

FOREST COUNTY POTAWATOMI COMMUNITY CONCORDIA TRUST PROPERTY

DETAILED PLANNED DEVELOPMENT
NORTH 33RD STREET AND WEST STATE STREET
MILWAUKEE, WI 53202

JULY 29, 2011

REVISED SEPTEMBER 14, 2011

MINOR MODIFICATIONS APRIL 04, 2012

SITE



VICINITY MAP



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April 23, 2012

April 04, 2012

September 01, 2011

September 01, 2011

April 04, 2012

April 04, 2012

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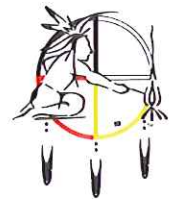
April 23, 2012

April 23, 2012

April 04, 2012

April 23, 2012

April 23, 2012



FOREST COUNTY
POTAWATOMI
Keeper of the Fire



GREENFIRE
MANAGEMENT SERVICES



DETAILED PLANNED DEVELOPMENT

North 33rd Street & West State Street
Milwaukee, WI 53233

PROJECT TEAM

OWNER
Forest County
Potawatomi Community
313 North 13th Street
Milwaukee, WI 53233

DEVELOPMENT MANAGER
Greenfire Management
Services, LLC
320 East Buffalo Street, Suite 607
Milwaukee, WI 53202
Tel: 414.727.6110

DATA CENTER ARCHITECT
TMI
1911 Rohlfing Road, Suite E
Rolling Meadows, IL 60008
Tel: 847.394.8500

CIVIL AND LANDSCAPE
GRAEF
One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214
Tel: 414.259.1500

ARCHITECT
The Kubala Washalco
Architects, Inc
W51 N517 Mequon Avenue
Cedarburg, WI 53012
Tel: 262.377.6039

DATE
July 29, 2011

PROJECT NUMBER
194311

SHEET TITLE

Cover Sheet

SHEET NUMBER

DPD.1

April 23, 2012

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ALTA/ACSM LAND TITLE SURVEY

Known as 3209 and 3215 West Highland Boulevard and 3234 West State Street, in the City of Milwaukee, Milwaukee County, Wisconsin.

Title Commitment No. 1231169

PASCEL B.

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9 and the West 3.5 feet of Lot 10 in Block 2, in State Street Subdivision of a part of Block 4, Flynn's Subdivision, a part of Block 5, in the Subdivision of Block 5 and a part of Lots 3 to 9 in Dousman's Subdivision of the Northeast 1/4 of Section 25, Township 7 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin, including the vacated South 1/2 of all of the East-West alley lying West of a line 12.00 feet East of and parallel to the extended West line of Lot 16 in Block 5 in Subdivision of Block 5 of Subdivision of Lots 10 to 19 inclusive in Dousman's Subdivision, a recorded subdivision in the Northeast 1/4 of Section 25, Township 7 North, Range 21 East, adjoining sold premises on the North.

EXCEPTING from sold Lot 16 the following: Commencing at a point in the South line of said Lot 16, said point lying 13.00 feet West of the Southeast corner of said Lot 16; thence North, 7.07 feet to a point, said point lying 32.00 feet East of the West line of said Lot; thence North and parallel with the West line of said Lot, 176.65 feet to a point in the North line of said Lot; thence West along the North line of said Lot, 20.00 feet to a point, said point lying 12.00 feet East of the Northeast corner of said Lot; thence South and parallel with the West line of said Lot, 181.65 feet to the point of commencement.

July 26, 2011

Forest County Potawatomi Community

Survey No. 165207-RVK



FOREST COUNTY
POTAWATOMI
Keeper of the Fire



GREENFIRE
MANAGEMENT SERVICES, LLC

NewAge
Enterprise Data Centers

TMI
Data Center Thinking

GRAEF

TK
WA
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161 N 1517 Mequon Avenue
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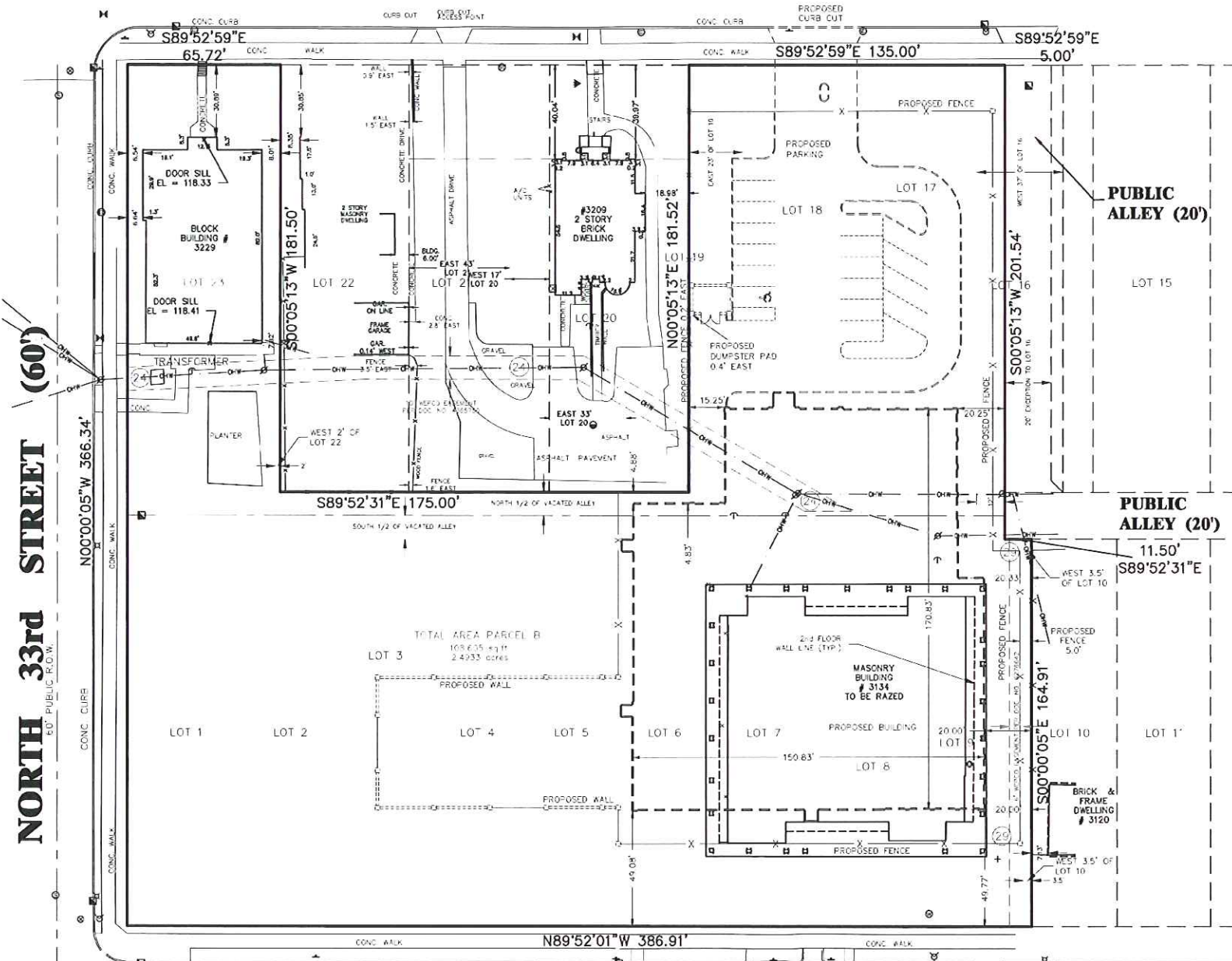
SHEET TITLE
ALTA/ACSM Land
Survey

SHEET NUMBER

DPD.2
April 04, 2012

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WEST HIGHLAND AVE. (130')



NORTH 33rd STREET (60')

WEST STATE STREET (70')

