

2203 East Newberry Blvd.

- Built in 1920 as an upscale 2 unit, 3 story duplex.
- Moved to 2203 E. Newberry in 70's as UWM expanded.
- Placed on list of National Historic Residences.
- Purchased in 1994 by Grim's to be brought up to date and to conserve original design.
- One of the selling points was the very large basement: 1,900 square feet.

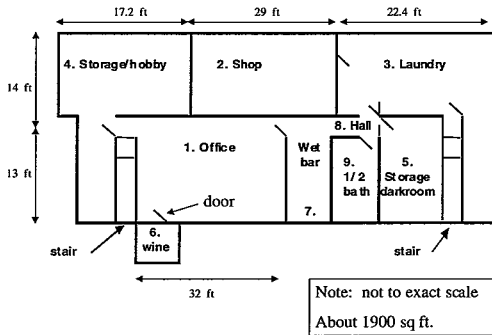
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Chain of events: Newberry flood

- May 8 or 9 (?) water main broken on Maryland and repaired by city.
- May 10, 10 a.m. Mr. Chris Schaaf enters and discovers flooded basement with 1 inch of mud on floors and volcano of mud from drain. State Farm Ins. Notified.
- May 11: Service Master begins cleaning
- May 12: owner notified of flood returns early from business trip in Bangkok.

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2203 E. Newberry Blvd. Basement Floor Plan



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Newberry: Kenway Plumbing

- May 14 (Sunday) 2 men-3 inch pump for 3 hrs and attempt to clean drain, but could not get past 80 ft. Suspect dislocation at main.
- Fresh repair on Maryland found to be bulging city called, dug and finally found absent tile connection from city sewer to our house. Hole pumped for hours to get water out.
- May 15: City still digging-run sewer from T in stack out to 72 feet
- May 16: clean main out to city connection.

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Damage

- 1900 + square feet basement divided into 8 distinct areas including
 - newly renovated office area
 - 1/2 bath
 - workshop
 - laundry room
 - 2 large storage rooms
 - fruit/wine cellar

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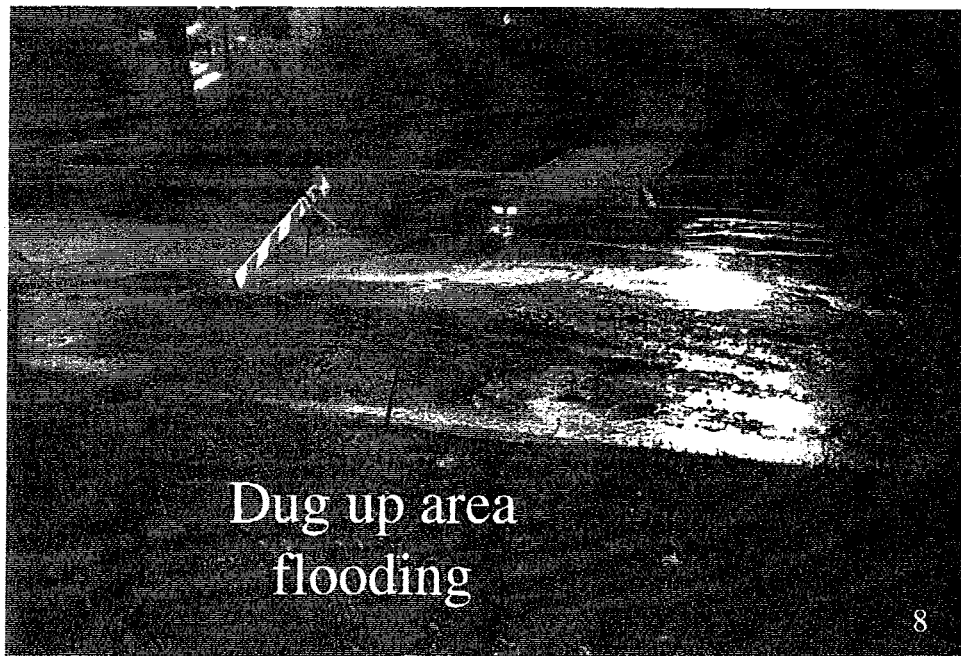
Losses/Claim

