

## Department of Public Works Comments

### Review for a Detailed Planned Development (DPD) for a mixed-use building in Block 5 within the Milwaukee Bucks Arena Development General Planned Development (GDP).

January 17, 2025

The proposed mixed-use development will be located within Block 5 of the Milwaukee Bucks Arena Development GDP, which is bounded by North Dr. Martin L. King Jr. Drive, West Juneau Avenue, West McKinley Avenue, and North Vel R. Phillips Avenue. The proposed project will require a change in zoning from General Planned Development (GDP) to a Detailed Planned Development (DPD). This development will consist of a 269-unit apartment building; 276-car parking garage; gymnasium; and an open plaza. The plaza will occupy the northeast corner of the block above existing MMSD utilities and easements. Per the plans, there will be two trash rooms, one for the retail components of the building and one for the residential units.

### **Water**

Water Review Comments for [Block 5 Mixed Use Development] [1224 N. Vel R. Phillips Ave.]:

- MWW has a 12” water main in W. Juneau Av. available to serve the subject development.
  - Current location of proposed 8” branch to be served by this water main
- MWW has a 16” water main in N. Martin Luther King Dr. available to serve the subject development.
- MWW has a 12” water main in W. McKinley Av. available to serve the subject development.
- All proposed water service/branch abandonments, taps and installations to be reviewed and permitted by DNS Plan Exam (Milwaukee Development Center).
- Proposed Water Service as noted on plans would be designated as a “Branch” by MWW and Development Center for permitting and recording purposes.
- Tapping means/methods would need to be coordinated with DNS Plan Exam (Milwaukee Development Center) during the permitting process.
- Any proposed bends in branch pipe would require additional review by DNS Plan Exam.
  - Typically not allowed; Potentially may be allowed to apply for a waiver/exception during permitting process
- Water Maps may be ordered through Diggers Hotline (800)-242-8511 or 811
  - Caller should state “For planning purposes only-Milwaukee Water Works only need reply”.
  - Non-residential requestors may be directed to the Diggers Hotline portal.
  - Website: <https://www.diggershotline.com/> (Portal: <https://geocall.diggershotline.com/geocall/portal> )

- Any proposed water mains or fire protection shown on the site will be private.
  - Private hydrants are required to be metered.
  - Metering can occur through a meter pit or in the building.
  - Private hydrant should be connected to water system after the metering device.
- Milwaukee Department of Neighborhood Services – Plan Exam (Milwaukee Development Center) reviews all private-side water inquiries and permit submittals.
  - Includes questions related to water services, water branches, water meter pits/vaults, proposed water meter locations, private fire protection requirements, plumbing permits, etc.
  - Includes coordination of tapping means/methods during the permitting process.
  - Milwaukee Development Center General Phone # 414-286-8210 & Email DevelopmentCenterInfo@milwaukee.gov
  - Milwaukee Development Center – DNS Plumbing/Water Specific Phone # 414-286-8208
  - Website: <https://city.milwaukee.gov/DNS/permits>
- Water permit information and standards/specifications can also be found online <https://city.milwaukee.gov/water/PermitsSpecs>
- If needed for development plumbing calculations, information regarding system water pressure or nearby flow tests on water system may be requested from watflowtest@milwaukee.gov

## **Environmental**

- A Storm Water Management Plan (SWMP) is required for this development.
- A flow allocation request to MMSD is required and the Sewer Department is taking care of this request.
- City sewers are available to serve the property in West Juneau Avenue, N. Vel Phillips Avenue (4th Street) and N. Dr. Martin Luther King Jr. Dr.
- City sewers are not available in W. McKinley Ave.

## **Street Lighting**

DPW Street Lighting has street lighting facilities, including underground conduit, cable, and poles, around the perimeter of the proposed development. Based on the project design, underground street light circuitry and street light units will be impacted. During excavation and construction phases of the project, temporary overhead street lighting will be required.

Any relocation or removal of existing street lighting units within the public right-of-way around the perimeter of the development is to be assessed during the Excavation and Restoration permit process. The applicant will be responsible for all material and labor costs both for temporary and for permanent street lighting work. This work is to be performed by a licensed electrical

contractor and may include installation of new poles, underground conduit, in-ground vaults and cable. Street Lighting will perform inspection and final end point connections after contractor completes the installation. Street Lighting will provide necessary engineering plans and specifications. A service fee for engineering services related to street lighting work will be required as part of the permit process.

