

HAMBURGER MARY'S PARTIAL BUILDING ALTERATION & BUILDOUT

235 S 2ND ST, MILWAUKEE, WI 53204

INDEX OF DRAWINGS			
SHEET	SHEET TITLE	REVISION	REVISION DATE
ARCHITECTURAL			
T101	COVER SHEET & PLAN REVIEW INFORMATION		
GENERAL			
G101	LIFE SAFETY PLAN		
G102	ADA DETAILS		
A-SITE			
AS01	ARCHITECTURAL SITE PLAN		
DEMOLITION			
D101	DEMOLITION PLANS		
D200	DEMOLITION EXTERIOR ELEVATIONS		
ARCHITECTURAL			
A101	PLANS		
A111	REFLECTED CEILING PLAN		
A200	EXTERIOR ELEVATIONS		
A400	RESTROOM DETAILS		
A500	STOREFRONT DETAILS		
A600	SCHEDULES		

REVISION ISSUE		
NO	DESCRIPTION	DATE
ISSUED FOR HISTORIC PRESERVATION REVIEW 5/22/2025		
ISSUED FOR MILWAUKEE HISTORIC PRESERVATION COMMISSION 10/08/2025		

APPLICABLE BUILDING CODES

EXISTING BUILDING CODE:	WISCONSIN EXISTING BUILDING CODE 2015 (IEBC 2015) AS ADOPTED & AMENDED
BUILDING CODE (WHEN REQUIRED BY THE WI EXISTING BUILDING CODE):	WISCONSIN BUILDING CODE 2015 (2015 IBC AMENDED)
ENERGY CONSERVATION CODE:	WISCONSIN ENERGY CODE 2015 (IECC 2015 AMENDED)
MECHANICAL CODE:	WISCONSIN MECHANICAL CODE 2015 (IMC 2015 AMENDED)
FUEL GAS CODE:	WISCONSIN FUEL GAS CODE 2015 (IFGC 2015 AMENDED)
ELECTRICAL CODE:	WISCONSIN ELECTRICAL CODE 2017 (NFPA 70, 2017)
PLUMBING CODE:	WISCONSIN PLUMBING CODE
ACCESSIBILITY CODE:	WISCONSIN ACCESSIBILITY CODE 2009 (A117.1 2009)
FIRE SPRINKLER CODE:	WISCONSIN FIRE SPRINKLER CODE 2013 (NFPA 13, 2013)
FIRE ALARM CODE:	WISCONSIN FIRE ALARM CODE 2013 (NFPA 72, 2013)
FIRE WALL CODE:	WISCONSIN FIRE WALL CODE 2015 (NFPA 221, 2015)

EXISTING BUILDING DATA

	OCCUPANCY	AREA
BASEMENT:	S-1 (NO CHANGE IN OCCUPANCY)	3,974 S.F.
FIRST LEVEL:	R-2 & WHITE BOX FOR A-2, B OR M (NO CHANGE IN OCCUPANCY)	3,974 S.F.
SECOND LEVEL:	R-2 (NO CHANGE IN OCCUPANCY)	3,974 S.F.
THIRD LEVEL:	R-2 (NO CHANGE IN OCCUPANCY)	3,974 S.F.
FOURTH LEVEL:	R-2 (NO CHANGE IN OCCUPANCY)	3,974 S.F.
TOTAL		19,870 S.F.

- APPROXIMATELY 54'-0" IN HEIGHT
- STORIES ABOVE GRADE PLANE = 4
- STORIES BELOW GRADE PLANE = 1
- THE BASEMENT IS A WINDOWLESS STORY

CONSTRUCTION CLASSIFICATION

TYPE IIIB CONSTRUCTION (IBC SECTION 602.3)

FIRE PROTECTION

FROM THE PREVIOUSLY REVIEWED & APPROVED PLANS THE EXISTING BUILDING IS FULLY PROTECTED WITH AN AUTOMATIC SPRINKLER SYSTEM PER NFPA 13R (RESIDENTIAL) FOR ENTIRE BUILDING
NOTE: BUILDING WAS PREVIOUSLY ALTERED, OCCUPANCY TYPES CHANGED & APPROVED WITH THIS SPRINKLER SYSTEM. SPRINKLER SYSTEM AT AREAS OF WORK (FIRST FLOOR & THE BASEMENT) IS NFPA 13. TO BE VERIFIED BY FIRE PROTECTION ENGINEER AND MODIFIED AS REQUIRED TO BE PER CODE REQUIREMENTS FOR THESE BUILDING OCCUPANCIES & TO BE PER CURRENT IBC CODE REQUIREMENTS FOR NEW CONSTRUCTION.

IEBC 2015

THIS IS A LEVEL 03 BUILDING ALTERATION (IEBC SECTION 505.1) WHERE WORK AREA EXCEEDS 50% OF THE BUILDING AREA

LEVEL 3 BUILDING ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 7 AND 8 FOR LEVEL 1 AND LEVEL 2 ALTERATIONS, RESPECTIVELY, AS WELL AS THE PROVISIONS OF CHAPTER 9
THE CURRENT AREA OF WORK DOES NOT INVOLVE A CHANGE OF OCCUPANCY

ENERGY CONSERVATION MINIMUM REQUIREMENTS (IEBC 908.1)

LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

ACCESSIBLE ROUTE TO BASEMENT IS NOT REQUIRED. PER THE IEBC DEFINITION FOR PRIMARY FUNCTION, STORAGE ROOMS ARE NOT PRIMARY FUNCTIONS. THE SMALL BUSINESS OFFICE IN THE BASEMENT IS ALSO NOT AN AREA OF PRIMARY FUNCTION.

705.1 EXCEPTION 1: THE ALTERED ELEMENT OR SPACE IS NOT REQUIRED TO BE ON AN ACCESSIBLE ROUTE UNLESS REQUIRED BY SECTION 705.2

705.2: WHERE AN ALTERATION AFFECTS THE ACCESSIBILITY TO A, OR CONTAINS AN AREA OF, PRIMARY FUNCTION, THE ROUTE TO THE PRIMARY FUNCTION AREA SHALL BE ACCESSIBLE.

803.2: EXISTING VERTICAL OPENINGS SHALL COMPLY WITH THE PROVISIONS OF SECTIONS 803.2.1, 803.2.2 AND 803.2.3

803.2.1: EXISTING VERTICAL OPENINGS CONNECTING TWO OR MORE FLOORS SHALL BE ENCLOSED WITH APPROVED ASSEMBLIES WITH A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR WITH APPROVED OPENING PROTECTIVES.

- EXCEPTIONS:
1. WHERE VERTICAL OPENING ENCLOSURE IS NOT REQUIRE BY IBC OR IFC
 2. INTERIOR VERTICAL OPENINGS OTHER THAN STAIRWAYS MAY BE BLOCKED AT THE FLOOR AND CEILING OF THE WORK AREA BY INSTALLATION OF NOT LESS THAN 2 INCHES OF SOLID WOOD OR EQUIVALENT CONSTRUCTION.

803.2.1.4 & 5: GROUP A & B, A MINIMUM 30 MINUTE ENCLOSURE SHALL BE PROVIDED TO PROTECT ALL VERTICAL OPENINGS NOT EXCEEDING THREE STORIES

- 5.1 & 5.2 ONLY GROUP B OCCUPANCIES: NOT REQUIRED FOR BUILDINGS NOT EXCEEDING 3,000 SQUARE FEET PER FLOOR OR IF BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM

803.2.2: WHERE THE WORK AREA ON ANY FLOOR EXCEEDS 50 PERCENT OF THAT FLOOR AREA, THE ENCLOSURE REQUIREMENTS OF SECTION 803.2 SHALL APPLY TO VERTICAL OPENINGS OTHER THAN STAIRWAYS THROUGHOUT THE FLOOR UNLESS THE VERTICAL OPENINGS ARE LOCATED ENTIRELY OUTSIDE OF THE WORK AREA

803.2.3: WHERE THE WORK AREA ON ANY FLOOR EXCEEDS 50 PERCENT OF THAT FLOOR AREA, STAIRWAYS THAT ARE PART OF THE MEANS OF EGRESS SERVING THE WORK AREA SHALL, AT A MINIMUM, BE ENCLOSED WITH SMOKE-TIGHT CONSTRUCTION ON THE HIGHEST WORK AREA FLOOR AND ALL FLOORS BELOW.
EXCEPTION: WHERE STAIRWAY ENCLOSURE IS NOT REQUIRED BY IBC OR IFC

803.4: THE INTERIOR FINISH OF WALLS AND CEILINGS IN EXITS AND CORRIDORS IN ANY WORK AREA SHALL COMPLY WITH THE REQUIREMENTS OF IBC

803.4.1: WHERE THE WORK AREA ON ANY FLOOR EXCEEDS 50 PERCENT OF THE FLOOR AREA, SECTION 803.4 SHALL ALSO APPLY TO THE INTERIOR FINISH IN EXITS AND CORRIDORS SERVING THE WORK AREA THROUGHOUT THE FLOOR.
EXCEPTION: INTERIOR FINISH WITHIN TENANT SPACES THAT ARE ENTIRELY OUTSIDE THE WORK AREA.