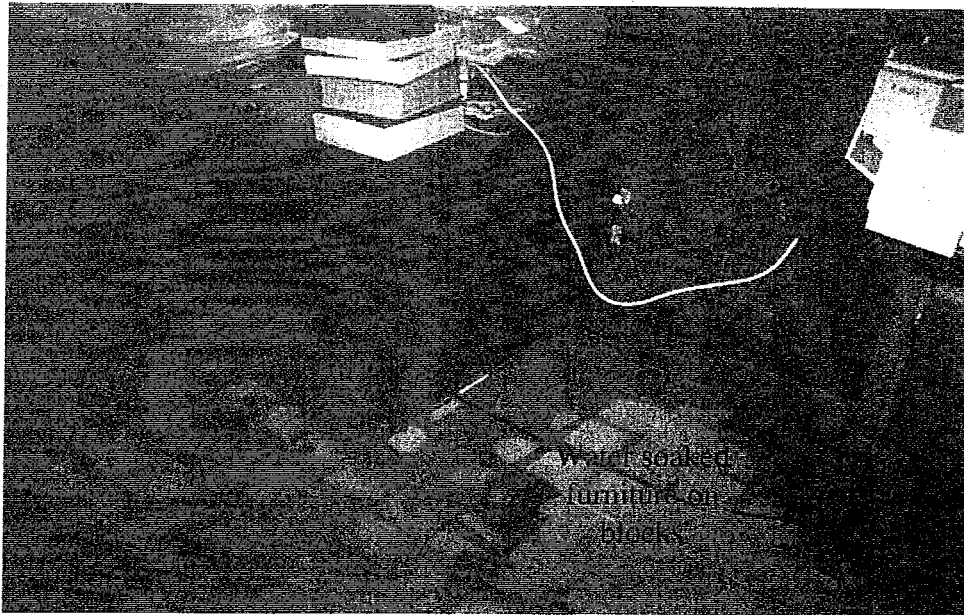
• Clean-up Expenses	\$8,818
• Replace repair damaged furniture, books, clothing, etc.	\$9,170
• Estimate to replace walls, insulation, etc.	<u>\$43,300</u>
Total =	\$61,288
Insurance paid =	3,794
Balance =	\$57,494

