

# 1027 E. BRADY STREET

INTERIOR AND EXTERIOR ALTERATIONS FOR PROPOSED COFFEE SHOP BUILD-OUT

## good vibes coffee house



Existing Condition Photograph



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**GOOD VIBES COFFEE HOUSE**

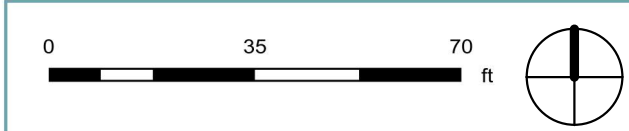
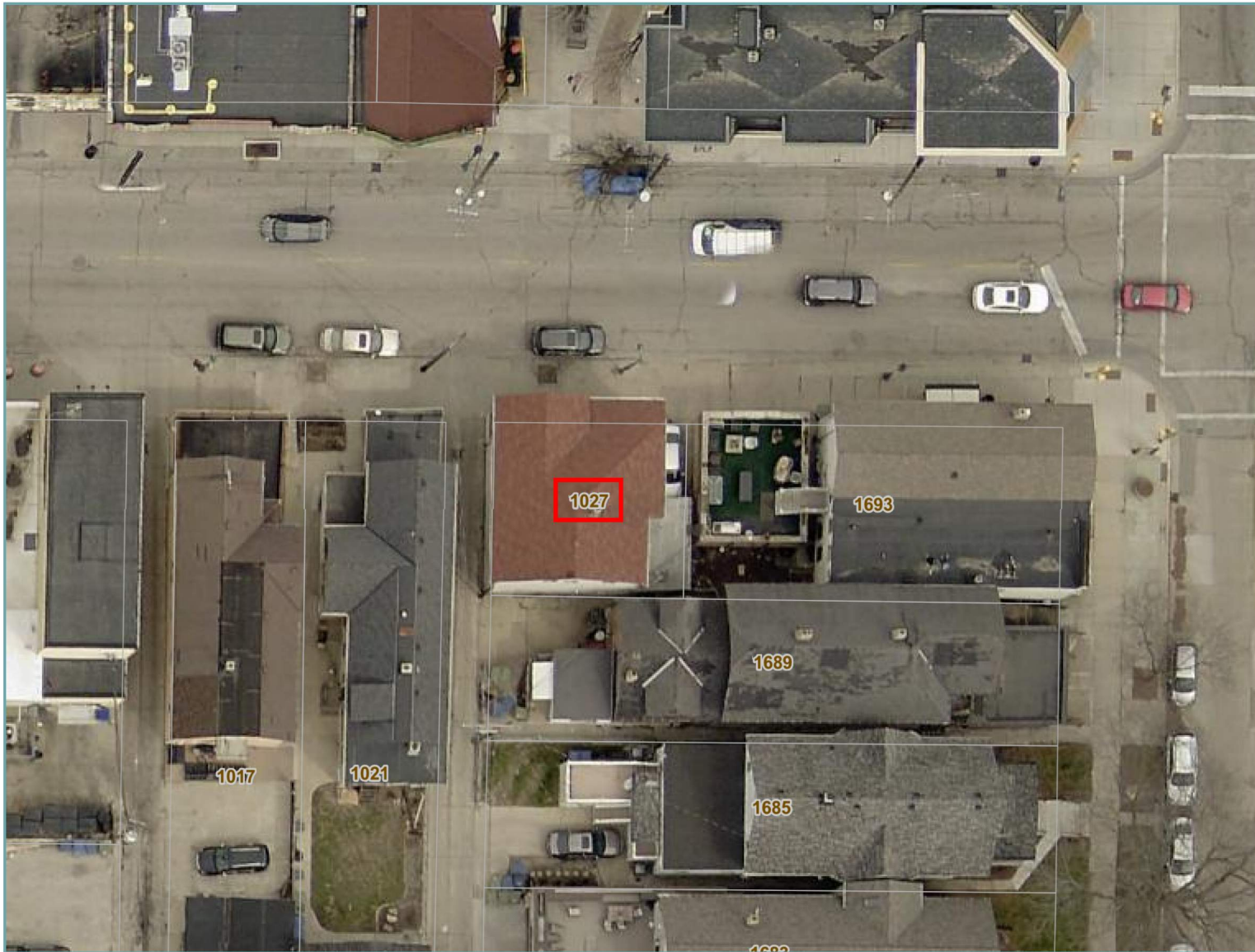
**COM-ALT-24-00054**