ALTERATION BUILDING DATA

	OCCUPANCY	EXISTING AREA	AREA OF WORK
BASEMENT:	S-1 & B	3,974 S.F.	2,686 S.F.
FIRST LEVEL:	R-2, A-2 & B	3,974 S.F.	3,172 S.F.
SECOND LEVEL:	R-2	3,974 S.F.	0 S.F.
THIRD LEVEL:	R-2	3,974 S.F.	0 S.F.
FOURTH LEVEL:	R-2	3,974 S.F.	0 S.F.
TOTAL		19,870 S.F.	5,858 S.F.

- EXISTING BUILDING APPROXIMATELY 54'-0" IN HEIGHT
- EXISTING STORIES ABOVE GRADE PLANE = 4
- EXISTING STORIES BELOW GRADE PLANE = 1

OCCUPANCY CLASSIFICATION

BUILDING SEPARATED OCCUPANCIES:

FOR THIS WORK, THE EXISTING RESIDENTIAL R-2 OCCUPANCY ON FLOORS 2,3 & 4 SHALL BE SEPARATED FROM THE FIRST FLOOR AREA OF WORK BY A 1HR FIRE RATED HORIZONTAL ASSEMBLY. MINIMUM REQUIRED OCCUPANCY SEPARATION = 1 HR

THE AREAS WITHIN THE FIRST FLOOR & BASEMENT AREA OF WORK SHALL BE NON-SEPARATED MIXED USE (IBC SECTION 508.3.2)

USE GROUPS PRESENT IN THE AREA OF WORK INCLUDE:

- ASSEMBLY GROUP "A-2" (IBC SECTION 303)
- BUSINESS GROUP "B" (IBC SECTION 304)
- STORAGE GROUP "S-1" MODERATE HAZARD (IBC SECTION 311.2)

AREA OF WORK ALLOWABLE HEIGHTS AND AREAS

TABULAR ALLOWABLE HEIGHT (IBC TABLE 504.3)
(OCCUPANCY CLASSIFICATION "A-2, B, R-2 AND S-1" / NFPA 13R (RESIDENTIAL SPRINKLER) / CONSTRUCTION TYPE IIIB
ALLOWABLE HEIGHT = 60 FT

TABULAR ALLOWABLE NUMBER OF STORIES ABOVE GRADE (IBC TABLE 504.4)
(OCCUPANCY CLASSIFICATION "A-2, B, R-2 AND S-1" / NFPA 13R (RESIDENTIAL SPRINKLER) / CONSTRUCTION TYPE IIIB)
ALLOWABLE STORIES = 3
ACTUAL NUMBER OF STORIES ABOVE GRADE = 4

TABULAR AREA ALLOWANCE (IBC TABLE 506.2)
(OCCUPANCY CLASSIFICATION "A-2, R-2 AND S-1" / NFPA 13R (RESIDENTIAL SPRINKLER) / CONSTRUCTION TYPE IIIB)
ALLOWABLE AREA = 16,000 SQ. FT.

BUILDING HEIGHT (ACTUAL) = 4 STORIES / APPROXIMATELY 54 FT. ABOVE GRADE
BUILDING AREA (ACTUAL) = 3,974 SQ. FT. PER STORY

NOTE: THE EXISTING BASEMENT & FIRST FLOOR SPRINKLER RISER ARE LABELED AS NFPA 13. TO BE VERIFIED BY FIRE PROTECTION ENGINEER

OCCUPANT LOAD AT AREA OF WORK

124 OCCUPANTS (IBC TABLE 1004.1.2)
REFER TO LIFE SAFETY PLAN

MEANS OF EGRESS AND EXIT DISTANCE

REQUIRED EGRESS WIDTH FOR COMPONENTS OTHER THAN STAIRWAYS = 124 OCC. x 0.2 IN. = 24.8 IN.
PROVIDED EGRESS WIDTH FOR COMPONENTS OTHER THAN STAIRWAYS = 99"
REQUIRED EGRESS WIDTH FOR STAIRWAYS = 9 OCC. x 0.3 IN. = 2.7 IN.
PROVIDED EGRESS WIDTH FOR STAIRWAYS = 89"
MAX ALLOWABLE COMMON PATH OF EGRESS FOR A-2 = 75 FT (IBC 1006.2.1)
MAX ALLOWABLE COMMON PATH OF EGRESS FOR S-1 = 100 FT (IBC 1006.2.1)
ACTUAL MAX. COMMON PATH OF EGRESS FOR A-2 = 71'-2"
ACTUAL MAX. COMMON PATH OF EGRESS FOR S-1 = 51'-2"
NUMBER OF EXITS REQUIRED PER STORY = 2 (IBC 1006)
NUMBER OF EXITS PROVIDED IN BASEMENT = 2 (IBC 1006)
NUMBER OF EXITS PROVIDED IN FIRST FLOOR = 3 (IBC 1006)

MAX ALLOWABLE EXIT ACCESS TRAVEL DISTANCE WITH AUTOMATIC SPRINKLER SYSTEM FOR A-2 & S-1 (IBC TABLE 1016.1) = 250 FT.
MAXIMUM ACTUAL EXIT ACCESS TRAVEL DISTANCE = 107'-8"

SANITARY FIXTURES

TOTAL OCCUPANTS : 124 OCCUPANTS
TOTAL OCCUPANTS EACH SEX: 62 OCCUPANTS
REQUIRED MALE FIXTURES: 62 OCC x 75 = 1 WC, 62 OCC x 200 = 1 LAV
PROVIDED MALE FIXTURES: 1 WC, 1 URINAL, 1 LAV
REQUIRED FEMALE FIXTURES: 62 OCC x 75 = 1 WC, 62 OCC x 200 = 1 LAV
PROVIDED FEMALE FIXTURES: 3 WC, 0 URINAL, 1 LAV
REQUIRED GENERAL: 1 SERVICE SINK(S)
PROVIDED GENERAL: DRINKING WATER PROVIDE BY CUP AT BAR AREA, 1 SERVICE SINK(S)
REFER TO LIFE SAFETY PLAN

DEFERRED SUBMITTALS

FIRE SPRINKLERS
FIRE ALARM

SYMBOLS OF MATERIALS	
	EARTH
	GRAVEL
	CONCRETE
	CONCRETE MASONRY UNIT
	BRICK
	WOOD ROUGH
	PLYWOOD
	GYPSUM BOARD
	STEEL
	CAST STONE
	BATT INSULATION
	RIGID INSULATION
	ALL METALS - SMALL SCALE

DRAWING KEY			
			DETAIL NUMBER
	NORTH ARROW		BUILDING SECTIONS
	GRID LINES		WALL SECTIONS
	EXTERIOR ELEVATIONS		DETAIL SECTION
	INTERIOR ELEVATIONS		CALLOUTS
	ROOM NAME		DEMOLITION KEY NOTE
	ROOM NUMBER		PLAN KEY NOTE
	DOOR NO. ON PLAN		TOILET ACCESSORY TAG
	REVISION NO.		PLUMBING FIXTURE TAG
	WALL TYPE		MATERIAL TAG
	FINISH WALL TYPE		
	WINDOW TAG		

LIST OF CONTACTS

OWNER

BORGER BUILDING, LLC
7213, HWY. 41
CALEDONIA, WI

OWNER REPRESENTATIVE

N/A

ARCHITECT

ANDERSON ASHTON DESIGN BUILD
2746 South 166th Street
New Berlin WI 53151
CONTACT: Brett Daniels
PHONE: 262.786.4640
EMAIL: bdaniels@andersonashton.com

SUPERVISING PROFESSIONAL FOR ARCHITECTURE: Brett Daniels

STRUCTURAL ENGINEER

N/A

MEP ENGINEER

N/A

CIVIL ENGINEER

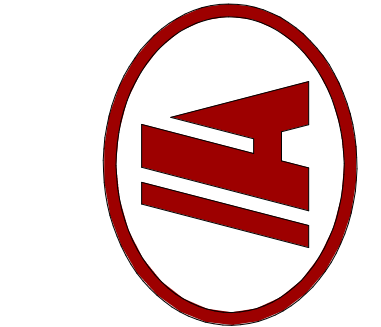
N/A

FIRE PROTECTION ENGINEER

TBD

PROJECT SCOPE OF WORK

INTERIOR BUILD-OUT OF AN EXISTING "WHITE BOX" TENANT SPACE INTO A RESTAURANT, WITH WORK TO INCLUDE CONSTRUCTION, FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, AND LIFE SAFETY SYSTEMS AS REQUIRED FOR A FULLY OPERATIONAL FACILITY.



HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT

235 S 2ND ST, MILWAUKEE, WI 53204

DRAFTED BY:	UH
DESIGNER:	UH
ISSUE:	10/8/2025 4:25:58 PM
SUBMITTAL DATE:	10-08-2025
DESIGN NO.	P-02519
CONSTRUCTION NO.	-

COVER SHEET & PLAN REVIEW INFORMATION

T101

INTERIOR OCCUPANCY CALCULATIONS

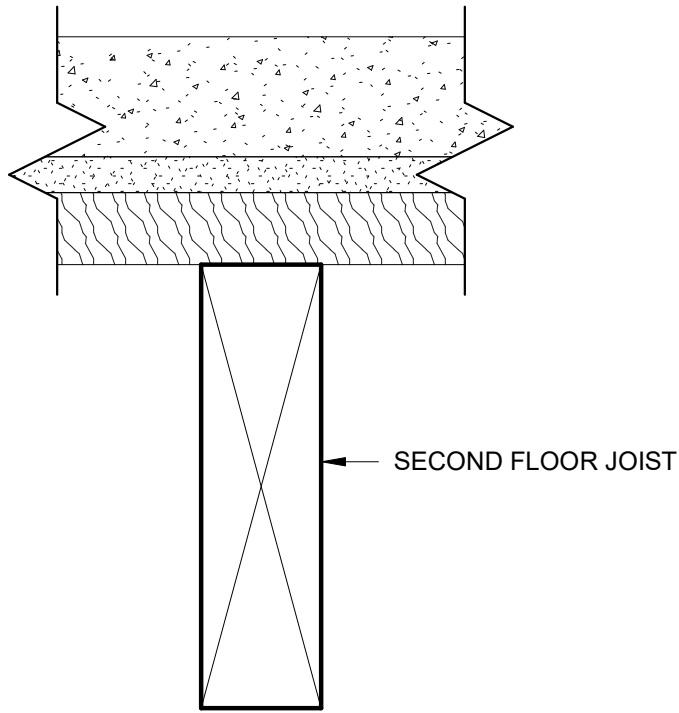
INTERIOR ASSEMBLY AREAS	BASEMENT LEVEL			FIRST FLOOR LEVEL		
	SF	CALCULATED OCCUPANTS	ACTUAL OCCUPANTS	SF	CALCULATED OCCUPANTS	ACTUAL OCCUPANTS
ASSEMBLY WITHOUT FIXED SEATS UNCONCENTRATED (TABLES AND CHAIRS) 15 NET SQ. FT. PER OCCUPANT	N/A	N/A	N/A	1,073 SF	72	98
BUSINESS 100 GROSS SQ. FT. PER OCCUPANT	76 SF	1	1	1,410 SF	15	15
KITCHENS, COMMERCIAL 200 GROSS SQ. FT. PER OCCUPANT	N/A	N/A	N/A	393 SF	2	2
ACCESSORY STORAGE AREAS 300 GROSS SQ. FT. PER OCCUPANT	2,393 SF	8	8	N/A	N/A	N/A
SUBTOTALS	9	9		89	115	
TOTALS	9 + 115 = 124					

LIFE SAFETY LEGEND

	1 HR FIRE BARRIER
	2 HR FIRE BARRIER
	2 HR EXTERIOR FIRE-RESISTANCE RATING
	SAMPLE EXIT ROUTE
	WALL MOUNTED CLASS A, SIZE 2-A FIRE EXTINGUISHER CABINET (CONFIRM FIRE EXTINGUISHER TYPE WITH LOCAL FIRE DEPARTMENT PRIOR TO INSTALL)
	WALL MOUNTED CLASS K FIRE EXTINGUISHER OF A MINIMUM 1.5-GALLON CAPACITY (CONFIRM FIRE EXTINGUISHER TYPE WITH LOCAL FIRE DEPARTMENT PRIOR TO INSTALL)
	PATH OF EGRESS/TRAVEL
	EXIT / EXIT DISCHARGE TO A PUBLIC WAY
	EXIT SIGN (90 MINUTE MINIMUM BATTERY BACKUP)
	DIRECTIONAL EXIT SIGN (90 MINUTE MINIMUM BATTERY BACKUP)

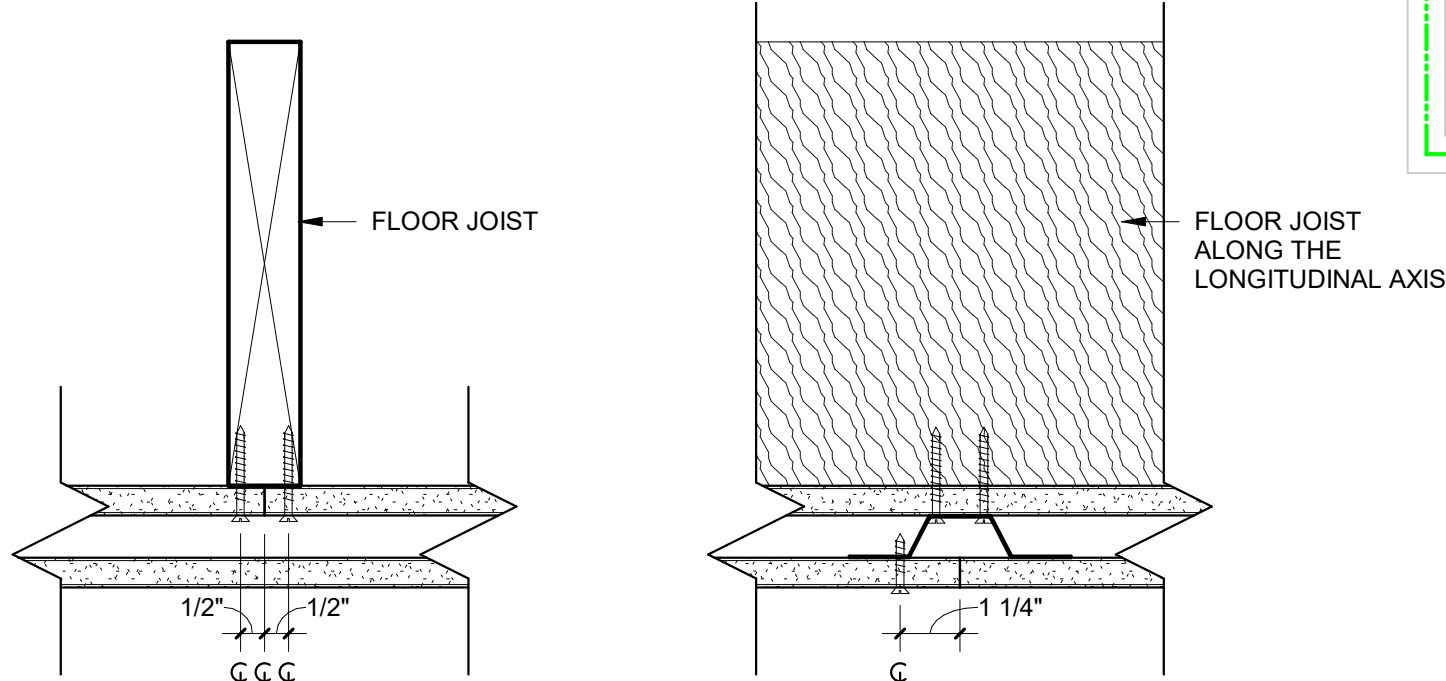
- NOTES:
- (IBC 1004.3) EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR THE OWNER'S AUTHORIZED AGENT.
 - (IBC 103.7) ALL INTERIOR FIRE RATED WALLS TO BE MARKED W/ A STENCIL READING: (# HR FIRE BARRIER) INCLUDE ACTUAL # NUMBER OF THE FIRE RATING PER PLAN. LOCATE MARKING ABOVE CEILING ON EACH SIDE OF WALL @ 20' INTERVALS - LETTER TO BE 5/8" IN HEIGHT
 - POSTED OCCUPANCY SIGNS MUST BE PER ALL LOCAL REQUIREMENTS
 - (IBC 903.2.11.5) COMMERCIAL COOKING OPERATIONS, AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN COMMERCIAL KITCHEN EXHAUST HOOD AND DUCT SYSTEMS WHERE AN AUTOMATIC SPRINKLER SYSTEM IS USED TO COMPLY WITH IBC SECTION 904

- 1 HR RATED FLOOR ASSEMBLY
- FINISHED FLOORING
 - EXISTING 2-1/2" GYP-CRETE TOPPING
 - EXISTING 3/4" SOUND CONTROL MAT
 - EXISTING WOOD SUB FLOOR
 - EXISTING 3X WOOD FRAMING

