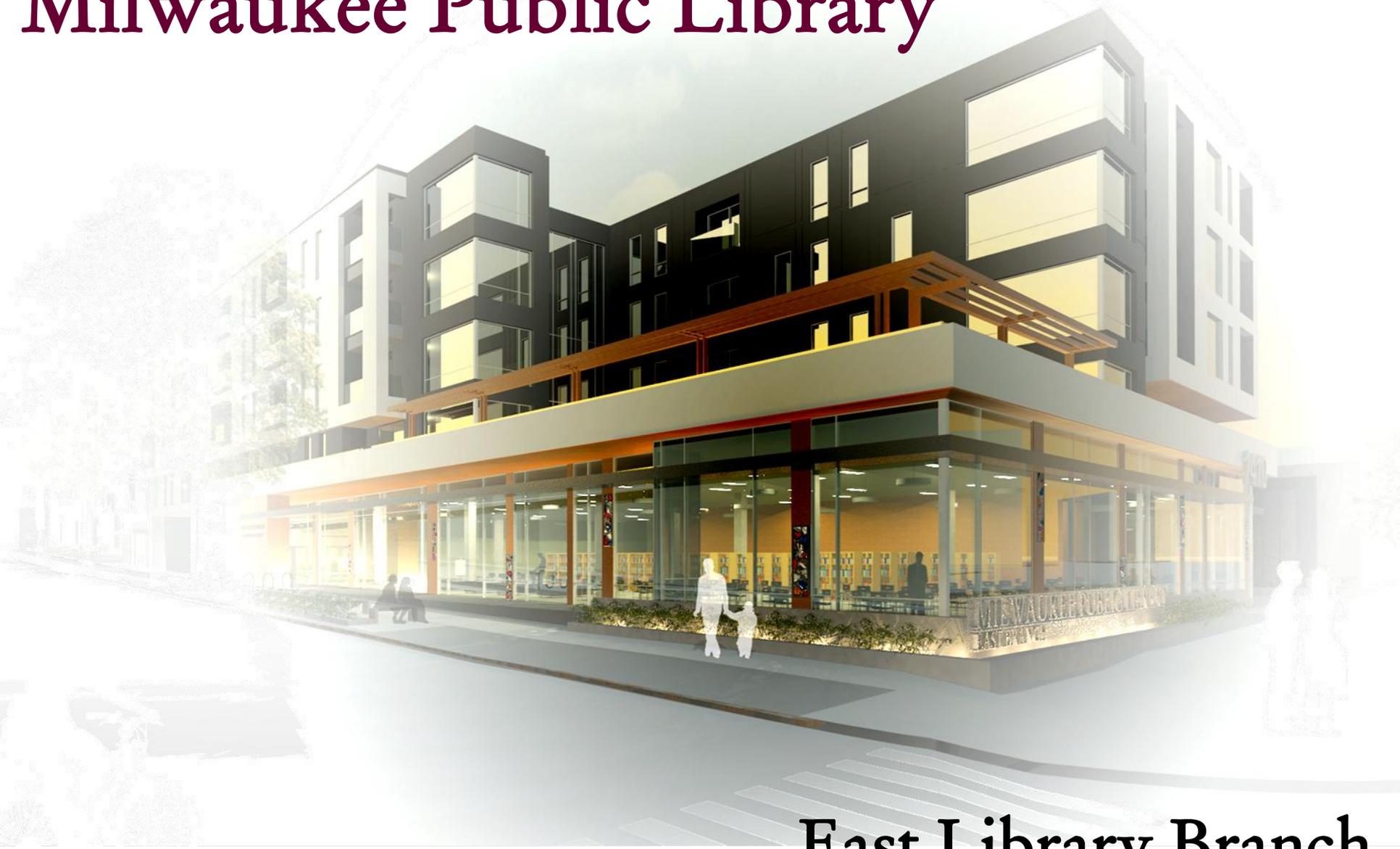


Milwaukee Public Library



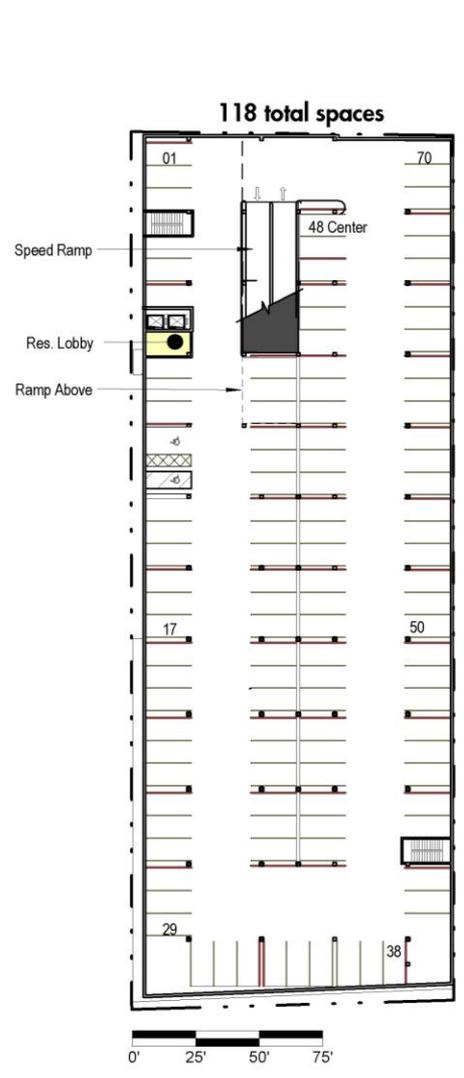
East Library Branch

Complying with the Design Guidelines for the East Side Business Improvement District