Cover Sheet & Project Information

Project Address:  
1027 E Brady St  
Milwaukee, WI 53202

AD-000

Scale:



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

MILWAUKEE COUNTY GIS AND LAND INFORMATION



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**COM-ALT-24-00054**

Site Aerial Image

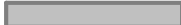

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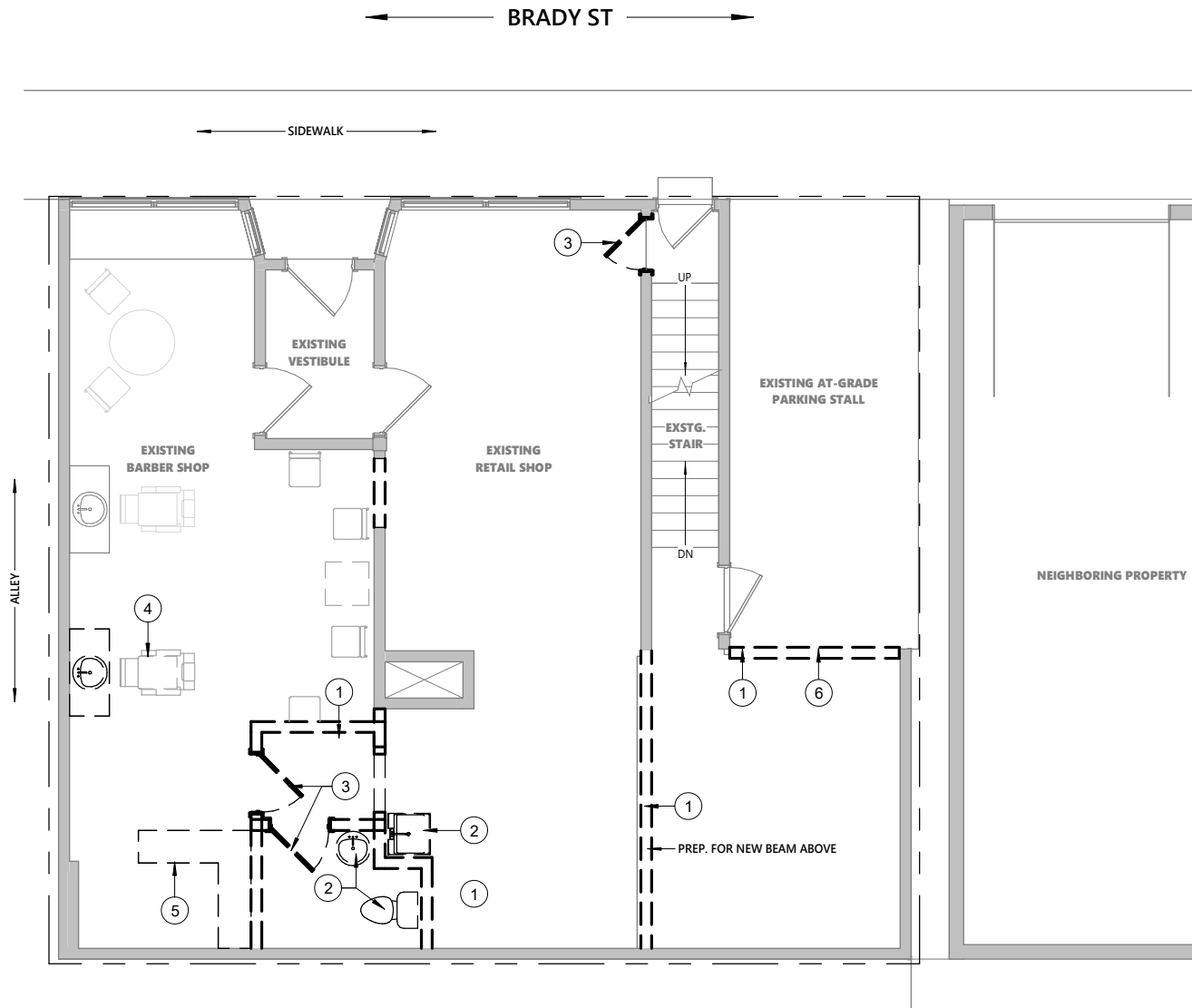
AD-001  
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**DEMO FLOOR PLAN LEGEND**