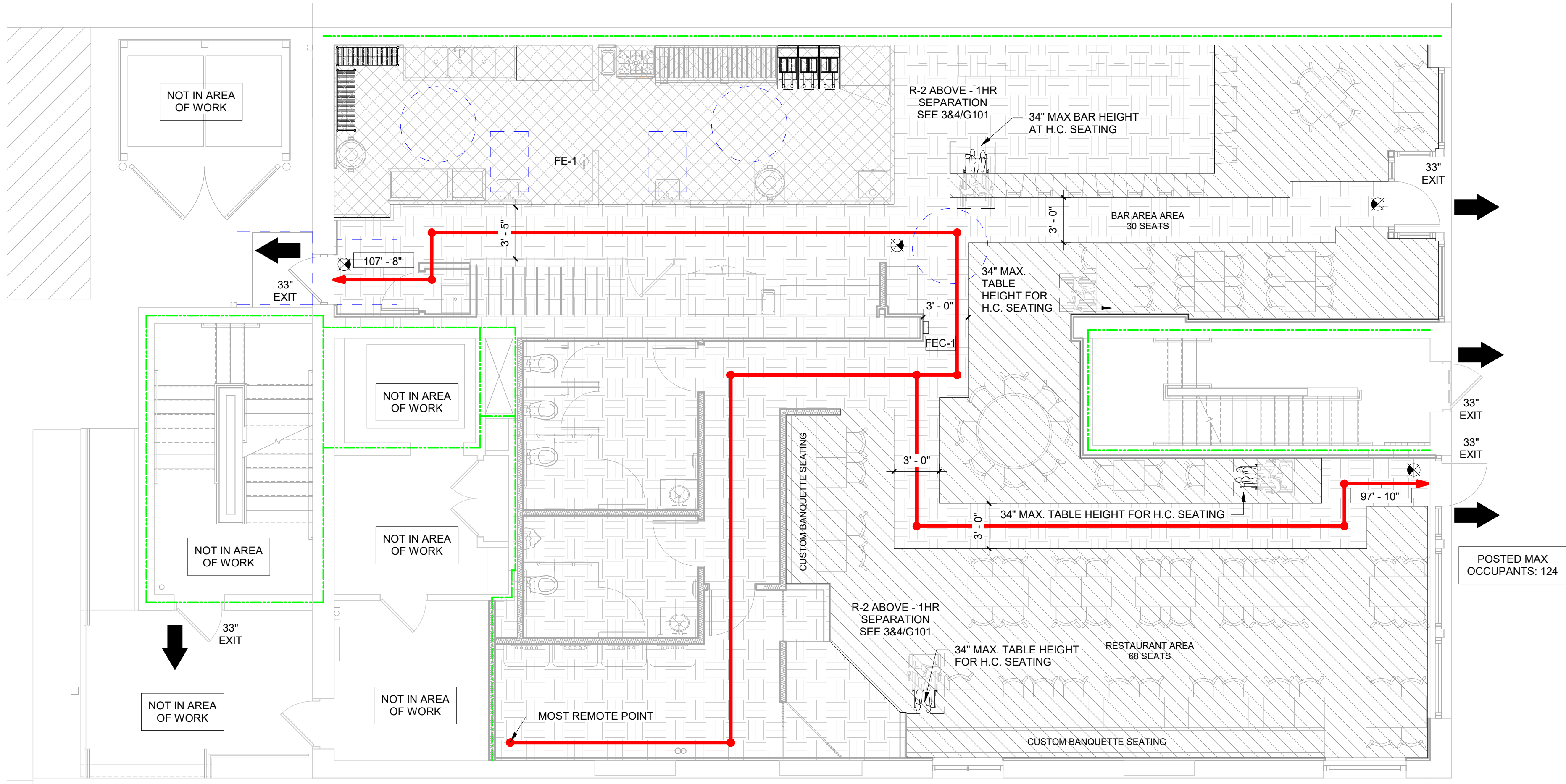


EXISTING SECOND FLOOR GYPCRETE FLOOR SYSTEM
3" = 1'-0"

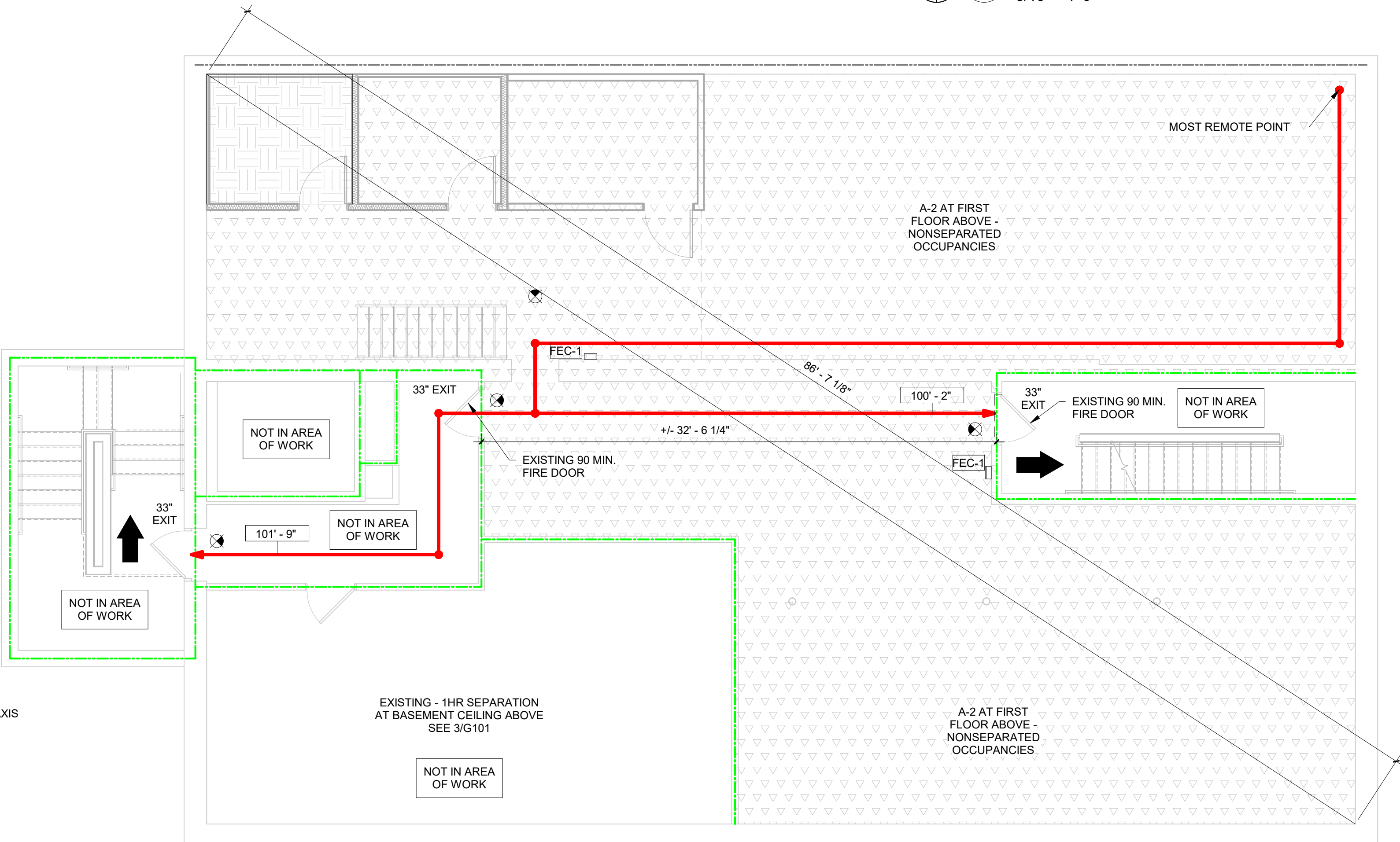
- 1 HR RATED CLG ASSEMBLY UL L510
- WOOD SUB FLOOR
 - 2X WD FRAMING
 - 1 LAYER 5/8" TYPE C USG FIRESHIELD GYP BD
 - 7/8" RESILIENT CHANNEL
 - 1 LAYER 5/8" TYPE C USG FIRESHIELD GYP BD



UL L510
3" = 1'-0"



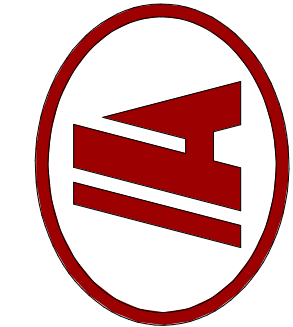
2 FIRST FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"



1 BASEMENT LIFE SAFETY PLAN
3/16" = 1'-0"

REVISIONS

ANDERSON
ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-6640
WWW.ANDERSONASHTON.COM



HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT

235 S 2ND ST, MILWAUKEE, WI 53204

DRAFTED BY: UH
DESIGNER: UH
ISSUE: 10/8/2025 4:26:03 PM
SUBMITTAL DATE 10-08-2025
DESIGN NO. P-02519
CONSTRUCTION NO.