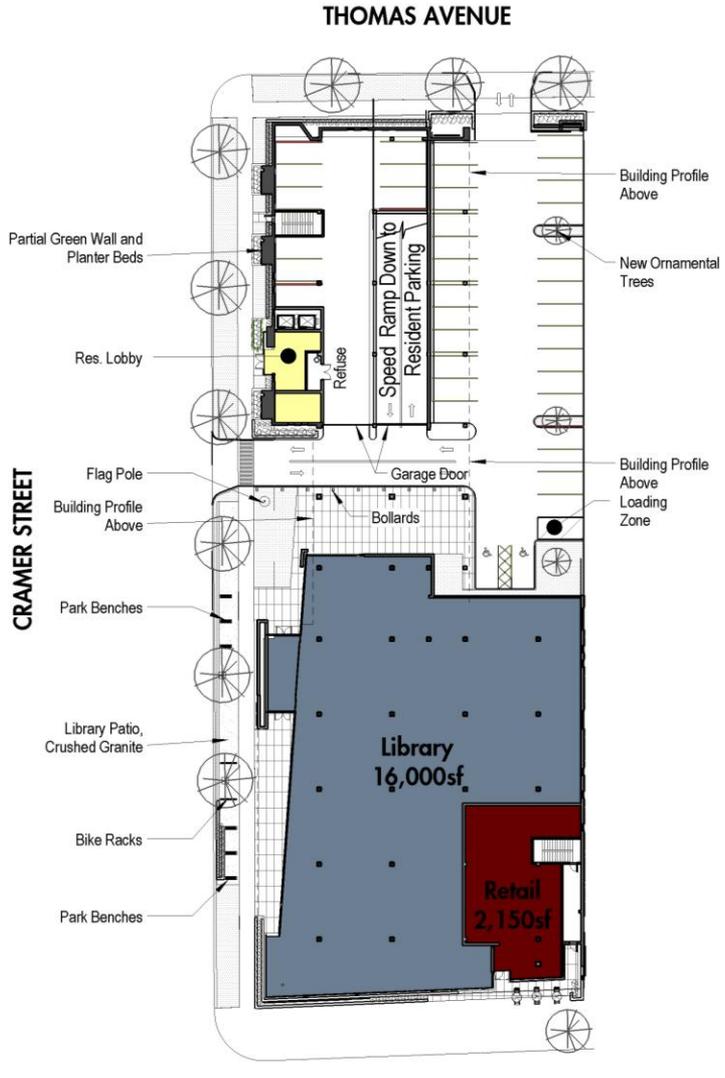
HSI PROPERTIES - WIRED PROPERTIES - ENGBERG ANDERSON



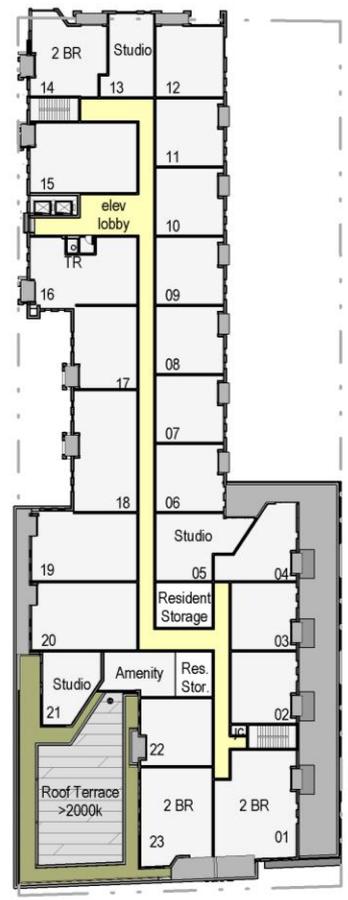
MILWAUKEE
PUBLIC LIBRARY



LOWER LEVEL



FIRST LEVEL

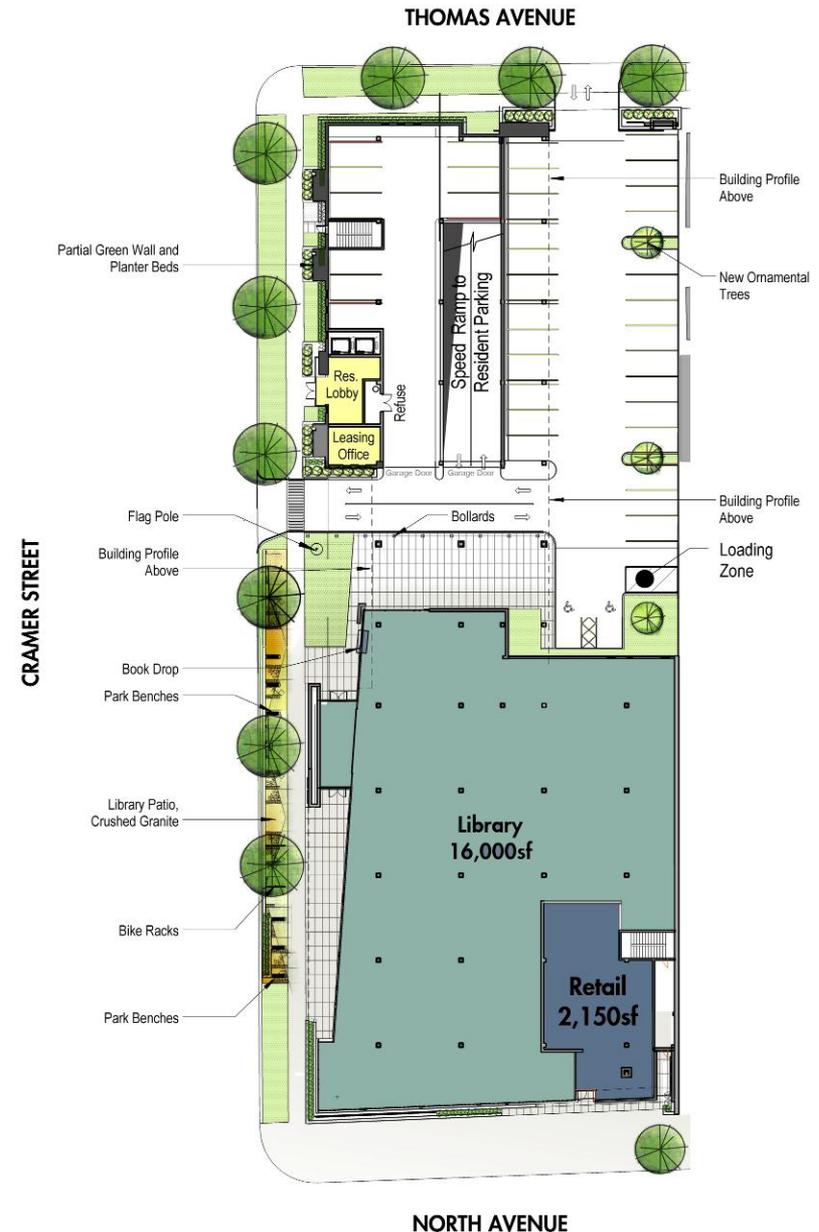


FIRST RESIDENT LEVEL

Complying with the Design Guidelines for the East Side Business Improvement District

Landscaping

- The North Avenue streetscape will include hardscape and street trees.
