**MTL PANEL TO CMT BD** 12



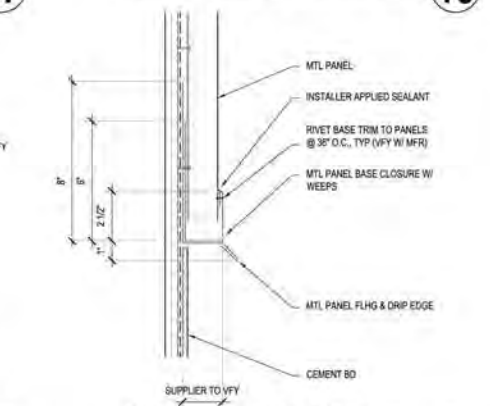
**MTL PANEL TO WD SIDING** 7



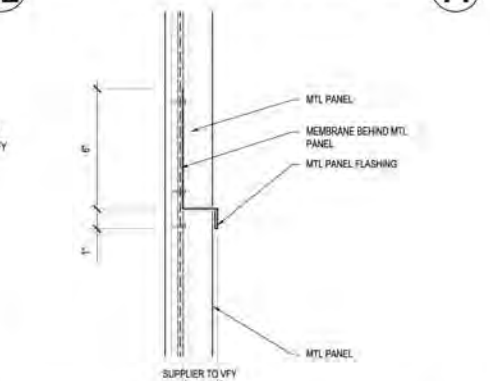
**MTL PANEL OUTSIDE CRNR** 2



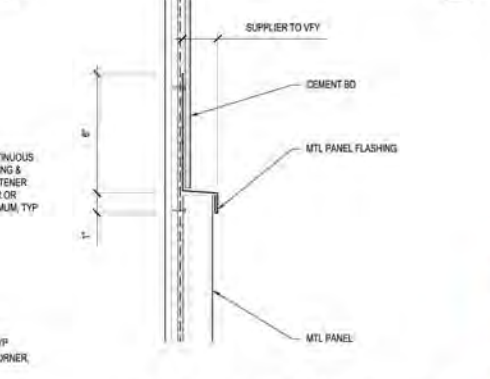
**CEMENT BD OUTSIDE CRNR** 16



**MTL PANEL TO CMT BD** 11



**HORIZ JNT @ MTL PANEL** 6



**CMT BD SIDING TO MTL PNL** 1

**EXTERIOR DETAILS**

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**LEGEND**

- |          |   |   |                           |
|----------|---|---|---------------------------|
| ST       | EXISTING STORM SEWER  | ⚡ | POWER POLE                |
| SN       | EXISTING SANITARY   | — | GUY WIRE                  |
| W        | EXISTING WATER  | ● | IRON PIPE FOUND           |
| G        | EXISTING GAS  | □ | SIGN                      |
| FM       | EXISTING FORCEMAIN  | ⊠ | TRANSFORMER               |
| E        | EXISTING ELECTRIC   | ⊞ | ELECTRICAL PEDESTAL       |
| —○—○—    | EXISTING OVERHEAD WIRE  | ⊞ | TELEPHONE PEDESTAL        |
| —○—○—    | EXISTING FENCE  | ⊞ | CABLE TV PEDESTAL         |
| —        | PROPOSED 8" SANITARY  | ⊞ | GAS VALVE                 |
| —        | PROPOSED 8" WATER   | △ | AT&T MARKER               |
| →        | PROPOSED DRAINAGE FLOW  | ○ | EXISTING HYDRANT          |
| ⊞        | PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED) | ○ | EXISTING SANITARY MANHOLE |
| ⊞        | PROPOSED CONTOUR  | ⊞ | PROPOSED GATE VALVE       |
| ⊞        | PROPOSED CONTOUR  | ⊞ | PROPOSED HYDRANT          |
| ⊞        | PROPOSED ROUND STORM INLET (OR MANHOLE WHERE INDICATED)                 | ⊞ | PROPOSED SANITARY MANHOLE |
| ⊞        | PROPOSED CURB INLET   |   |                           |
| 827'     | EXISTING SPOT GRADE   |   |                           |
| X 617.77 | EXISTING SPOT GRADE   |   |                           |
| —        | EXTERIOR PROPERTY LINE  |   |                           |

**PROJECT NOTES**

**EXISTING CONDITIONS AND DEMOLITION NOTES:**

- CONTRACTOR TO FIELD VERIFY EXISTING SITE PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, RELOCATE, REPLACE OR DEMOLISH ANY OTHER ITEMS AS DIRECTED BY THE CONSTRUCTION MANAGER.

**SITE NOTES:**

- THE PROPOSED CIVIL PLANS ILLUSTRATE SITE IMPROVEMENTS ASSOCIATED WITH THE NEW BUILDING CONSTRUCTION. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL CONSTRUCTION INFORMATION.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.

**GRADING AND EROSION CONTROL NOTES:**

- SEE PLANS FOR EROSION CONTROL DETAILS & CONSTRUCTION SEQUENCE.
- THE PROPOSED BUILDING PROJECT WILL DISTURB APPROXIMATELY 0.2 ACRES OF LAND. THEREFORE, UNDER NR 151 AND NR 216 PERMITTING REQUIREMENTS ARE NOT APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY CONSTRUCTION SITE AND/OR EROSION CONTROL PERMITS FROM THE CITY OF MILWAUKEE.

**UTILITY NOTES:**

- CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTE IS CLEAR (TO CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- CONTRACTOR SHALL PROVIDE NOTIFICATION TO UTILITY OWNERS (INCLUDING SEWER AND WATER) AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- ALL PROPOSED SANITARY SEWER SHALL BE SDR-35 PVC. ALL PROPOSED WATERMAIN PIPE SHALL BE C900 PVC FOR PIPE DIAMETERS OF 6" OR GREATER UNLESS OTHERWISE NOTED. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE. SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TIED TO PLASTIC WATER OR DRAIN PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
- SEE PLANS FOR ADDITIONAL UTILITY SPECIFICATIONS AND DETAILS.
- SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM 5 FEET FROM THE EXTERIOR WALL OF FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISH FLOOR ELEVATION (OR AS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER).