LIFE SAFETY PLAN

G101

COPYRIGHT PROTECTED 2025

SHEET SIZE 24X36



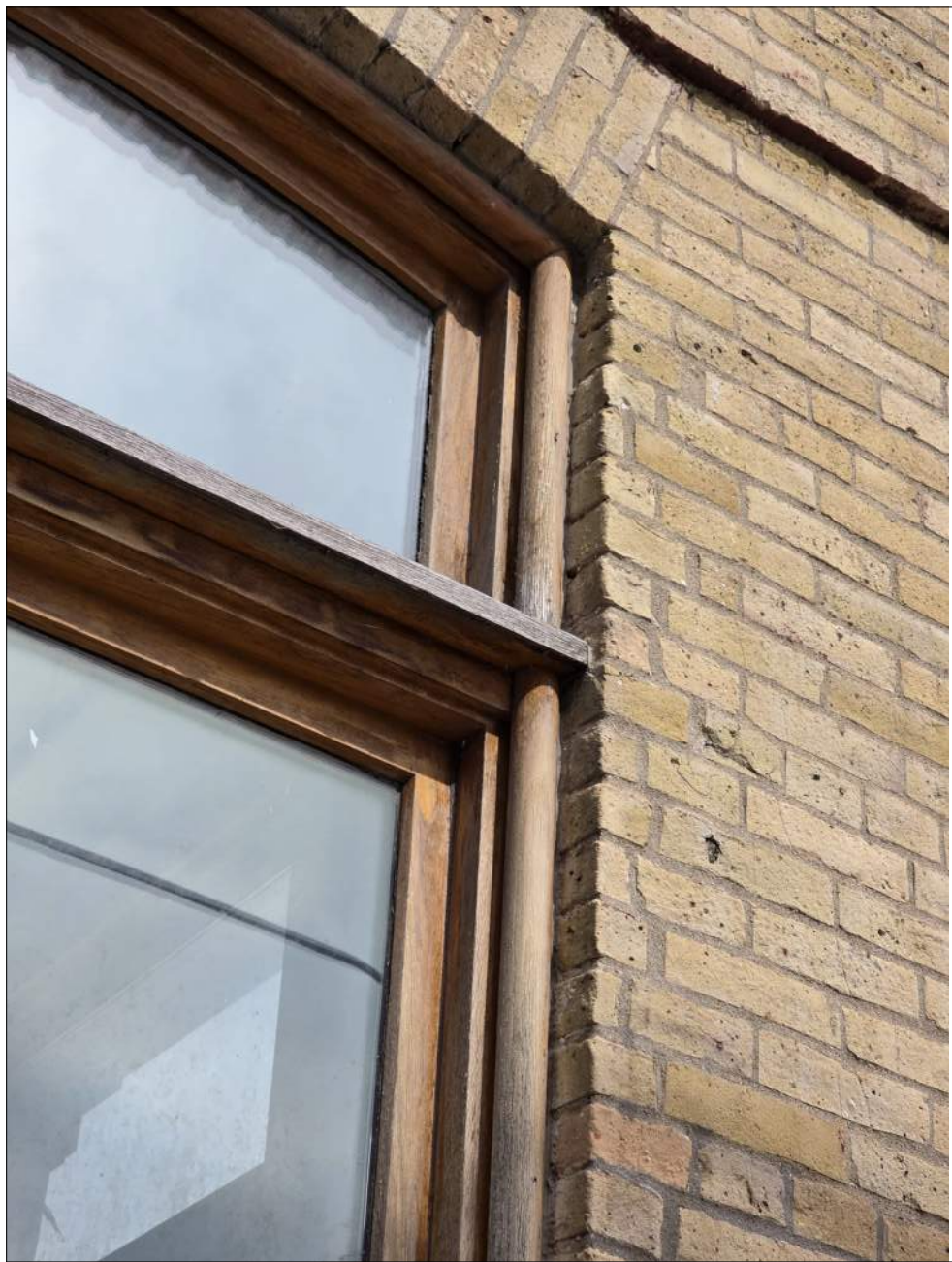
EXISTING EAST ELEVATION ENTRANCE 2



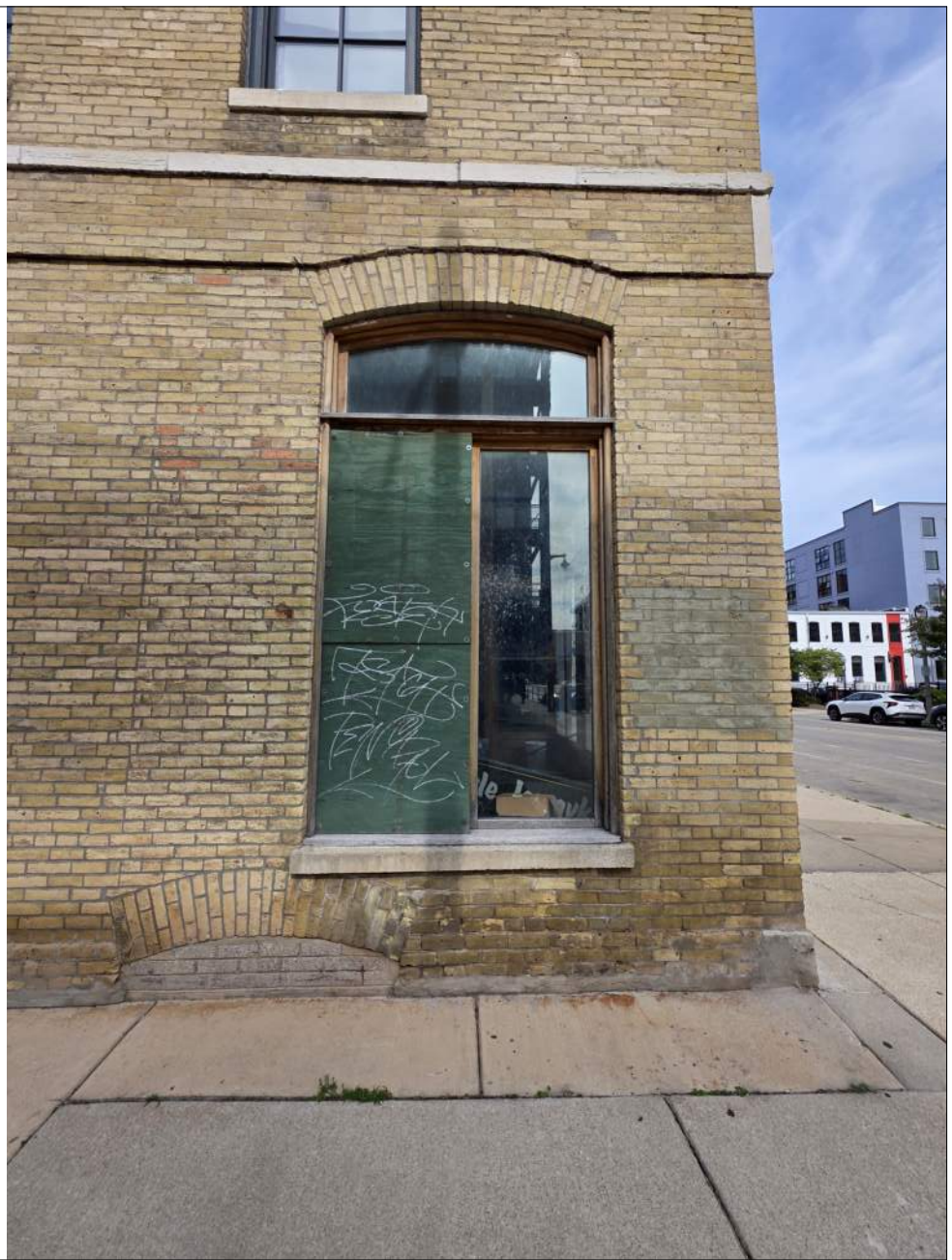
EXISTING EAST ELEVATION ENTRANCE 1