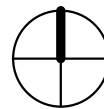
-  EXISTING WALL TO REMAIN
-  DEMO WALL

**DEMO PLAN KEYED NOTES**

- ① Remove Exstg. Wall
- ② Remove Exstg. Plumbing Fixtures
- ③ Remove Exstg. Door & Hardware
- ④ Relocate Barber Vanity & Chair (see sheet AD-201)
- ⑤ Remove Exstg. Casework
- ⑥ Remove Exstg. Window



**1** EXISTING & DEMO PLAN  
1/8" = 1'-0"



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**COM-ALT-24-00054**

Existing & Demo Plan

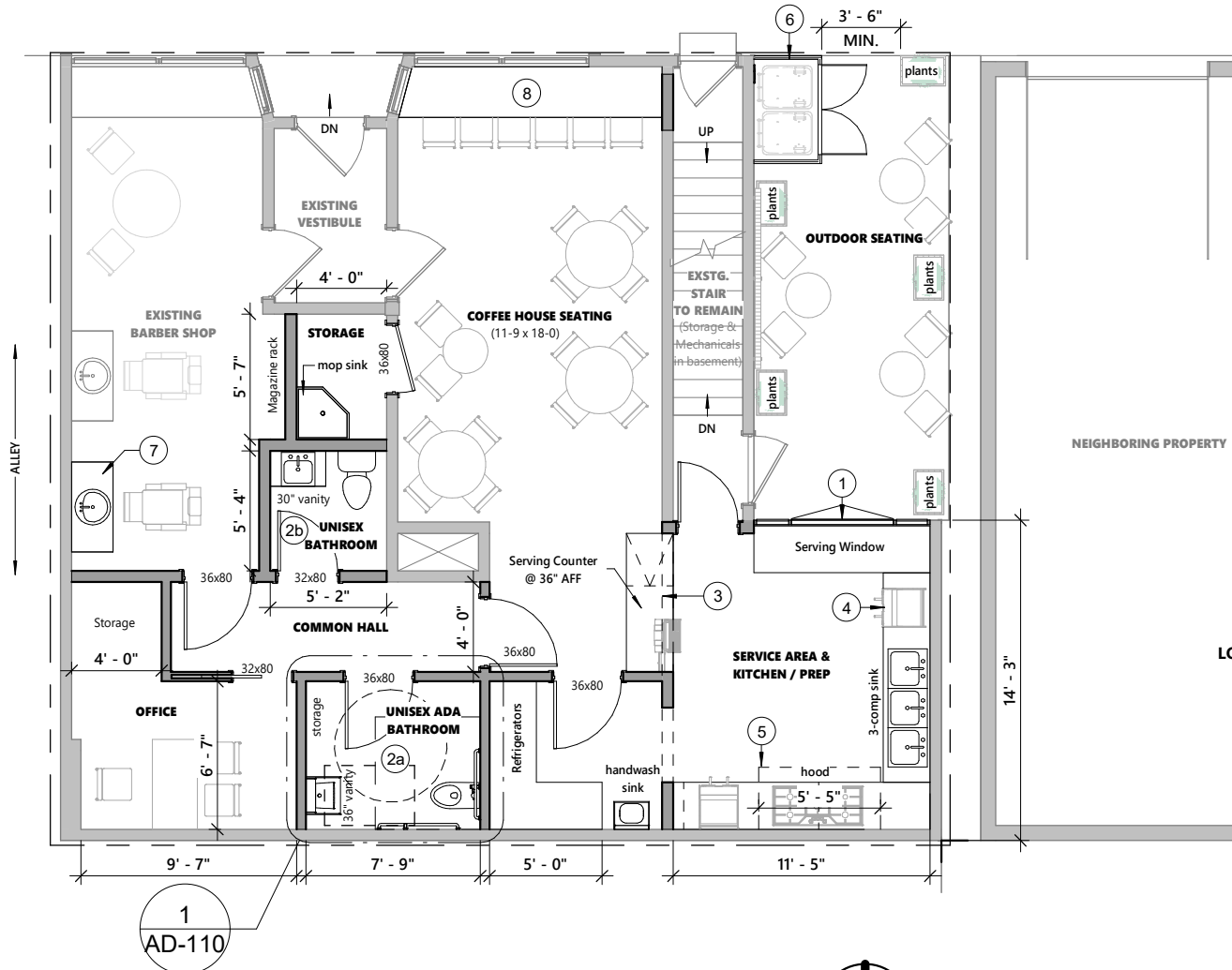
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AD-010  
Scale: As indicated