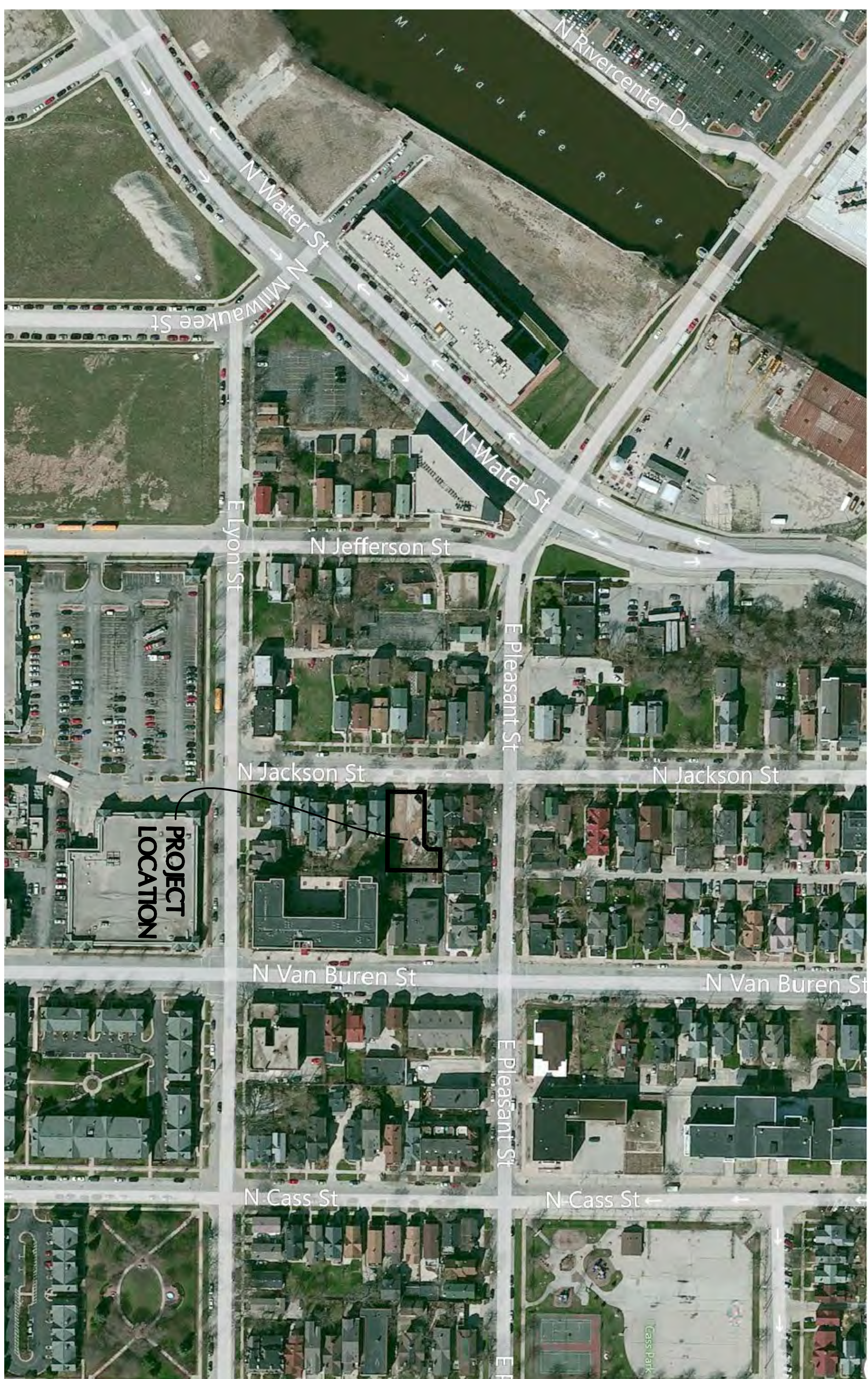
**LANDSCAPE NOTES:**

- CONTRACTOR SHALL SEED, FERTILIZE AND MULCH LAWN AREAS AND DISTURBED AREAS AFTER COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL PRESERVE THE EXISTING STREET TREE FOR LATER RELOCATION UNLESS OWNER AUTHORIZES REMOVAL. OWNER AND/OR CONSTRUCTION MANAGER SHALL DIRECT CONTRACTOR ON THE EXTENT OF PERIMETER VEGETATION TO BE REMOVED AS PART OF THIS PROJECT.

# PROPOSED JACKSON APARTMENTS

## 1530 N. JACKSON STREET

### CITY OF MILWAUKEE, WI



**LOCALITY MAP**

FRACTIONAL WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 22 EAST, OR GAMMON FLOT, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN

**CIVIL PLAN SHEET LIST**

- C1.0 — EXISTING SITE PLAN
- C1.1 — PROPOSED SITE PLAN
- C1.2 — MASTER GRADING & EROSION CONTROL PLAN
- C1.3 — UTILITIES PLAN