EXISTING EAST ELEVATION



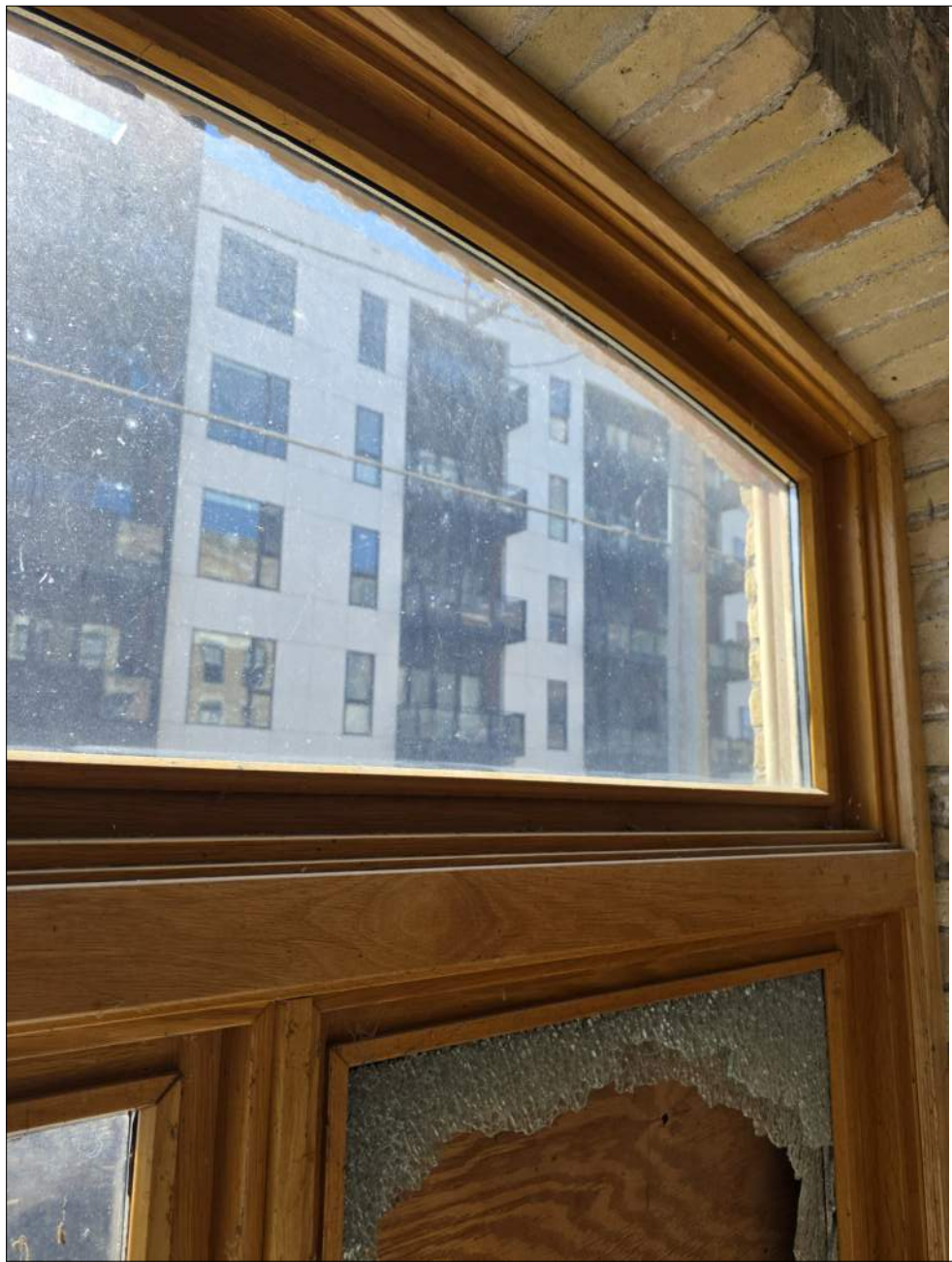
EXISTING SOUTHEAST CORNER WINDOW - EXTERIOR



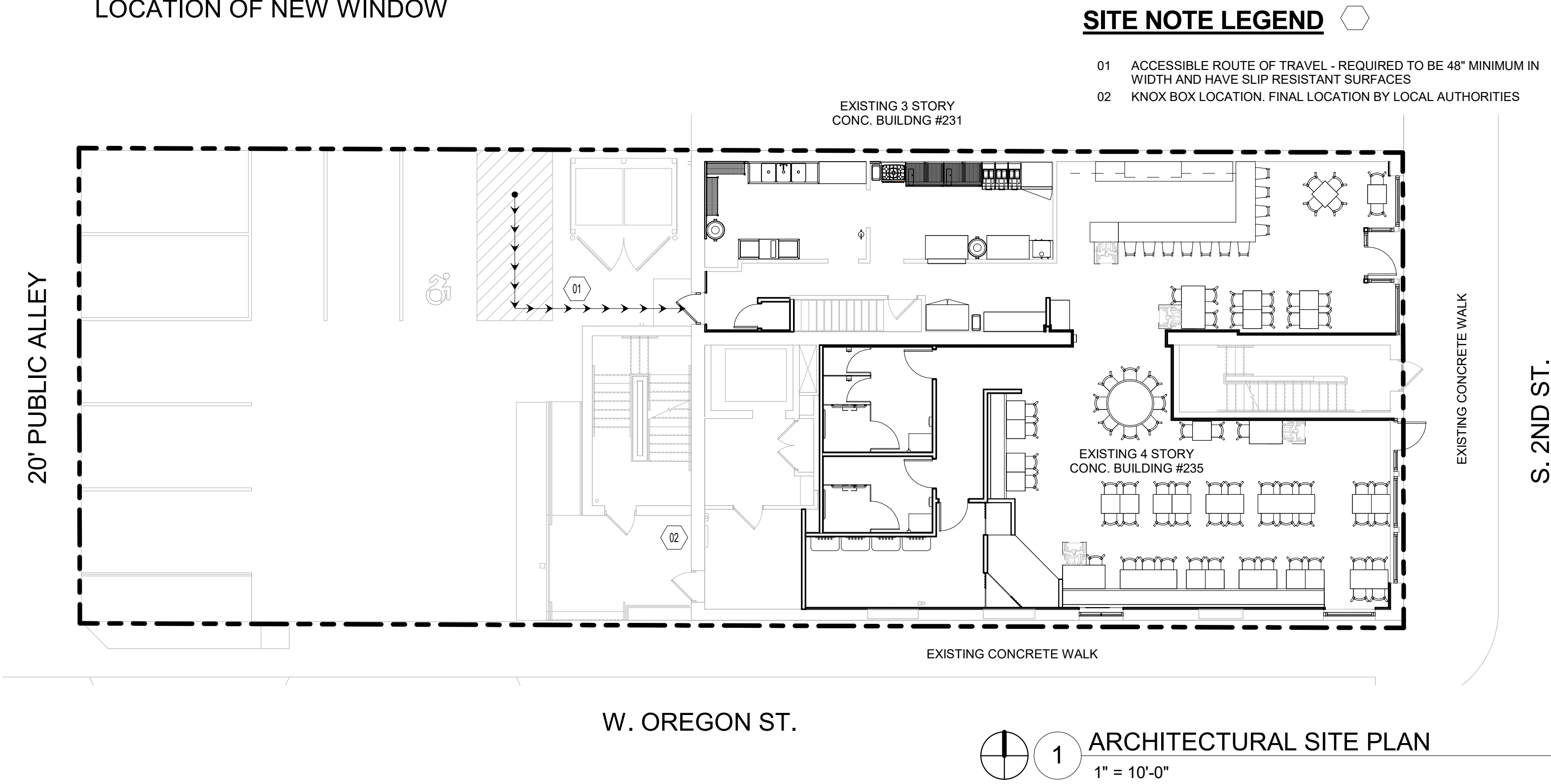
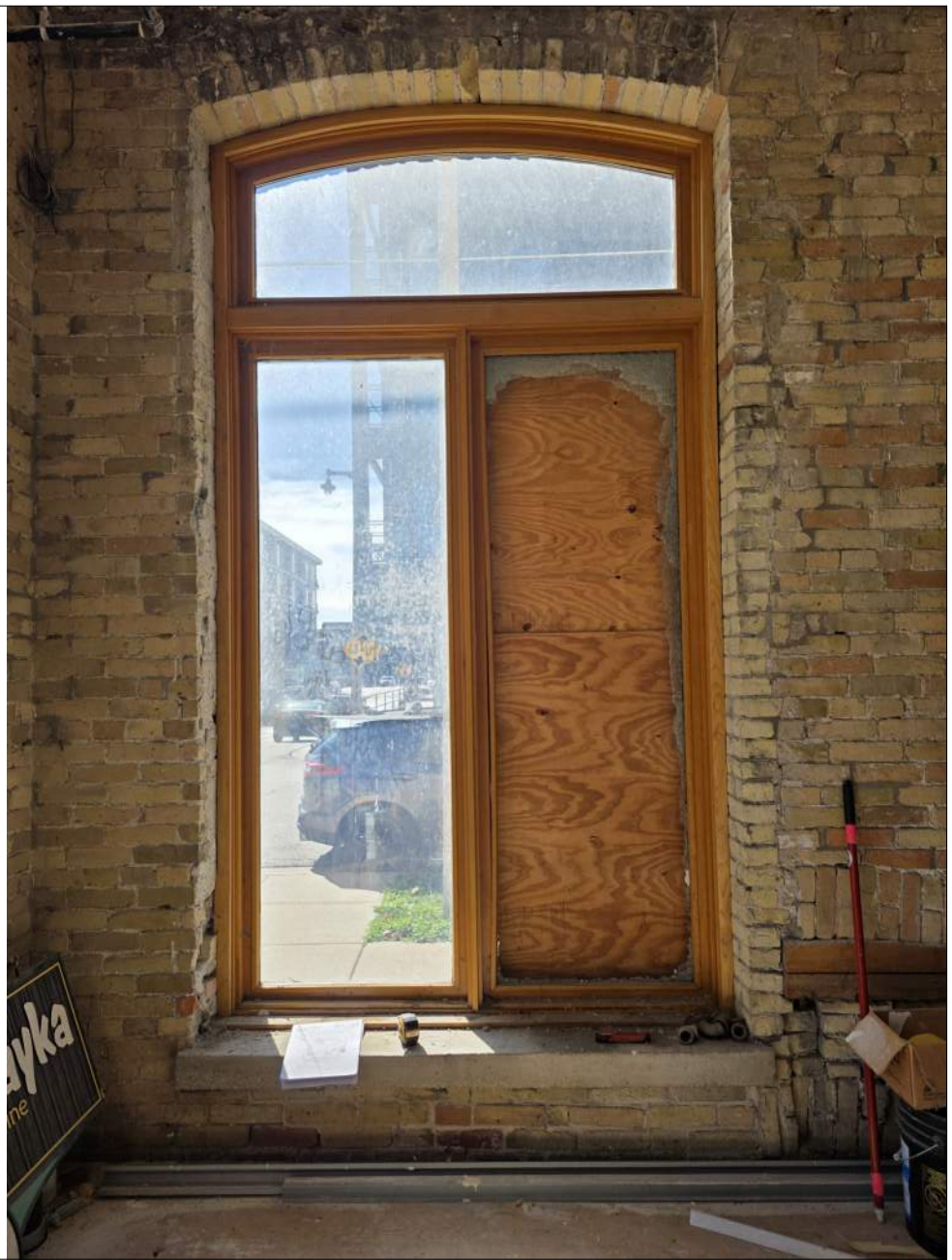
EXISTING SOUTH ELEVATION
LOCATION OF NEW WINDOW