← BRADY ST →

← SIDEWALK →



**1 FIRST FLOOR PLAN**

1/8" = 1'-0"

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**GOOD VIBES COFFEE HOUSE**

**FLOOR PLAN KEYED NOTES**

- ① New Dark Bronze Aluminum Storefront Glazing System
- ②a New/Renovated ADA Compliant Bathroom & Fixtures
- ②b New Non-ADA Bathroom & Fixtures
- ③ New Beam Above
- ④ Coffee / Beverage Dispensers & Equipment
- ⑤ New Type 1 Hood with Fire Protection System
- ⑥ 4'-0" Tall Garbage Receptacle Screen
- ⑦ Relocated Barber Chair
- ⑧ New Seated Countertop

**OCCUPANT LOAD FACTORS**

OCCUPANCY TYPE	SQ FOOTAGE	LOAD FACTOR	LOAD FACTOR
M - Mercantile (Barber)	203 SQ FT	/ 60 GROSS	4
B - Business (Coffee Shop)	238 SQ FT	/ 15 NET	16
B - Business (Kitchen / Prep)	211 SQ FT	/ 200 GROSS	2
B - Business (Office)	85 SQ FT	/ 100 GROSS	1
<b>TOTAL:</b>			<b>23</b>

**LOAD FACTOR FIXTURE CALCULATION FOR EACH SEX: 23 / 2 = 12**

PER IPC CODE: Table 403.1 MINIMUM NUMBER OF FIXTURES  
(B) Business Occupancy - 1 per 25 for the first 50 & 1 per 50 for the first remainder exceeding 50

PER IPC CODE: 403.2 SEPERATE FACILITIES  
Where plumbing fixtures are required, separate facilities shall be provided for each sex.

**TOTAL BATHROOM FIXTURES REQUIRED: 2**

PER IBC CODE: 1109.2. exception 3 TOILET & BATHING FACILITIES  
Where multiple single-user toilet rooms are clustered at a single location, at least 50% but not less than one room for each use at each cluster shall be accessible