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Street View



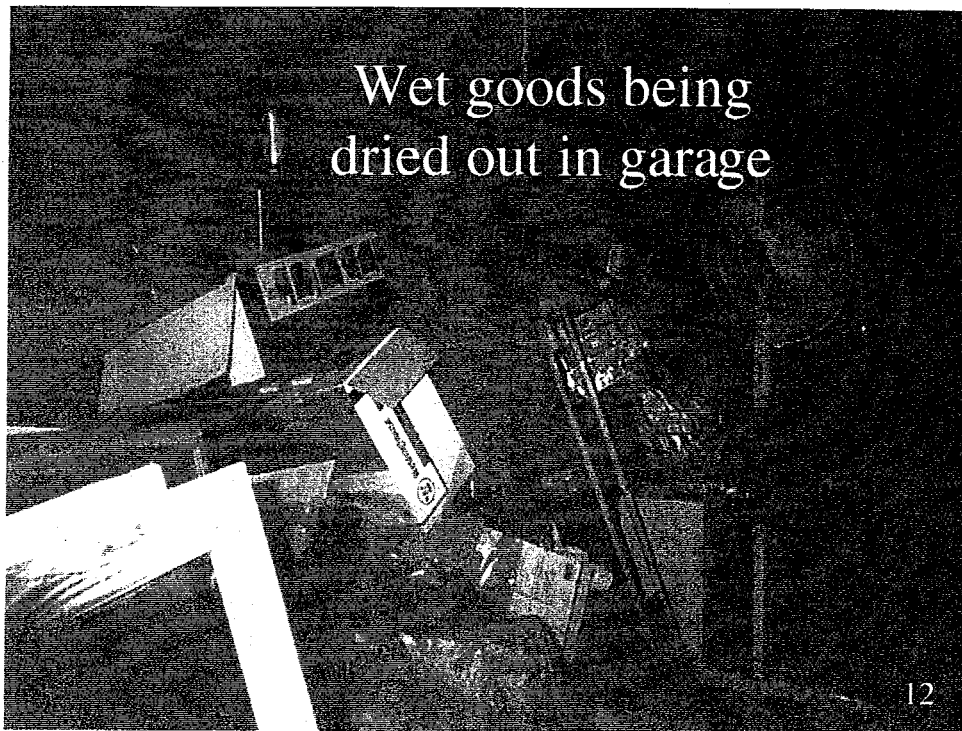
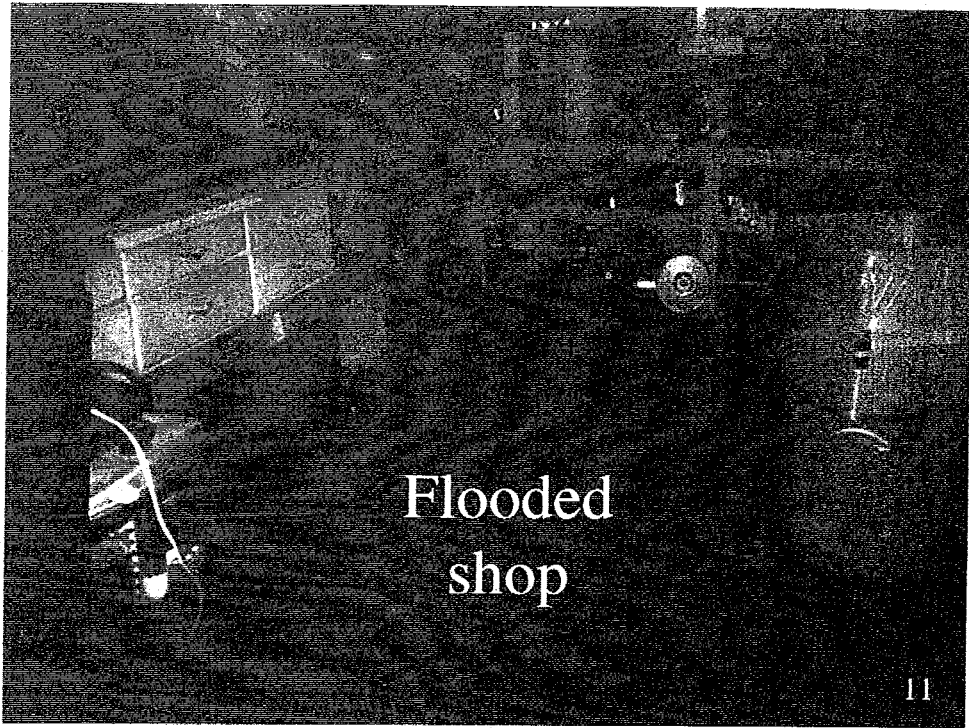


Water soaked
furniture on
blocks

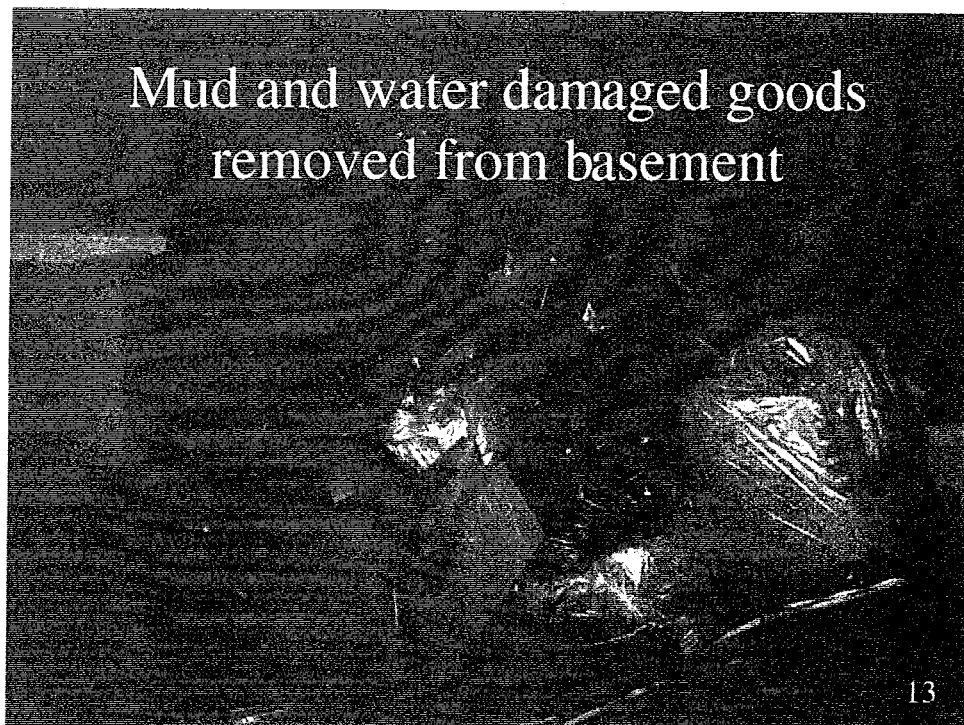
After Clean-up: Area Water/Mud in Basement



Rinned
1/2 bath

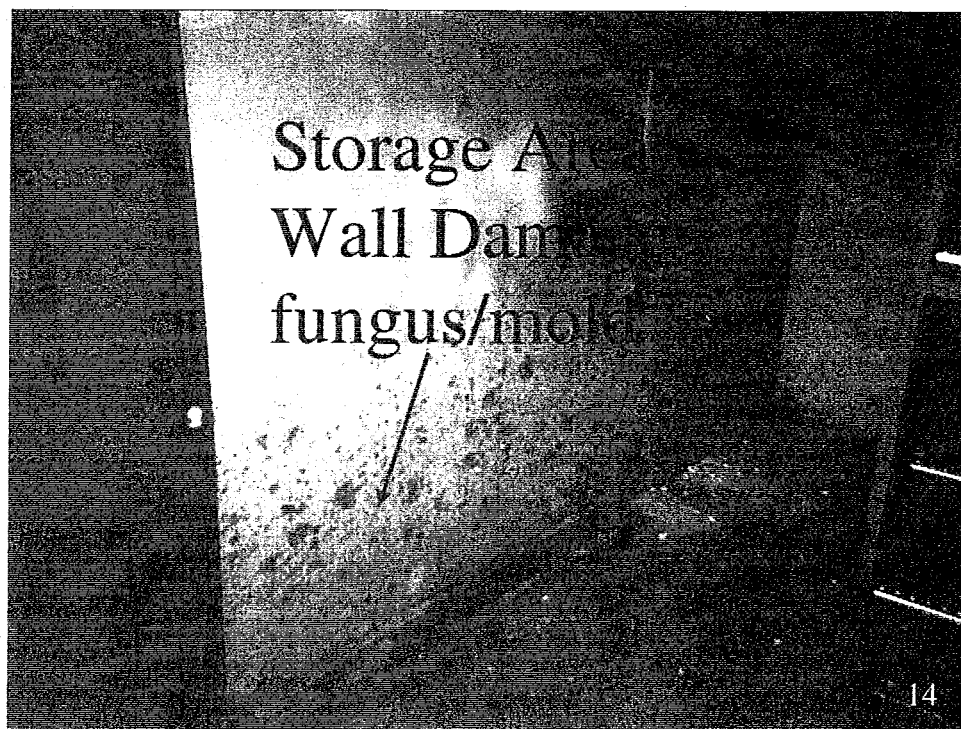


Mud and water damaged goods
removed from basement

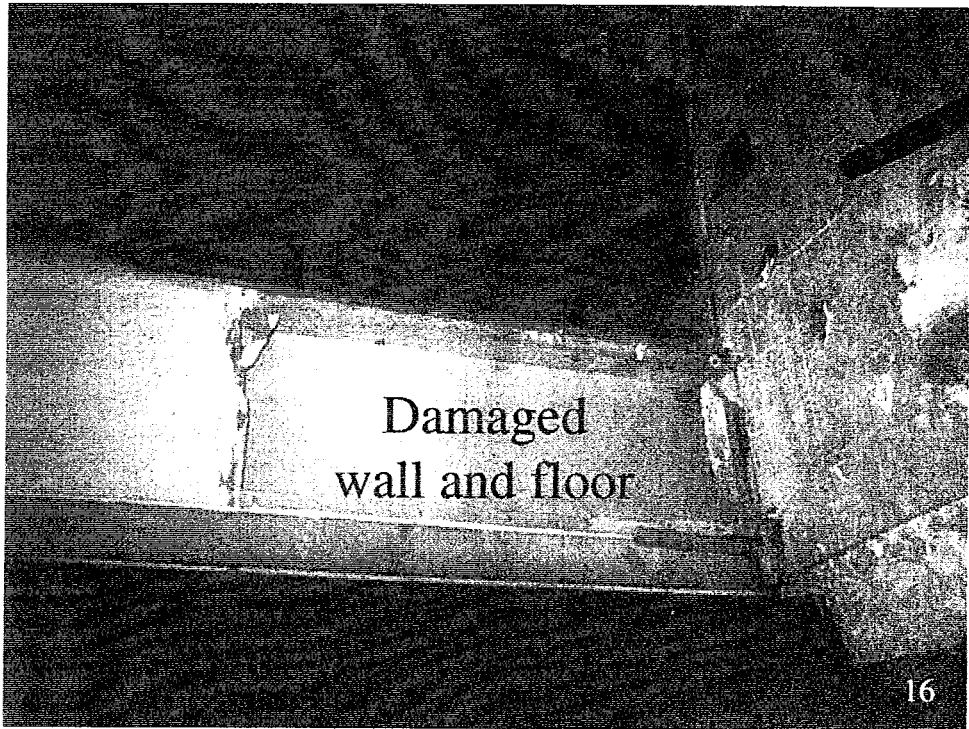
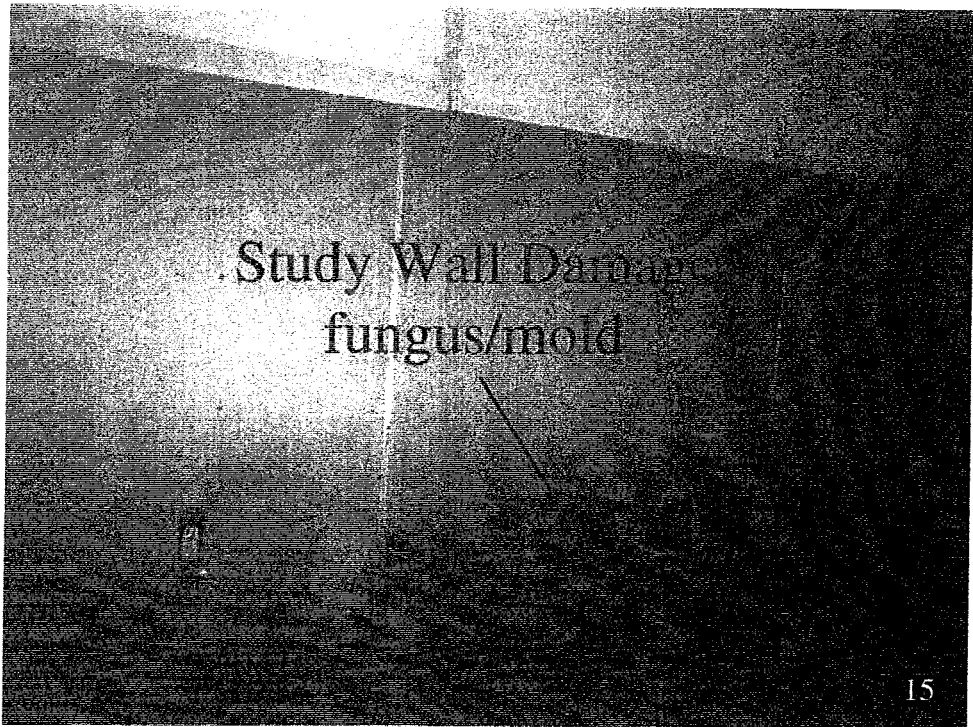


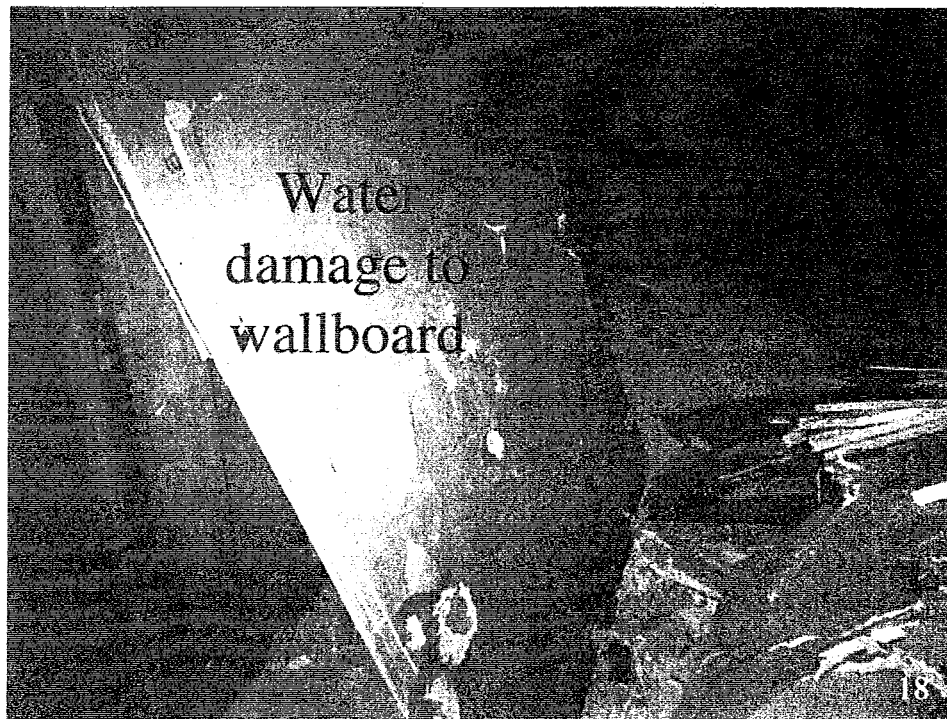
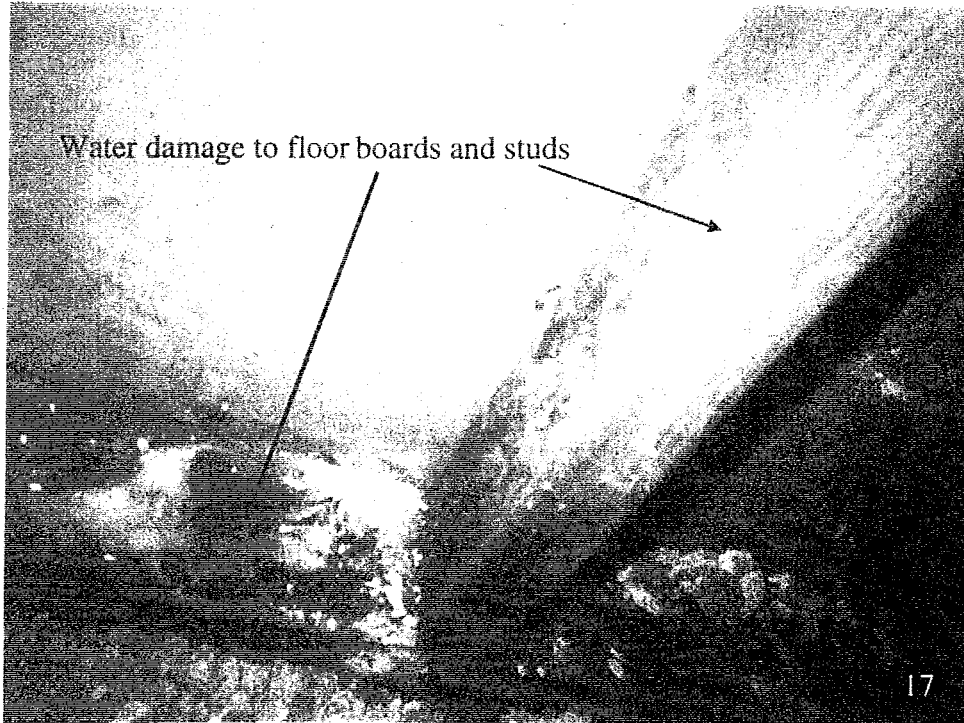
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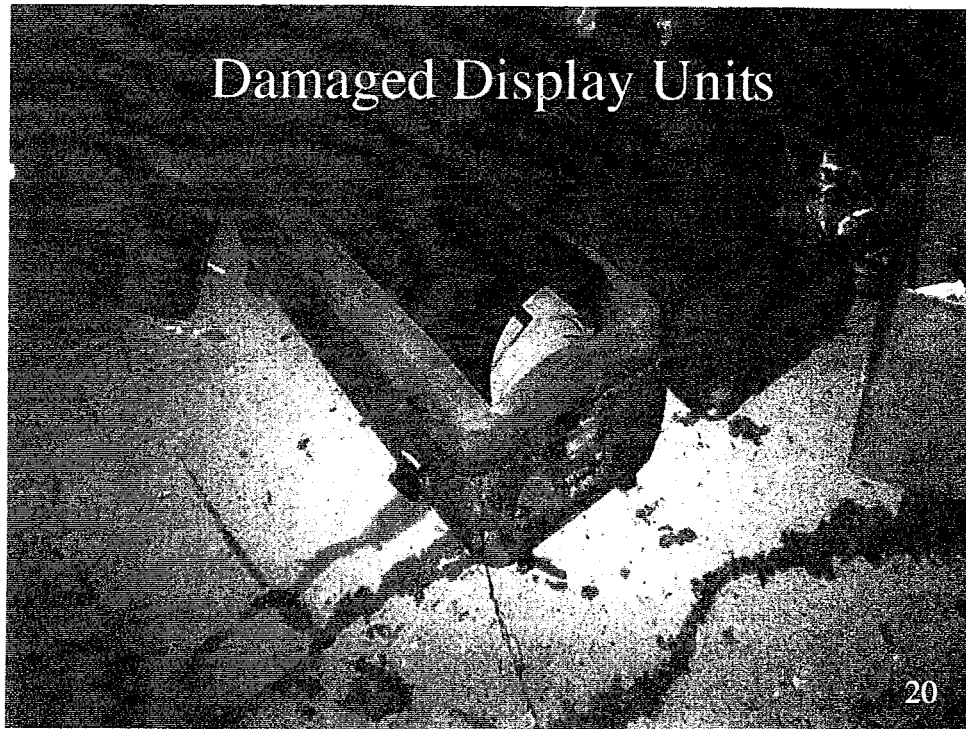
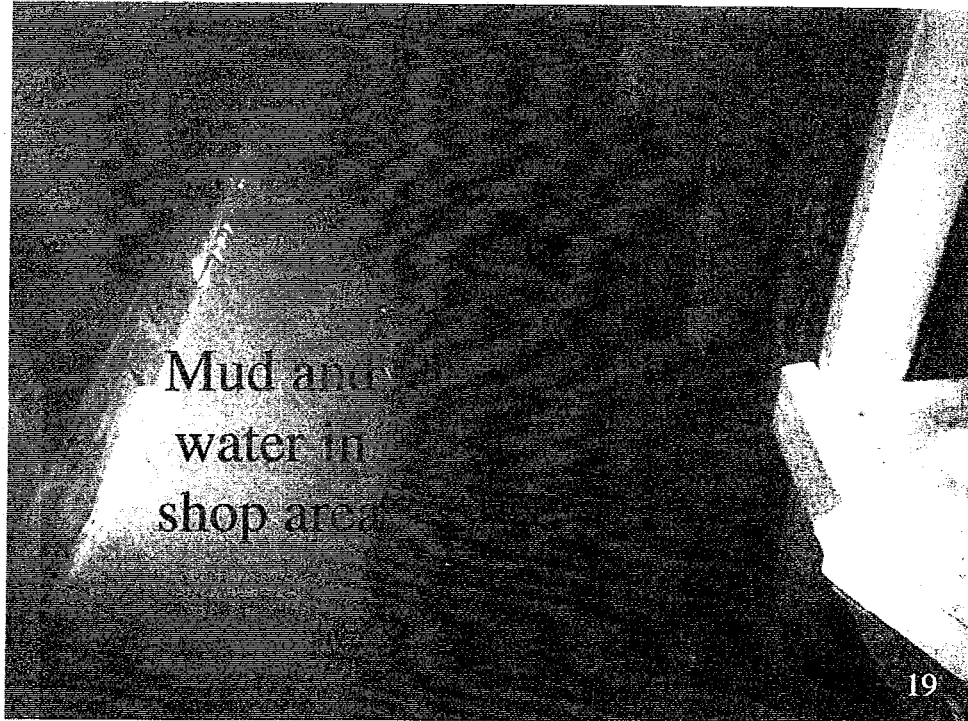
Storage Area
Wall Damage
fungus/mold

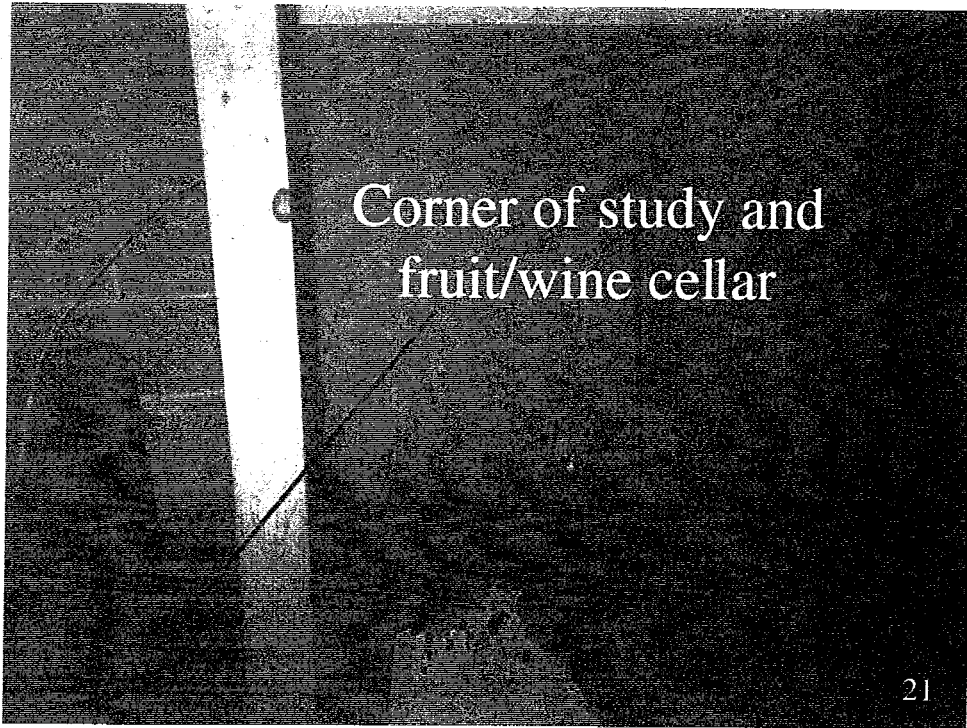


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Corner of study and
fruit/wine cellar

Estimates to Restore Basement

1. Office	(416 sq. ft.)	\$10,500.
2. Shop	(395 sq. ft.)	6,500.
3. Laundry	(374 sq.ft.)	3,700.
4. Storage	(320 sq. ft.)	3,100.
5. Back Stairs/storage	(226 sq. ft.)	4,700.
6. Fruit/Wine Cellar	(78 sq. ft.)	3,500.
7. Wet Bar Area	(50 sq. ft.)	4,500.
8. Hall	(42 sq. ft.)	1,300.
9. Bath	(33 sq. ft.)	<u>5,500.</u>
TOTAL		\$43,300. 22

Communication with City

- Claim hand-delivered to City Office (9/11/00)
- Follow-up phone calls-said being processed.
- Finally-notification of denied claim: states no effort at settlement-yet none offered by city.
- Letter to appear: sent week before date;
 - May-out of town travel
 - June- out of town travel
 - July-requested to be on program- canceled Hypertension Clinic for today.
- No instructions from City on what to present. 23

Summary: 2203 E. Newberry

- City damage to lateral sewer area resulted in \$61,000 damages to property and contents.
- State Farm Insurance paid what we claimed as we thought all should be paid by city and State Farm should not be responsible.
- We have very patiently awaited the justice of the City system to work.
- We want our claim settled ASAP.