With respects to the relocation or removal of existing street lighting units, please note that there is a minimum 18-inch clearance required between the back of the street curb and amenities such as the scooter corral, bike racks, and planter edges. Additionally, street trees should be located at least 20 feet away from street lighting units to ensure that the tree canopy does not block light output. It is expected that the number and locations of proposed trees to be planted in the public right-of-way will need to be altered.

There are several small cell poles within the public right-of-way surrounding the project. Small cell poles have private telecommunications facilities attached in addition to publicly owned street lighting and/or traffic signals facilities. These locations are as follows:

1. West side of N. Dr. Martin L. King Jr. Dr. at the southwest corner of N. Dr Martin L. King Jr. Dr. and W. McKinley Ave.
2. East side of N. Vel R. Phillips Ave. at the southeast corner of N. Vel R. Phillips Ave. and W. McKinley Ave.
3. East side of N. Vel R. Phillips Ave. mid-block within the proposed driveway (it is expected that the existing small cell pole will need to be moved to the north, approximately 6 feet north of the north curb flare of the proposed driveway approach)

Note: The development team is responsible to coordinate relocation of small cell poles with private utility owners.

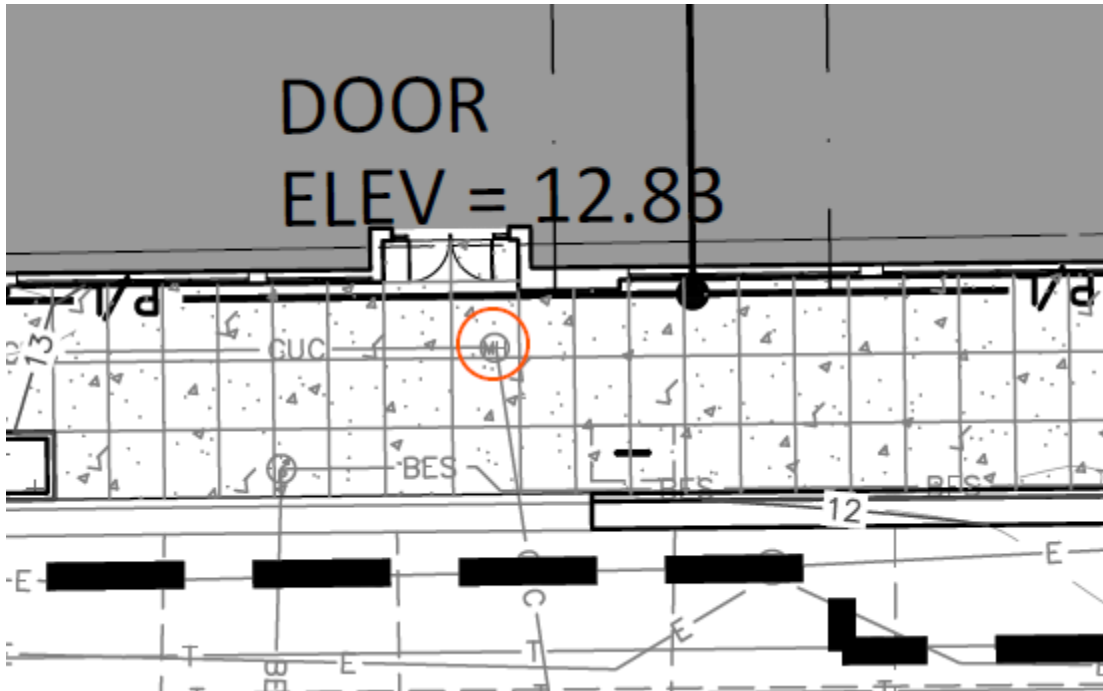
## **Underground Conduit**

### **Juneau Ave:**

City Underground Conduit (CUC) has a conduit and manhole package in the sidewalk area on Juneau Avenue from Vel R Phillips to a point east. The outside edge of the conduit package is within two feet of the proposed building and the outside wall of manhole is within 6 inches of the property line. The building means and methods shall not expose nor undermine this conduit package and/or manhole. The sidewalk will need to remain in place while the building is being constructed to provide protection over the CUC facilities.

This CUC package not only carries vital City Communication but several other telecoms including those that provide service to Fiserv Forum.

The CUC manhole is directly in front of the proposed entrance into the building. When the manhole is open and crews are pulling cable, the entrance into the building will not be accessible.



**Dr Martin Luther King Jr Dr (MLK):**

There is an existing CUC conduit package running behind the curb at Juneau and MLK for an approximate distance of 50 feet. The package then continues north to McKinley in the roadway just east of the street curb.