**TOTAL ADA BATHROOM FIXTURES REQUIRED: 1**

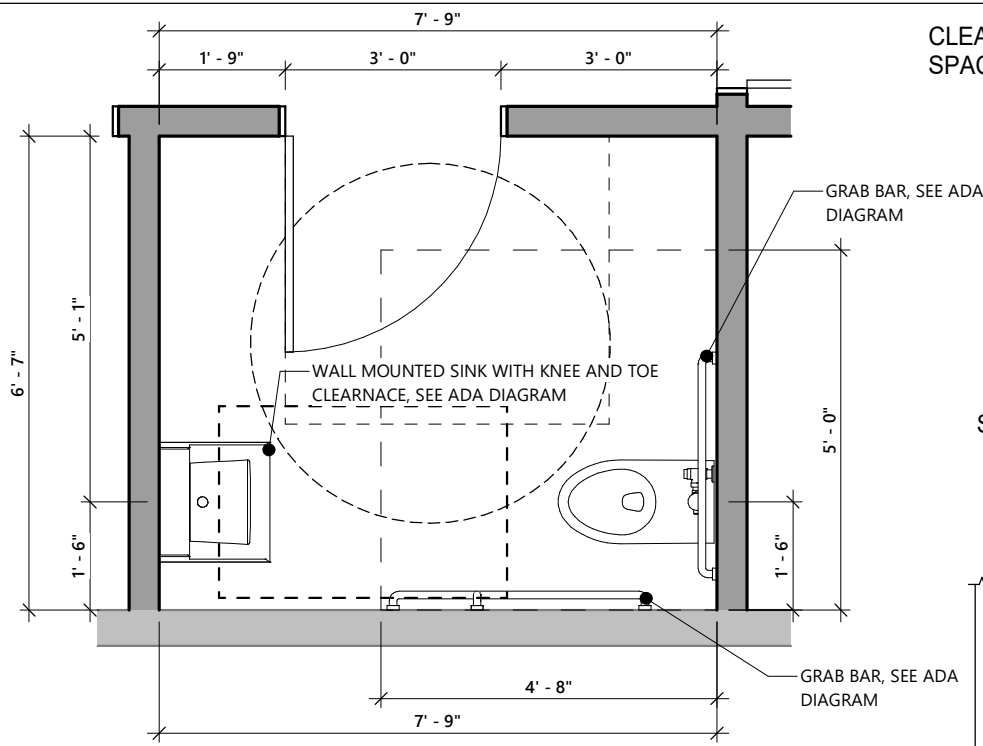
**COM-ALT-24-00054**

1st Floor Plan

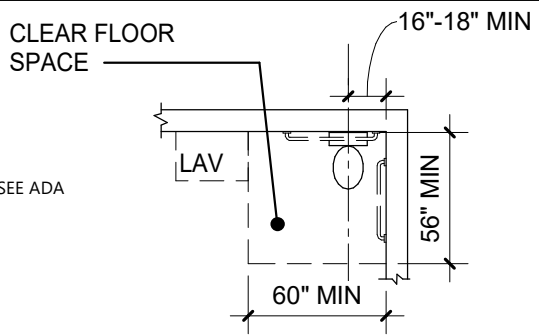
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AD-101

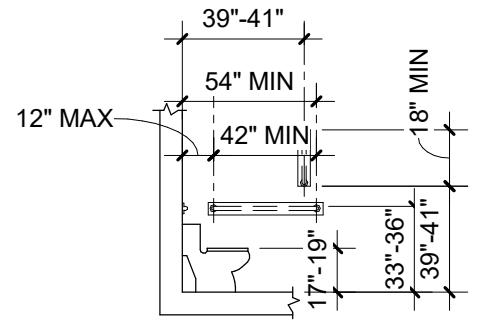
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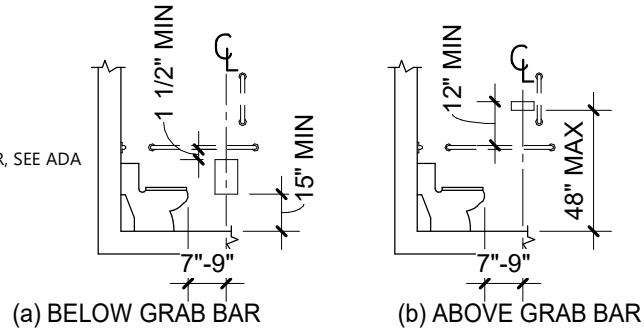
**1 01 FIRST FLOOR PLAN - Callout 1**  
3/8" = 1'-0"