EXISTING SOUTH ELEVATION

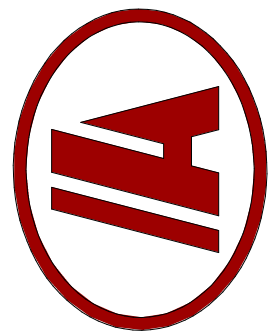


EXISTING SOUTHEAST CORNER WINDOW - INTERIOR



REVISIONS

ANDERSON
ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-6640
WWW.ANDERSONASHTON.COM



HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT
235 S 2ND ST. MILWAUKEE, WI 53204

DRAFTED BY: UH
DESIGNER: UH
ISSUE: 10/8/2025 4:26:07 PM
SUBMITTAL DATE 10-08-2025
DESIGN NO. P-02519
CONSTRUCTION NO.

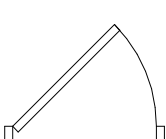
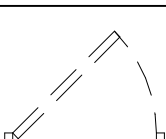
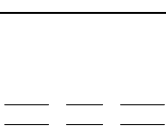
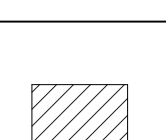
ARCHITECTURAL SITE
PLAN

AS01
SHEET SIZE 24X36

DEMOLITION PLAN KEYNOTES

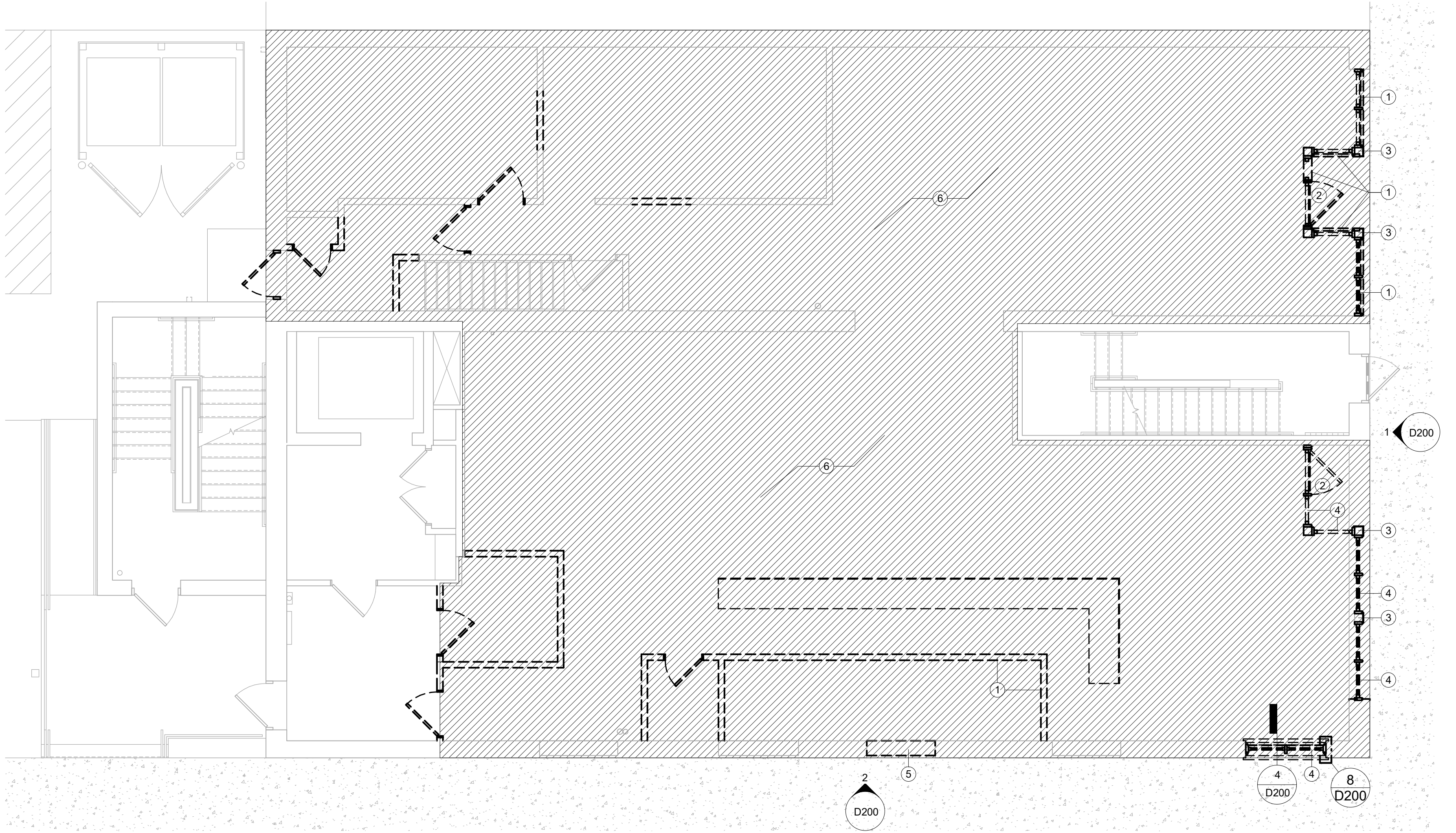
NO.	DESCRIPTION
1	REMOVE NON-HISTORIC PARTITION WALLS TO EXTENTS INDICATED BY DASHED LINES.
2	REMOVE NON-HISTORIC DOOR INCLUDING FRAME, HARDWARE, ACCESSORIES, CASING, TRIM, AND RELATED SUPPORTS.
3	EXISTING HISTORIC COLUMN TO REMAIN.
4	REMOVE EXISTING NON-HISTORIC STOREFRONT. REPLACE WITH NEW THERMALLY BROKEN PRE-FINISHED (PAINTED) ALUMINUM STOREFRONT ASSEMBLY WITH 1" CLEAR INSULATED GLASS.
5	REMOVE NON-HISTORIC MASONRY INFILL AT EXISTING WINDOW OPENINGS. REPLACE WITH NEW THERMALLY BROKEN PRE-FINISHED (PAINTED) ALUMINUM WINDOW WITH 1" CLEAR INSULATED GLASS.
6	EXISTING FIRST FLOOR & BASEMENT AREA OF WORK SPRINKLER SYSTEM TO BE MODIFIED AS REQUIRED TO ACCOMODATE & BE ADAPTED TO NEW CONSTRUCTION. WITHIN THE AREA OF WORK, EXISTING SPRINKLER SYSTEM TO BE MODIFIED AS REQUIRED TO BE PER CURRENT WISCONSIN BUILDING CODE REQUIREMENTS FOR THIS BUILDING & THIS TENANT OCCUPANCY AS REQUIRED FOR NEW CONSTRUCTION