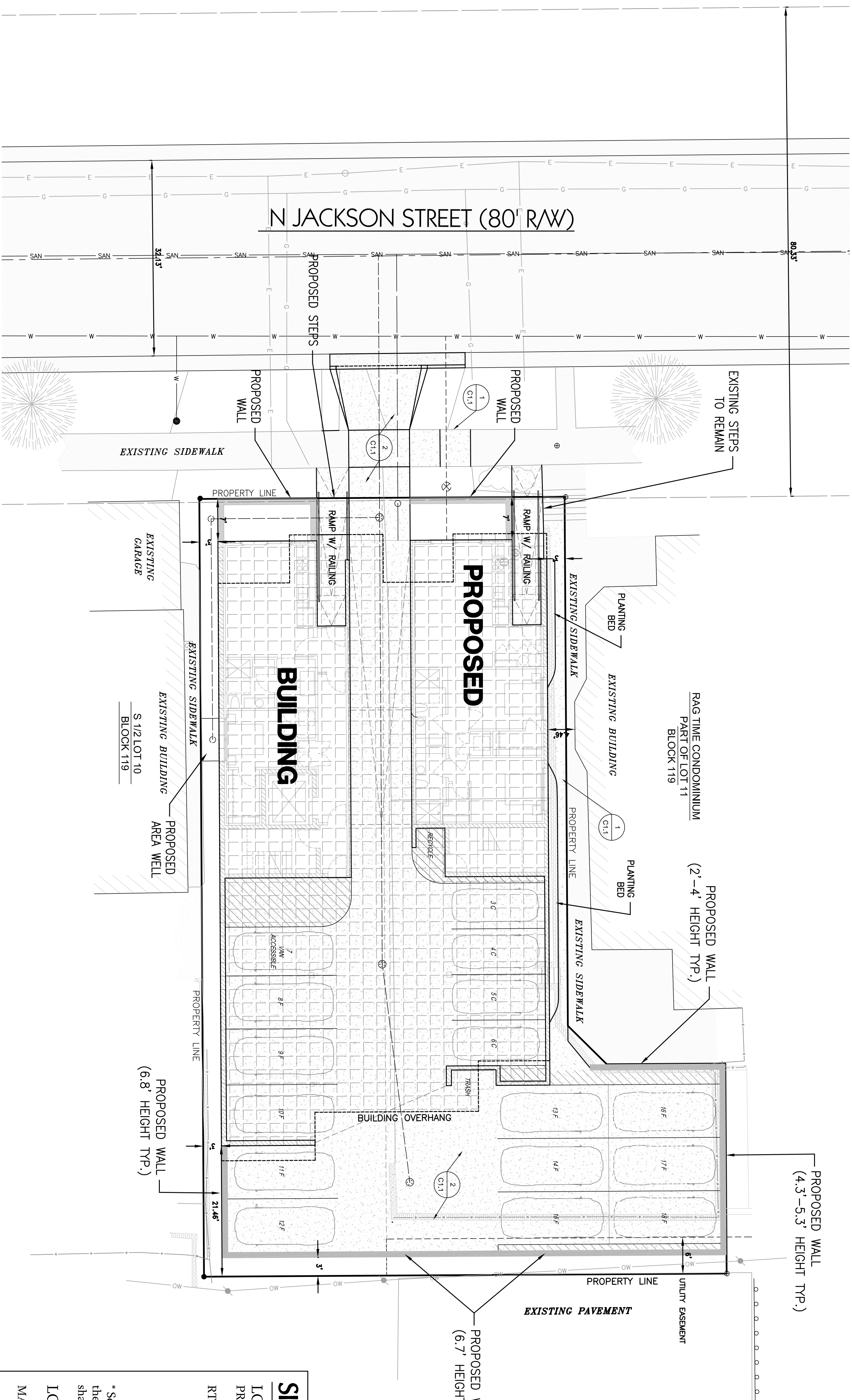
|  |   |  |  |  |  |   |                                     |  |                                   |
|--|---|--|--|--|--|---|-------------------------------------|--|-----------------------------------|
|  | <p><b>stringel-agacki studio</b><br/>architects<br/>milwaukee - los angeles</p> |  | <p>17700 W. CAPITOL DRIVE<br/>BROOKFIELD, WI 53045<br/>PHONE: (262) 796-1480<br/>FAX: (262) 796-1481<br/>EMAIL: <a href="mailto:jpudielko@stringelagacki.com">jpudielko@stringelagacki.com</a></p> |  | <p><b>PROJECT:</b><br/><b>JACKSON APARTMENTS</b><br/>N. 1530 JACKSON STREET<br/>Milwaukee, Wisconsin</p> | <p><b>PLAN DATE:</b><br/>OCTOBER 13, 2011</p> | <p><b>JOB NUMBER:</b><br/>11023</p> | <p><b>DESCRIPTION:</b><br/>COVER SHEET</p> | <p><b>SHEET</b><br/><b>T1</b></p> |
|--|---|--|--|--|--|---|-------------------------------------|--|-----------------------------------|







# PROPOSED SITE PLAN



RAG TIME CONDOMINIUM  
PART OF LOT 11  
BLOCK 119

PROPOSED WALL  
(2'-4' HEIGHT TYP.)

PROPOSED WALL  
(4.3'-5.3' HEIGHT TYP.)

PROPOSED WALL  
(6.7' HEIGHT TYP.)

PROPOSED WALL  
(6.8' HEIGHT TYP.)



## SITE DATA

|                               |  |
|-------------------------------|--|
| LOT ZONED:                    | RT4 District   |
| PROPOSED ZONING:              | RT4 District with PUD Overlay  |
| RT4 ZONING REQUIREMENTS:      | <p>Building Height (maximum) = 48'</p> <p>Lot Coverage (interior lot) = 70%*</p> <p>Front Setback (minimum) = average</p> <p>North or west side setback = 1.5'</p> <p>South or east side setback = 3.5'</p> <p>Combined side setback = 5'</p> <p>Rear Building setback = 15'</p> |
| LOT AREA:                     | 8,573.34 S.F. (0.197 Acres)  |
| MAXIMUM BUILDING FOOTPRINT:   | 5,092.9 S.F. (0.117 Acres)   |
| PROPOSED PAVEMENT & SIDEWALK: | 2,350 S.F. (0.054 Acres)   |
| - OUTSIDE BUILDING:           | [27.4% of area]  |
| - UNDER BUILDING (EXCLUDED):  | 2,290 S.F. (0.049 Acres)   |
| TOTAL IMPERVIOUS AREA:        | 7,442.9 S.F. (0.171 Acres)   |
| TOTAL OPEN SPACE:             | 1,130.44 S.F. (0.0260 AC.)   |
| PARKING SPACES:               | 16 SPACES ON SITE  |

\* See 295-05-2-i: The lot coverage standards set forth in table 295-05-2 relate to the proportion of a lot occupied by principal buildings. Accessory structures shall not be included when determining principal building lot coverage)