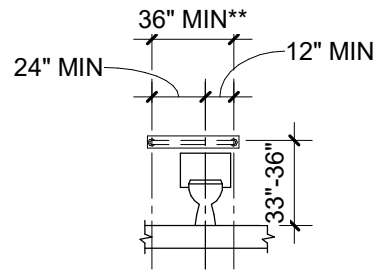
**FIG. 604.3**  
SIZE OF CLEARANCE FOR WATER CLOSET AT ACCESSIBLE BATHROOMS



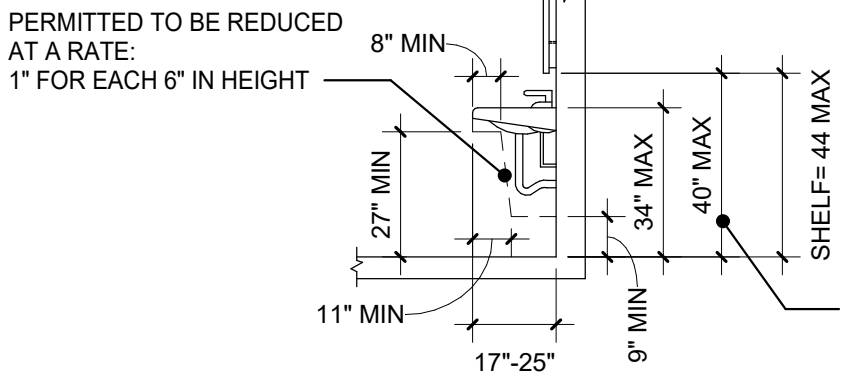
**FIG. 604.5.1**  
SIDE WALL GRAB BAR FOR WATER CLOSET



**FIG. 604.7**  
DISPENSER LOCATION



**FIG. 604.5.2**  
REAR WALL GRAB BAR FOR WATER CLOSET



**FIG. 606.3**  
HEIGHT OF LAVATORIES AND SINKS

ANSI 606.6 EXPOSED PIPES AND SURFACES. WATER SUPPLY AND DRAINPIES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.

BC P102.8.5 & ANSI 604.6 FLUSH CONTROLS. FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED FLUSH CONTROLS SHALL COMPLY WITH ANSI 309. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.



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**GOOD VIBES COFFEE HOUSE**

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ADA Bathroom

AD-110  
Scale: As indicated

**EXTERIOR KEYED NOTES**

- ① Existing annex to remain - Repair roof and rear/side facing wall siding, as required.
- ② New dark bronze aluminum framed glass storefront system. Clear insulated glass, no low-e coating.
- ③ Replace Existing Door in-kind.
- ④ Paint existing paneling. and cornice molding.
- ⑤ New raised lettering signage.
- ⑥ New light fixtures.
- ⑦ New 48"h painted wood refuse enclosure screen
- ⑧ Existing parking space to be re-purposed as seating area with movable chairs and tables
- ⑨ Azek Composite smooth panel trim, painted
- ⑩ Dark Bronze insulated metal panel integrated into storefront framing system
- ⑪ Existing Vinyl Siding to remain



**1** Front Perspective View



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**GOOD VIBES COFFEE HOUSE**

**COM-ALT-24-00054**

Exterior Perspective

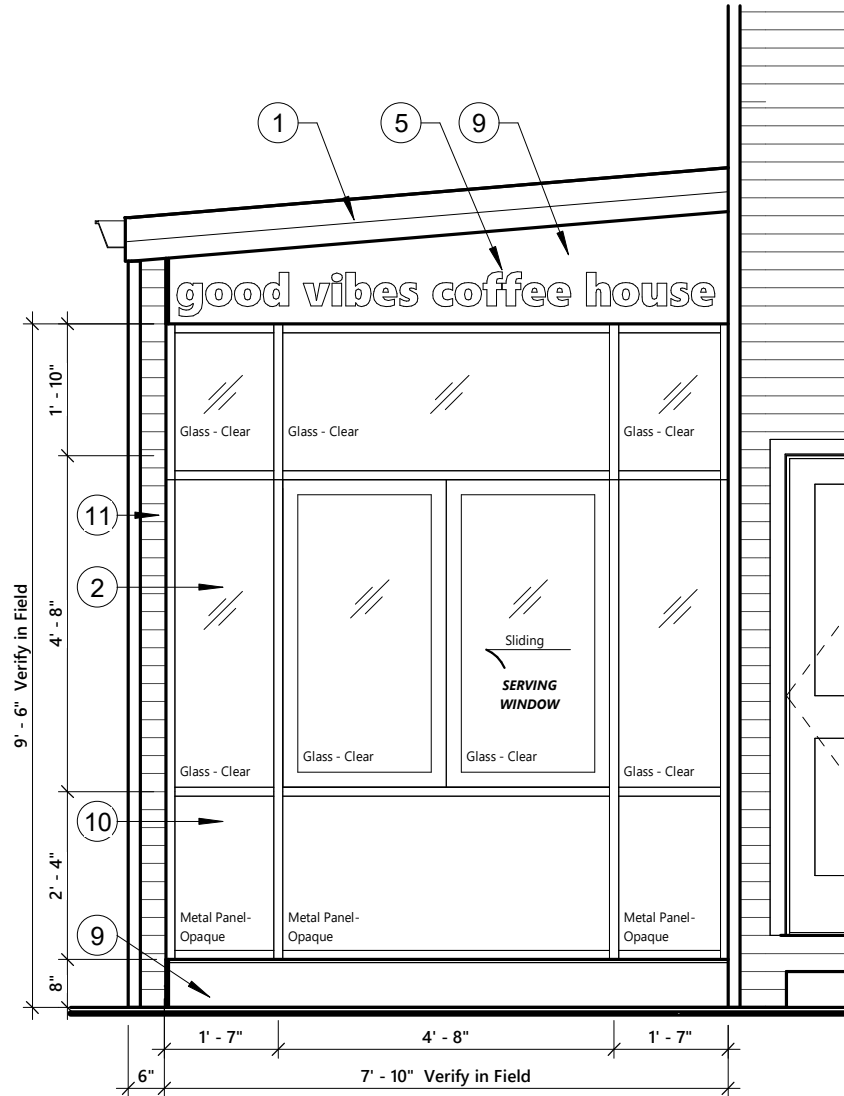
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AD-300