This conduit shall remain in place and shall not be exposed or undermined during the development of the property.

**W. McKinley Ave:**

There is CUC located within the roadway and not impacted by the development.

**N Vel R Phillips:**

There is CUC located within the roadway and not impacted by the development.

**Additional Items**

The City of Milwaukee leases space to the majority of telecom companies with the exception of AT&T. It is highly recommended that you provide a conduit lateral connection from a manhole on your property to a CUC manhole in one of the streets bordering the development. This would allow every telecom that utilizes the CUC system access to the development without having to trench the street not only now but in the future if you change providers. With the number of utilities within the City's rights-of-way, it can be very difficult for individual telecoms to find room within the streets to install their own facilities.

## **Planning & Development**

The project narrative appears to have inconsistencies regarding the number of parking spaces and dwelling units. The project summary on Page 1 of Exhibit A says that there will be 278 parking stalls and 209 dwelling units. The site statistics portion of Exhibit A found on pages 14 and 15, says that the project will have 276 parking stalls and 269 dwelling units. For the purposes of the Department of Public Works (DPW) review, the larger quantities of parking spaces and dwelling units were used to evaluate the development.

The development is proposing on-street loading zones as follows:

- North Dr. Martin L. King Jr. Drive adjacent to the main residential entrance for residential tenant deliveries
- West Juneau Avenue adjacent to the internal loading area/trash bay for residential move-ins and move-outs, commercial tenant deliveries, and to provide trash hauler access
- North Vel R. Phillips Avenue for pick-ups and drop-offs, deliveries, and trash removal at the fieldhouse

DPW is supportive of establishment of formal loading zones to support the functional needs of this development. The developer or property owner should contact Mr. Dale Dietze at 414-286-8678 to apply for the loading zones. In addition to the on-street loading zones, the development includes an internal loading area accessed from West Juneau Avenue that can be used both for access to the residential and commercial trash rooms and for residential move-ins and move-outs.

Per additional documents provided to DPW, the development proposes to use an area along the west end of the plaza for loading and unloading for the fieldhouse, more specifically for visiting sports teams and, possibly, other deliveries. DPW is not supportive of loading and unloading activities that would result in large vehicles having to back into or off of West McKinley Avenue. DPW requests that use of the plaza for fieldhouse operations be limited to smaller vehicles that are no larger than a 16-passenger van. Larger vehicles, such as school buses, coach buses, semi-trucks, or any vehicle requiring commercial driver's license, should not be performing loading and unloading or delivery operations for the field house within the plaza. Further, flag persons should be present to direct vehicular and pedestrian traffic on West McKinley Avenue to facilitate movements of vehicles into or out of the plaza space.

There are existing MMSD facilities located within the northeast quadrant of the plaza adjacent to the intersection of West McKinley Avenue and North Dr. Martin L. King Jr. Drive. DPW recognizes that MMSD will need to do routine maintenance of these facilities. DPW also recognizes that some work related to this maintenance may need to occur in the public right-of-way. While permits for work in the public right-of-way will be required for work occurring in the public right-of-way, DPW will work with MMSD to assist them in obtaining required permits and approvals.

Per the narrative, the development will have 23 short-term and 73 long-term bicycle parking spaces. The quantities of the bike parking for the residential portion of the development are calculated based on 269 dwelling units. Long-term bike storage is located on the first floor within the building. DPW requests that doors between the bike room and the vestibule to the plaza be served with door openers (push button or otherwise) as there are at least three doors between the bike storage room and access to the exterior of the building. With regards to short-term bike

parking, DPW notes that the plans only show one rack on West Juneau Avenue to serve the commercial tenants on that street. The developer should consider adding additional racks within the West Juneau Avenue frontage to be spaced out along the block. DPW also recommends that additional short-term bike parking be provided to serve programming at the Field House.

The proposed building will extend to the property line except for where the building is adjacent to the plaza. While it appears that the building design has doors setback into the façade, DPW would note that frost protected landings for doors along street frontages may not project into the paved public sidewalk. The entirety of any and all frost protected landings at doorways must be located on private property.

There was a vehicular access restriction along the south side of West McKinley Avenue between North Vel R Phillips Avenue and North Dr. Martin L. King Jr. Drive. This vehicular access restriction has been released via Common Council Resolution File Number 240166.

DPW notes that the development site is directly served by two Milwaukee County Transit System (MCTS) routes 19 and 33. There are numerous other MCTS routes in close proximity to the development.