**PROJECT:**  
**JACKSON APARTMENTS**  
N. 1530 JACKSON STREET  
Milwaukee, Wisconsin



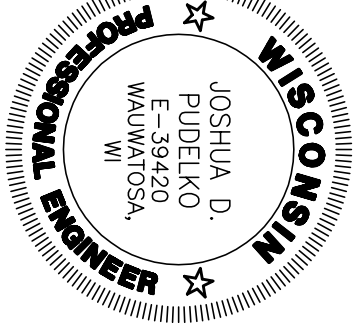
**PLAN DATE:**  
OCTOBER 13, 2011

**JOB NUMBER:**  
11023

**DESCRIPTION:**  
PROPOSED SITE PLAN

**SHEET**

**C1.1**



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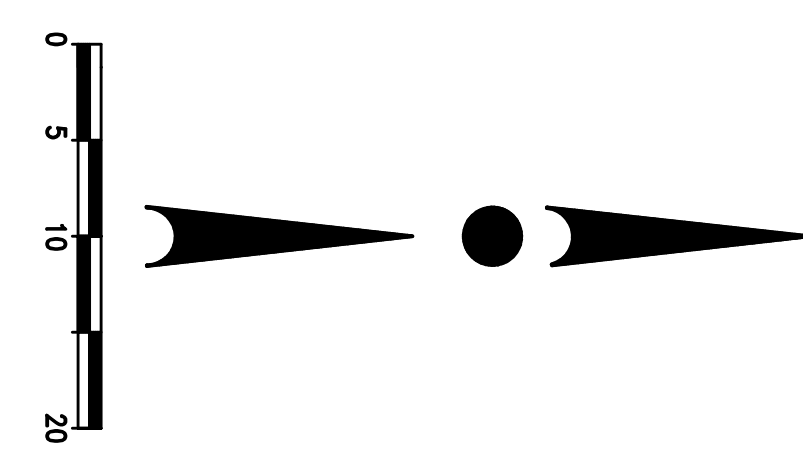
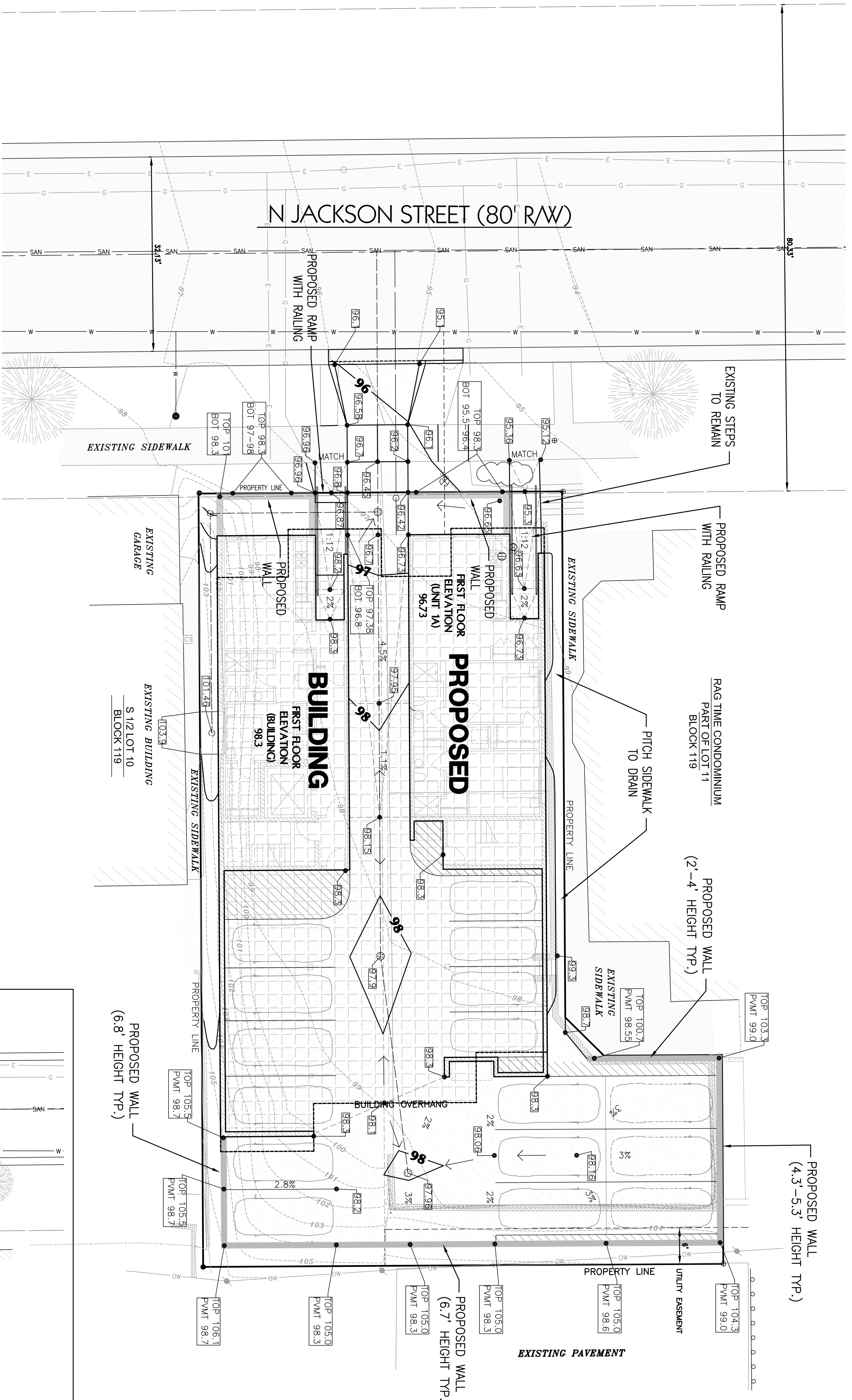


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BROOKFIELD, WI 53045  
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**CATALYST**  
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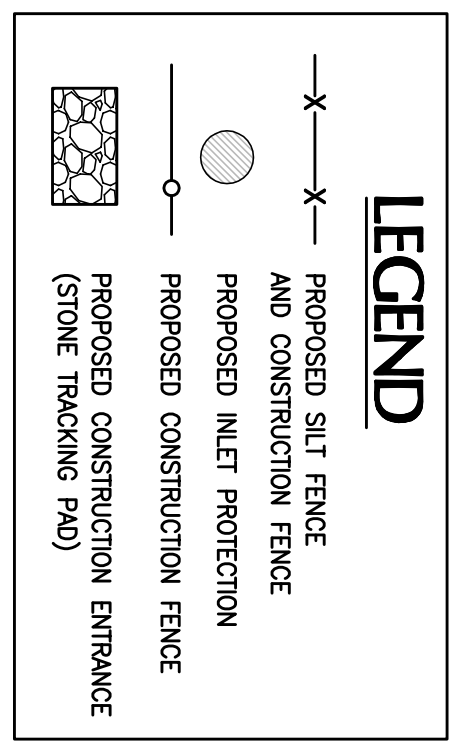
# MASTER GRADING & EROSION CONTROL PLAN