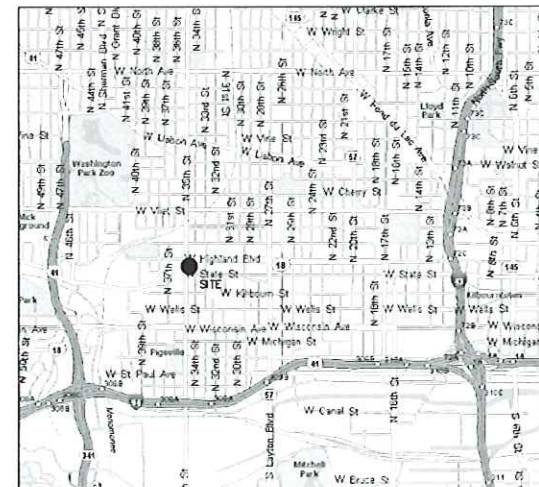
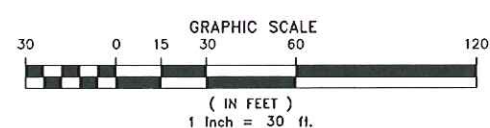
LEGEND

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR SECTION OR 1/4 SECTION CORNER AS DESCRIBED
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- BOLLARD
- SOIL BORING/MONITORING WELL
- FLAGPOLE
- MAILBOX
- SIGN
- BILLBOARD
- CONTROL BOX
- TRAFFIC SIGNAL
- RAILROAD CROSSING SIGNAL
- CABLE PEDESTAL
- POWER POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- SPOT/YARD/PEDESTAL LIGHT
- HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- MARKED FIBER OPTIC
- GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- WATER SURFACE
- WETLANDS FLAG
- MARK
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- S-SANITARY SEWER
- STO-STORM SEWER
- W-WATERMAIN
- O-MARKED GAS MAIN
- E-MARKED ELECTRIC
- OH-OVERHEAD WIRES
- B-BUREAU ELEC. SERV.
- T-MARKED TELEPHONE
- TV-MARKED CABLE TV LINE
- FO-MARKED FIBER OPTIC
- 780-INDICATES EXISTING CONTOUR ELEVATION
- 780.00-INDICATES EXISTING SPOT ELEVATION

DIGGERS HOTLINE WAS NOT CALLED FOR THIS SITE.

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.



- A. Basis of Bearings**
Bearings are based on the South line of West Highland Boulevard which is assumed to bear North 89°52'59" West.
- B. Title Commitment No. 1231169**
This survey was prepared based on Chicago Title Insurance Company title commitment number 1231169, Revised 10/10/07, effective date of September 18, 2007, which lists the following easements and/or restrictions from schedule B-1:
- 1, 6-8, 10. Visible evidence shown in field.
 - 2-5, 9, 30-34. Not survey related.
 - 11, 13-19. Intentionally omitted.
 - 12-17, 20-23, 25-26, 28. Affects Parcel A. (Parcel A not surveyed)
 24. Utility Easement granted to Wisconsin Electric Power Company and Wisconsin Telephone Company recorded as Document No. 4355750. Affects site by location - shown.
 27. Resolution designating the Concordia neighborhood a Historic District, (Historic Preservation Commission) recorded November 15, 1988 as Document No. 6227560. Affects site by location in general in future cannot be plotted.
 29. Utility Easement granted to Wisconsin Electric Power Company recorded as Document No. 6276642. Affects site by location - shown.
- C. Flood Note**
According to flood insurance rate map of the City of Milwaukee, community panel number 5507900087E, effective date of September 26, 2008, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain)
- F. Municipal Zoning**
The basic zoning information listed below is taken from municipal codes and does not reflect all regulations that may apply - site is zoned RT2
Front setback - None
Side yard setback North or West - 3'
Side yard setback South or East - 6'
Rear yard setback - 25'
Maximum height - 45'
- G. Notes**
In accordance with Chapter A-E 7.01 (2) of the Wisconsin Administrative Code, R. A. Smith National Inc. has executed an agreement to waive the setting of monuments on the above described property.
A digital drawing of the foundation plan and site plan were provided by The Kubala Washatko Architects, Inc.

I Certify that I have surveyed the above described property (Property), and the above map is correct to the best of my professional knowledge and belief and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements and roadways and visible encroachments, if any. This survey is made for the exclusive use of the present owners of the Property, and also those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

STEPHAN G. SOUTHWELL
REGISTERED WISCONSIN LAND SURVEYOR S-1939

R.A. Smith National, Inc.
Beyond Surveying
and Engineering

10745 W. Bluemound Road, Brookfield, WI 53005-0005
262-791-1000 Fax 262-791-2774 www.ra-smith.com
Appleton, WI Orange County, CA Pittsburgh, PA
S:\165207\dwg\PS101D30.DWG\PS101D30

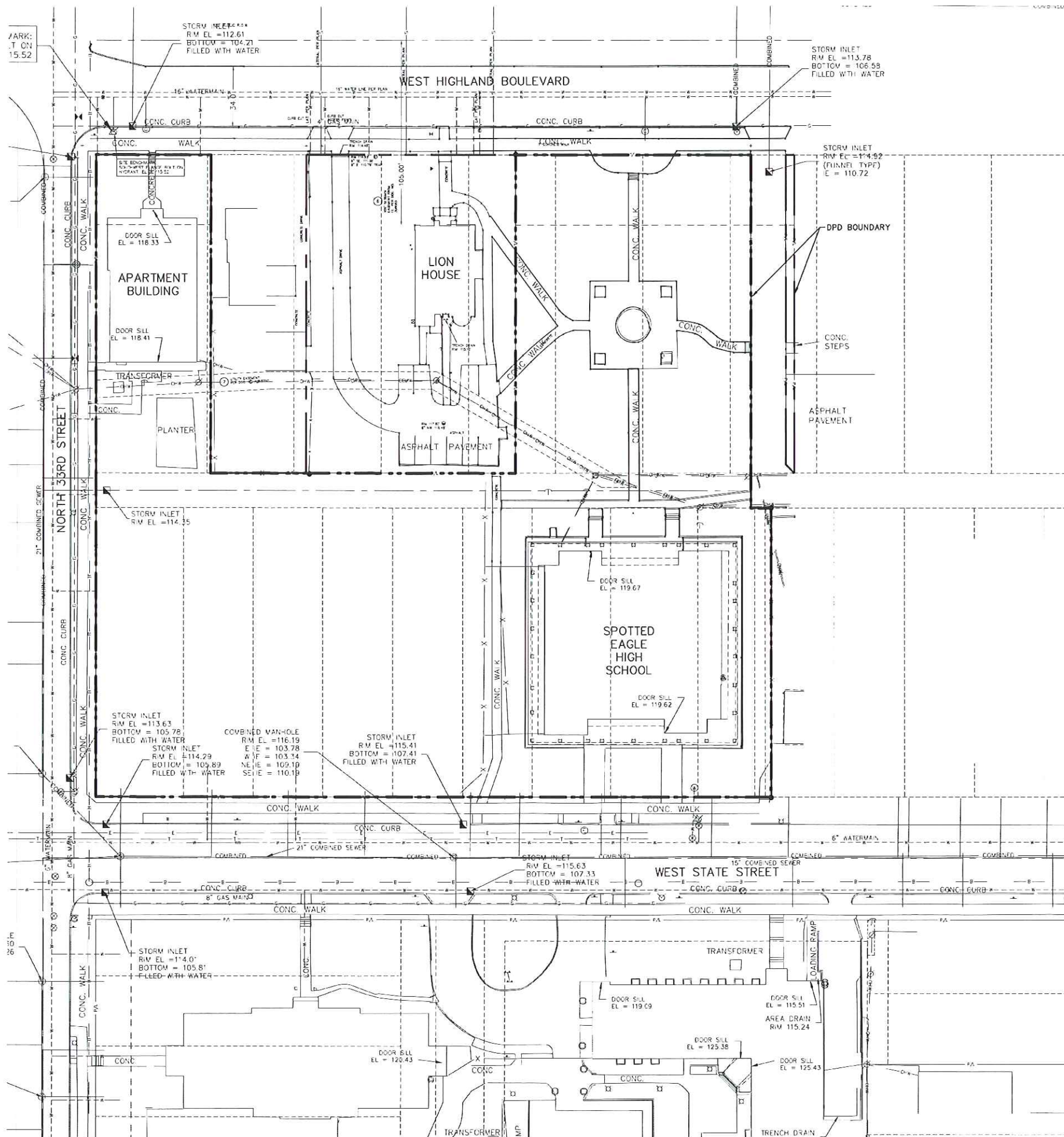
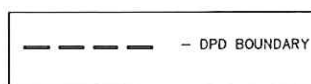


FIGURE GROUND MAP
1" = 300'-0"



LEGAL DESCRIPTION

Known as 3209 and 3215 West Highland Boulevard, in the City of Milwaukee, Milwaukee County, Wisconsin.