- The Cramer Street streetscape at the Library will be primarily hardscape and street trees with a planter along the building edge. The zone between the curb and sidewalk will include benches and bike parking.
- The Cramer street edge along the residential portion of the building softens with the parkway planted with grass and street trees. and the residential mass set back x feet with native plantings along the edge.
- Potted trees soften the Eastern edge of the surface parking. The surface lot is above parking below so full size trees are not possible.















Library Entrance

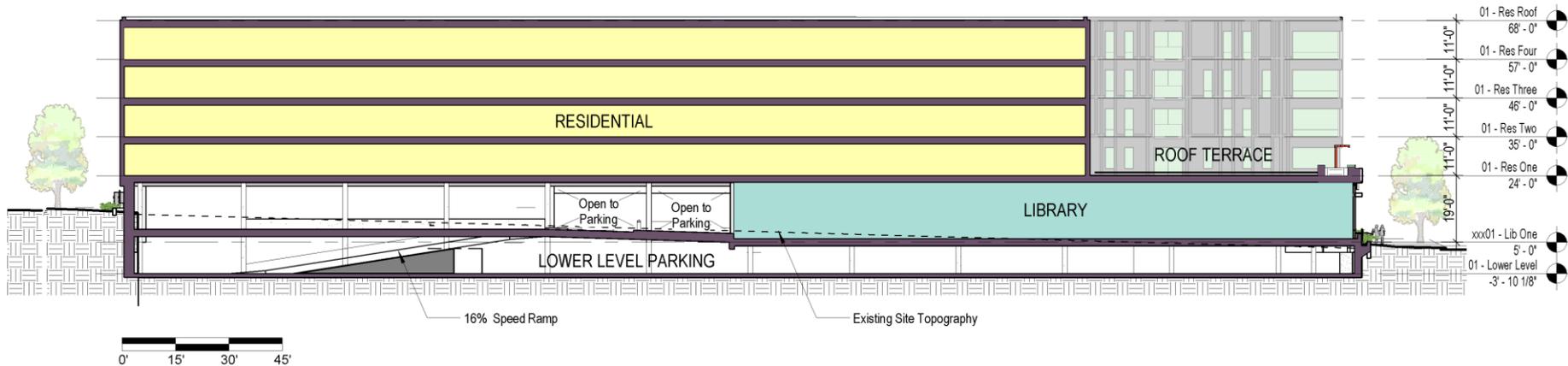
Mosaic Panels from existing Library, Integrated into building Storefront

Articulated/Extensive Ground Floor Storefront

North/South Building Stacking Diagram

Thomas Ave

North Ave.