Scale: 12" = 1'-0"



Existing Condition Photographs



**1** New Storefront Elevation  
3/8" = 1'-0"

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Exterior Elevation

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AD-301

Scale: As indicated

**SECTION 084113: ALUMINUM-FRAMED STOREFRONT SYSTEM**

Basis of Design: Kawneer Architectural Aluminum Storefront Systems, including perimeter trims, stools, accessories, shims and anchors, and perimeter sealing of storefront units.

B. Types of Kawneer Aluminum Storefront Systems include:

- 1. Trifab® VersaGlaze® 451T Framing System
  - a. 2" x 4-1/2" (50.8 mm x 114.3 mm) nominal dimension
  - b. Thermal
  - c. Center glazed

**PERFORMANCE REQUIREMENTS**

A. General Performance:

- 1. Product to comply with the specified performance requirements without failure due to defective manufacture, fabrication, installation, or other defects in construction, as determined by testing of aluminum storefront systems representing those indicated for this project.
- 2. Aluminum storefront systems shall withstand movements of supporting structure including, but not limited to, story drift, twist, column shortening, long-term creep, and deflection from uniformly distributed and concentrated live loads.

B. Delegated Design:

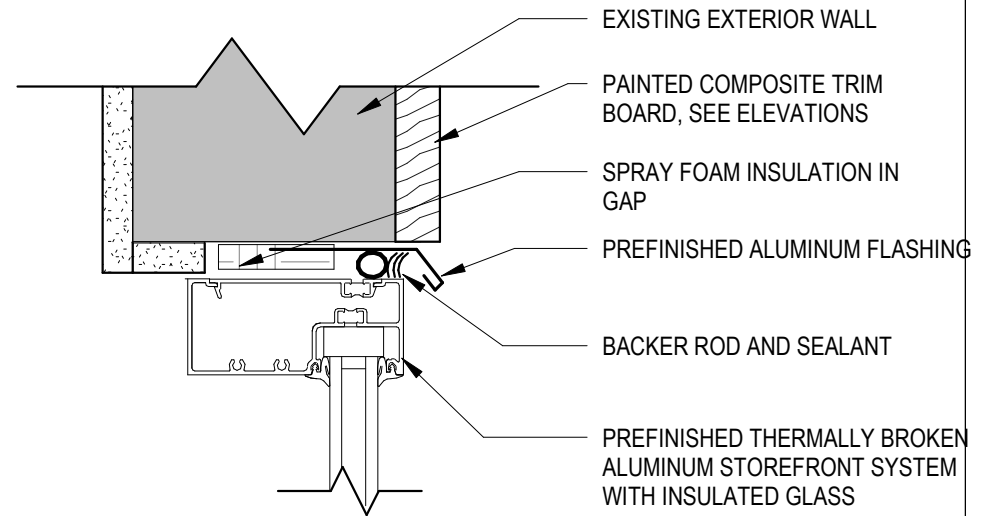
- 1. Design aluminum storefront systems, including comprehensive engineering analysis by a qualified professional engineer, using performance requirements and design criteria indicated.