Title Commitment No. 1231169

PARCEL B:

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9 and the West 3.5 feet of Lot 10 in Block 2, in State Street Subdivision of a part of Block 4, Flynn's Subdivision, a part of Block 5, in the Subdivision of Block 5 and a part of Lots 3 to 9 in Dousman's Subdivision of the Northwest 1/4 of Section 25, Township 7 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin, including the vacated South 1/2 of all of the East-West alley lying West of a line 12.00 feet East of and parallel to the extended West line of Lot 16 in Block 5 in Subdivision of Block 5 of Subdivision of Lots 10 to 19 inclusive in Dousman's Subdivision, a recorded subdivision in the Northeast 1/4 of Section 25, Township 7 North, Range 21 East, adjoining said premises on the North. ALSO the West 37 feet of Lot 16, all of Lots 17 and 18 and the East 23 feet of Lot 19 also the West 2 feet of Lot 22 and all of Lot 23, all in Block 5 in Subdivision of Block 5 of Subdivision of Lots 10 to 19 inclusive in Dousman's Subdivision, in the Northeast 1/4 of Section 25, Township 7 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin, including the vacated North 1/2 of all of the East-West alley lying West of a line 12.00 feet East of and parallel to the extended West line of Lot 16 in Block 5 in Subdivision of Block 5 of Subdivision of Lots 10 to 19 inclusive in Dousman's Subdivision, a recorded subdivision in the Northeast 1/4 of Section 25, Township 7 North, Range 21 East, adjoining said premises on the South.

EXCEPTING from said Lot 16 the following: Commencing at a point in the South line of said Lot 16, said point lying 12.00 feet East of the Southwest corner of said Lot; thence East along the South line of Lot 16 aforesaid, 25.00 feet to a point, said point lying 13.00 feet West of the Southeast corner of said Lot 16; thence Northwest, 7.07 feet to a point, said point lying 32.00 feet East of the West line of said Lot; thence North and parallel with the West line of said Lot, 176.65 feet to a point in the North line of said Lot; thence West along the North line of said Lot, 20.00 feet to a point, said point lying 12.00 feet East of the Northwest corner of said Lot; thence South and parallel with the West line of said Lot, 181.65 feet to the point of commencement.

Title Commitment No. 1257526

PARCEL A:

The West 27 feet of Lot 19 and the East 33 feet of Lot 20, together with the South 5 feet of the vacated alley adjoining said lot on the North, in Block 5, in Subdivision of Block 5 of the Subdivision of Lots 10 to 19 inclusive, in Dousman's Subdivision, in the Northeast 1/4 of Section 25, Town 7 North, Range 21 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

PARCEL B:

The West 17 feet of Lot 20 and the East 43 feet of Lot 21, in Block 5, in Subdivision of Block 5 of the Subdivision of Lots 10 to 19 inclusive, in Dousman's Subdivision, in the Northeast 1/4 of Section 25, Town 7 North, Range 21 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.



DETAILED PLANNED DEVELOPMENT

North 33rd Street & West State Street
Milwaukee, WI 53233

PROJECT TEAM

- OWNER**
Forest County Potawatomi Community
313 North 13th Street
Milwaukee, WI 53233
- DEVELOPMENT MANAGER**
Greenfire Management Services, LLC
320 East Buffalo Street, Suite 607
Milwaukee, WI 53202
Tel: 414.727.6110
- DATA CENTER ARCHITECT**
TMI
1911 Rohlfing Road, Suite E
Rolling Meadows, IL 60003
Tel: 647.534.6900
- CIVIL AND LANDSCAPE ARCHITECT**
GRAEF
One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214
Tel: 414.259.1500
- ARCHITECT**
The Kubala Washatko Architects, Inc.
W61 N617 Maquon Avenue
Cedarburg WI 53012
Tel: 262.377.6039

DATE
July 29, 2011

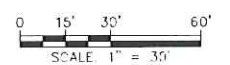
PROJECT NUMBER
194311

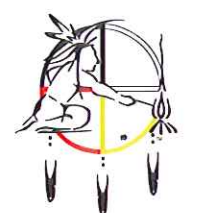
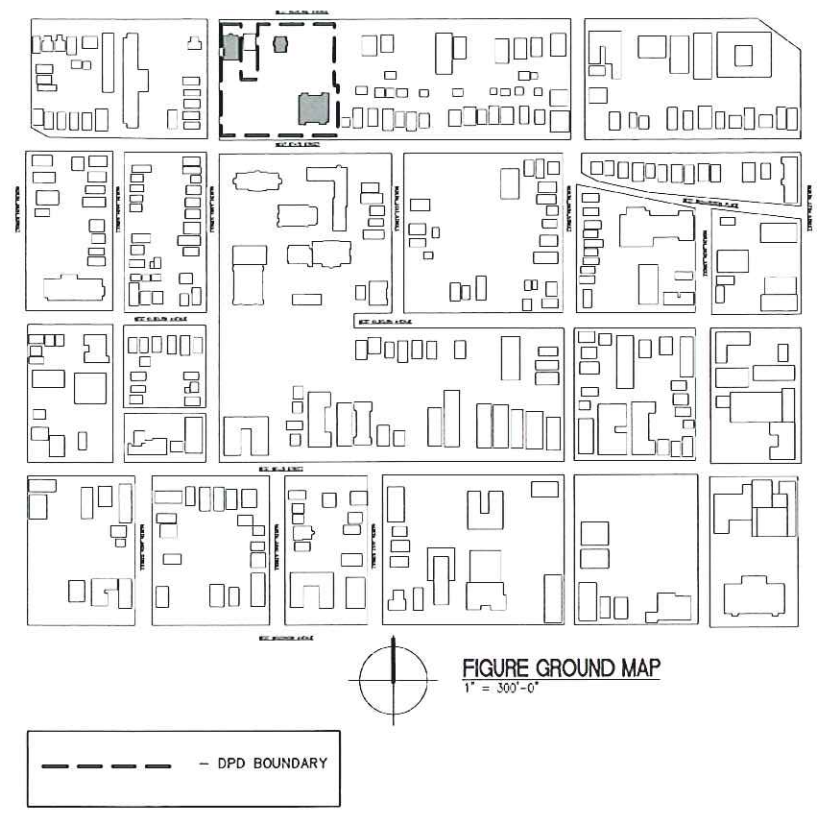
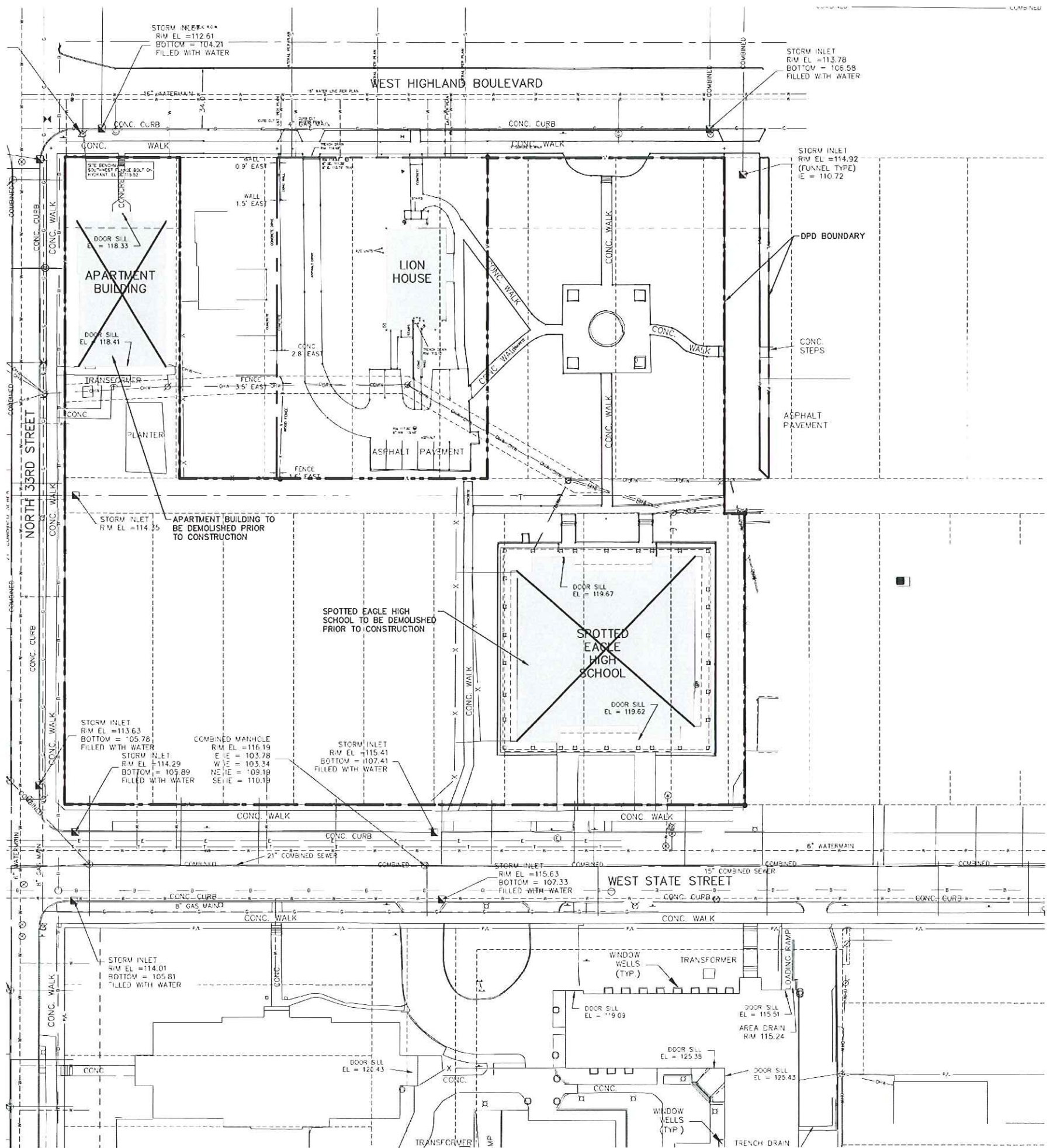
SHEET TITLE
Proposed Project Boundary Description

SHEET NUMBER

DPD.3
September 01, 2011

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FOREST COUNTY
POTAWATOMI
Keeper of the Fire



GREENFIRE
MANAGEMENT SERVICES
NewAge
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TMI
Data Center Thinking →

GRAEF



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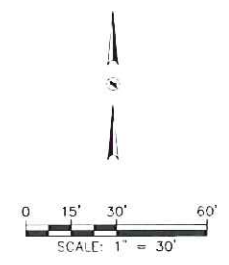
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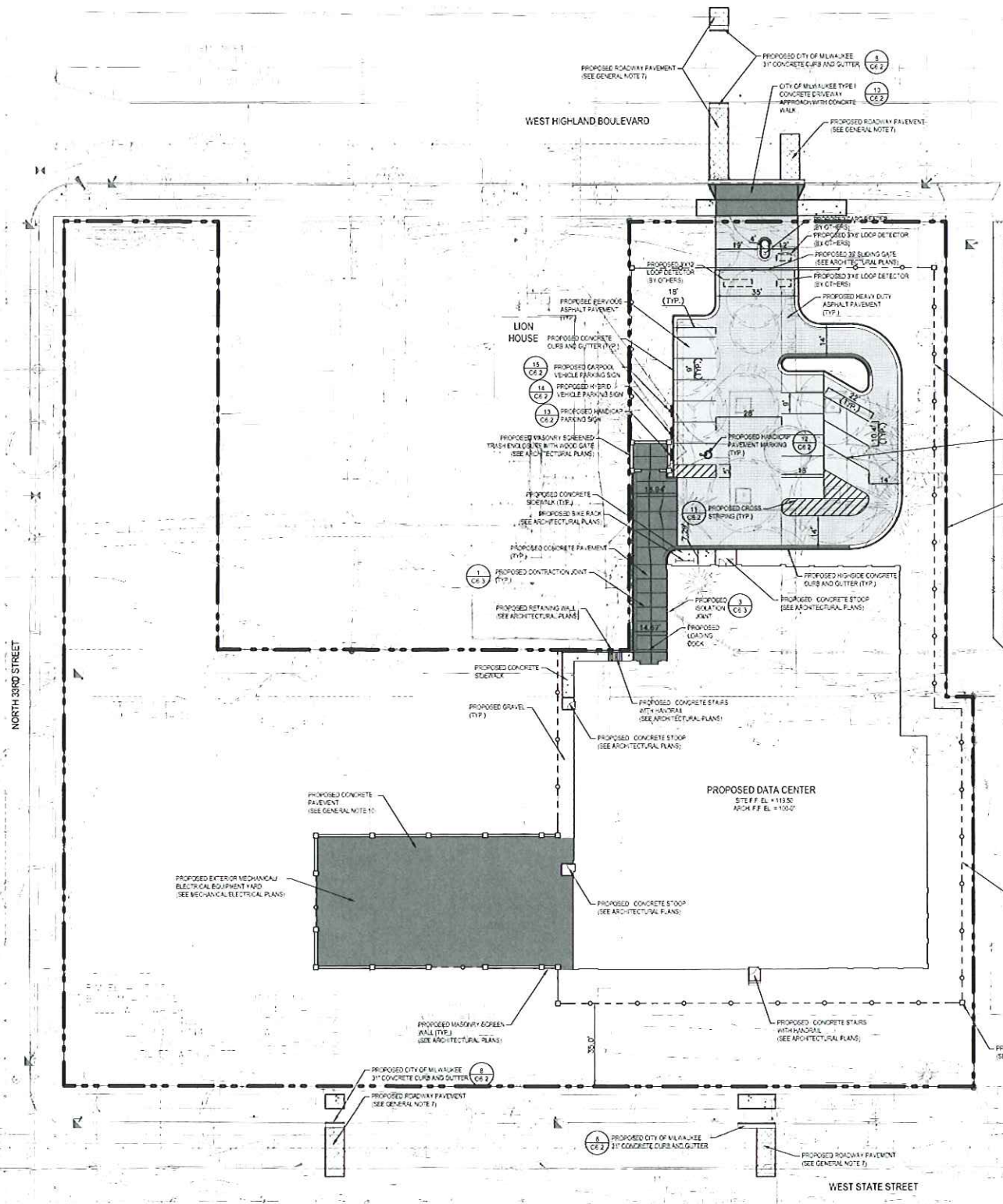
PROJECT NUMBER
194311

SHEET TITLE
**Existing Facilities
Plan**

SHEET NUMBER

DPD-4
April 04, 2012
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GENERAL NOTES

1. BASE PLAN IS A COMBINATION OF FIELD OBSERVATIONS MADE IN MARCH 2012, POST SPOTTED EAGLE HIGH SCHOOL DEMOLITION AND A SURVEY PREPARED BY R.A. SMITH NATIONAL IN 2011. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXACT LOCATION AND TO AVOID DAMAGE THEREOF.
2. REFER TO SHEET 'C1' FOR BENCHMARKS, ELEVATION DATUM, AND TOPOGRAPHIC ELEMENTS SURVEYED BY R.A. SMITH NATIONAL IN 2011.
3. CONTRACTOR SHALL VERIFY LOCATION OF PROPOSED WORK AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK TO ENGINEER.
4. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CURB IS SHOWN.
5. PROPOSED SIDEWALK RAMPS AND DRIVEWAY APPROACH SHALL COMPLY WITH THE CITY OF MILWAUKEE STANDARDS.
6. PROPOSED SLIDING GATE SHALL BE ONE 36 FOOT SLIDING GATE THAT SLIDES TO THE EAST.
7. CONTRACTOR SHALL REPLACE REMOVED SIDEWALK PAVEMENT WITH PAVEMENT OF LIKE KIND, MATCH EXISTING GRADES AND SLOPE IN A MANNER TO ENSURE POSITIVE DRAINAGE.
8. CONTRACTOR SHALL PROVIDE ENGINEER WITH A CONCRETE PAVEMENT FINISH AND JOINTING PLAN FOR REVIEW AND APPROVAL PRIOR TO STARTING WORK. CONTRACTOR SHALL INDICATE POUR SEQUENCE, LOCATION OF CONSTRUCTION CONTRACTION AND ISOLATION JOINTS FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK.
9. THE PROPOSED BUILDING OUTLINE IS SHOWN FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON STAKING OF THE BUILDING.
10. CONTRACTOR SHALL COORDINATE FINAL JOINT LAYOUT WITH FINAL MECHANICAL/ELECTRICAL EQUIPMENT HARD LAYOUT. CONTRACTOR SHALL PROVIDE ENGINEER WITH A CONCRETE PAVEMENT FINISH AND JOINTING PLAN FOR REVIEW AND APPROVAL PRIOR TO STARTING WORK. CONTRACTOR SHALL INDICATE POUR SEQUENCE, LOCATION OF CONSTRUCTION CONTRACTION AND ISOLATION JOINTS FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK.
11. SEE LANDSCAPE DRAWINGS FOR FINAL SITE RESTORATION INFORMATION AND DETAILS.

LEGEND

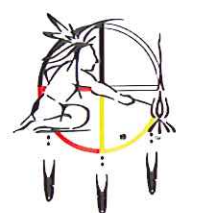
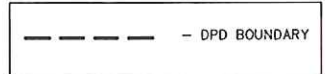
- 1. PROPOSED PERVIOUS ASPHALT PAVEMENT (1) (CE 1)
- 2. PROPOSED HEAVY DUTY ASPHALT PAVEMENT (2) (CE 2)
- 3. PROPOSED CONCRETE SIDEWALK (3) (CE 3)
- 4. PROPOSED CONCRETE PAVEMENT (4) (CE 4)
- 5. PROPOSED ROADWAY PAVEMENT (5) (CE 5)
- 6. PROPOSED GRAVEL (6) (CE 6)
- 7. PROPOSED HIGH-SIDE CONCRETE CURB AND GUTTER (7) (CE 7)
- 8. ADA RAMP WITH TRUNCATED DOME PANELS (8) (CE 8)

PARKING SUMMARY

- 14 REGULAR PARKING STALLS
- 1 LION HOUSE ON VEHICLE PARKING STALL
- 1 HANDICAP PARKING STALL
- 1 GARAGE VEHICLE PARKING STALL
- 17 TOTAL PARKING STALLS



FIGURE GROUND MAP
1" = 300'-0"



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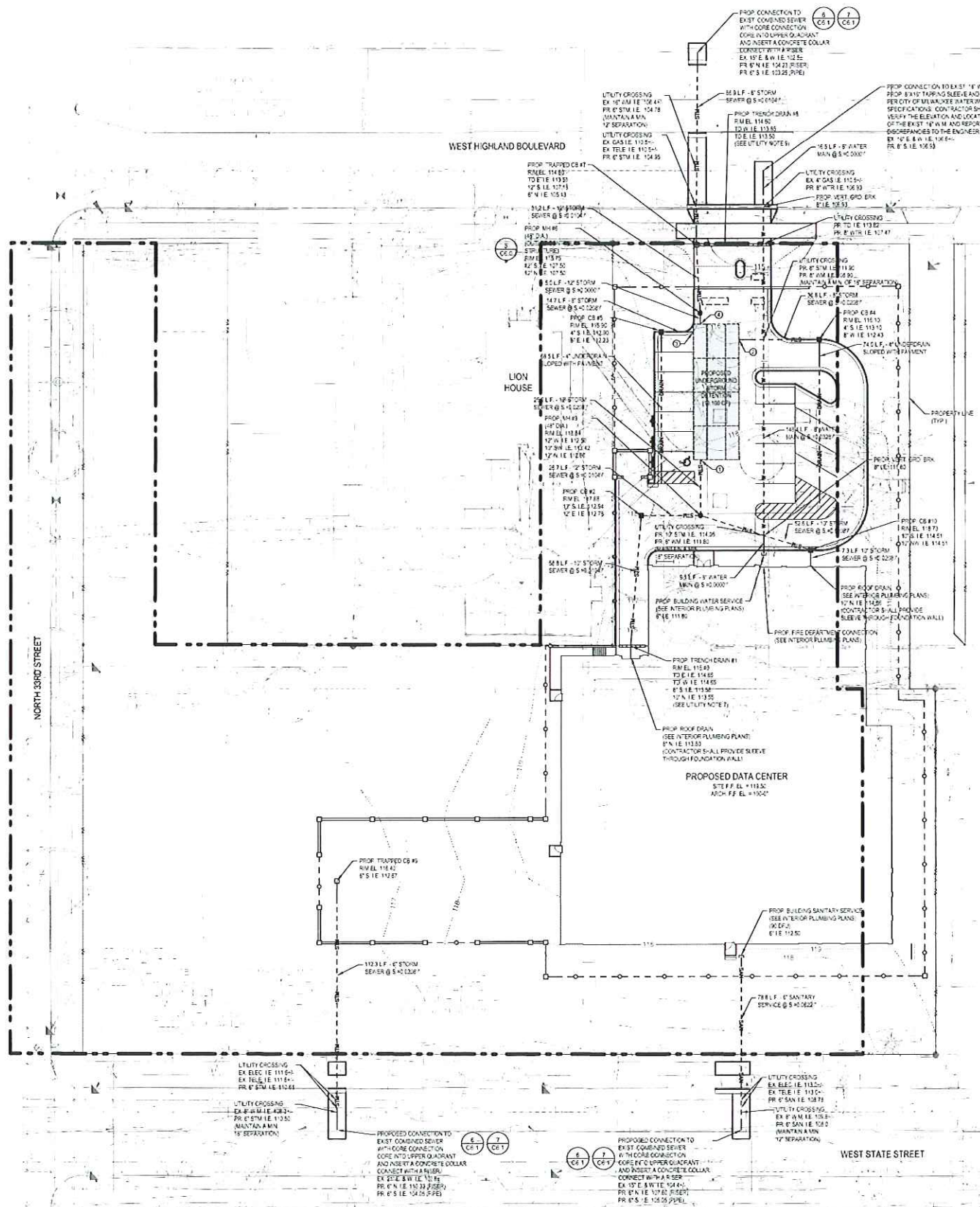
PROJECT NUMBER
194311

SHEET TITLE
Proposed Building and Parking Site Plan

SHEET NUMBER

DPD.5
April 04, 2012

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PROPOSED UNDERGROUND DETENTION CONNECTIONS

- ① 12" S.I.E. 11138
- ② 8" S.I.E. 11137
- ③ 6" S.I.E. 11132
- ④ 12" S.I.E. 11215

GENERAL NOTES

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2. REFER TO SHEET C13 FOR BENCHMARKS, ELEVATION DATUM, AND TOPOGRAPHIC ELEMENTS SURVEYED BY R.A. SMITH NATIONAL IN 2007.
3. CONTRACTOR SHALL VERIFY LOCATION OF PROPOSED WORK AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK TO ENGINEER.

UTILITY NOTES

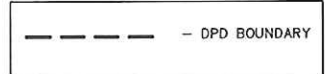
1. CONTRACTOR SHALL VERIFY ELEVATIONS OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL HAVE GRANULAR BACKFILL. ALL UTILITIES IN CITY RIGHT-OF-WAY SHALL CONFORM TO CITY OF MILWAUKEE STANDARDS.
3. STORM SEWERS SHALL BE ASTM 2524 15" OR 16" OR APPROXIMATE EQUAL ROOF DRAINS AND SANITARY SERVICES SHALL BE ASTM 2524 15" OR 16" OR APPROXIMATE EQUAL WATER SERVICES IN PRIVATE ROOF-OF-WAY SHALL BE DUCTILE IRON 36" WATER MAIN UTILITIES LOCATED IN CITY RIGHT-OF-WAY SHALL CONFORM TO CITY OF MILWAUKEE STANDARDS.
4. 15" ELEVATIONS IN CURBS AND GUTTERS ARE FLANGE GRACES.
5. TRENCH DRAIN SHALL BE A MINIMUM DEPTH OF 8".
6. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL SET 18" TOTAL TO STREET OUTSIDE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
7. THE CONTRACTOR SHALL RECESS THE BOTTOM OF THE TRENCH DRAIN TO ACCOMMODATE THE 8" INLET AND 12" OUTLET PIPES. CONTRACTOR SHALL ALSO PROVIDE A WATER TIGHT CONNECTION TO THE TRENCH DRAIN FROM BOTH THE INLET AND TO OUTLET PIPE. THE TRENCH DRAIN SHALL BE SLOPED TO THE CENTER AT A MINIMUM OF 1:100'.
8. CONTRACTOR SHALL PROVIDE WATER TIGHT CONNECTIONS TO THE PROPOSED UNDERGROUND STORM/WATER DETENTION STRUCTURE.
9. THE CONTRACTOR SHALL SLOPE BOTTOM OF TRENCH DRAIN FROM EAST TO WEST AT A MINIMUM SLOPE OF 1:100' AND PROVIDE A WATER TIGHT CONNECTION TO THE TRAPPED CATCH BASIN.
10. CONTRACTOR SHALL PROVIDE INSULATION FOR ALL PROPOSED ROOF DRAIN CONNECTIONS PER DETAIL C13/C11.

LEGEND

- STM — PROPOSED STORM SEWER
- W — PROPOSED WATER SERVICE
- SAN — PROPOSED SANITARY SERVICE
- PROPOSED CATCH BASIN
- PROPOSED TRAPPED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED TRENCH DRAIN
- EX — EXISTING CONTOUR
- PR — PROPOSED CONTOUR



FIGURE GROUND MAP
1" = 300'-0"



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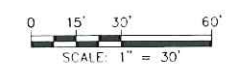
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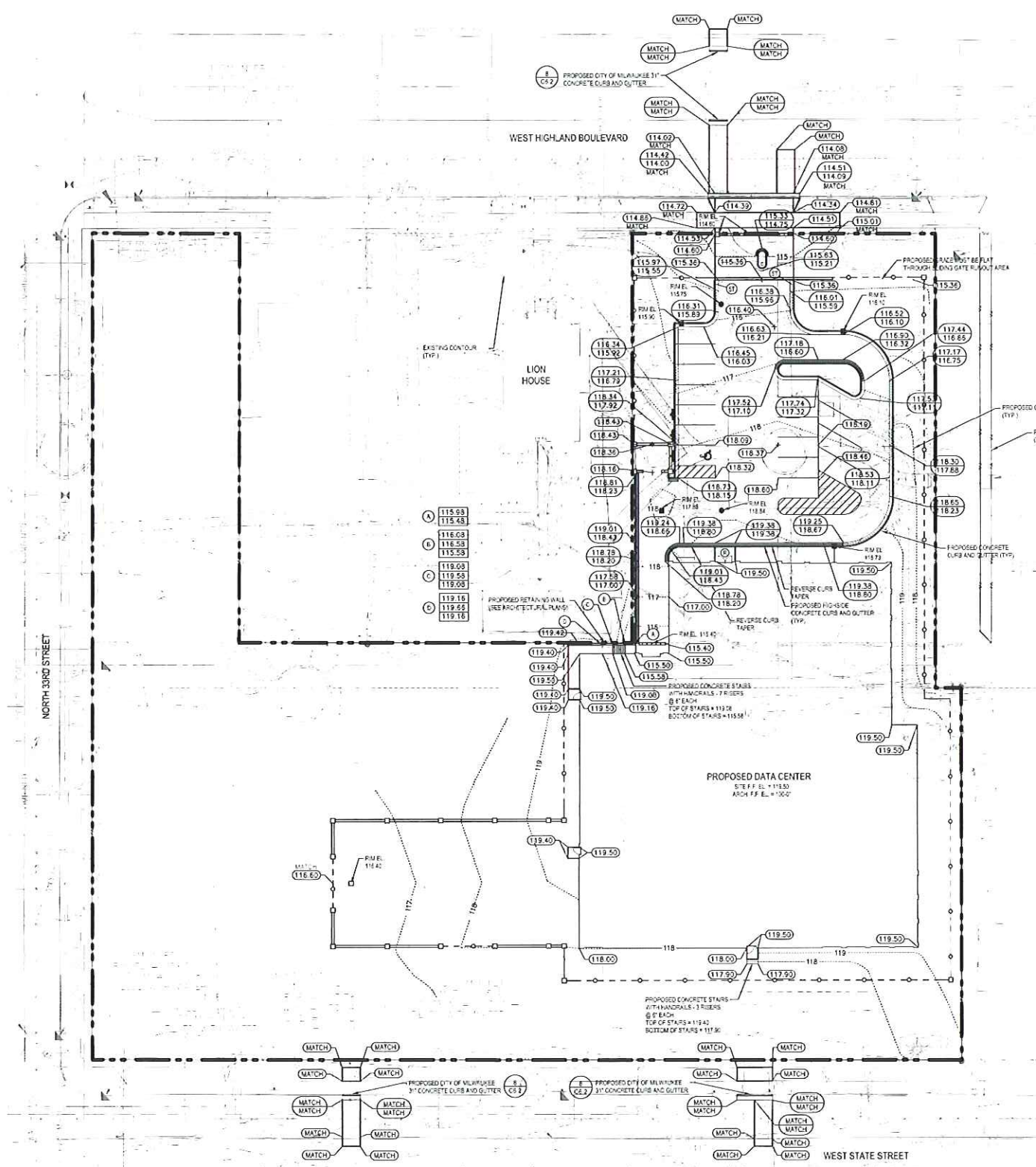
SHEET TITLE
Proposed Utility Plan

SHEET NUMBER

DPD.6
April 04, 2012

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GENERAL NOTES

1. BASE PLAN IS A COMBINATION OF FIELD CENSUS, 4" X 6" SCALE IN MARCH 2012, POST SPOTTED EAGLE HIGH SCHOOL DEMOLITION, AND A SURVEY PREPARED BY R.A. SMITH NATIONAL IN 2007. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXACT LOCATION AND TO PROVIDE DAMAGE THERETO.
2. REFER TO SHEET C-1 FOR BENCHMANS, ELEVATION DATUM, AND TOPOGRAPHIC ELEVATIONS SURVEYED BY R.A. SMITH NATIONAL IN 2007.
3. CONTRACTOR SHALL VERIFY LOCATION OF PROPOSED WORK AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK TO ENGINEER.

GRADING NOTES

1. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ACCESSIBLE ROUTE AND A MAXIMUM SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS WITHIN AN ADA PARKING STALL AND ADJACENT UNLOADING ZONE.
2. R/W ELEVATIONS IN CURBS AND GUTTER ARE FLANGE GRADES.

LEGEND

- (117.17) - PROPOSED TOP OF CURB GRADE
- (116.75) - PROPOSED FLANGE GRADE
- (119.16) - PROPOSED FINISHED GRADE NORTH SIDE OF WALL
- (119.66) - PROPOSED TOP OF WALL GRADE
- (119.16) - PROPOSED FINISHED GRADE SOUTH SIDE OF WALL
- (888.88) - PROPOSED SPOT GRADE
- 118 - EXISTING CONTOUR
- 118 - PROPOSED CONTOUR
- - PROPOSED MANHOLE
- - PROPOSED TRAPPED CATCH BASIN
- - PROPOSED FRENCH DRAIN
- ▬ - PROPOSED HIGH-SIDE CONCRETE CURBS AND GUTTER
- ▬ - PROPOSED CONCRETE CURBS AND GUTTER
- - PROPOSED ADA RAMP WITH TRAPEZOIDAL DOME PANELS
- - PROPOSED 5 CURB TAPER

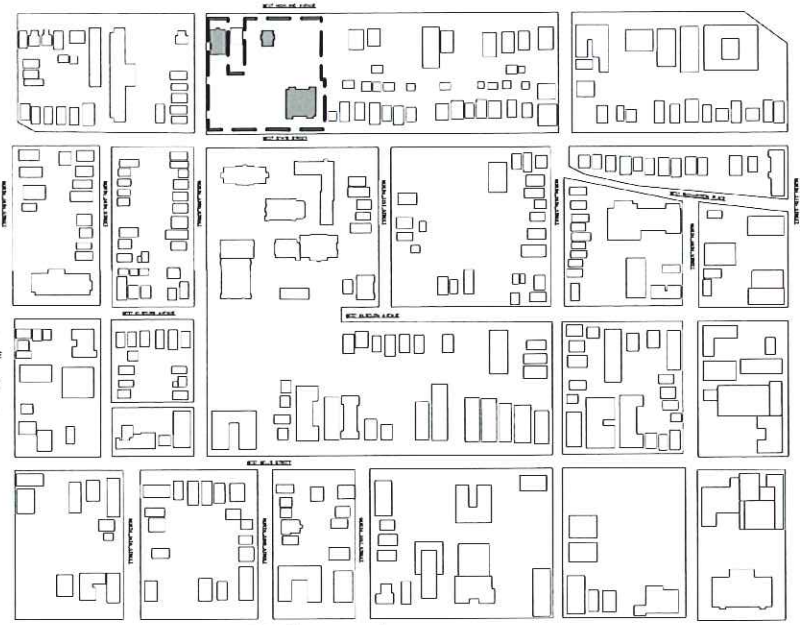
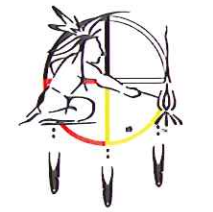
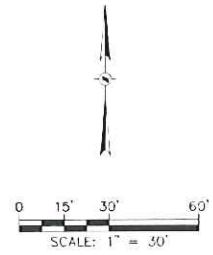


FIGURE GROUND MAP
1" = 300'-0"

--- - DPD BOUNDARY



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DATE
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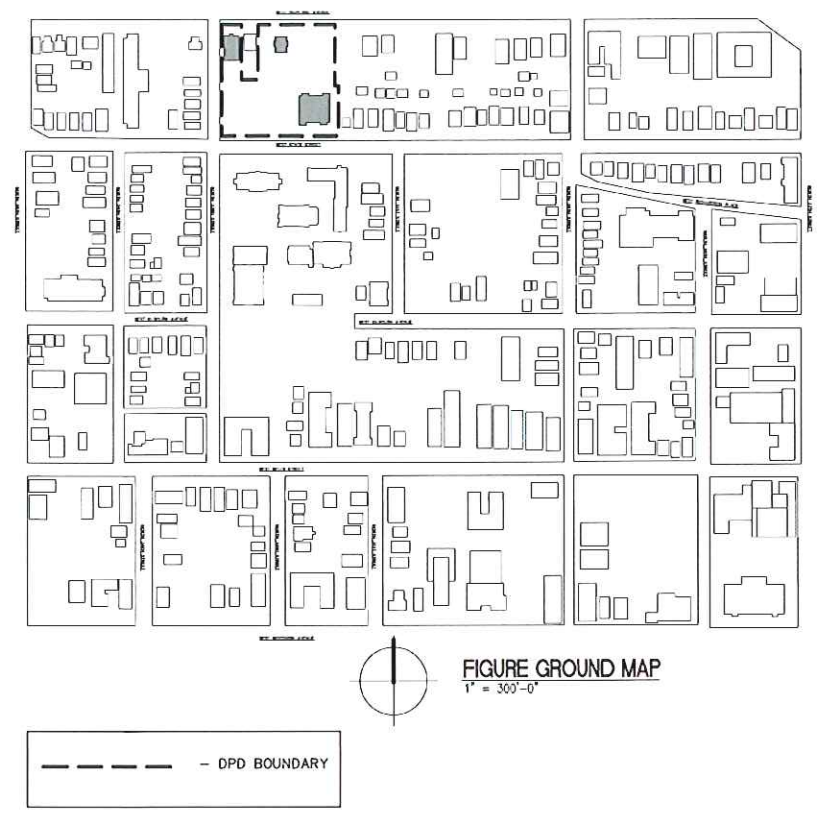
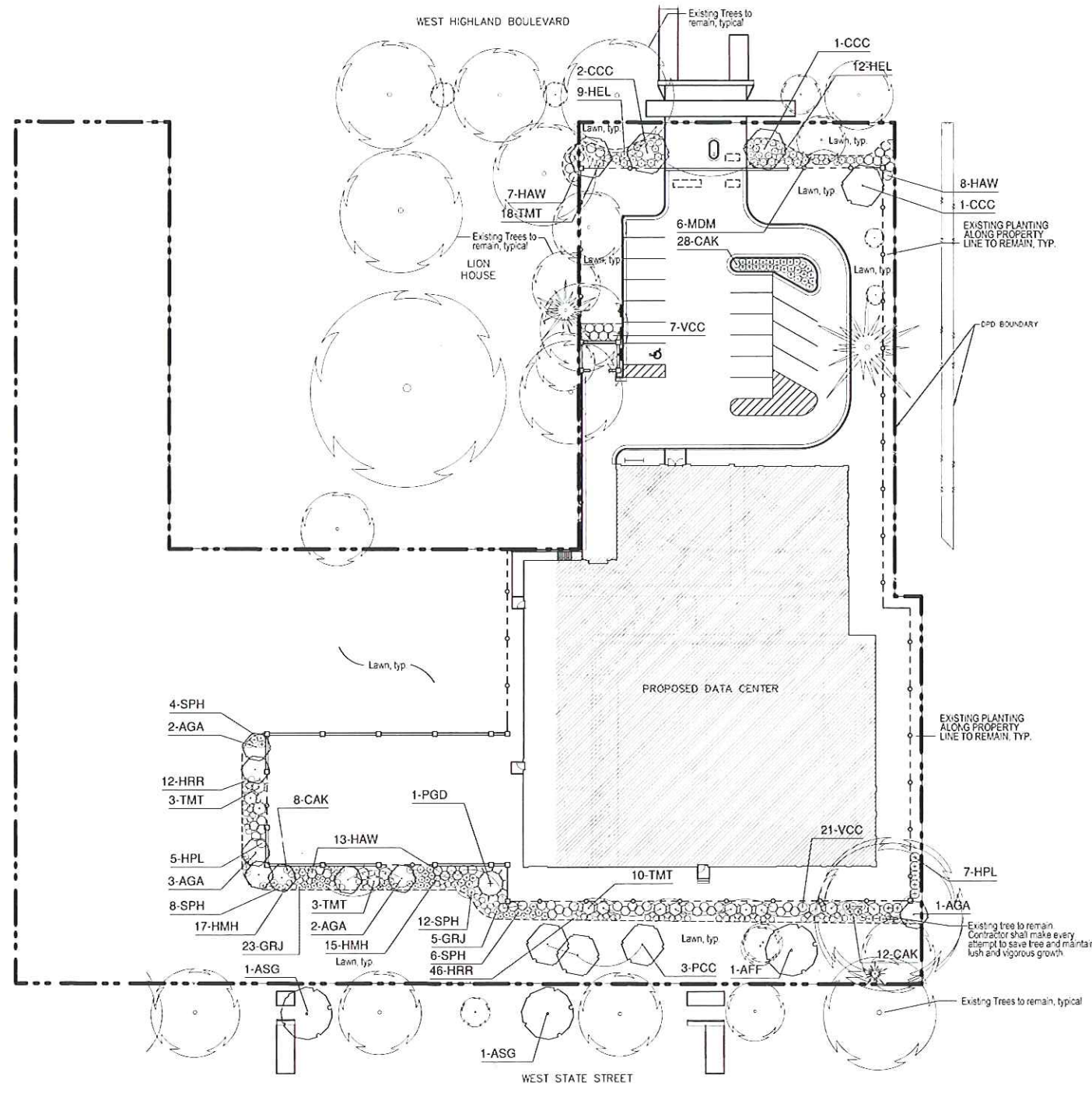
SHEET TITLE

**Proposed Grading
Plan**

SHEET NUMBER

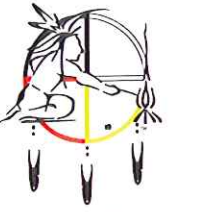
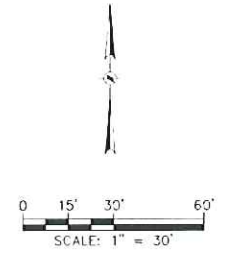
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PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE SIZE
SHADE TREES					
ASG	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5' BB	as shown	45h x 35w
AFF	Acer x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	2.5' BB	as shown	40h x 30w
EVERGREEN TREES					
PGD	Picea glauca var. densata	Black Hills Spruce	6'-8'-10' BB	as shown	20-40h x 15-25w
ORNAMENTAL TREES					
AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	10'-12'clump BB	as shown	20h x 15w
CCC	Cercis canadensis 'Columbus'	Eastern Redbud	10'-12'clump BB	as shown	20h x 20w
DECIDUOUS SHRUBS					
HAW	Hydrangea arborescens 'White Dome'	White Dome Hydrangea	36" cont	5'	4-6h x 4-5w
HPL	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	36" cont	6'	6-8h x 6-8w
VOC	Viburnum carlesii 'compactum'	Compact Koreanspice Viburnum	36" BB	4'	5h x 5w
EVERGREEN SHRUBS					
TMT	Taxus x media 'Tauntonii'	Taunton Spreading Yew	36" N	5'	3-4h x 4-6w
PERENNIALS					
GRJ	Goranium 'Johnson's Blue'	Johnson's Blue Goranium	1 gal	18"	18" h x 24" w
HMH	Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gal	18"	16" h x 18" w
HRR	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	1 gal	18"	18" h x 18"-20" w
HEL	Hosta 'Elegans'	Elegans Hosta	1 gal	36"	36" h x 48" w
MDM	Monarda 'Marshall's Delight'	Marshall's Delight Bee Balm	1 gal	24"	28" h x 24" w
ORNAMENTAL GRASSES					
CAK	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	36"	5h x 30" w
SPH	Sporobolus heterolepis	Prairie Dropseed	1 gal	24"	24-48" h x 18"-24" w



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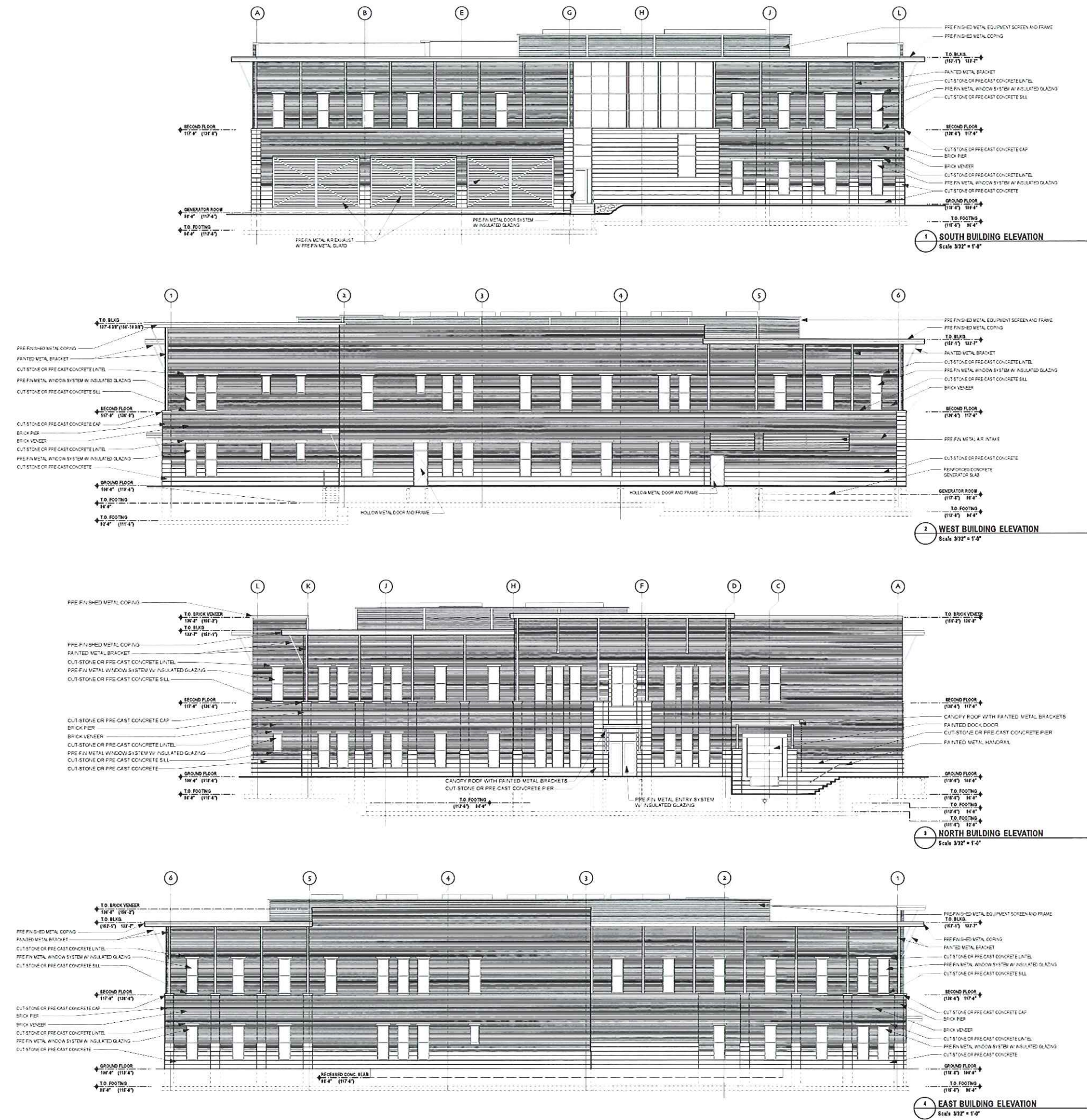
Proposed Landscape Plan

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DPD-8

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SHEET TITLE
Proposed Building Elevations

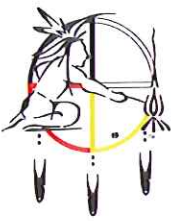
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DPD-9
April 23, 2012

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1 PROPOSED SOUTH ELEVATION
3/32"=1'-0"

FOREGROUND TREES/LANDSCAPING OMITTED FOR CLARITY



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**Proposed Building
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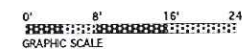
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2 PROPOSED WEST ELEVATION
3/32"=1'-0"

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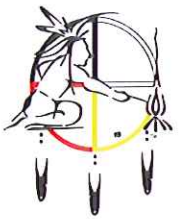
1 PROPOSED NORTH ELEVATION
3/32"=1'-0"

FOREGROUND TREES/LANDSCAPING OMITTED FOR CLARITY



2 PROPOSED EAST ELEVATION
3/32"=1'-0"

FOREGROUND TREES/LANDSCAPING OMITTED FOR CLARITY



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SHEET TITLE
**Proposed Building
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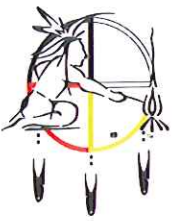
DPD-9b



1 VIEW LOOKING SOUTHEAST FROM HIGHLAND BOULEVARD, LION HOUSE AT RIGHT
 FOREGROUND TREES/LANDSCAPING OMITTED FOR CLARITY



2 VIEW LOOKING SOUTHWEST FROM HIGHLAND BOULEVARD
 FOREGROUND TREES/LANDSCAPING OMITTED FOR CLARITY



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1 VIEW LOOKING NORTHWEST FROM WEST STATE STREET
 FOREGROUND TREES/LANDSCAPING OMITTED FOR CLARITY



2 VIEW LOOKING NORTHEAST FROM WEST STATE STREET
 FOREGROUND TREES/LANDSCAPING OMITTED FOR CLARITY



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