Lightweight Panelized Cladding (color 2)

Accent Cornice, Trellis at Green Roof

Curtainwall with integrated wood inserts and existing mosaic window panels from existing Library



NORTH AVENUE (SOUTH) ELEVATION

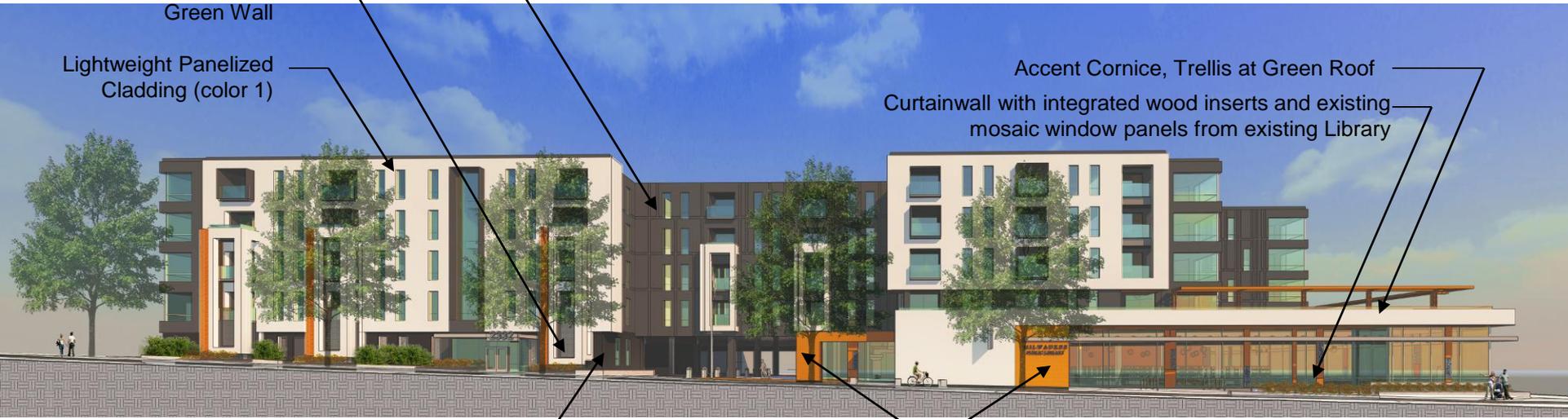
Lightweight Panelized Cladding (color 2)

Planter bed with Partial Green Wall

Lightweight Panelized Cladding (color 1)

Accent Cornice, Trellis at Green Roof

Curtainwall with integrated wood inserts and existing mosaic window panels from existing Library



Unit Masonry, Typ. at Base of Building

Wood Cladding to match wood at Curtainwall

CRAMER STREET (WEST) ELEVATION

Complying with the Design Guidelines for the East Side Business Improvement District

HSI PROPERTIES - WIRED PROPERTIES - ENGBERG ANDERSON



SUSTAINABILITY

“Location and Neighborhood Fabric”

“Site Improvements”

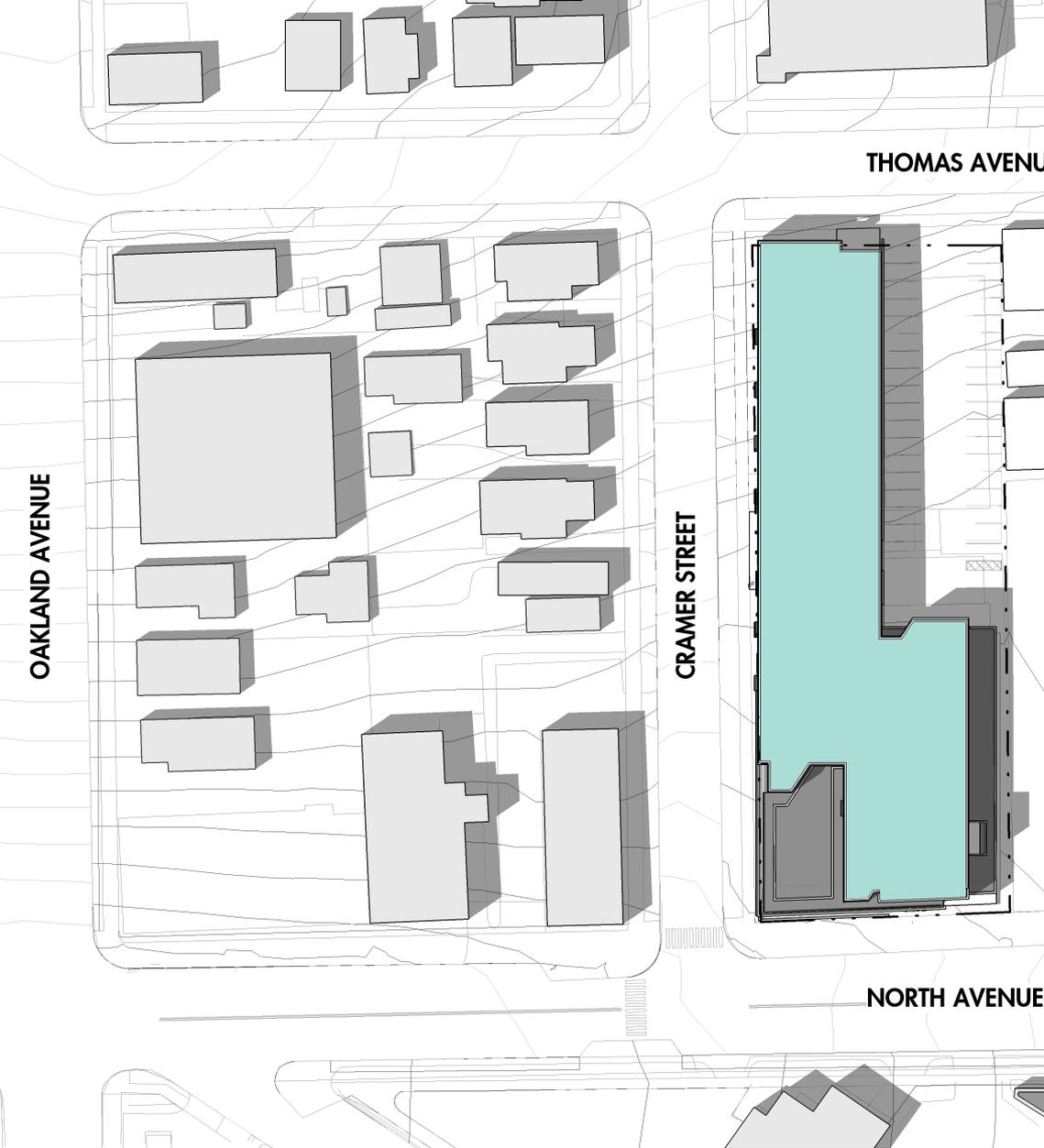
“Water Conservation”

“Energy Efficiency”

“Beneficial Materials”

“Operations and Maintenance”





Location and Neighborhood Fabric

- Infill development with proximity to public transportation
- Walkable pedestrian neighborhood
- Qualifies for smart location credits
- Approximately 90 units per acre



Site Improvements

- Stormwater management plan
- Pocket park
- Green roof





Water Conservation

- Water conserving appliances and fixtures including toilets, showerheads, kitchen faucets and bath faucets



Energy Efficiency

- Exceed ASHRAE 90.1 2004 by 15%
- Energy Star rated washers, dryers, dishwashers and refrigerators
- Daylight sensors
- Energy modeling with annual savings goal of 35% of baseline





Beneficial Materials

- Job site waste management and recycling
- Low VOC paints, adhesives, caulks and sealants
- CRI Green Label certified carpet
- Energy Star bathroom exhaust fans
- Power vented kitchen exhaust fans to exterior
- Passive radon system if required



Operations & Maintenance

- Building maintenance manual
- Handbook for residents about building, neighborhood and green tips
- Demonstration of operation of mechanical equipment, recycling etc.

