

NOVA
1237 N Van Buren St
Milwaukee, WI 53202

Detailed Plan Development Submittal
File Number: 201143



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DEVELOPER



Tim Gokhman
Director
1840 North Farwell Avenue
Milwaukee, WI 53202

CIVIL



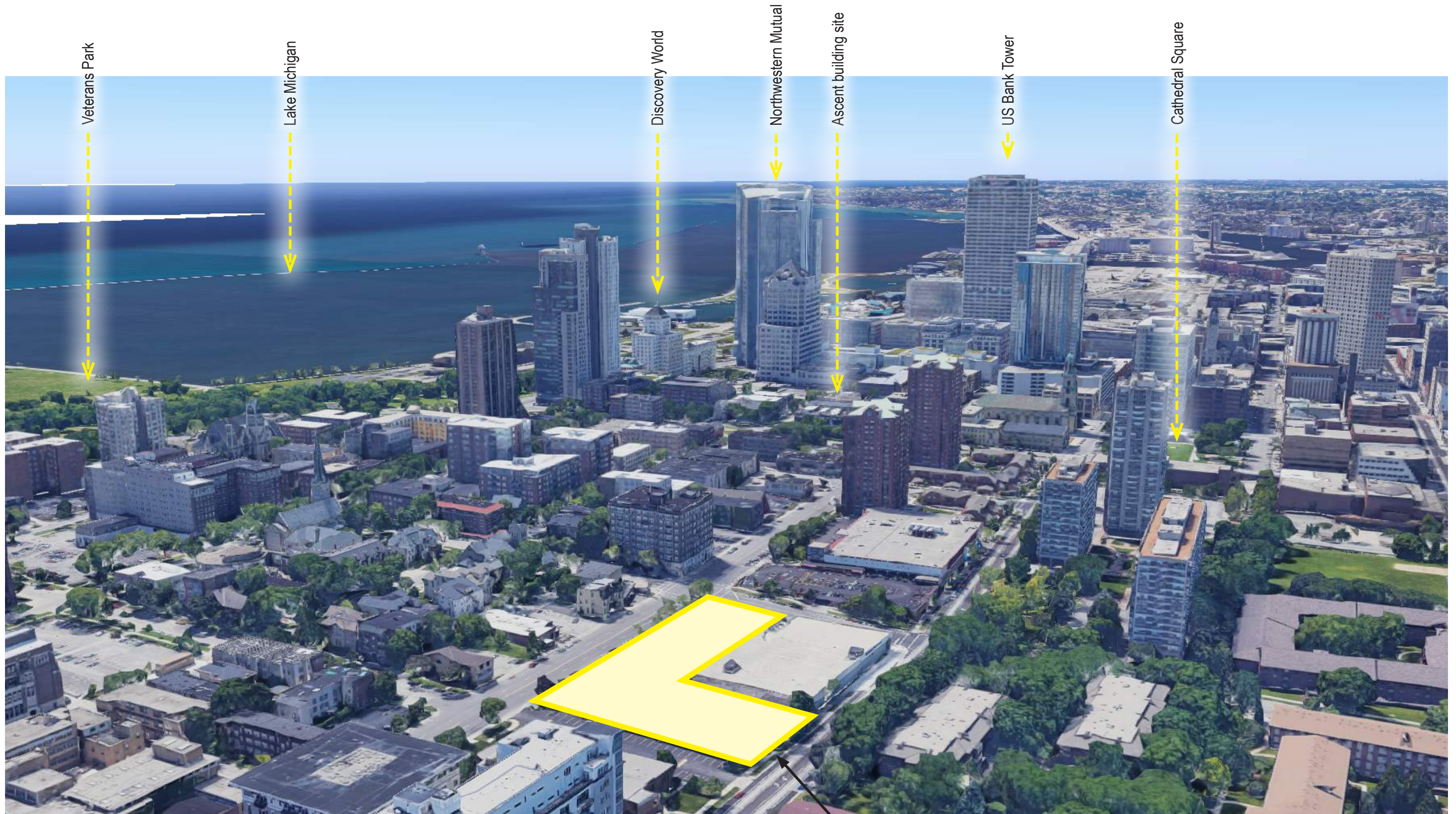
Justin Johnson
Project Engineer
W238 N1610 Busse Rd, Suite 100
Pewaukee, WI 53188

ARCHITECT



Jason Korb AIA
President
648 N. Plankinton Ave, Suite 240
Milwaukee, WI 53203





Veterans Park

Lake Michigan

Discovery World

Northwestern Mutual

Ascent building site

US Bank Tower

Cathedral Square

PROJECT SITE



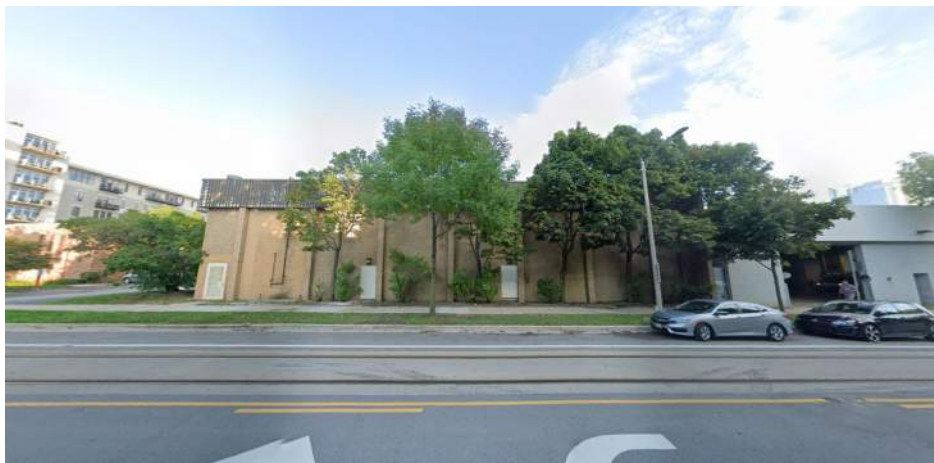
N/E Corner of Site - N Van Buren St, showing existing building



N/W Corner of Site - N Jackson St, showing existing building



S/E Corner of Site - N Van Buren St + E Juneau Ave



W View of Site - N Jackson St, showing existing building

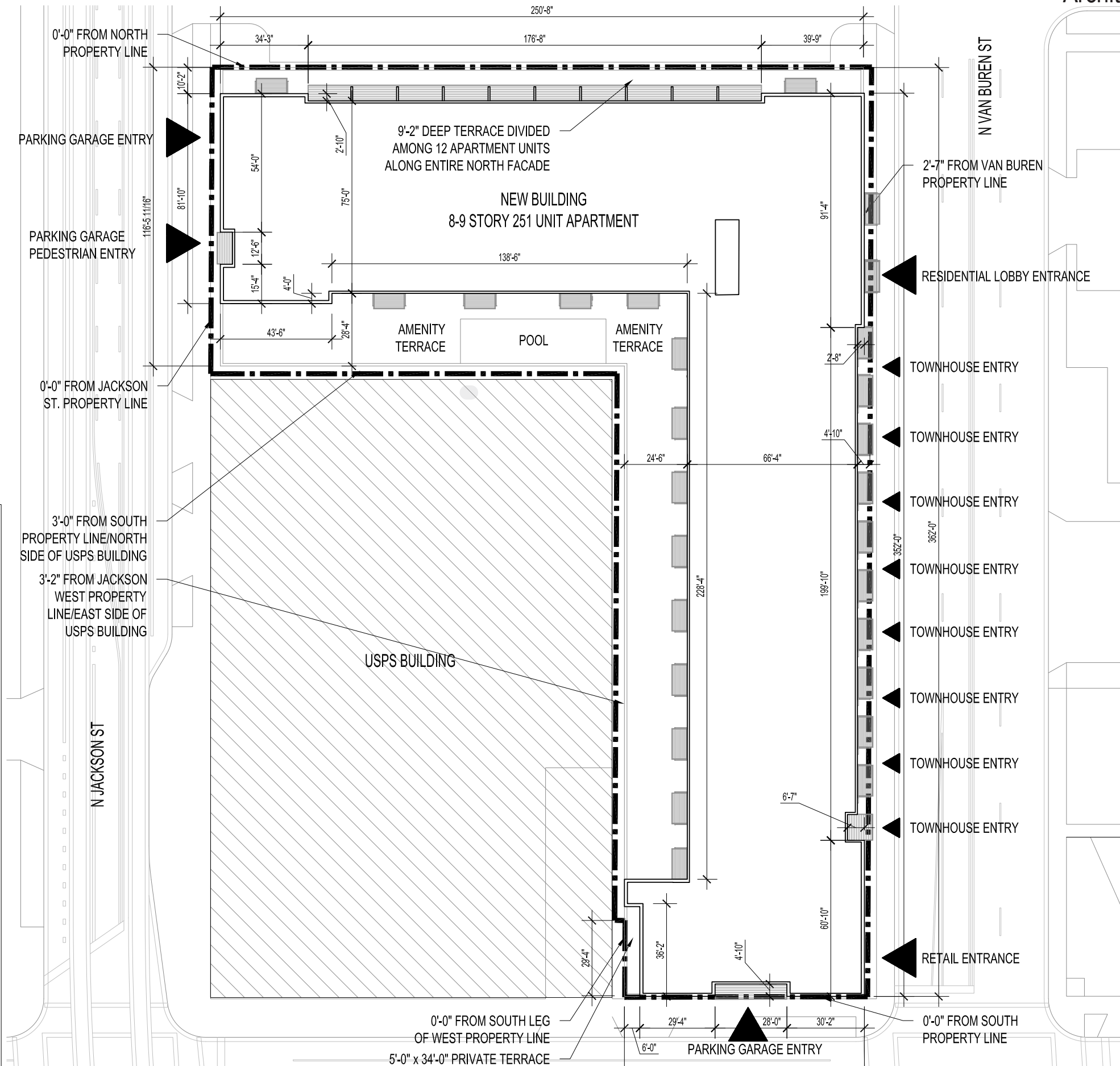


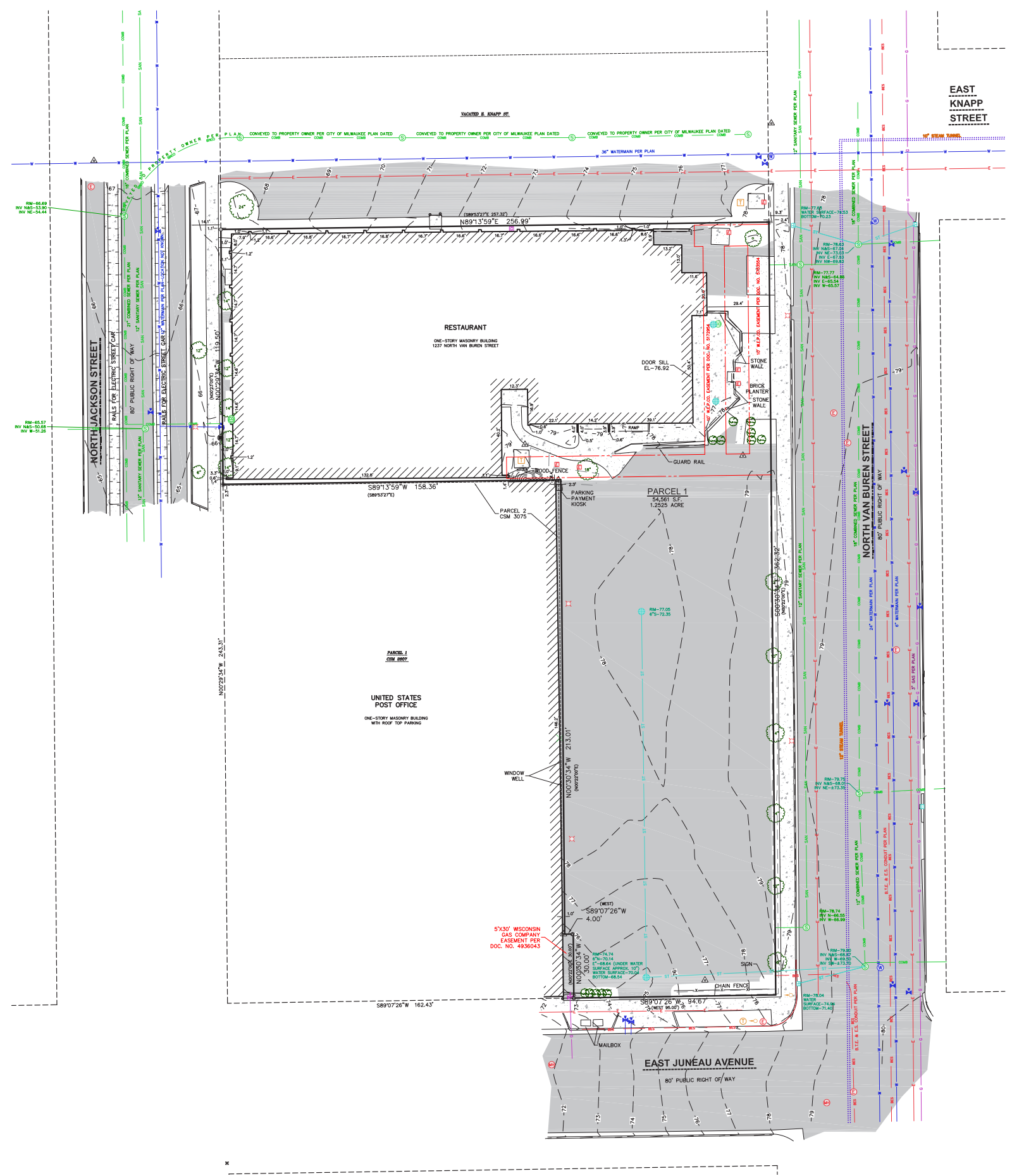
E View of Site - N Van Buren St, showing existing building



S View of Site - E Juneau Ave

STATISTICS	
TOTAL FLOOR AREA	358,538 SF
FLOOR AREA W/O PARKING	252,597 SF
PARKING FLOOR AREA	105,941 SF
TOTAL PRIV. OUTDOOR SPACE	23,477 SF
AGGREGATE BALCONY AREA	17,624 SF
PRIV. TERRACE AREA	5,853 SF
TOTAL ROOFTOP OPEN SPACE (PRIVATE TERRACES + AMENITY DECK)	12,300 SF
TOTAL SHARED AMENITY DECK AREA	6446 SF
TOTAL OCC. OUTDOOR AREA (PRIVATE BALCONIES + ROOFTOP)	29,924 SF
NUMBER OF UNITS	UP TO 251
NUMBER OF BEDROOMS	UP TO 318
AVG. OUTDOOR SPACE PER UNIT	119 SF
GROSS LAND AREA	54,561 SF - 1.25 ACRES
LAND AREA PER DWELLING UNIT	217.4 SF
TOTAL PARKING SPACES	UP TO 321 SPACES
PARKING SPACES PER DWELLING UNIT	1.2 SPACES





EXISTING CONDITIONS SURVEY

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3075, BEING PART OF THE FRACTIONAL WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

- NOTES**
1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 19-23, 2020.
 2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD27.
 3. ELEVATIONS ARE BASED ON THE CITY OF MILWAUKEE DATUM. BENCHMARK IS CITY OF MILWAUKEE STANDARD BENCH MARK NO. 72-27, 3" WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN. ELEV=62.524
 4. CONTOUR INTERVAL IS ONE FOOT.
 5. SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
 6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NO. 20202421784 & 20202421783, WITH A CLEAR DATE OF JUNE 16, 2020.
 7. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
 MI AT&T DISTRIBUTION
 CITY OF MILWAUKEE TELCOM CONSTRUCTION
 WE ENERGIES-ELE AND WD GAS TIME WARNER CABLE
 MILWAUKEE METROPOLITAN SEWERAGE DIST WE ENERGIES-WE STEAM
 8. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 9. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
 10. THIS PARCEL IS ZONED COMMERCIAL - CENTRAL BUSINESS PER THE CITY OF MILWAUKEE ZONING MAP.
 11. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
 12. ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MILWAUKEE. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.