**ALUMINUM FINISHES**

A. Finish designations that are prefixed by AA comply with the system established by the Aluminum Association for designating aluminum finishes.

B. Factory Finishing:

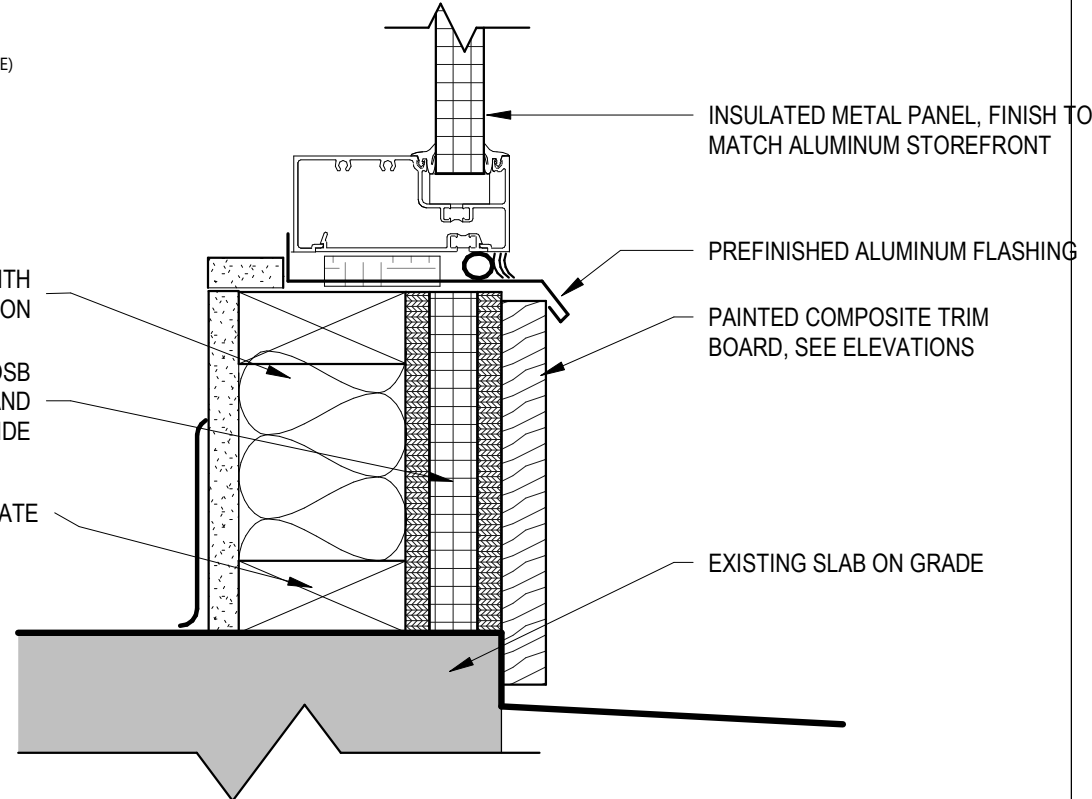
- 1. Kawneer Permanodic® AA-M10C21A44, AAMA 611, Architectural Class I Color Anodic Coating (Color DARK BRONZE)



2X4 WOOD STUD FRAMING WITH R-13 MINERAL WOOL INSULATION

1" RIGID INSULATION W. 1/2" OSB SHEATING ON EA. SIDE AND WEATHER BARRIER ON OUTSIDE

TREATED SOLE PLATE



**1 Storefront Head/Sill Detail**  
3" = 1'-0"

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Storefront Specifications



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Project Address:  
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AD-302

Scale: 3" = 1'-0"





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**GOOD VIBES COFFEE HOUSE**

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Existing Condition Photographs

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AD-303

Scale: