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You Can Build on That

Admirals Wharf Detailed Planned Development Narrative -

Detailed Planned Development Description and Owner's Statement of Intent

September 30, 2019

Admiral's Wharf LLC Multi-family Project

Admiral's Wharf LLC requests that the zoning for the property located at 234 S. Water Street, Milwaukee, WI be amended to a Detailed Planned Development (DPD) in agreement with this submittal.

295-907 District Standards

Description of the overall development:

A. Uses

The development is for the new construction of an 11-story mixed-use, 133-unit multifamily residential building. Incidental uses outside of the residential component includes parking, 2,947 square feet of commercial (anticipated to be shared office) space, 367 square feet of retail on the river front, and building service uses. Refer to Exhibit A for a list of possible commercial uses at these on-grade locations.

The current property is an unmaintained parking lot for boat trailers and minimal daily parking.

B. Design Standards

The proposed building is an 11-story tower with three floors of parking and eight floors of residential. On the grade levels of the parking floors, shared office and retail are proposed. The exterior of the building follows the shape of the property at the parking levels and pulls back at the center portions once you are on the fourth floor. This step back offers relief and dimension to the north/south facades. The exterior building materials are primarily metal panels in silver, light and dark grays, tan, and blue colors and are in multiple rib styles. Lower portions of the façade are masonry and the lower portion on the West façade is cast-in-place concrete covered in green screen panels and exterior lighting. A public art component will be installed along the ground floor of the Riverwalk elevation at the center point of the west façade, as noted on the elevation. The art shall be installed within two years of the construction of the building. If this is not completed, then additional green screens and planters shall be installed in this area of the wall in order to meet the intent of activating this portion of the façade. Balconies are hung on all sides of the building; these will be made of a black painted metal with wood decking and glass guard rails with metal frames. The structural bracing is minimal at the sides of each balcony and is surface mounted to the exterior of the façade. Where louvers are required, these will be an anodized metal that aligns within the meter of the façade design.

C. Density

225 sq. ft. of lot area per dwelling unit. See Exhibit B for full site statistics.



D. Space Between Structures

There is only one structure being proposed on this site.

E. Setbacks

Although the building does not touch the property lines at all times, the setback at each façade is as follows:

North (Pittsburgh St. approx.): 2"

South (Oregon St. approx): 3"

West (S. 1st St. approx): 2"

East (Milwaukee River approx): 11'-0"

F. Screening

The only screening we are proposing is for the roof top chiller and mechanical equipment. The screens will be designed to match the metal panels on the building facades.

G. Open Spaces

1. In addition to the expansive Riverwalk and ramps, there will also be gathering spaces provided so the public can have larger seating area at the river front. Seating will be integrated in this area with planters. The rear (west side) of these areas will be the building tower covered in green screens with vegetation.
2. On the fourth floor east and west façade, units will open up onto a concrete courtyard. These will have a parapet wall of 3'-6" minimum. Views of these decks will not be visible from the street.
3. An occupied outdoor terrace will be available for all residents on the eleventh floor. This is intended as a common amenity for the entire building.
4. Each unit will have a balcony.

H. Circulation, Parking, and Loading

1. The primary residential entry and lobby will be located at the northwest corner of the second floor (at grade) off of South Water Street.
2. The first-floor retail space will have access off of the Riverwalk and Oregon Street.
3. The second-floor shared office spaces will have access through the main lobby; the northwest corner of the site off of South Water Street.
4. Vehicular access for building tenants will be off of Oregon Street to the South. Parking will be located within the structure.
5. Pedestrian traffic will have access to all four sides of the building via sidewalks or Riverwalk. All sides have ADA access.
6. Indoor bike parking is provided in the parking structure for all building tenants and will be consistent with the applicable provisions of s. 295-404 of the zoning code. For the residential component of the building, a minimum of 33 indoor parking spaces will be provided. The



number of long term bicycle parking spaces for the commercial spaces will be based on the use occupying the space as outlined in s. 295-404.

7. Exterior bicycle racks will be provided for use by tenants and public for short term parking, and will be consistent with the applicable provisions of s. 295-404 of the zoning code. For the residential component, a minimum of 5 outdoor spaces will be provided, and the number of spaces for the commercial tenants will be based on the uses occupying the space as outlined in s. 295-404.

8. Loading and unloading of trucks for deliveries and/or move-in or move-outs will take place on the South end of the building on Oregon Street in the parking stalls; see site plan. Dumpsters will be stored in the room labeled 'trash room' and be pulled out into the structure for pick up. No dumpsters shall be located outside of the building.

I. Landscaping

1. See Landscaping Plan on Sheets L1.01 + L1.02.

2. Landscaping shall consist of sidewalk gardens with street trees along S. Water St., Oregon St. shall have landscaping on the East end along with the street bump-outs near the garage entry. The West side of the Riverwalk will have cast in place concrete planters, approximately 2'-0" wide and 3'-6" high, with green screens 1'-0" above them affixed to the building façade. Planters will have an annual vine that will fill the screen to create a dense foliage. An automatic irrigation system will be installed to maintain healthy and growing plants.

3. Existing site or interim conditions will be maintained in an orderly fashion consistent with the zoning standards of the site prior to the rezoning of the DPD, including all existing turf and landscaping, until such time that the subject DPD is constructed. All landscaping and required site features shall be installed within a maximum of 30 days total of the City issuing a Certificate of Occupancy (excluding time between December 1 and March 1) for the subject DPD.

J. Lighting

1. All exterior lighting fixtures shall be cut-off fixtures, compliant with 295-409.

2. No light source will be visible from an adjoining property line or public right-of-way.

3. Maximum illumination at the property line shall be 5 foot candles.

4. Up lighting shall be provided at the building façade as appropriate with the design.

5. Exterior lighting, down-lighting, up-lighting and wall scones shall be provided at overhangs, exits and entrances as appropriate.

6. Vertical light fixtures will be installed between the green screens along the Riverwalk. Pathway lighting will also be provided recessed into the wall and/or ground. See lighting cutsheets for specifications.



K. Utilities

1. See Civil Drawings
2. All utilities will be underground
3. Generators, transformers and substations shall be installed in parking structure.

L. Signs

1. See Exterior Elevation Drawings. All signs will be Type A.
2. Signage shall be furnished and installed at the garage parking and loading dock entries. Each sign shall have a maximum dimension of approximately ten feet wide by 1'-8" tall.
3. Temporary construction signs shall be furnished and installed for the building; one sign limited to 48 square feet for the construction of the building and one sign limited to 36 square feet for the leasing of the residential units/commercial spaces will be provided.
4. Signage for commercial tenants will be reviewed and approved separately per tenant. No signage will be installed as part of this project.
5. Entry signage shall be furnished and installed at the entry of the building at the corner of Water Street and Pittsburgh Street. Each sign shall have a maximum dimension of approximately ten feet wide by 1'-8" tall.
6. A Milwaukee Harbor District historical mural will be installed along the ground floor of the Riverwalk elevation at the center point of the west façade, as noted on the elevation. The art shall be installed within two years of the construction of the building. If this is not completed, then additional green screens and planters shall be installed in this area of the wall in order to meet the intent of activating this portion of the façade.

M. Sign Illumination

1. Permanent signs will be illuminated; the source of illumination shall not be visible or intermittent.

N. Time Limit on Zoning:

Per s. 295-907-2-c-11, for new and amended DPDs, the DPD zoning designation shall be null and void after 5 years from the effective date of the ordinance amending the zoning map to create the DPDs, and the zoning of the property shall be changed to a General Planned Development (GPD) zoning district at that time, unless the criteria identified in 295-907-c-11-a and -b are met. The time period specified pursuant to subd. 11 may be extended only by an ordinance amending the DPD, pursuant to s. 295-307.



EXHIBIT A
USES AT GROUND FLOOR COMMERCIAL AREA

Community-Serving Uses

- Library

Commercial & Office Uses

- General Office Government Office
- Bank or Other Financial Institution Retail Establishment, General
- Outdoor Merchandise Sales
- Artist Studio
- Restaurant
- Personal Instruction School

General Services Uses

- Personal Service Business Service (including kayak or other sport equipment rentals)
- Building Maintenance Service
- Dry Cleaning Establishment
- Animal Service – Animal Grooming or Training Facility

Temporary Uses

- Temporary Real Estate Sales Office – Limited Use Standard Apply



EXHIBIT B
STATISTICAL SHEET

295-907. Planned Development District (DPD)

- 2. c-1-a: Gross Land Area: 30,015 SF
- 2. c-1-b: Maximum amount of land covered by principle building: approx.. 27,163 SF;
90%
- 2. c-1-c: Maximum amount of land devoted to loading dock and garage access: approx.. 374 SF; 1%
- 2. c-1-d: Minimum amount of land devoted to landscaped open space: 2,852 SF; 10%
- 2. c-1-e: Maximum proposed dwelling unit density and area devoted to non-residential use: 225 SF of land per unit
Maximum square footage of commercial area shall be approximately 3,314 SF.
- 2. c-1-f: Proposed number of buildings: one
- 2. c-1-g: Number of dwelling units: up to 133 Units
- 2. c-1-h: Average number of bedrooms per unit: 1.6 bedrooms per unit.
Anticipated mix of units:
Studio: 28
1 Bed + Den: 35
2 Bed: 49
2 Bed + Den: 14
3 Bed Penthouses: 7
- 2. c-1-i: Parking spaces provided and ratio per unit: 1.04 parking spaces per unit
Residential: 138 Spaces
Commercial: 0 Spaces

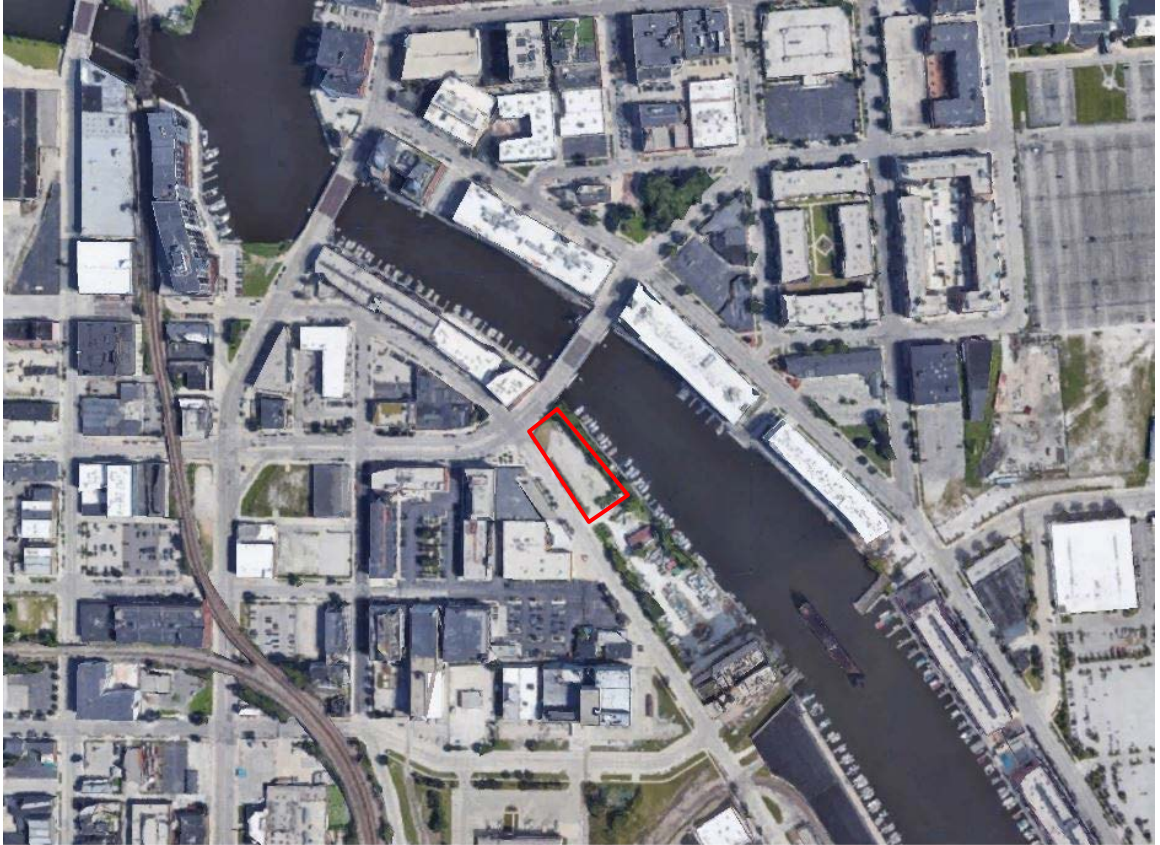
Bicycle parking:

Residential parking spaces: Min. 33 long term; Min. 5 short term

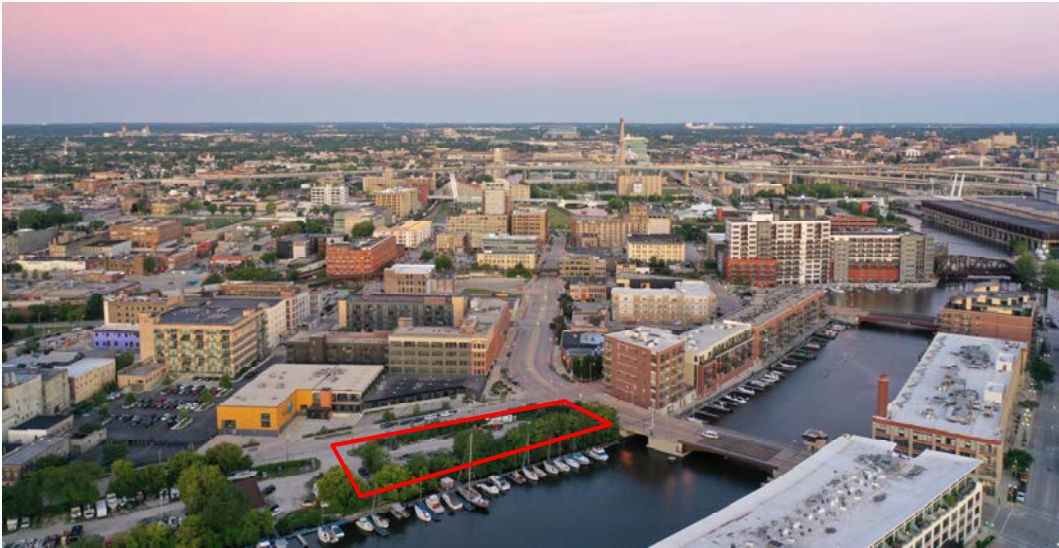
Commercial bicycle parking spaces will be determined by the uses occupying the spaces, and will follow the applicable provisions of s. 295-404 of the zoning code.

EXHIBIT C
SITE CONTEXT PHOTOS

Vicinity Map



Aerial Site Location Views



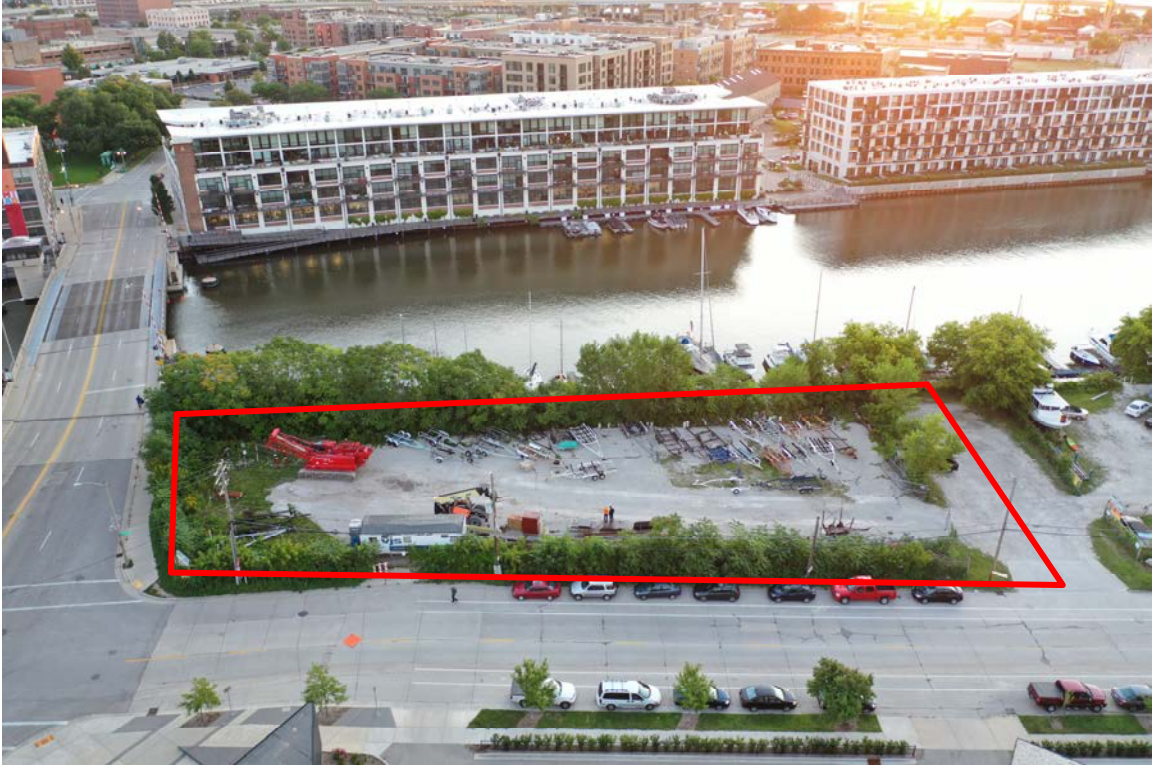
Aerial View from East



Aerial View from North



Aerial View from South



Aerial View from West



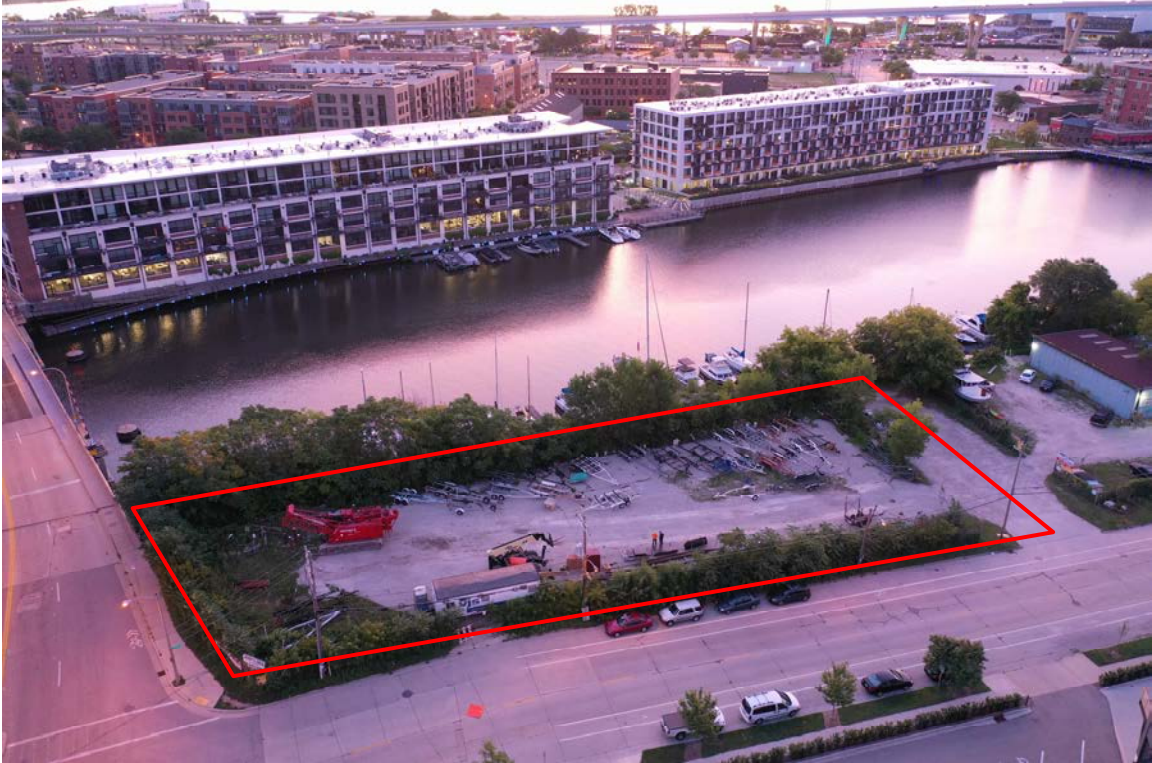
Aerial View from Across River



View From Bridge



Aerial View North Across Water Street



View South Across River



Conditions:

Submittal of final documents that include the following changes:

1. Lighten the tone of the metal in the parking area along Water Street so that it blends in better with the balance of the building.
2. On the Water Street elevation, consolidate the two vents under the one window to the south of the main entrance into one and center it beneath the window. All vents should be painted to match the building materials.
3. Change the material at the entrance (corner of Pittsburgh and Water) from metal to masonry and change the shadow lines around the windows in the stair tower adjacent to the entrance so that they don't appear to be protruding from the brick.
4. Note the area along the first floor on the river-facing elevation where the future art component will be installed.
5. The rooftop HVAC screen should be a lighter tone metal.
6. Confirm that, while the balcony systems have changed from glass inset to a cable rail, the glass insets will remain at the points where the building steps back to create the roof terraces.
7. Provide additional details on the Riverwalk, including a zoomed-in cross section and how the planters and green screen will look along the Riverwalk. Provide plans that show the lighting, as previously requested.
8. Establish a maintenance agreement for the green screen.