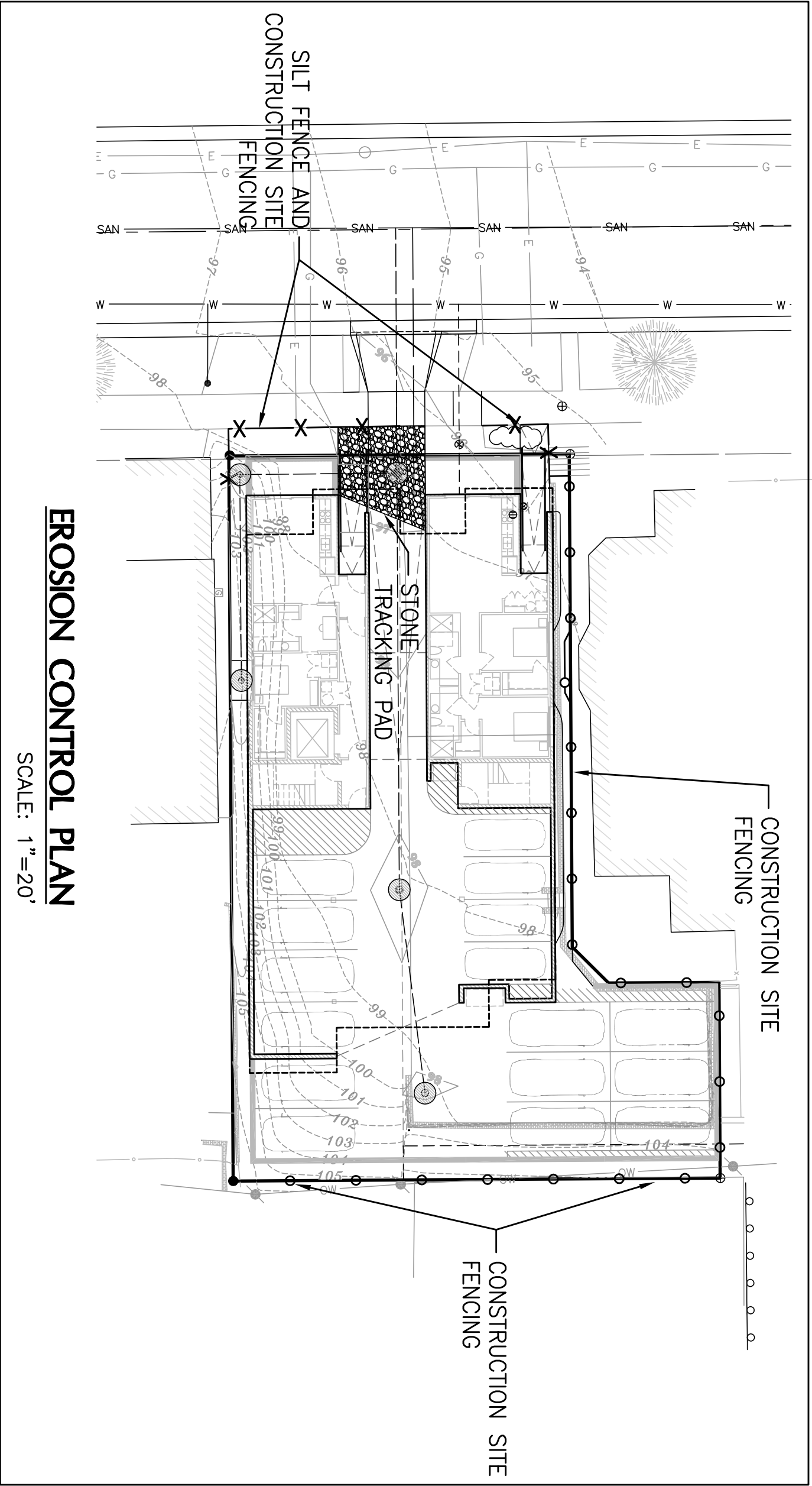
- CONSTRUCTION SEQUENCE PLAN**
1. INSTALL SILT FENCE, CONSTRUCTION FENCE AND TRACKING PAD.
  2. CLEAR AND GRUB PERMIER VEGETATION AS REQUIRED FOR SITE CONSTRUCTION.
  3. REMOVE EXISTING ON-SITE PAVEMENT AND WALLS AS NEEDED FOR BUILDING CONSTRUCTION.
  4. ROUGH GRADE SITE, IMPORTING FILL AS NEEDED. TOPSOIL, IF ENCOUNTERED, MAY BE STOCKPILED ON SITE AT CONTRACTOR'S PREFERRED LOCATION.
  5. INSTALL STORM SEWER (THRU BUILDING LIMITS, MINIMUM).
  6. CONSTRUCT BUILDING.
  7. INSTALL SANITARY SEWER AND WATER LATERALS, CONNECT STORM SEWER TO PUBLIC UTILITY. CONTACT CITY AND/OR MSDS PRIOR TO CONNECTING TO THE EXISTING SYSTEMS.
  8. INSTALL NEW GAS/ELECTRIC/TELEPHONE UTILITIES PER PLANS BY OTHERS.
  9. REMOVE EXISTING DRENAGE AND SIDEWALK SECTIONS.
  10. CONSTRUCT LANDSCAPE/RETAINING WALLS PER PLAN.
  11. INSTALL STONE BASE, PAVEMENT AND SIDEWALK PER PLAN.
  12. SPREAD TOPSOIL, SEED, MULCH AND STABILIZE DISTURBED AREAS.
  13. INSTALL LANDSCAPING PER PLAN.
  14. REMOVE ANY REMAINING SILT FENCE AND CONSTRUCTION FENCE.
- NOTE THAT CONSTRUCTION MANAGER MAY MODIFY THIS SEQUENCE PLAN TO BEST SUIT THE NEEDS OF THE PROJECT.

**EROSION CONTROL NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, STATE OF WISCONSIN, LATEST EDITION, UNLESS OTHERWISE CALLED FOR ON THE PLANS, SPECIFICATIONS OR SPECIAL PROVISIONS.
2. ALL EROSION CONTROL MEASURES SPECIFIED ON THIS PLAN SHALL MEET THE DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
3. ALL EROSION CONTROL DEVICES (I.E., SILT FENCE, GRAVEL ENTRANCE, ETC.), SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING OR UTILITY CONSTRUCTION.
4. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. REFER TO THE CONSTRUCTION SEQUENCING PLAN FOR ADDITIONAL INFORMATION.
5. THE OWNER IS RESPONSIBLE FOR OBTAINING A GRADING AND/OR EROSION CONTROL PERMIT (OR ANY OTHER APPLICABLE PERMITS) PRIOR TO CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE FOR OBTAINING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR ADDITIONAL RESTAKING CAUSED BY CONTRACTOR'S NEGLIGENCE MAY BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE Sums DUE HIM UNDER THIS CONTRACT.
6. THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE, ALL UTILITIES CITY DEPARTMENTS, AND GOVERNMENT UNITS WHOSE PROPERTY MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) DAYS BEFORE BREAKING GROUND, DIGGERS HOTLINE NUMBER IS 1-800-242-8911.
7. PUBLIC ROADS SHALL NOT BE CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE EXISTING AND/OR GRAVEL ENTRANCE TO THE PROPERTY.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT AND PUBLIC ROADWAYS DURING CONSTRUCTION PER THE REQUIREMENTS SET FORTH BY THE LOCAL AND COUNTY AGENCIES. STREETS SHALL BE KEPT FREE OF SILT OR DIRT TRACKED FROM AREAS UNDER CONSTRUCTION BY SWEEPING OR OTHER APPROPRIATE MEASURES. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCULM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING OR OTHER APPROPRIATE METHODS.
9. INLETS SHALL BE PROTECTED WITH A SILT FENCE EROSION BARRIER UNTIL THE FRAME AND GRADE HAS BEEN SET IN PLACE. SILT FENCE SHALL BE PLACED AROUND THE INLET STRUCTURE UNTIL SUCH TIME AS THE AREA HAS BEEN ESTABLISHED. FREQUENT INSPECTION AND TIMELY MAINTENANCE IS REQUIRED. UPON COMPLETION OF THE WORK AS SPECIFIED, RESURFACE SIX (6") INCHES OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND PROVIDE SEED, FERTILIZER AND MULCH PER THE STANDARD SPECIFICATIONS.
10. ALL DISTURBED AREAS INSIDE AND OUTSIDE OF THE ROAD RIGHT OF WAY SHALL BE REVEGETATED WITHIN SEVEN DAYS AFTER BEING DISTURBED. HIGHWAY MIX #40 SHALL BE USED FOR SEEDING WITH AN APPLICATION RATE OF 2.5 LBS/1000 SF.
11. ALL EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND REPAIR BMP'S AS NEEDED.



**STANDARD DETAIL DRAWINGS:**  
 WISCONSIN DEPARTMENT OF NATURAL RESOURCES  
 1056 - SILT FENCE  
 1057 - STONE TRACKING PAD AND THE WASHING  
 1060 - STORM DRAIN INLET PROTECTION



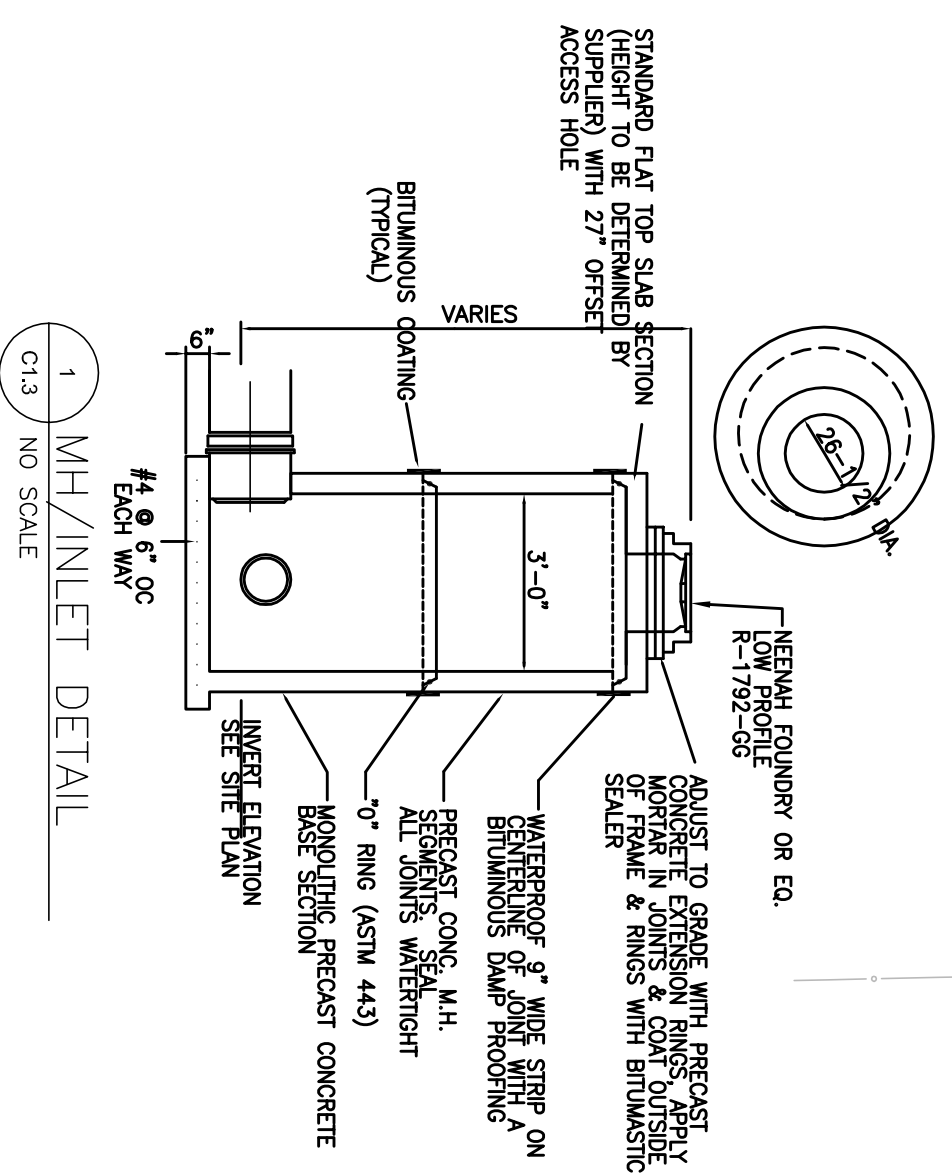
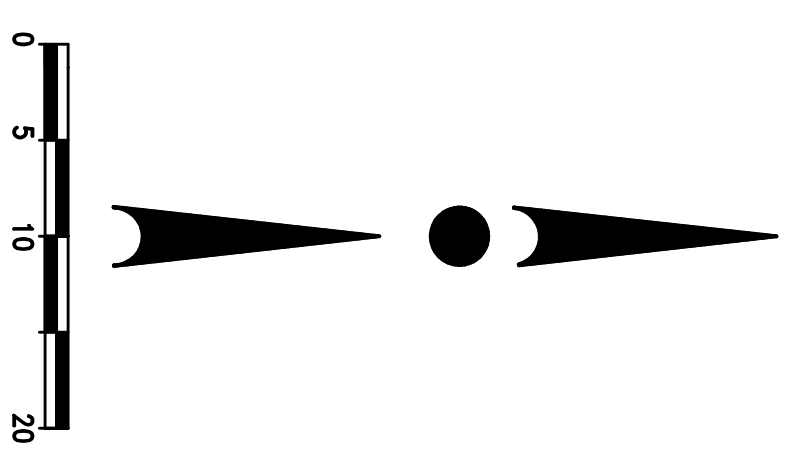
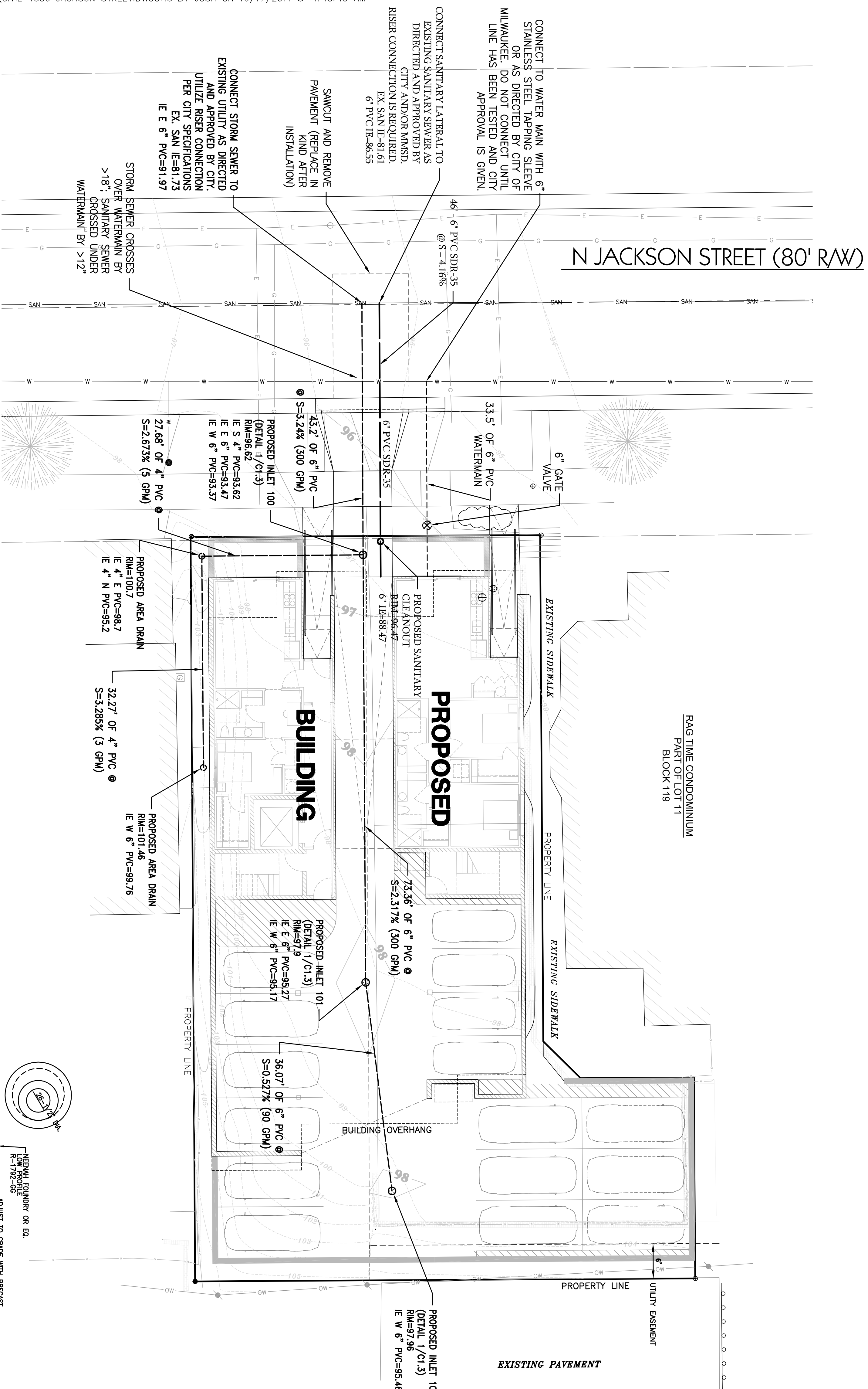
**EROSION CONTROL PLAN**  
 SCALE: 1"=20'

|  |  |  |  |  |   |  |  |   |                                     |
|--|--|--|--|--|---|--|--|---|-------------------------------------|
|  |  |  |  |  | <p><b>PROJECT:</b><br/> <b>JACKSON APARTMENTS</b><br/>                 N. 1530 JACKSON STREET<br/>                 Milwaukee, Wisconsin</p> | <p><b>PLAN DATE:</b><br/>                 OCTOBER 13, 2011</p> | <p><b>JOB NUMBER:</b><br/>                 11023</p> | <p><b>DESCRIPTION:</b><br/>                 MASTER GRADING<br/>                 &amp; EROSION<br/>                 CONTROL PLAN</p> | <p><b>SHEET</b><br/> <b>C12</b></p> |
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# UTILITIES PLAN

RAG TIME CONDOMINIUM  
PART OF LOT 11  
BLOCK 119



**STORM SEWER NOTES**

- ALL HDPE STORM SEWER PIPE, FITTINGS, JOINTS AND INSTALLATION SHALL MEET THE REQUIREMENTS OF ASTM F-2306, ASTM D-3350, AND ASTM D-2321.
- ALL PVC STORM SEWER PIPE SHALL BE ASTM D-3024, SDR 35. SCHEDULE 40 PIPE SHALL BE INSTALLED FOR ALL PIPE WITHIN THE PROPOSED BUILDING FOOTPRINT, PER MANUFACTURER SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET, CONNECT ROOF DOWNSPOUTS TO INLET 100 OR 101.

**SANITARY SEWER & WATERMAIN NOTES**

- ALL PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.10.0 (SSSWCW).
- ALL SANITARY SEWER LATERALS (OUTSIDE OF BUILDINGS) SHALL BE MADE OF GASKETED PVC FITTINGS MEETING ASTM D-3024, SDR 35. TRACER WIRE IS REQUIRED FOR ALL SANITARY SEWER LATERALS.
- WATERMAIN
- ALL 6" PVC WATERMAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC, C-900, CLASS 150 (DR18). PVC PIPE SHALL HAVE PUSH-ON JOINTS WITH RUBBER GASKET.
- ALL WATERMANS (AND SERVICES) CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BENDING AS SPECIED IN CH. 4.3.0, LAYING OF WATERMAIN, AND FILE NO. 36, PART VII (SSSWCW).
- BLUE TRACER WIRE IS REQUIRED FOR ALL WATERMAIN LATERALS.

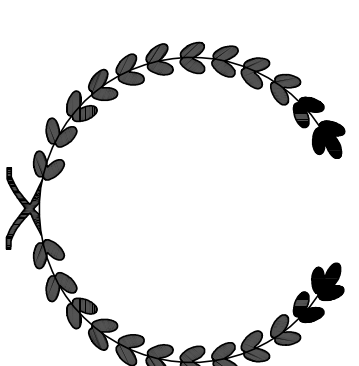
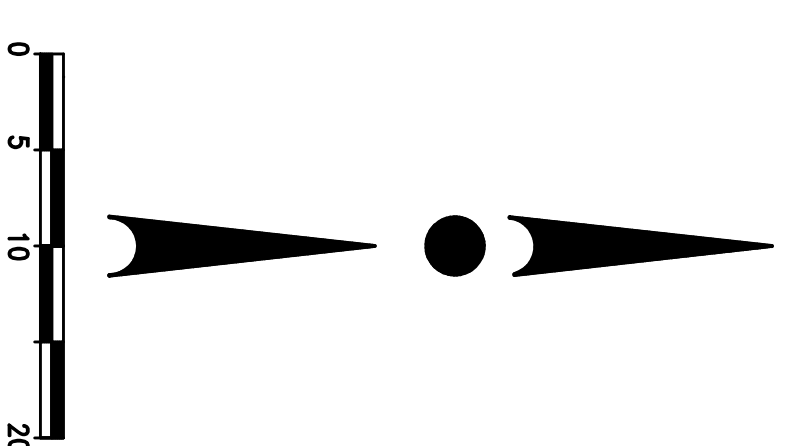
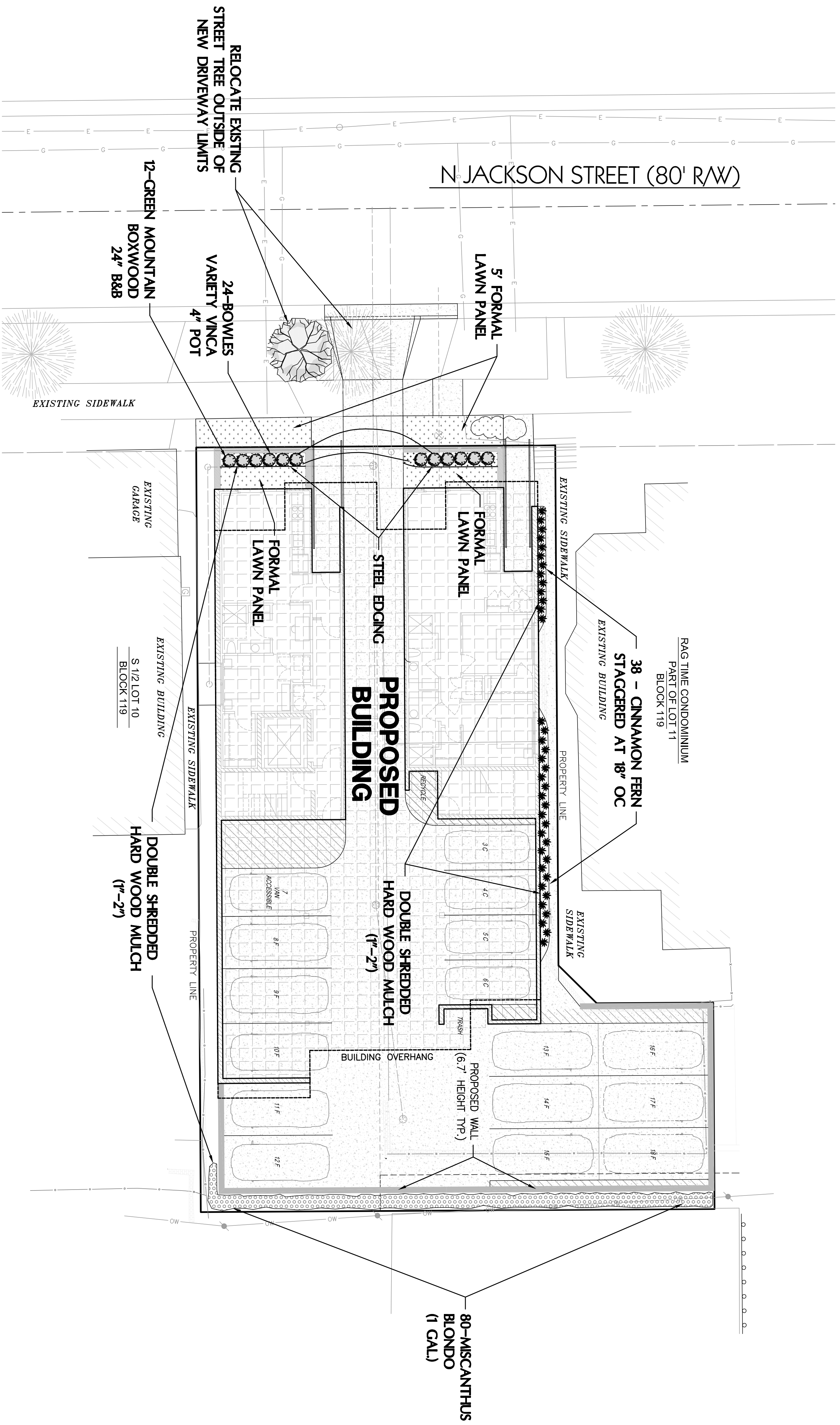
**TRACER WIRE NOTE**

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PER COMM. 82.30(1)(H). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

|  |  |  |  |  |  |   |   |                                    |                     |                   |
|--|--|--|--|--|--|---|---|------------------------------------|---------------------|-------------------|
|  | <p><b>striegel-agacki studio</b><br/>architectural<br/>milwaukee - los angeles</p> |  | <p>17700 W. CAPTIVOL DRIVE<br/>BROOKFIELD, WI 53045<br/>PHONE: (262) 796-1480<br/>FAX: (262) 796-1481<br/>EMAIL: jpuddelko@striegel-agacki.com</p> | <p><b>CATALYST CONSTRUCTION</b><br/>BUILDING YOUR VISION</p> | <p><b>PROJECT:</b><br/><b>JACKSON APARTMENTS</b><br/>N. 1530 JACKSON STREET<br/>Milwaukee, Wisconsin</p> | <p><b>PLAN DATE:</b><br/>OCTOBER 13, 2011</p> | <p><b>DESCRIPTION:</b><br/>UTILITIES PLAN</p> | <p><b>JOB NUMBER:</b><br/>1023</p> | <p><b>SHEET</b></p> | <p><b>C13</b></p> |
|--|--|--|--|--|--|---|---|------------------------------------|---------------------|-------------------|



# PROPOSED LANDSCAPE PLAN



GARLAND ALLIANCE  
LANDSCAPE ARCHITECTS  
13707 N. RICHARDS ST., STE 200  
MILWAUKEE, WI 53222-1602  
PHONE: (414) 952-1602  
EMAIL: tim@garlandalliance.com



17700 W. CAPITOL DRIVE  
BROOKFIELD, WI 53045-580  
PHONE: (262) 790-1481  
FAX: (262) 790-1481  
EMAIL: jandeko@trioengineering.com



**PROJECT:**  
**JACKSON APARTMENTS**  
1530 N. JACKSON STREET  
CITY OF MILWAUKEE, WI

**PLAN DATE:**  
OCTOBER 13, 2011

**DATE:**

**JOB NUMBER:**  
11023

**DESCRIPTION:**  
PROPOSED  
LANDSCAPE  
PLAN

**SHEET**

**L1.0**