LEGAL DESCRIPTION

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3075, RECORDED ON JUNE 2, 1977, REEL 1019, IMAGES 1299 TO 1302, INCLUSIVE, AS DOCUMENT NO. 5105839, BEING A DIVISION OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 3070, BEING A DIVISION OF BLOCK 335, TOGETHER WITH THE VACATED ALLEY ADJOINING IN FRACTIONAL WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 22 EAST, OR GAMMON FLOT, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

FOR INFORMATIONAL PURPOSES ONLY:
 PROPERTY ADDRESS: 1327 NORTH VAN BUREN STREET, MILWAUKEE, WI 53202
 TAX KEY NUMBER: 360-0911-000

SURVEYOR'S CERTIFICATE

I, ANDREW W. WILKOWSKI, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-3121, HEREBY CERTIFY THAT UNDER THE DIRECTION OF NEW LAND ENTERPRISE THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLIES WITH WISCONSIN ADMINISTRATIVE CODE A-17 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

Andrew W. Wilkowski, S-3121
 PROFESSIONAL LAND SURVEYOR

JUNE 30, 2020
 DATE



LEGEND

○	MAG NAIL SET	○	DECIDUOUS TREE
○	3/4" x 18" REBAR SET (1.50 LBS/LF)	●	CONIFEROUS TREE
⊕	GOVERNMENT CORNER	○	BUSH
⊕	CHESED 'X' FOUND	—	PLAT BOUNDARY
●	1" IRON PIPE FOUND	---	RIGHT-OF-WAY LINE
●	PK/AGD NAIL FOUND	---	SECTION LINE
●	CONTROL POINT	---	PLATTED LOT LINE
●	BENCHMARK	---	EASEMENT LINE
●	BOLLARD	---	LANDSCAPE LIMITS
●	SIGN	---	FENCE LINE
○	SANITARY MANHOLE	---	GUARD OR SAFETY RAIL
○	CLEAN OUT	---	EDGE OF PAVEMENT
○	VENT PIPE	---	CONCRETE CURB & GUTTER
○	WATER MANHOLE	---	SANITARY SEWER
○	HYDRANT	---	WATER LINE
○	WATER VALVE	---	STORM SEWER
○	CURB STOP/SERVICE VALVE	---	STEAM LINE
○	STORM MANHOLE	---	NATURAL GAS
○	ROUND CASTED INLET	---	UNDERGROUND ELECTRIC
○	SQUARE CASTED INLET	---	UNDERGROUND TELEPHONE
○	CURB INLET	---	EDGE OF WOODS OR BRUSH
○	GAS REGULATOR/METER	---	BUILDING
○	GAS VALVE	---	WALL LINE
○	ELECTRIC MANHOLE	---	MANHOLE - UNVERIFIED TYPE
○	ELECTRIC PEDESTAL	---	INDEX CONTOUR
○	ELECTRIC METER	---	INTERMEDIATE CONTOUR
○	ELECTRIC TRANSFORMER	---	SPOT ELEVATION
○	AIR CONDITION UNIT	---	BITUMINOUS PAVEMENT
○	POWER POLE	---	CONCRETE PAVEMENT
○	POWER POLE W/GUY	---	GRAVEL
○	YARD LIGHT	---	EDGE OF BITUMINOUS
○	TELEPHONE MANHOLE	()	GENOTIES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY
○	TELEPHONE PEDESTAL		
○	CABLE PEDESTAL		

CONSTRUCTION SITE SEQUENCE NOTES

- 1325 N VAN BUREN STREET
MILWAUKEE, WI
- ALL SITE GRADING WORK AND EROSION CONTROL EFFORTS SHALL BE PERFORMED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- SEMI-DETAILED:
1. INSTALL INLET PROTECTION AND TRACKING PAD AT ENTRANCE TO SITE.
 2. INSTALL PERIMETER SEDIMENT CONTROL AS SHOWN ON THE APPROVED CONSTRUCTION PLANS.
 3. CONDUCT DEMOLITION OF EXISTING SITE FEATURES.
 4. CONSTRUCT BUILDING FOOTING/FOUNDATIONS.
 5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF PAVEMENT, WALKS, ETC.
 7. THE CONTRACTOR SHALL TOPSOIL AND SEED DISTURBED PORTIONS OF THE SITE AS THEY ARE COMPLETED AS IS PRACTICAL.
 8. ALL OF THE EROSION CONTROL MEASURES FOR THE ENTIRE SITE MUST BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH WISCONSIN DNR REQUIREMENTS AND AS REQUIRED BY THE CITY OF MILWAUKEE.

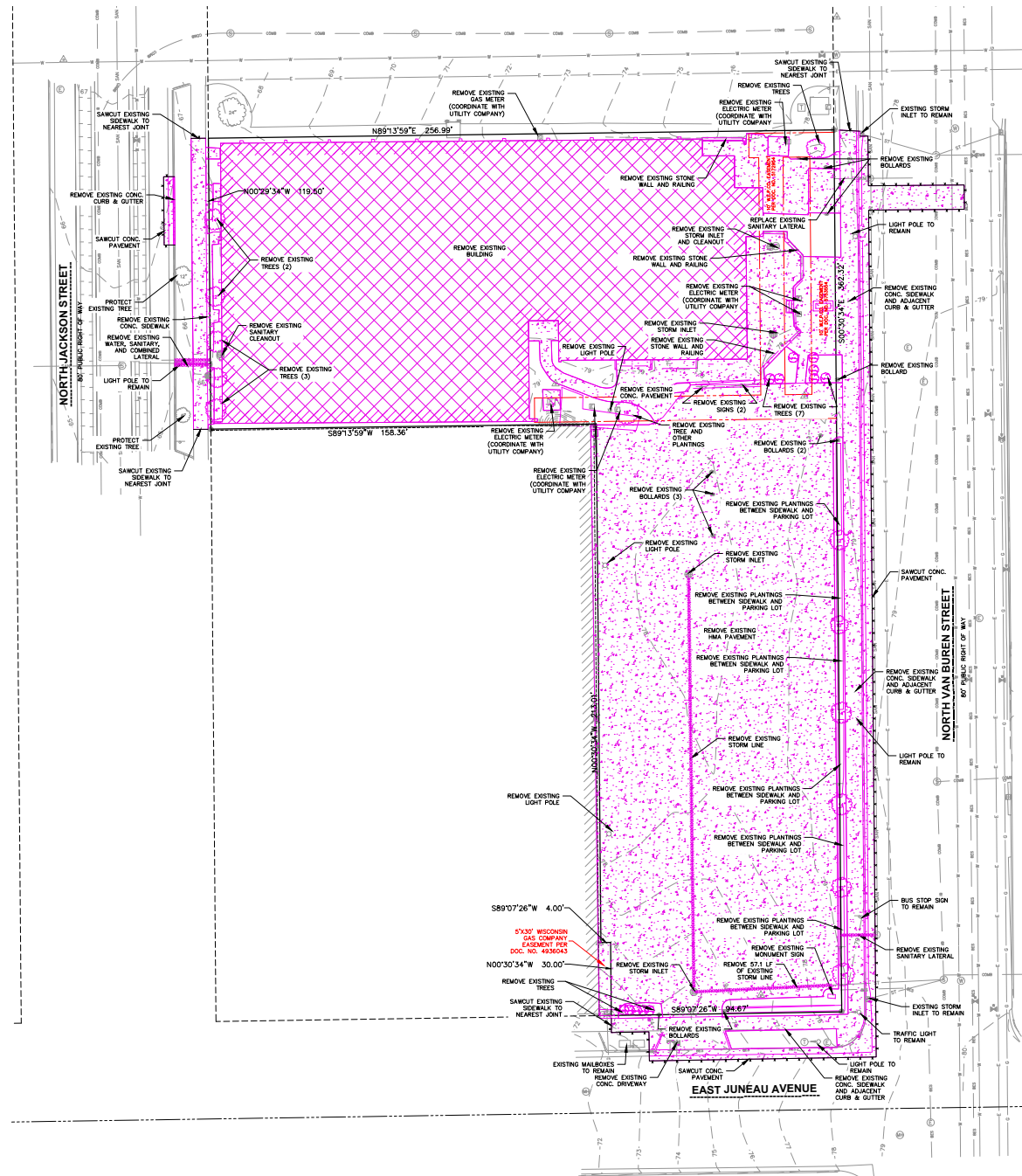
DEMOLITION NOTES

1. REFER TO SHEET C3.0 FOR COMPLETE SITE EROSION CONTROL NOTES.
2. ALL DEMOLITION WORK SHALL BE IN COMPLIANCE WITH CITY OF MILWAUKEE REQUIREMENTS.
3. ALL DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.
4. CONTRACTOR IS RESPONSIBLE TO NOTIFY CITY OF MILWAUKEE OFFICIALS FOR ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY AND APPLY FOR ALL NECESSARY PERMITS.
5. CONTRACTOR SHALL PROTECT CITY OF MILWAUKEE PAVEMENTS AND REPLACE IN ACCORDANCE WITH CITY REQUIREMENTS IF DAMAGED.
6. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL DEMOLITION ITEMS AND QUANTITIES.
7. CONTRACTOR IS RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES TO DETERMINE IF RELOCATION OF UTILITY POLES, TELEPHONE AND FIBER OPTIC BOWLS AND/OR OTHER UTILITIES WILL BE REQUIRED. CONTRACTOR SHALL NOTIFY OWNER FOR APPROVAL PRIOR TO RELOCATION OF SAID UTILITIES.
8. CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF MATERIALS.
9. CONTRACTOR SHALL RETAIN, ON-SITE, ALL AGGREGATE MATERIALS REMOVED DURING DEMOLITION. THE RE-PURPOSED AGGREGATE IS TO BE USED FOR NEW CONSTRUCTION WHERE APPROPRIATE. ANY UNUSED OR UNUSABLE PORTION OF MATERIALS SHALL BE REMOVED FROM THE CONSTRUCTION SITE AND SHALL BE RE-PURPOSED ELSEWHERE OR SHALL BE PROPERLY DISPOSED OF.
10. THE CONTRACTOR IS RESPONSIBLE FOR ANY ITEMS IN ADJACENT PROPERTIES THAT MAY BE DAMAGED DURING DEMOLITION OR CONSTRUCTION.

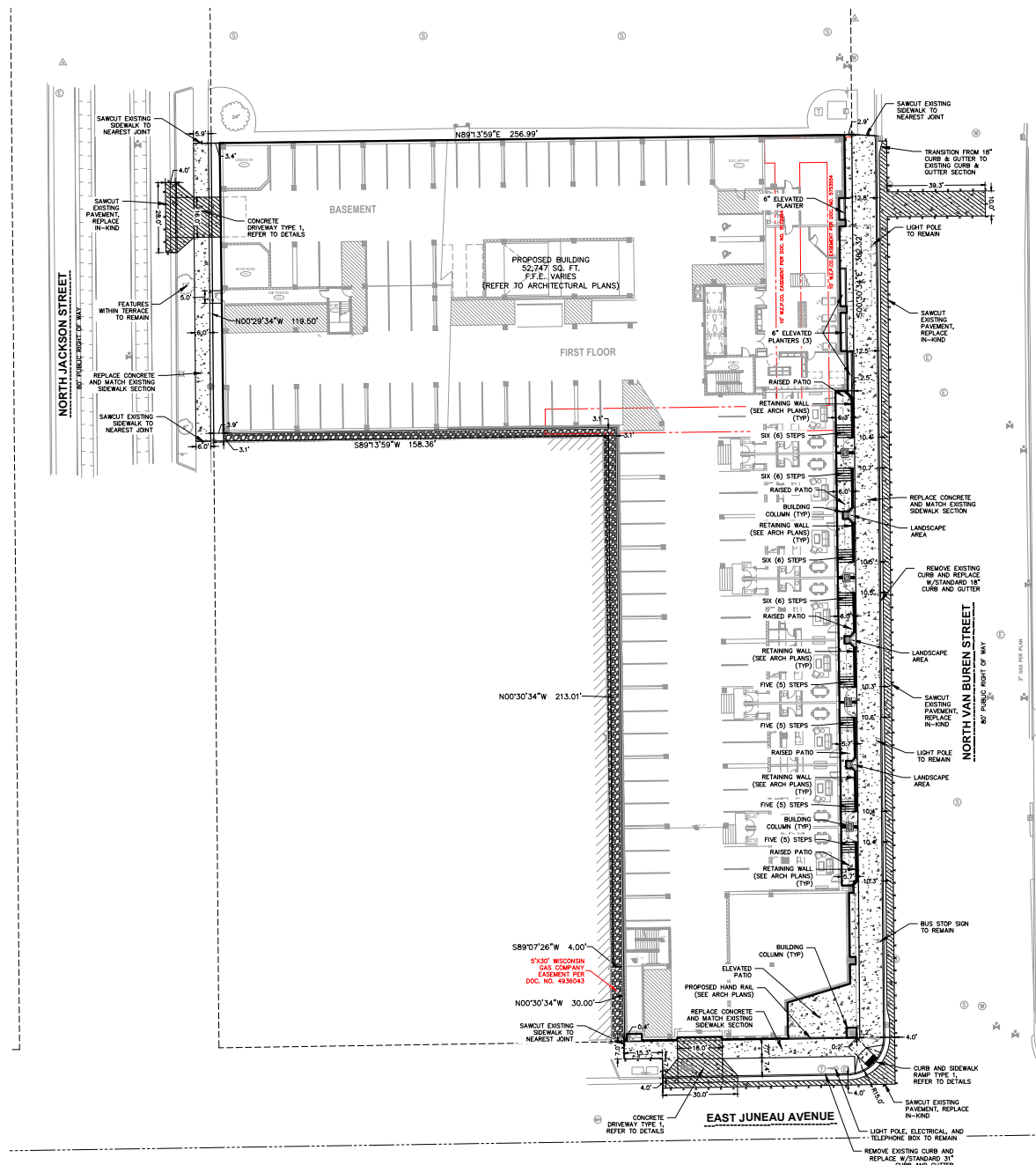
LEGEND			
●	GAS VALVE	---	EASEMENT LINE
⊙	SANITARY MANHOLE	---	SEWAGE LINE
⊕	STORM MANHOLE	---	EXTERIOR PROPERTY LINE
⊖	CATCH BASIN ROUND	---	EXISTING WATER MAIN
⊗	CATCH BASIN SQUARE	---	EXISTING GAS
⊘	PARKING METER	---	EXISTING COMBINED SEWER
⊙	LIGHT POLE	---	EXISTING SANITARY SEWER
⊙	POWER POLE	---	EXISTING STORM SEWER
⊙	TELEPHONE PEDESTAL	---	EXISTING STEAM TUNNEL
⊙	SOI	---	EXISTING OVERHEAD UTILITIES
⊙	ELECTRICAL PEDESTAL/TRANSFORMER	---	EXISTING UNDERGROUND ELEC.
⊙	CONIFEROUS TREE	---	EXISTING UNDERGROUND TELEP.
⊙	DECIDUOUS TREE	---	EXISTING BULK ELEC. SYSTEM
⊙	BUSH	---	SAWCUT LINE
⊙	TREE TO BE REMOVED	---	FEATURE TO BE DEMOLISHED
		---	BUILDING TO BE DEMOLISHED
		---	CONCRETE TO BE DEMOLISHED

SHEET INDEX

- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 GRADING, DRAINAGE & EROSION CONTROL PLAN
- C3.1 SIDEWALK SPOT GRADE PLAN
- C4.0 UTILITY PLAN
- C5.0 DETAILS



BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF BANK ON E. COCKER, CITY BM 72-27, ELEV=62.54	62.54



PAVING NOTES

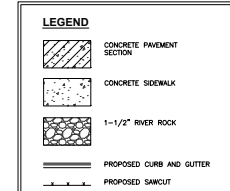
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER IN WISCONSIN, CURRENT EDITION, WITH ADDENDA.
 - THE CITY OF MILWAUKEE MUNICIPAL CODE, CURRENT EDITION.
- NO PROFESSIONAL SERVICES, INC. (NSI) SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY OPINIONS BY THE CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- ALL MATERIALS SHALL BE APPROVED BY THE CITY OF MILWAUKEE ENGINEER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8911).
- THE CITY OF MILWAUKEE AND NSI SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO CONSTRUCT THE FACILITIES IN ACCORDANCE WITH THE DESIGN DRAWINGS.
- EXISTING UTILITY INFORMATION IS BASED ON DIGGERS' HOTLINE UNDERGROUND UTILITY LOCATIONS. SURVEY, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL WORK TO BE COMPLETED IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND DETAILS.
- ALL NON-HARD SURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND BE SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. REFER TO LANDSCAPE PLANS FOR FURTHER INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS AS SPECIFIED IN THE SAID GEOTECHNICAL REPORT.

CONCRETE PAVEMENT PAVING SPECIFICATIONS

 - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREINAFTER, THIS PUBLICATION SHALL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - REINFORCEMENT - CONCRETE PAVEMENT SHALL BE REINFORCED WITH #7#8 WELDED WIRE MESH REINFORCEMENT.
 - CURING COMPOUNDS - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - FINISHING
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHENEVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-280V CONCRETE SEALANT.
 - CRUSHED AGGREGATE BASE COURSE - THE BASE COURSE SHALL CONFORM TO SECTIONS 201 AND 204, STATE HIGHWAY SPECIFICATIONS. CLEAN WASHED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
 - SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBGRADE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING:
 - ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
 - THE LOCATION AND ELEVATION OF EXISTING:
 - PIPE INVERTS
 - FLOOR ELEVATIONS
 - CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK.
 - HORIZONTAL CONTROL BY REFERENCING SHOWY COORDINATES TO KNOWN PROPERTY LINES
- NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING.
- ALL ANGLES FOR ROADWAY, PARKING LOT, AND BUILDING LOCATION ARE PERPENDICULAR TO PROPERTY LINES UNLESS NOTED OTHERWISE.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE FACE OF BUILDING.
- SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- ALL RADII ARE DIMENSIONED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL COORDINATES AND DIMENSIONS ARE REFERENCED TO THE EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
- ALL CURB AND GUTTER SHALL BE THE MILWAUKEE DEPARTMENT OF PUBLIC WORKS REINFORCED VERTICAL FACE CONCRETE CURB AND GUTTER (REFER TO CALL).
- SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS FOR ALL UTILITIES, STORM DRAINAGE, SIGNALS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED TO COMPLETE PROPOSED ITEMS IN PLACE. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED AS SHOWN.
- ALL COSTS SHALL BE INCLUDED IN THE BID.
- ALL PAVEMENT TO BE STANDARD DUTY PAVEMENT, UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED TRAFFIC CONTROL MEASURES INCLUDING BUT NOT LIMITED TO: TRAFFIC LANE CLOSURES, SIDEWALK CLOSURES, ALLEY CLOSURES, ETC.
- CURB AND PAVEMENT NEED TO BE DOWELED INTO THE EXISTING PAVEMENT.

SITE PLAN DATA

1. DEVELOPMENT NAME:	NOVA
2. LOCATION:	1230 N. VAN BUREN ST. MILWAUKEE, WISCONSIN 53202
3. OWNER/DEVELOPER:	NEW LAND ENTERPRISES 1840 N. FARBELL AVE SUITE A MILWAUKEE, WI 53202
4. ARCHITECT:	KORB & ASSOCIATES 648 N. PLANKINTON AVE SUITE 240 MILWAUKEE, WI 53203
5. SITE SIZE:	94,561 S.F. (1.2525 NET AC)
6. BUILDING SETBACKS:	<ul style="list-style-type: none"> NORTH SETBACK: REFER TO DIMENSION ON PLAN EAST SETBACK: REFER TO DIMENSION ON PLAN SOUTH SETBACK: REFER TO DIMENSION ON PLAN WEST SETBACK: REFER TO DIMENSION ON PLAN
7. BUILDING HEIGHT:	REFER TO ARCHITECTURAL PLANS
8. PARKING COUNT:	205 PROPOSED INTERIOR STALLS
9. LSR:	PROPOSED 0.7% / EXISTING 9.4%



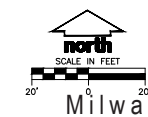
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Call 811 or (800) 242-8911

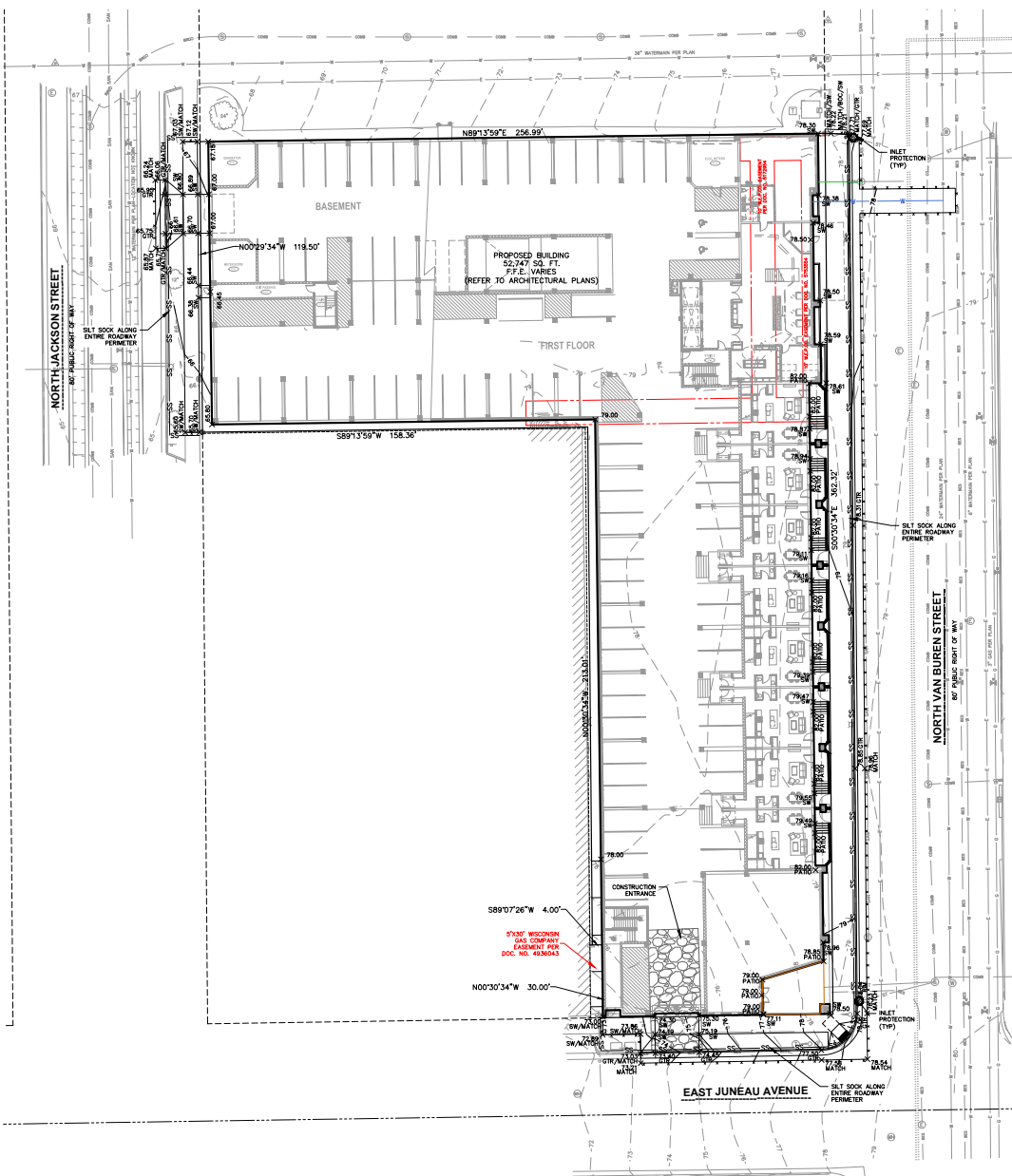
 Milwaukee Area (202) 412-7790

 Hearing Impaired TDD (800) 542-2289

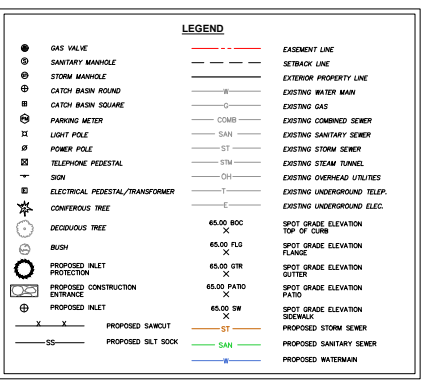
www.DiggersHotline.com



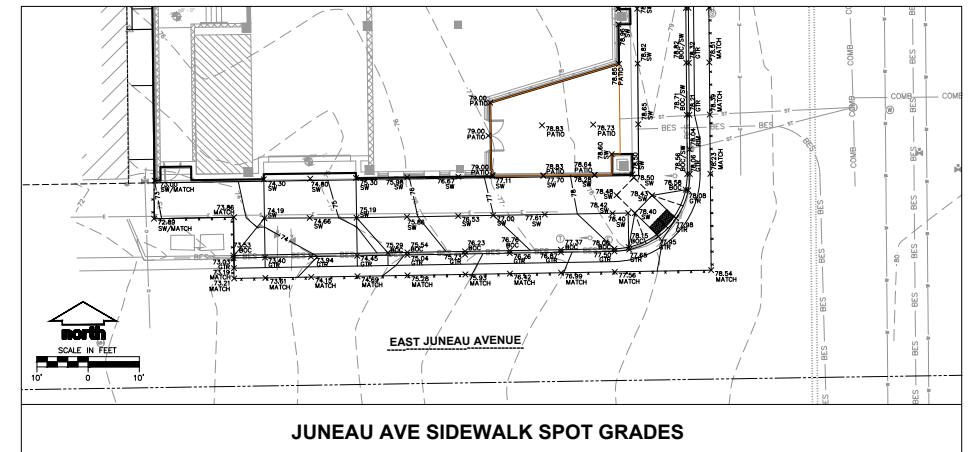
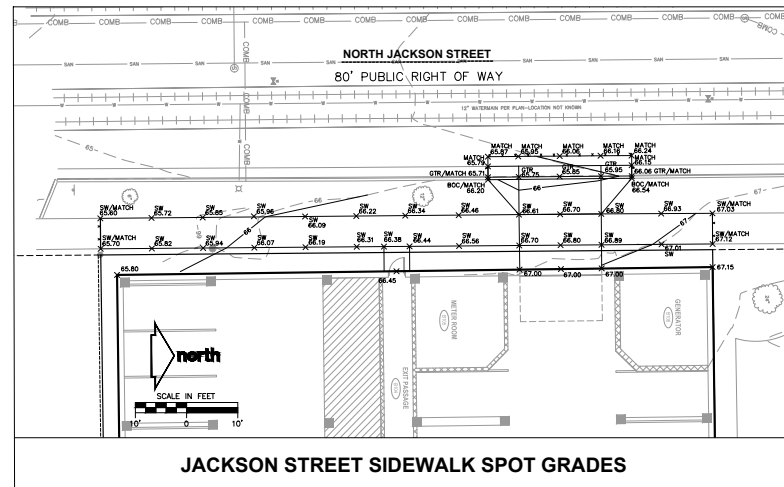
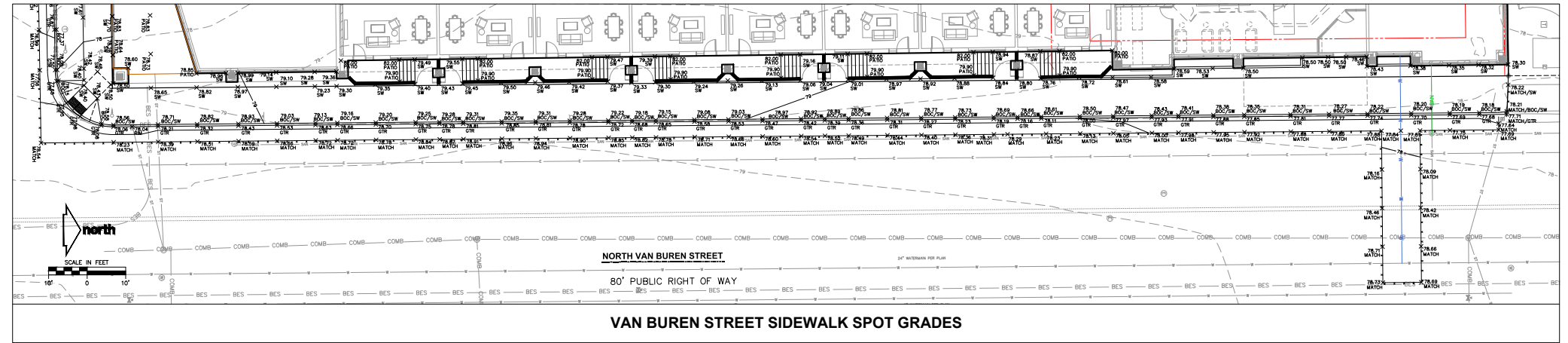
Civil: Grading, Utility, and Erosion Control Plan



- ### GRADING NOTES
1. THE CONTRACTOR SHALL VERIFY THE FOLLOWING:
 - A. ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
 - B. LOCATION AND ELEVATION OF:
 - I. EXISTING PIPE INSETS
 - II. FLOOR ELEVATIONS
 - III. CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK
 - C. HORIZONTAL CONTROL BY REFERENCING BENCH COORDINATES TO KNOWN PROPERTY CORNER MARKERS.
 2. THE PLAN IS BASED ON INFORMATION FROM MULTIPLE SOURCES. THESE FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED GRADES MEET EXISTING. REVIEW ANY DISCREPANCIES WITH THE JOB PRIOR TO COMMENCEMENT OF WORK. CONTACT THE ARCHITECT IMMEDIATELY IN WRITING TO CORRECT ANY DISCREPANCIES TO THE PLAN.
 3. PROPERTY OWNERS SHALL BE CAREFULLY PROTECTED, MONITORED, AND RESTORED BY THE CONTRACTOR'S OPERATIONS SHALL BE CAREFULLY PROTECTED, MONITORED, AND RESTORED BY THE CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EROSION CONTROL PERMITS TO COMMENCEMENT OF WORK.
 4. MODIFICATIONS TO THE UNAPPROVED EROSION CONTROL PLAN IN ORDER TO MEET UNPREDICTED FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO NEW TECHNICAL STANDARDS AND CITY OF MILWAUKEE EROSION CONTROL CONTRACTOR IS RESPONSIBLE TO NOTIFY GEO AND AUTHORITY HAVING JURISDICTION OF ANY CHANGES TO THE EROSION CONTROL PLAN. ALL MODIFICATIONS SHALL BE APPROVED BY EQUIVALENT HAVING JURISDICTION PRIOR TO DEVIATION FROM THE APPROVED PLAN.
 5. METEOROLOGICAL EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING SILT PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
 6. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF MOVED EROSION/SEDIMENT POINTS. CONSTRUCTION IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AGENCIES. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF MOVED EROSION/SEDIMENT POINTS. CONSTRUCTION IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AGENCIES. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF MOVED EROSION/SEDIMENT POINTS. CONSTRUCTION IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AGENCIES.
 7. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR FLOWED TO REMOVE ACCUMULATED SOIL AND/OR DEBRIS PRIOR TO THE START OF EACH WORK DAY AFTER OR MORE FREQUENTLY AS REQUIRED AND AS REQUESTED BY THE GOVERNING AGENCIES.
 8. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR FLOWED TO REMOVE ACCUMULATED SOIL AND/OR DEBRIS PRIOR TO THE START OF EACH WORK DAY AFTER OR MORE FREQUENTLY AS REQUIRED AND AS REQUESTED BY THE GOVERNING AGENCIES.
 9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL BE INSTALLED PRIOR TO THE START OF EACH WORK DAY AFTER OR MORE FREQUENTLY AS REQUIRED AND AS REQUESTED BY THE GOVERNING AGENCIES.
 10. AT A MINIMUM, EROSION CONTROL MEASURES AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE IN PLACE PRIOR TO THE BEGINNING OF SITEWORK. THE CONTRACTOR SHALL MAINTAIN OPERATIONS TO PREVENT OFF-SITE DISCHARGE OF UNTREATED RUNOFF.
 11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE, AND REPAIR OF EROSION CONTROL MEASURES AS REQUIRED BY THE GOVERNING AGENCIES.
 12. EROSION CONTROL MEASURES TEMPORARILY PROVIDED FOR UNDESIRABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMMENCEMENT OF EACH WORK DAY.
 13. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT. REPAIRS TO EROSION CONTROL MEASURES SHALL BE IMMEDIATELY INSTALLED.
 14. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS.
 15. GRADING EFFORTS SHALL BE COMPLETED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY TO PREVENT EROSION AND SEDIMENT TRANSPORT. THE CONTRACTOR SHALL MAINTAIN OPERATIONS TO PREVENT OFF-SITE DISCHARGE OF UNTREATED RUNOFF.
 16. DURING PERIODS OF EXTENDED DRY WEATHER THE CONTRACTOR SHALL KEEP A WATER TRACK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME ANTIWIND. THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF WATER DURING CONSTRUCTION AT HIS/HER EXPENSE.
 17. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VEGETATED IMMEDIATELY UPON COMPLETION OF THE DISTURBED AREA.
 18. QUALIFIED PERSONNEL PROVIDED BY THE GENERAL CONTRACTOR SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY TO PREVENT EROSION AND SEDIMENT TRANSPORT. THE CONTRACTOR SHALL MAINTAIN OPERATIONS TO PREVENT OFF-SITE DISCHARGE OF UNTREATED RUNOFF.
 19. THE EROSION CONTROL MEASURES TEMPORARILY PROVIDED FOR UNDESIRABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMMENCEMENT OF EACH WORK DAY.
 20. ALL EXISTING UNDERGROUND UTILITY SERVICES (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL BE IDENTIFIED AND PROTECTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFICATION, PROTECTION, AND MAINTENANCE OF ALL EXISTING UNDERGROUND UTILITY SERVICES.
 21. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF MOVED EROSION/SEDIMENT POINTS. CONSTRUCTION IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AGENCIES.
 22. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF MOVED EROSION/SEDIMENT POINTS. CONSTRUCTION IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AGENCIES.
 23. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF MOVED EROSION/SEDIMENT POINTS. CONSTRUCTION IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AGENCIES.



DESCRIPTION	ELEVATION
BENCHMARK #1-CITY OF MILWAUKEE BENCHMARK LOCATED 1/2 MILE WEST OF THE CORNER OF JEFFERSON ST. AND S. SOUTH OF SOUTH EDGE OF MILWAUKEE BLVD. (CITY JOB 74-275, ELEVATION: 62.524)	62.524



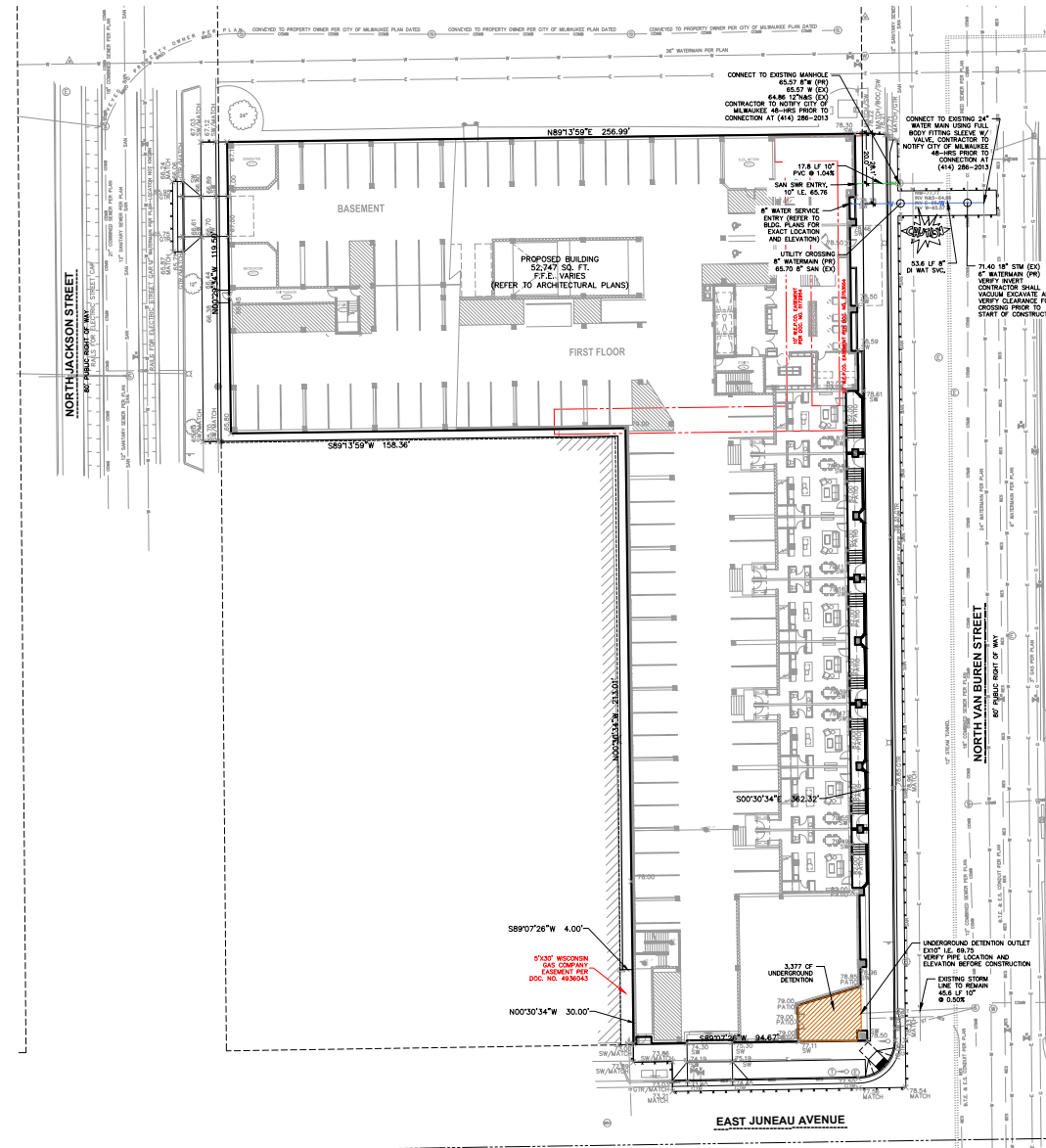
LEGEND

●	GAS VALVE	---	EASEMENT LINE
⊙	SANITARY MANHOLE	---	SETBACK LINE
⊙	STORM MANHOLE	---	EXTERIOR PROPERTY LINE
⊙	CATCH BASIN ROUND	---	EXISTING WATER MAIN
⊙	CATCH BASIN SQUARE	---	EXISTING GAS
⊙	PARKING WATER	---	EXISTING COMBINED SEWER
⊙	LIGHT POLE	---	EXISTING SANITARY SEWER
⊙	POWER POLE	---	EXISTING STORM SEWER
⊙	TELEPHONE PEDESTAL	---	EXISTING STORM TUNNEL
⊙	SIGN	---	EXISTING OVERHEAD UTILITIES
⊙	ELECTRICAL PEDESTAL/TRANSFORMER	---	EXISTING UNDERGROUND TELEP.
⊙	CONFERIOUS TREE	---	EXISTING UNDERGROUND ELEC.
⊙	DECIDUOUS TREE	45.00 BOC	SPOT GRADE ELEVATION TOP OF CURB
⊙	BUSH	45.00 FLS	SPOT GRADE ELEVATION FLANGE
⊙	PROPOSED INLET PROTECTION	45.00 GTR	SPOT GRADE ELEVATION GUTTER
⊙	PROPOSED CONSTRUCTION ENTRANCE	45.00 PABD	SPOT GRADE ELEVATION PATIO
⊙	PROPOSED INLET	45.00 SW	SPOT GRADE ELEVATION SIDEWALK
---	PROPOSED SANITARY SEWER	---	PROPOSED STORM SEWER
---	PROPOSED SBT SOCK	---	PROPOSED WATERMAIN

BENCHMARKS

DESCRIPTION	ELEVATION
BENCHMARK #1-CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CORNER OF INTERSECTION OF EAST 1/2 SOUTH OF SOUTH EDGE OF MILWAUKEE BL. (CITY #M 72-27). ELEV=42.524	42.524

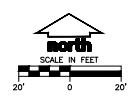




UTILITY NOTES

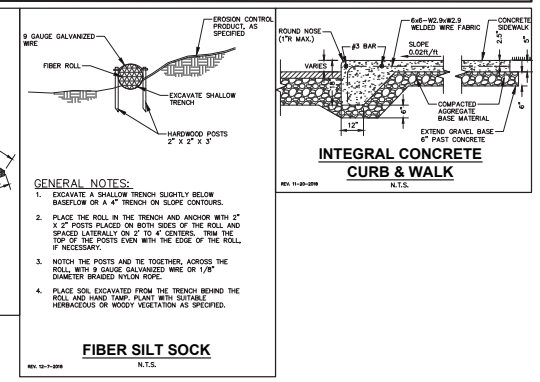
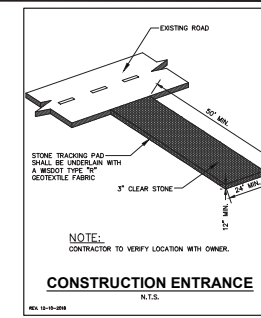
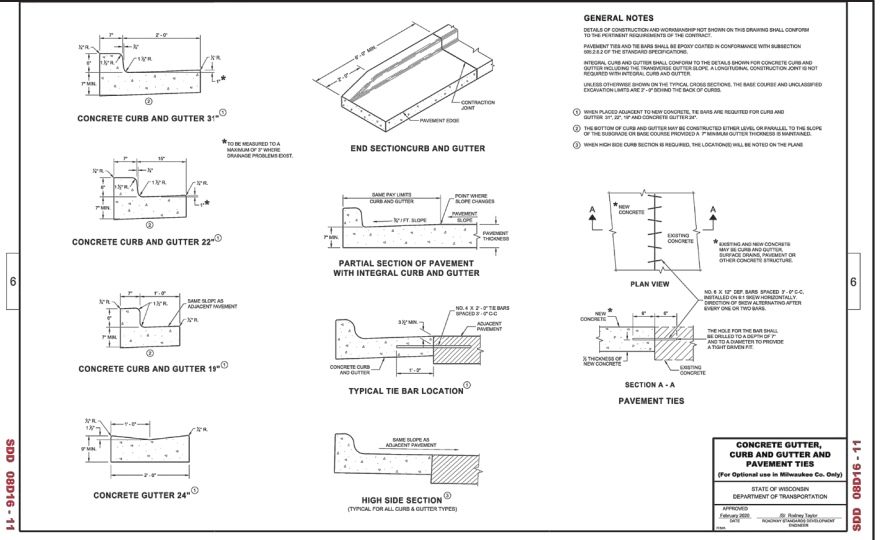
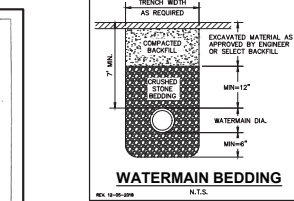
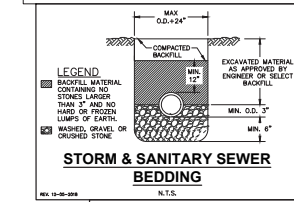
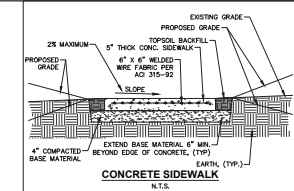
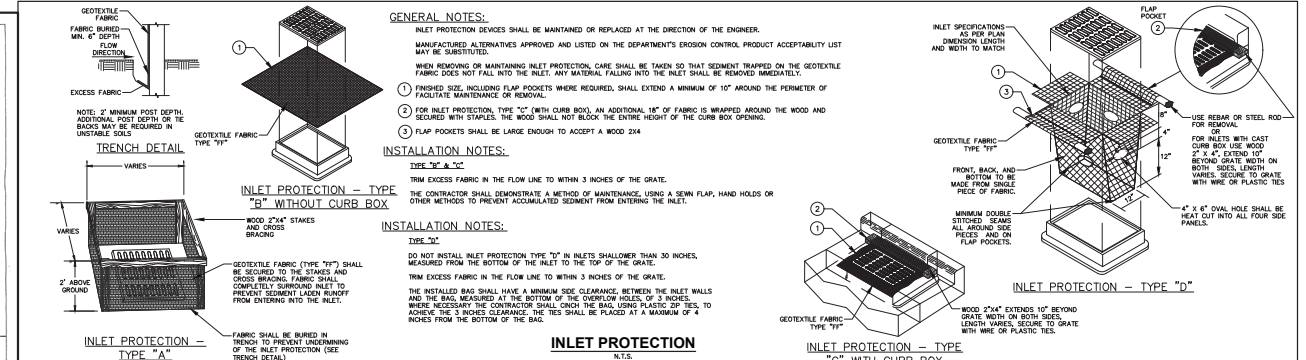
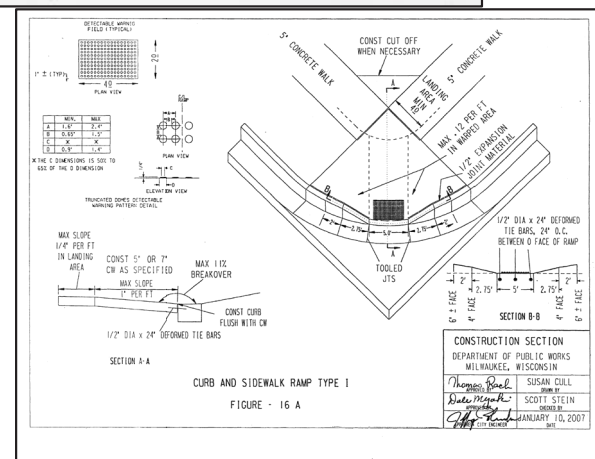
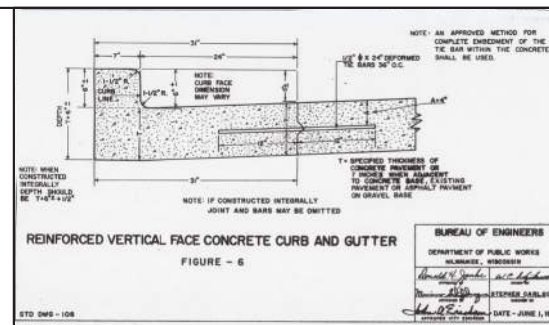
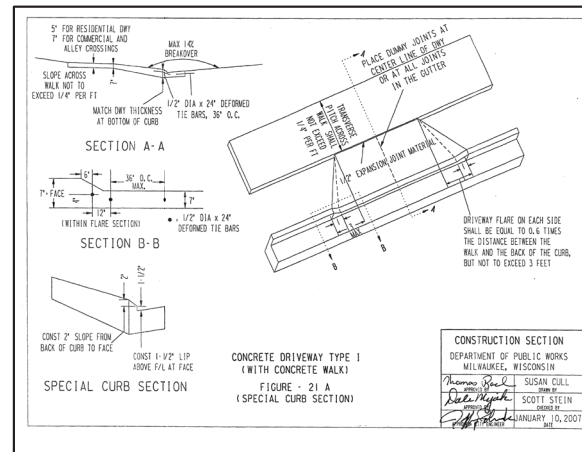
- EXISTING UTILITY INFORMATION IS BASED ON ENGINEERING UNDERGROUND UTILITY LOCATIONS, FIELD SURVEY, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE.
- CONTACT DIGGERS HOLES PRIOR TO ANY CONSTRUCTION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL 302 CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND CORRECTED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING ALL POINTS INCLUDING POINT CONTROL, 1/4" FEEL METERS, STAKES, AND ALL OTHER FEELERS REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELECTRICAL LOCATIONS AND SIZES OF SANITARY WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROVED CONSTRUCTION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- THE CONTRACTOR SHALL CONTACT THE CITY OF MILWAUKEE ENGINEERING DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER, AND STORM CONNECTIONS TO THE CITY-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR STORM AND WATER CONSTRUCTION IN WISCONSIN" REFERRED TO AS THE "STANDARD SPECIFICATIONS" FOR ALL STATE AND LOCAL CODES SPECIFICATIONS, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AGENCIES.
- SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MILWAUKEE SPECIFICATIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) 382.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, JUNCTION BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS LENGTHS AND SHALL BE CORRECTED TO MATCH FINISHED GRADES. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPARISONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITIES FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- BACKFLOW PREVENTION DEVICES AND THE DOMESTIC WATER METER(S) ARE LOCATED WITHIN THE BUILDING(S). REFER TO BUILDING PLANS.
- REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
- TRUNK LINES SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.01(10)(G) OF THE STATE STATUTES AND CITY OF MILWAUKEE REQUIREMENTS.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER OR OTHER UTILITIES THAT ARE TO REMAIN UNCHANGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING AND REPORTING ANY CHANGES TO THE DRAWINGS OF ADDITIONAL ITEMS TO THE ENGINEER AS WORK PROGRESSES.
- STORM SEWER SPECIFICATIONS
 - PIPE - ALL PIPE WITHIN BENCHMARK STREET PAVEMENT SHALL BE REINFORCED CONCRETE PIPE. STORM PIPE OUTSIDE OF ROADWAY SHALL BE POLYETHYLENE TEREPHTHALATE (PET) PIPE. REFER TO FOLLOWING SPECIFICATIONS:
 - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM C-76, CLASS B (MINIMUM) WITH RUBBER GASKET JOINTS ASTM C-443.
 - HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL BE AS MANUFACTURED BY ADS OF IOWA, WITH WATER TIGHT JOINTS, MANUFACTURED TO THE VALUE OF THE MANUFACTURER'S SPECIFICATIONS. ALL PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D3350, D4421, AND D5521 WITH ELASTOMERIC GASKETS CONFORMING TO ASTM D-3272.
 - INLETS AND FRAMES
 - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 382.06(9)(3).
 - FRAMES AND GRATES SHALL BE GRAY IRON MATERIAL (PER ASTM A-48) OF STYLES / CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS.
 - MANHOLES AND FRAMES
 - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 382.06(9)(3).
 - FRAMES AND LIDS SHALL BE GRAY IRON MATERIAL (PER ASTM A-48) OF STYLES/CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS. INTERNAL CHIMNEY SEALS SHALL BE BRASS SPECIALLY PRODUCTS OF EQUAL.
 - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS B BEDDING IN ALL FINISHED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. (INCLUDES RAINING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT). PIPE SHALL ALSO REMAIN IN BEDDING. BACKFILL AND CLASS B BEDDING UNDISTURBED SECTION 643.5 OF THE "STANDARD SPECIFICATIONS".
- FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE FOLLOWED IN THE LINE PROVIDED FOR STORM SEWER. TILE LINES CROSSING BY THE TRENCH SHALL BE REPLACED WITH "SAME" MATERIAL AND TO STORM SEWER AND SHALL BE SUPPLIED BY THE CITY OF MILWAUKEE PRIOR TO BACKFILLING.
- WATER SERVICE SPECIFICATIONS
 - PIPE - WATER SERVICE SHALL BE CLASS D11 PIPE MEETING THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 382.06(9)(3) AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MILWAUKEE ORDINANCE 310-18.8 AND THE AMERICAN IRON AND STEEL REQUIREMENTS.
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CHIPPED STONE, OR GRANITE STONE SCREENING CONFORMING TO CHAPTER 643.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 643.5 OF THE "STANDARD SPECIFICATIONS". SLURRY BACKFILL IS REQUIRED IN ALL FINISHED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. INCLUDES RAINING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE SLURRY BACKFILL.
- SANITARY SEWER SPECIFICATIONS
 - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE SDR-26 POLYVINYL CHLORIDE (PVC) WITH THE REQUIREMENTS OF ASTM D-3034. ALL PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MILWAUKEE ORDINANCE 310-18.8 AND THE AMERICAN IRON AND STEEL REQUIREMENTS.
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTION OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 643.5 (A) BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MANDRILL OR CORRUGATED LIDS, OR AS REQUIRED TO MEET THE REQUIREMENTS OF SECTION 643.5 OF THE "STANDARD SPECIFICATIONS". THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE MANHOLE OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT.
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 643.5 OF THE "STANDARD SPECIFICATIONS". SLURRY BACKFILL IS REQUIRED IN ALL FINISHED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. INCLUDES RAINING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE SLURRY BACKFILL.
 - CLEANOUTS - CLEANOUTS SHALL BE EQUIPPED WITH PROST SLEEVES PER SPS 382.35 (5)(A) UNLESS OTHERWISE NOTED.
- FOR LOCATIONS WHERE THERE IS LESS THAN 6 FEET OF COVER OVER THE TOP OF THE WATER MAIN PIPE, WATER MAIN SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 643.2 "REQUIREMENTS" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. THIS SHALL BE THE LATEST AMENDMENT. THIS WORK SHALL BE INCLUDED ON THE UNIT COST FOR WATER MAIN.
- FOR LOCATIONS WHERE THERE IS LESS THAN 6 FEET OF COVER OVER THE TOP OF THE SANITARY SEWER PIPE, THE SANITARY SEWER SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.02(1). THIS WORK SHALL BE INCLUDED IN THE UNIT COST FOR SANITARY SEWER.
- ALL SANITARY SEWER SHALL BE TESTED FOR EXFILTRATION OF AIR UNDER PRESSURE, PENETRATION OF WATER, LEAKAGE OF WATER, AND DEFLECTION FOR FLEXIBLE THERMOPLASTIC PIPE PER THE STANDARD SPECIFICATIONS.
- ALL UTILITY SERVICE CLEANOUTS ARE LOCATED WITHIN THE BUILDING UNLESS SPECIFIED OTHERWISE. REFER TO BUILDING PLUMBING PLANS.

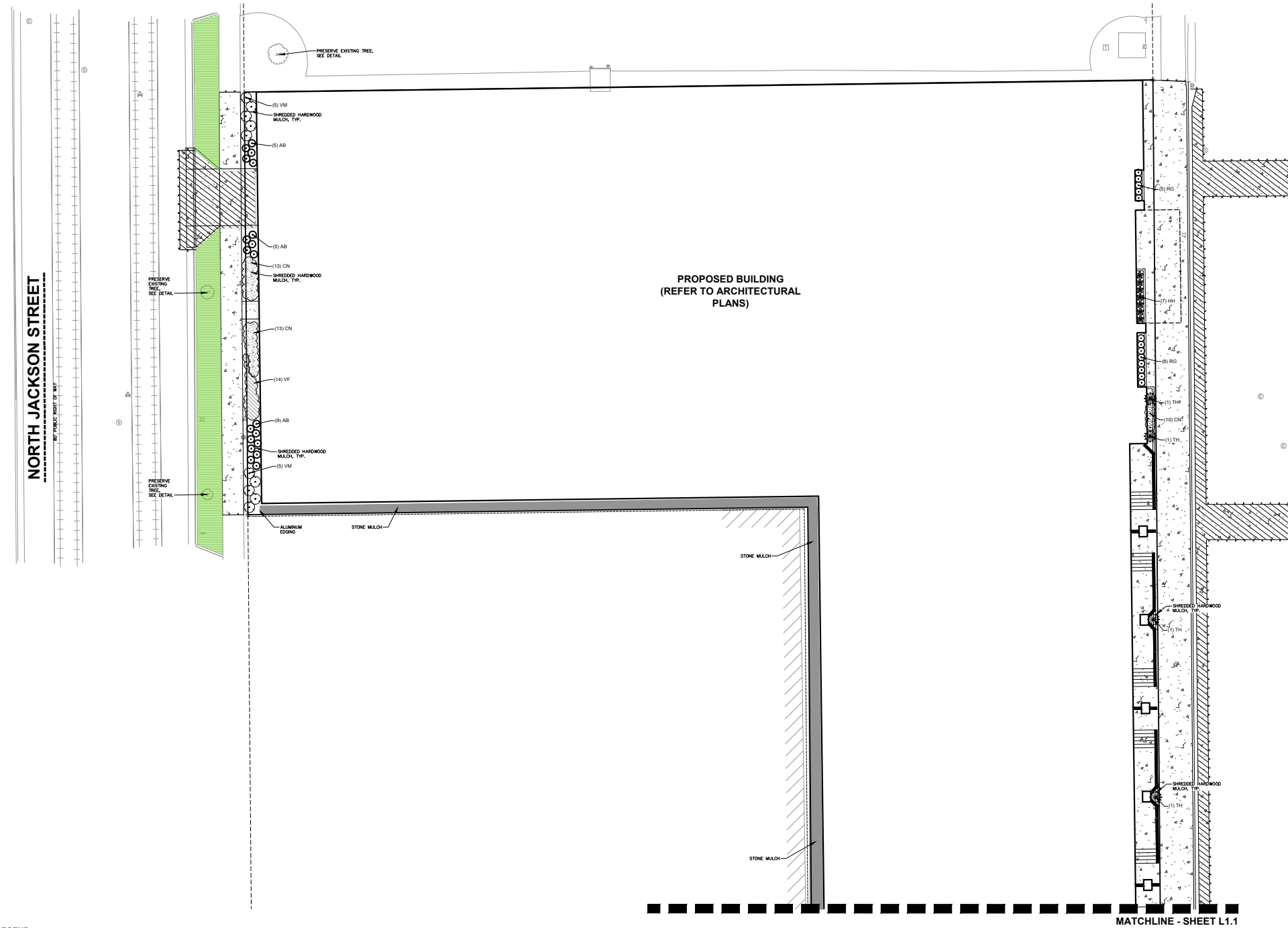
LEGEND	
●	GAS VALVE
○	SANITARY MANHOLE
⊙	STORM MANHOLE
⊕	CATCH BASIN ROUND
⊕	CATCH BASIN SQUARE
⊕	PARKING WATER
⊕	LIGHT POLE
⊕	POWER POLE
⊕	TELEPHONE PEDESTAL
⊕	SIGN
⊕	ELECTRICAL PEDESTAL/TRANSFORMER
⊕	DECIDUOUS TREE
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---	EXISTING WATER MAIN
---	EXISTING GAS
---	EXISTING COMBINED SEWER
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING STREAM TUNNEL
---	EXISTING OVERHEAD UTILITIES
---	EXISTING UNDERGROUND TELEP.
---	EXISTING UNDERGROUND ELEC.
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY SEWER
---	PROPOSED WATERMAIN



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BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1-CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CORNER OF JEFFERSON ST. AND 4' SOUTH OF SOUTH EDGE OF MAIN ON E. COOK ST. (CITY 88-72-27). ELEVATION: 62.524	62.524





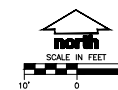
LEGEND

KENTUCKY BLUEGRASS BLEND (000)

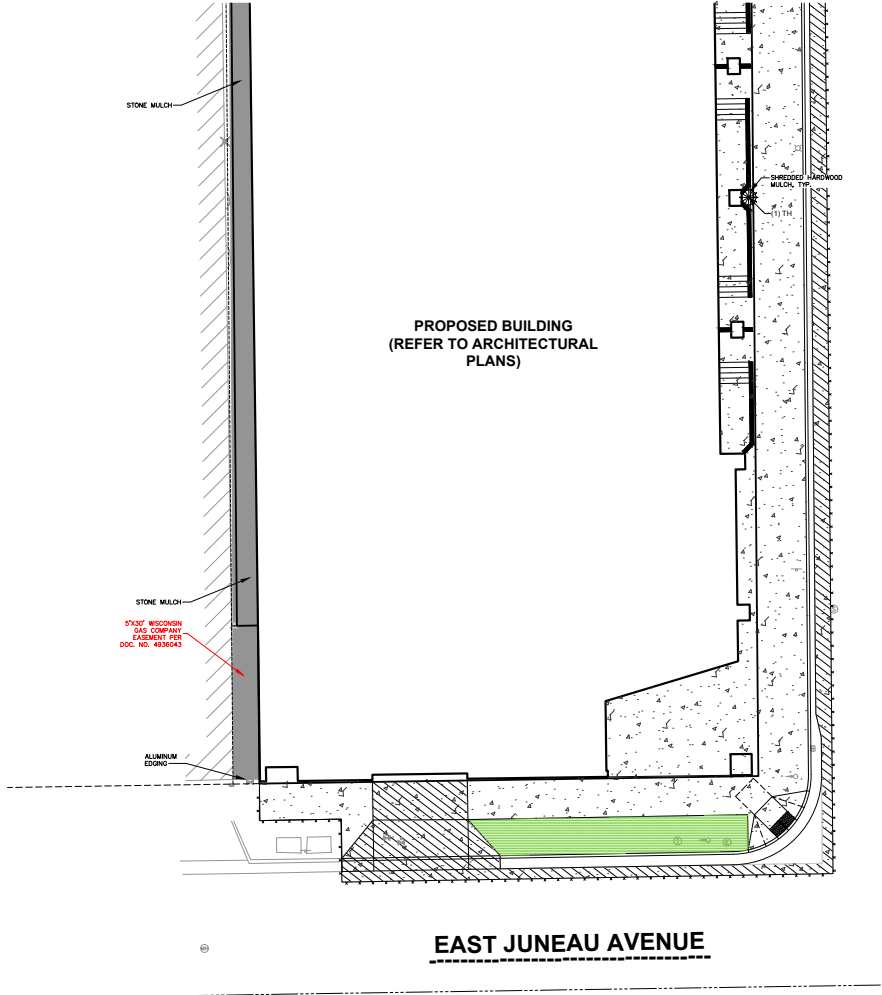
GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPDRESSING WITH GENERAL CONTRACTOR.
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.

PLANT SCHEDULE				
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	ROOT CONDITION	QTY
	TH	<i>Thuja occidentalis</i> "Holmatrup" / Holmatrup Arborvitae	#15	5
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	RG	<i>Ribes alpinum</i> "Green Mound" / Green Mound Alpine Currant	#85/5 gal.	73
	VM	<i>Viburnum carlesii</i> "SMVCS" TM / Spice Baby Koreanspice Viburnum	#85/5 gal.	18
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	AB	<i>Andropogon gerardii</i> "Blackhawks" / Blackhawks Big Bluestem	#81/1 gal.	19
	HH	<i>Hosta x 'Hodspen Blue'</i> / Hodspen Blue Hosta	#81/1 gal.	7
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	CN	<i>Calamintha Nepeta nepeta</i> / Lesser Calaminth	#81 (gal)	36
	VF	<i>Veronica x 'Wizard of Anns'</i> TM / Magic Show Blue Speedwell	#81 (gal)	14

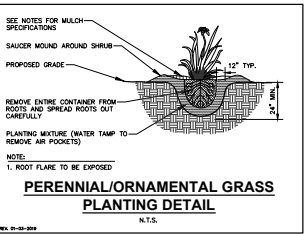
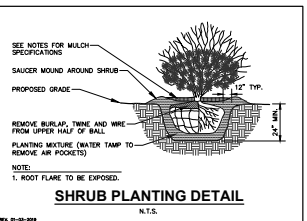
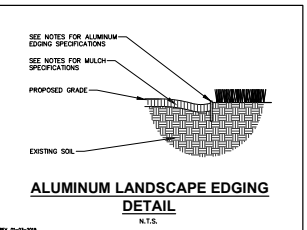
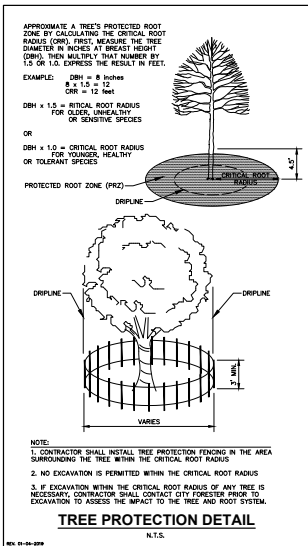


BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CORNER OF ESTERSON ST. AND 5' SOUTH OF SOUTH SIDE OF WALK ON E. OGDEN (CITY RW 72-27) ELEV=42.524	42.524



GENERAL NOTES

- GENERAL:** ALL WORK IN THE E-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. THE CONTRACTOR SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY GUARANTEES BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN OCCASIONAL ACTIONS BY ANY OF ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-484-4747 FOR EXACT LOCATIONS AT LEAST THREE WEEKS PRIOR TO STARTING WORK ON THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR ANY WORK IN THE EASEMENTS AND SHALL COORDINATE WITH THE CITY OF MILWAUKEE FOR REVIEW OF ANY WORK PRIOR TO DIGGING AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. UNLESS OTHERWISE SPECIFIED, ALL PLANT MATERIALS SHALL BE STORED IN A DRY, UNLIT, VENTILATED, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANTS FROM HARSH AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PLANT FROM TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A COOL, DARK, SECURE AREA, PROTECTING THEM FROM HOT SUN AND WIND. PLANTS IN OTHER SUITABLE MEDIA: CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE THE END OF PLANTING. DO NOT PLANT WITH AN APPROVED PROTECTIVE SYSTEM. PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR SHALL PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARDS FOR NURSERY STOCK AND ZELTZ. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIES AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES. UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FREELY AND OPENLY TO THE MOST RECENT FRESHLY HARVESTED SEASON. PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN QUALITY, COMMERCIALLY AVAILABLE. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND GENERALLY PLUMPED WITH LEAFY AND FREE OF DISEASE AND PESTICIDE RESIDUES, PLUMS OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT PROGRESSIVE GROWTH. PERENNIALS: PERENNIAL PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY, FRAYING TREES AND PARASITIC TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.



SODDING

- MATERIALS - SOIL:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH SHALL RECEIVE 4" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOO. ONLY APPROVED TYPES OF SOO (LITE) ARE ALLOWED. TURFGRASS SOO SHALL BE MIXED WITH A 50% PORTLAND CEMENT AND 50% SAND OR MINUS 20 INCH AT TIME OF CLIPPING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND TYPICAL LARGE ROCK TURFGRASS SOO SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TOPS OR UNWEAR ENDS WILL NOT BE ACCEPTABLE. STANDING SIDE SECTIONS OF TURFGRASS SOO SHALL BE SPACING ENOUGH SO THAT THEY CAN BE PILED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOO SHALL NOT BE HANDLED OR TRANSPORTED UNDER WETTER OR EXCESSIVE WETNESS OR RAIN. AS THIS MAY ADVERSELY AFFECT ITS SOILING. PRE-PLANT PREPARATION WILL BE NECESSARY TO EXPOSE SOO STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOO UNTIL THE ACCEPTANCE BY THE OWNER. TURFGRASS SOO SHALL BE HANDLED, DELIVERED AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOO SHALL BE RELATIVELY FREE OF THATCH UP TO 1/4" HIGH ALLOWABLE UNCOMPRESSED. TURFGRASS SOO SHALL BE READILY FREE (TO WEED/TO SO, FT.) OF GRASSES, NEMATODES AND SOIL-BORING INSECTS. ALL TURFGRASS SOO SHALL BE FREE OF GRASS AND BROAD LEAF WEEDS AND WEED SEEDS. THE SOO SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WEEDING SCHEDULE. THE WEEDING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOO IS INSTALLED.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE:** ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL:** TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 1/4" IN DIAMETER, AND FREE FROM TOWNS OR OTHER HAZARDOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MOIST TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOO TEST.
- MATERIALS - SPREADS HARDWOOD BARK MULCH:** ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SPREADS HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SPREADS HARDWOOD BARK MULCH SEE # COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SPREADS HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOOD, NAIL, BARRER, FABRIC.
- MATERIALS - STONE MULCH:** ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECOMPOSED STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 2-INCHES. DECOMPOSED STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOOD, NAIL, BARRER, FABRIC AND PLASTIC/IMPREGNATED BARRERS WILL BE FORBIDDEN. EXAMPLE: BLACK WOODS.
- MATERIALS - ALUMINUM EDGING:** EDGING SHALL BE 1" X 4" ALUMINUM EDGING. MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES	
1. GUARANTEE:	THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESERVE NOTES AS NECESSARY FOLLOWING PLANT REPLACEMENT. INCLUDING BUT NOT LIMITED TO: REPLACING EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT THE TIME OF PLANTING. REPAIR AREAS OCCURRED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
2. CONTRACTOR:	IS RESPONSIBLE FOR STORING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
3. MAINTENANCE:	(CONTRACTOR) FOR ALL PLANTINGS, SEEDS AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM PERIOD OF 90 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLANTS AND LAWN/TURFGRASS DURING THIS 90 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY GROWING PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SPREADS HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A HANDICAPPED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
4. MAINTENANCE:	(OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

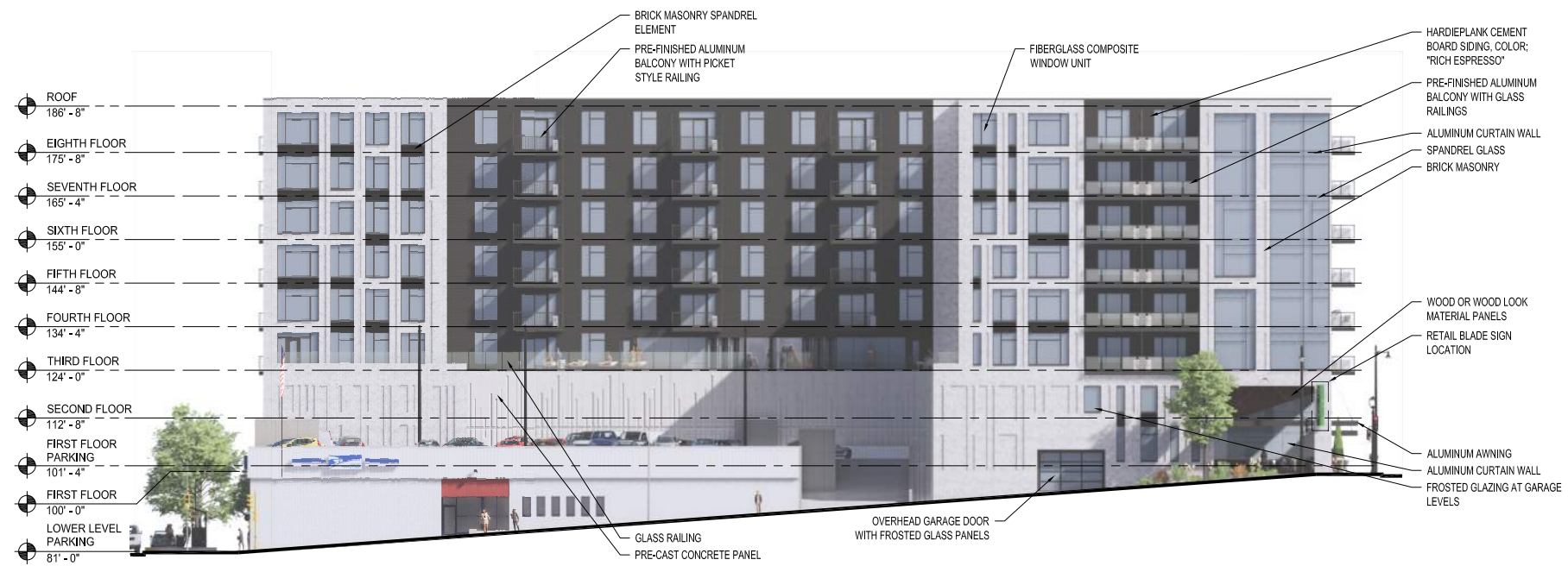


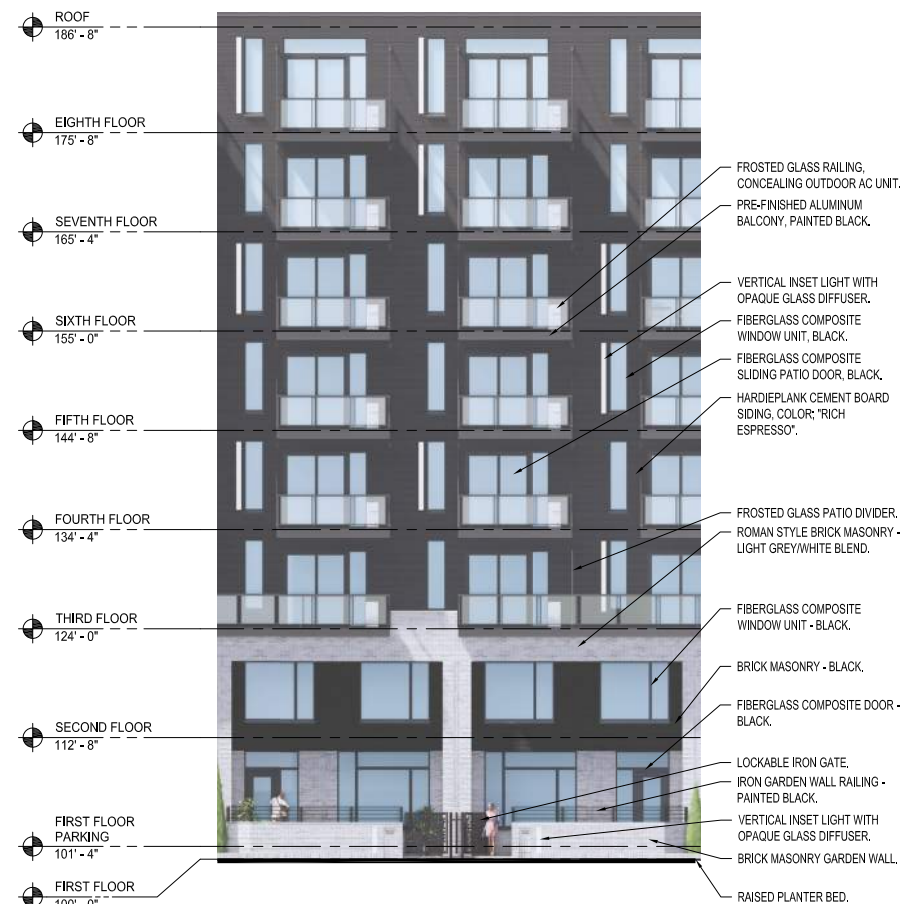
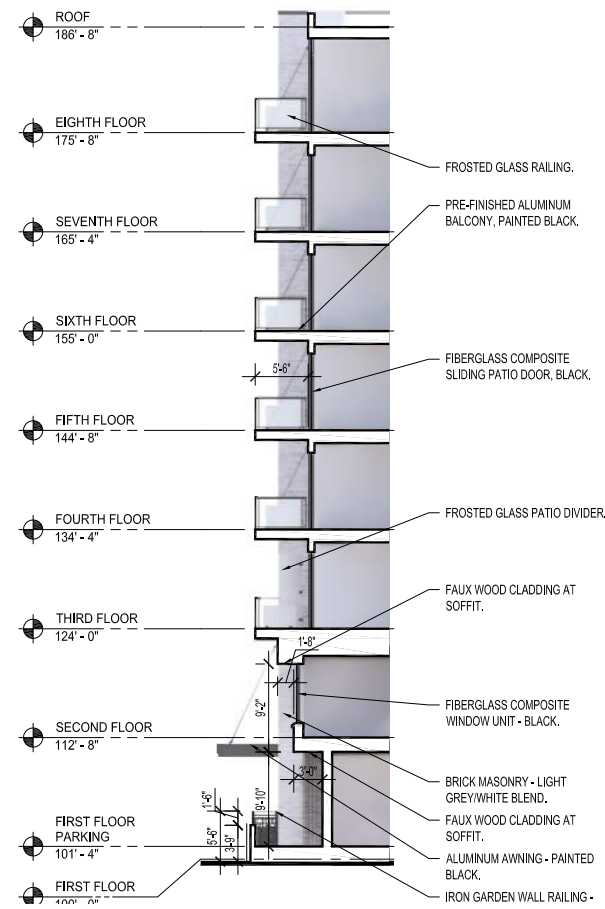
BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CORNER OF STEVENSON ST. AND 5' SOUTH OF SOUTH SIDE OF WALK ON E. OGDEN (CITY RW 72-27) ELEV=42.524	42.524



Architectural Elevations: New Building - East and North Elevations

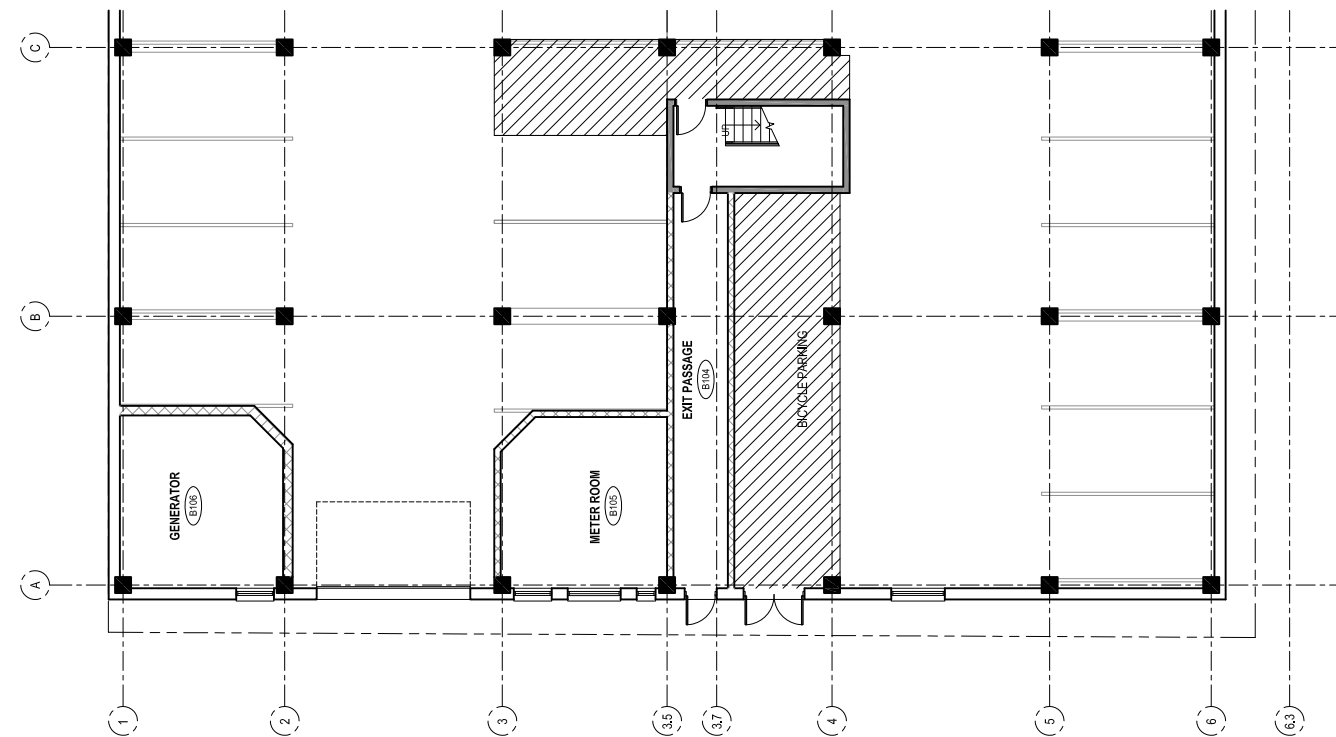
1" = 40'





Architectural Elevations: Jackson St Garage Entry Plan and Elevation

1" = 20'











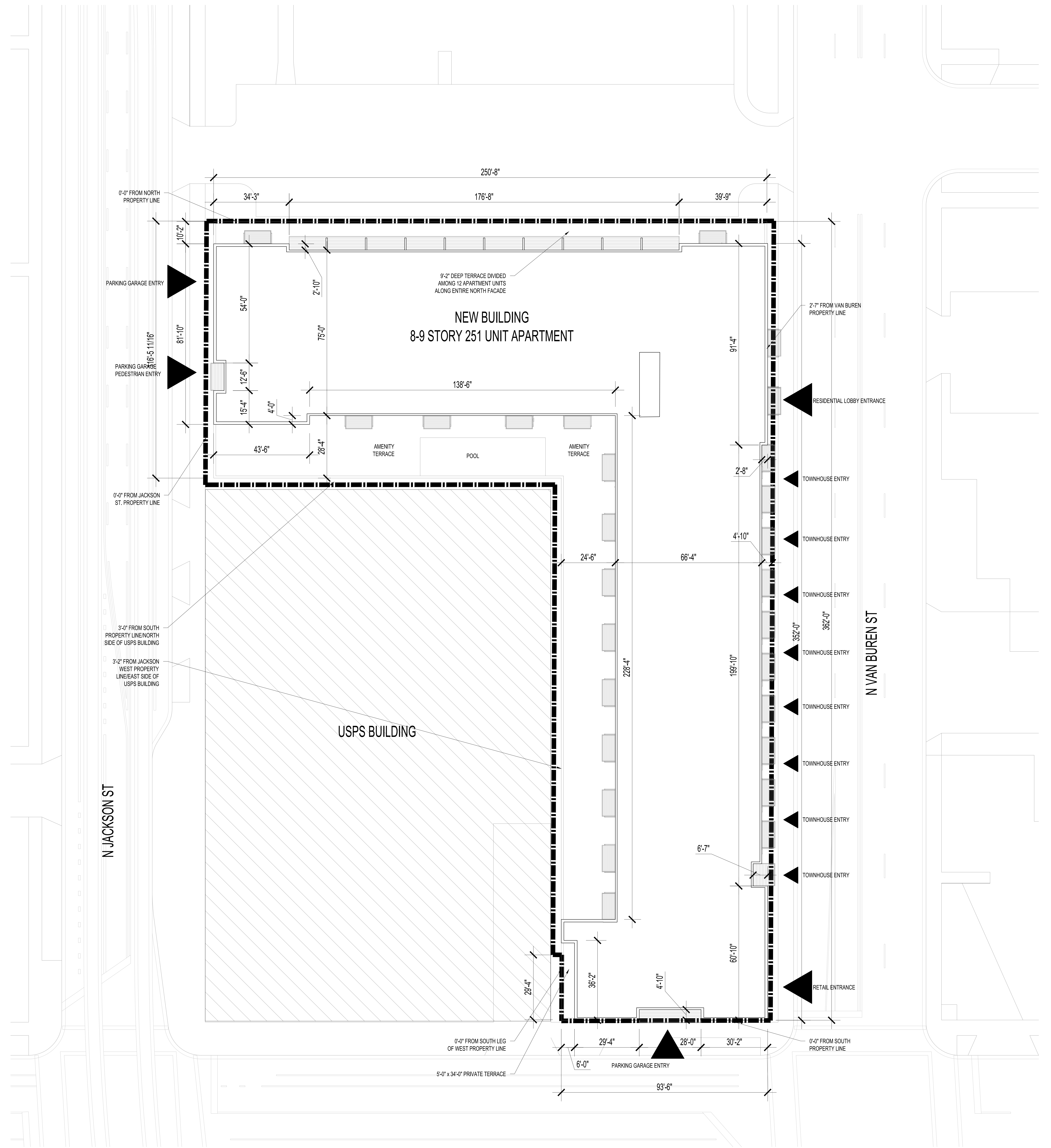












STATISTICS	
TOTAL FLOOR AREA	399,538 SF
FLOOR AREA W/O PARKING	252,937 SF
PARKING FLOOR AREA	146,601 SF
TOTAL PRIV. OUTDOOR SPACE	23,477 SF
AGGREGATE BALCONY AREA	17,824 SF
PRIV. TERRACE AREA	5,653 SF
TOTAL ROOFTOP OPEN SPACE	12,300 SF
(PRIVATE TERRACES + AMENITY DECK)	
TOTAL SHARED AMENITY DECK AREA	846 SF
TOTAL OCC. OUTDOOR AREA	29,824 SF
(PRIVATE BALCONIES + ROOFTOP)	
NUMBER OF UNITS	UP TO 251
NUMBER OF BEDROOMS	UP TO 319
AVG. OUTDOOR SPACE PER UNIT	119 SF
GROSS LAND AREA	54,981 SF = 1.25 ACRES
LAND AREA PER DWELLING UNIT	217.4 SF
TOTAL PARKING SPACES	UP TO 121 SPACES
PARKING SPACES PER DWELLING UNIT	1.2 SPACES

1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

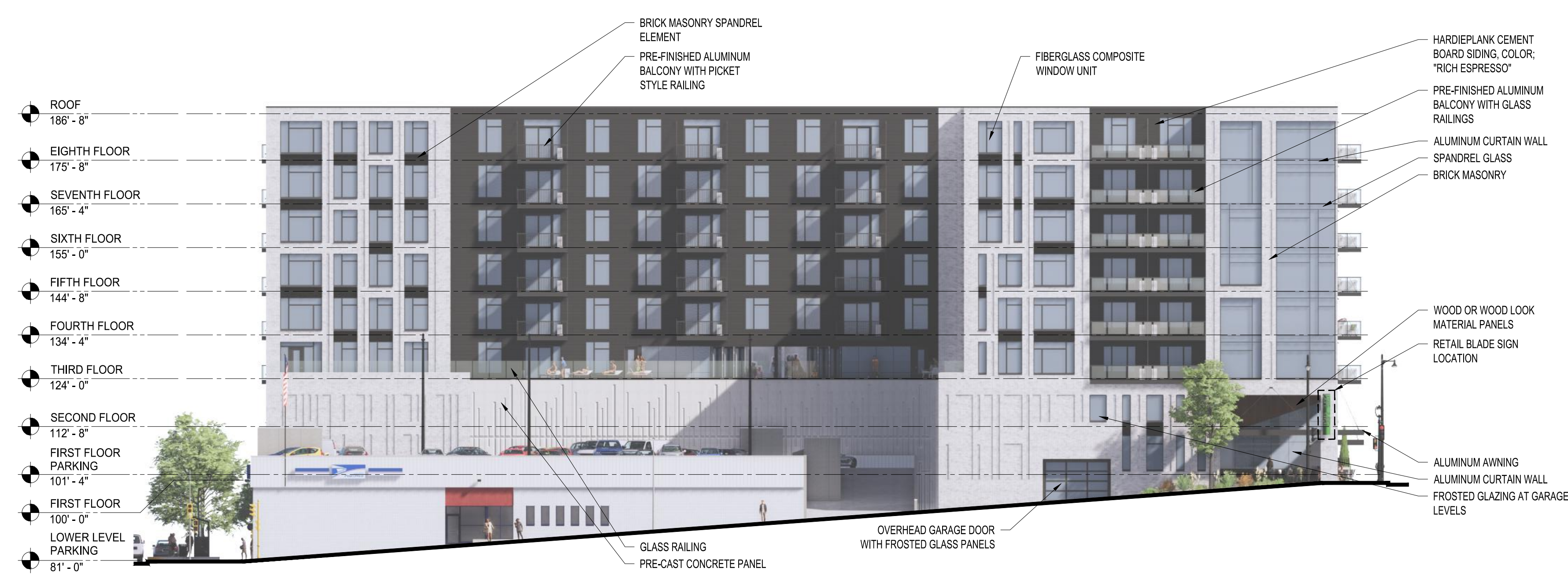
PROJECT NAME:
Nova
1235 N VAN BUREN ST
MILWAUKEE, WI 53202

OWNERS INFO:
NEW LAND ENTERPRISES
1840 N FARWELL AVE
SUITE A
MILWAUKEE, WI 53202
P 414.271.5263

ARCHITECT:
KORB + ASSOCIATES
648 N PLANKINTON AVE.
SUITE 240
MILWAUKEE, WI 53203
P 414.273.8230

REV. NO.	DATE

PROJ. NO: 20010 04
SCALE: AS NOTED
PHASE: PERMIT SET
DATE: 03-02-2021



4 SOUTH ELEVATION
1"=20'



3 EAST ELEVATION
1"=20'



2 NORTH ELEVATION
1"=20'



1 WEST ELEVATION
1"=20'

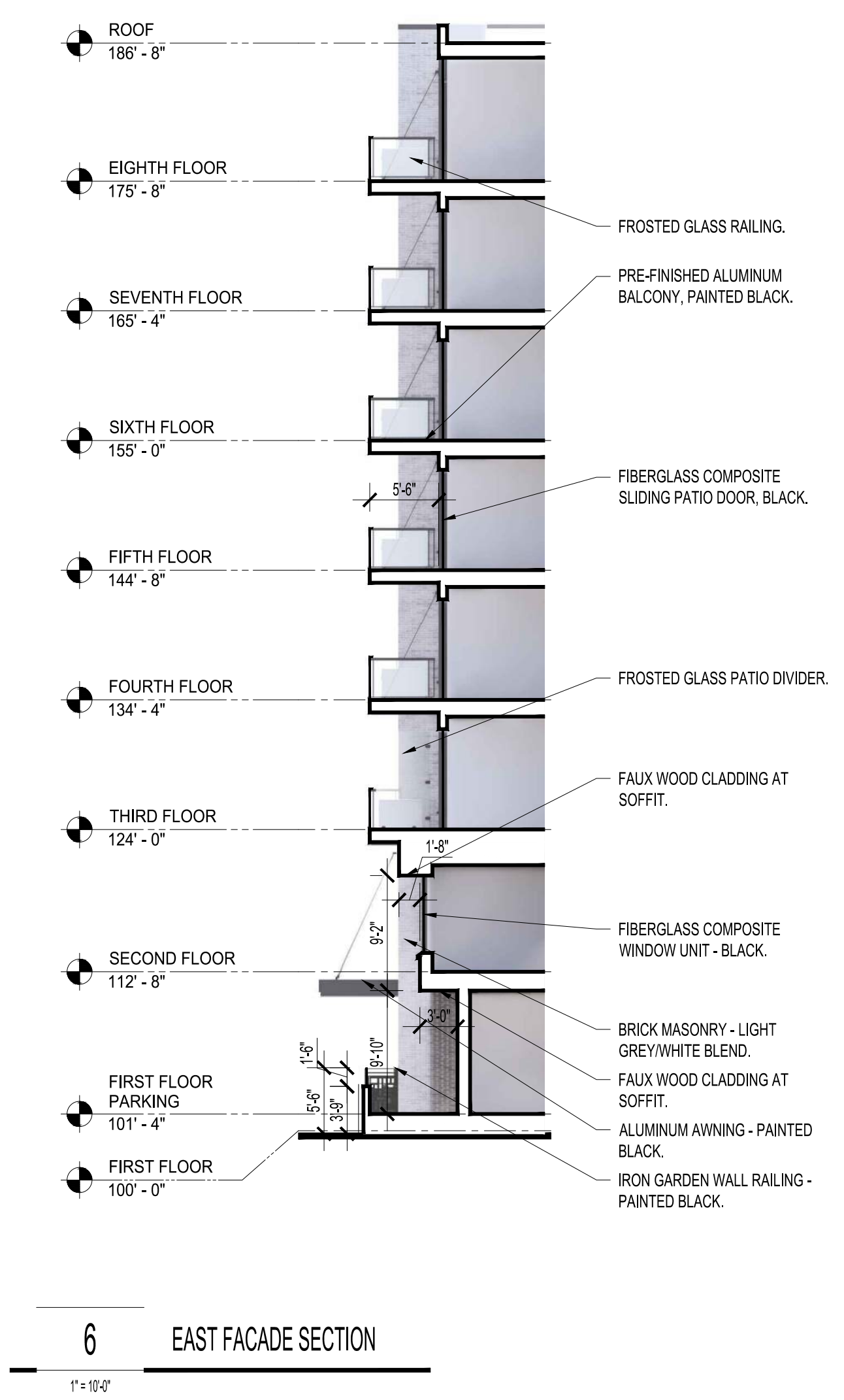
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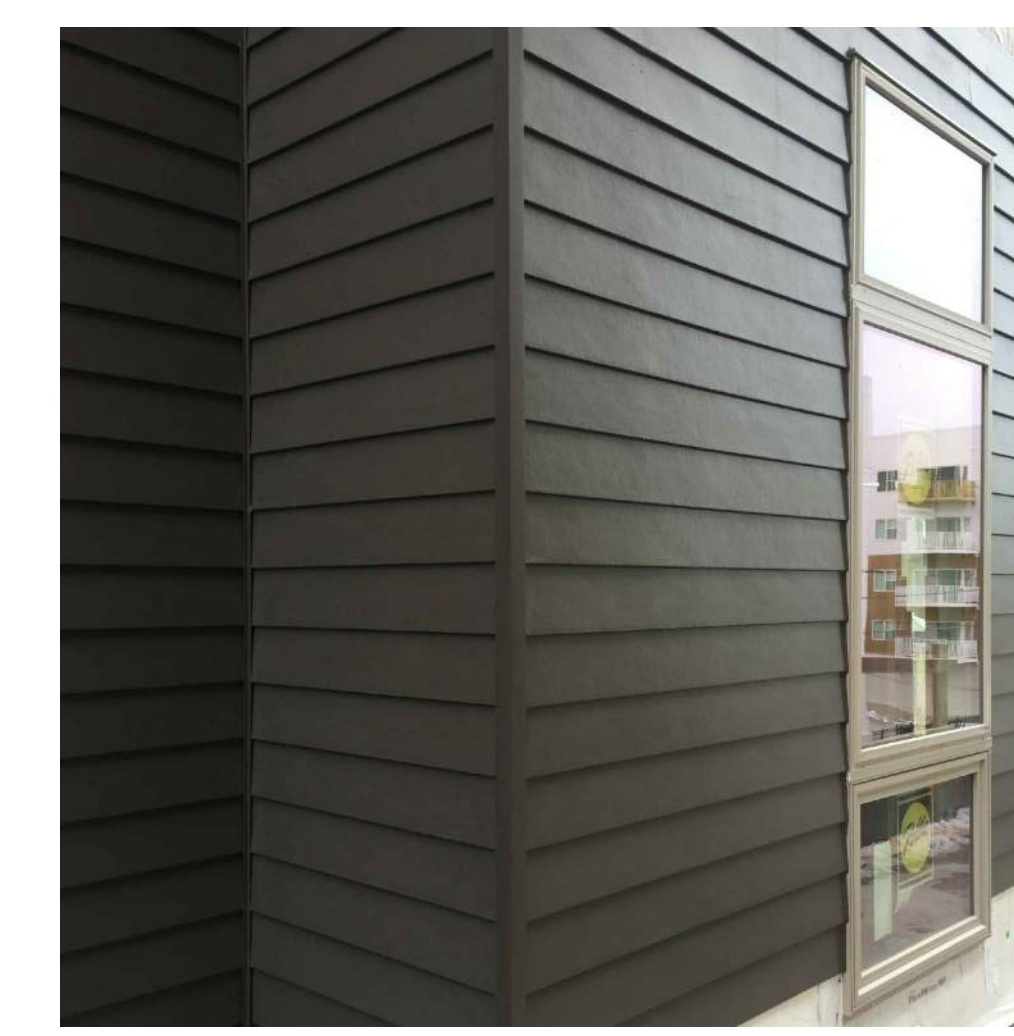
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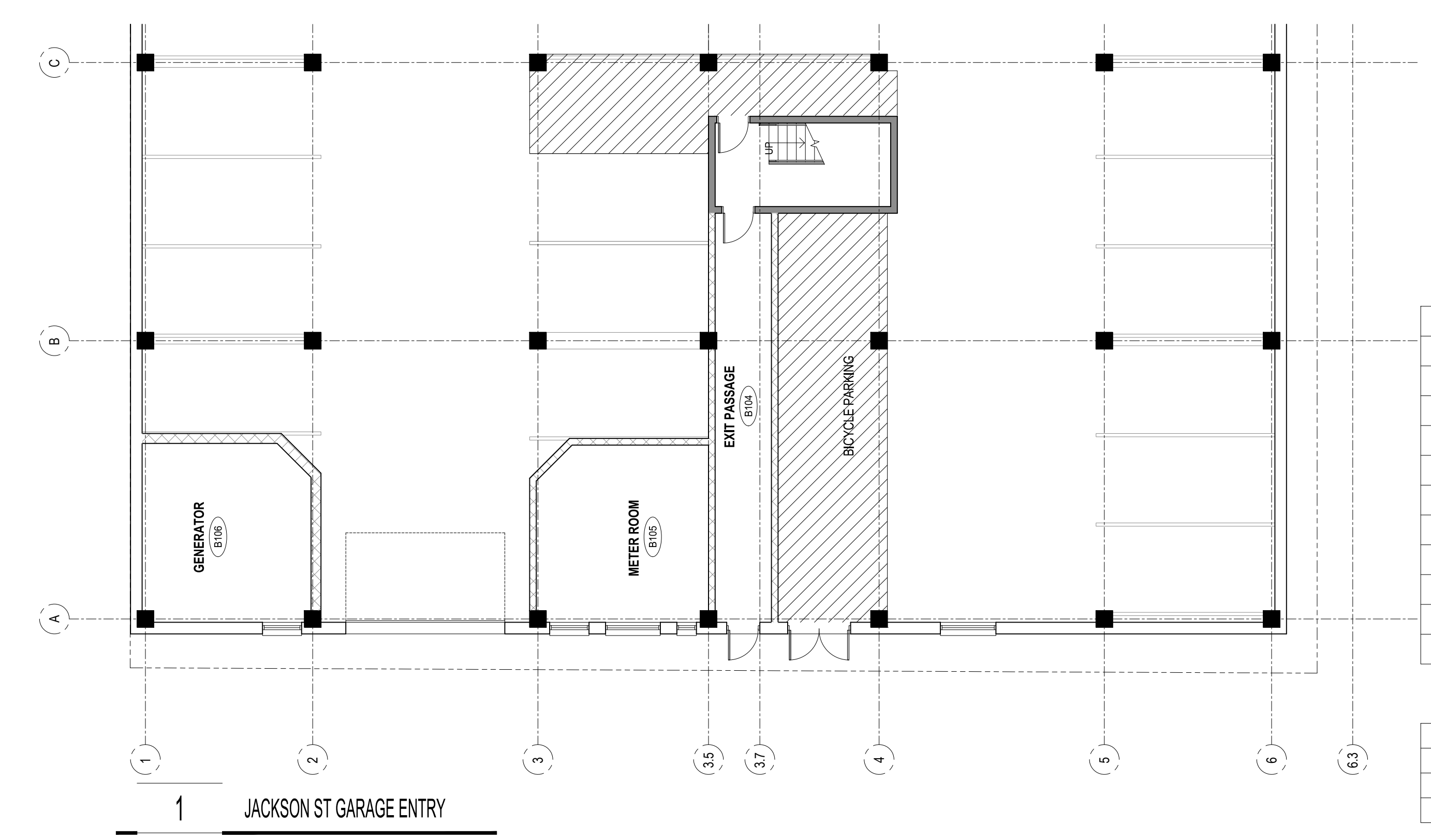
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3 PRE-FABRICATED, PRE-FINISHED ALUMINUM BALCONIES DETAIL



2 EXAMPLE OF HARDIEPLANK CEMENT BOARD SIDING, COLOR, "RICH ESPRESSO"



REV. NO.	DATE

PROJ. NO: 20019 04
SCALE: AS NOTED
PHASE: PERMIT SET
DATE: 03-02-2021