DEMOLITION LEGEND:

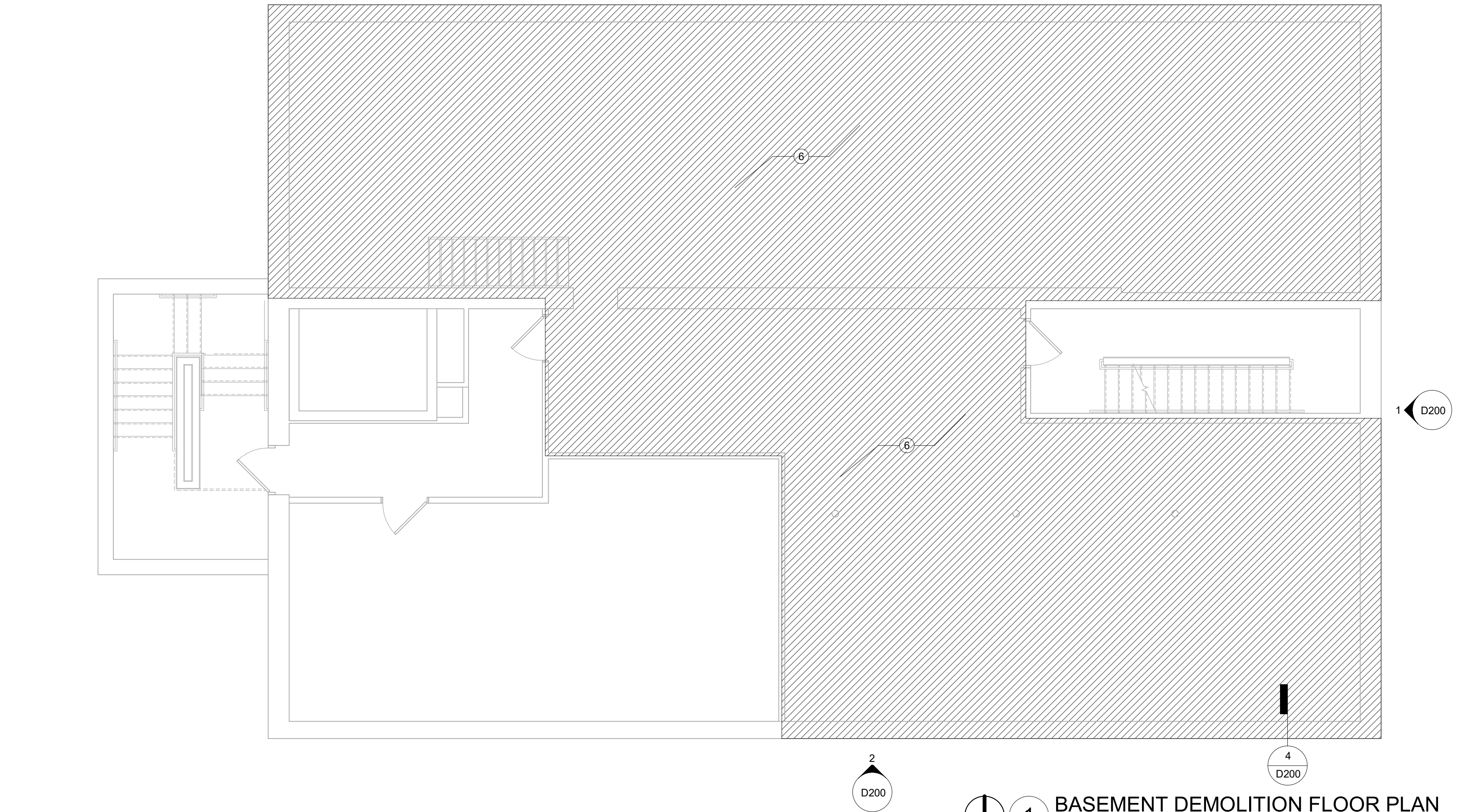
	EXISTING DOOR TO REMAIN
	DOOR & FRAME TO BE REMOVED
	EXISTING WALL TO BE REMOVED W/ ASSOC. ELEC & UTILITIES WITH IN WALL - CAP AS NEEDED
	WORK AREA

GENERAL NOTES - DEMOLITION:

- EXISTING CONDITIONS MAY VARY FROM THOSE INDICATED. NOTIFY THE ARCHITECT IN WRITING OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK.
- REMOVE INTERIOR PARTITION WALLS, INTERIOR DOORS, ACOUSTIC CEILING SYSTEMS, ACOUSTIC TILES, LIGHTING AND ELECTRICAL ACCESSORIES AS REQUIRED BY FINAL PLANS.
- CONFIRM WITH OWNER FOR ANY INTENT TO SALVAGE ANYTHING FROM DEMOLITION WORK.
- DEMOLITION OF MECHANICAL, ELECTRICAL, AND PLUMBING ELEMENTS REQUIRED BY THE GENERAL DEMOLITION, BUT NOT INDICATED, SHALL BE COORDINATED BY THE GENERAL CONTRACTOR. EACH TRADE CONTRACTOR SHALL COORDINATE THEIR DEMOLITION WITH EACH OTHER AND WITH THE SCOPE OF THE FINISHED WORK.
- CONTRACTOR TO VERIFY STRUCTURAL INTEGRITY OF ALL ADJACENT FRAMING PRIOR TO REMOVING WALLS, HEADERS, ETC. PROVIDE TEMPORARY SUPPORT AND/OR SHORING AS REQUIRED BETWEEN DEMOLITION AND NEW CONSTRUCTION WORK.
- CONTRACTOR SHALL PATCH FLOOR, FILL VOIDS AND DEPRESSIONS TO MAKE FLOOR LEVEL TO ACCEPT NEW FLOOR FINISHES PER MANUFACTURER'S RECOMMENDATIONS.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- PROVIDE TEMPORARY SUPPORT AND STABILIZE ANY PARTITIONS THAT BECOME UNBRACED DUE TO SELECTIVE OR PARTIAL DEMOLITION. NO DEMOLITION WORK SHALL INTERRUPT, COMPROMISE, DAMAGE, OR REMOVE ADJACENT STRUCTURE OR FINISHES NOT SPECIFIED FOR DEMOLITION.
- PATCH OUT FLOORS AND WALLS AT REMOVED PARTITIONS TO MATCH EXISTING ADJACENT FINISHES WHERE NEW FINISHES ARE NOT SCHEDULED.
- FILL AND/OR GRIND FLOORS AT REMOVED PARTITIONS AS REQUIRED TO PROVIDE A SMOOTH TRANSITION, SLOPE NOT TO EXCEED 1/16" PER FOOT.
- REMOVE ALL CARPETING, RUGS, TILE, SHEET FLOORING, AND OTHER FINISHES COMPLETELY TO EXISTING SUBFLOOR AS REQUIRED BY FINAL PLANS.
- REMOVE ALL ELECTRICAL FIXTURES, OUTLETS, SUPPLY BOXES, AND WIRES AS REQUIRED BY FINAL PLANS. TERMINATE LINES BELOW SUBFLOOR (MINIMUM) OR AT MAIN PANEL.
- CONTRACTOR SHALL TERMINATE ALL ELECTRICAL, IT, PLUMBING, TELECOM/DATA LINES AND PROVIDE FOR UNINTERRUPTED SERVICE TO THE FACILITY BEFORE COMMENCING DEMOLITION WORK.
- WHERE APPLICABLE, REMOVE ALL LOOSE PAINT ENCOUNTERED ON SURFACES RELATED TO THE WORK, AND DISPOSE PER CODE REQUIREMENTS.
- REMOVE ALL EXISTING FLOORING FINISHES, PROTRUDING OBJECTS (BOLTS, ETC.), AND LOOSE PIECES OF CONCRETE. ALL UNEVEN SURFACES TO BE GROUND DOWN. REMEDIATE IDENTIFIED HAZARDOUS MATERIALS AS REQUIRED BY CODE AND APPLICABLE LAWS & REGULATIONS. STRIP CONCRETE FLOOR AND RESEAL PER FINAL PLANS.
- REMOVE EXISTING CMU WALLS, FILL AND/OR GRIND FLOORS AT REMOVED PARTITIONS AS REQUIRED TO PROVIDE A SMOOTH TRANSITION.
- REMOVE EXISTING ABANDONED ELECTRICAL EQUIPMENT. GC TO COORDINATE WITH OWNER TO IDENTIFY FIXTURES AND EQUIPMENT FOR SALVAGE, RECYCLING, OR REMOVAL. GC SHALL PROVIDE CREDIT TO OWNER FOR ANY MATERIAL THAT CAN BE SALVAGED FOR REUSE/RECYCLING.



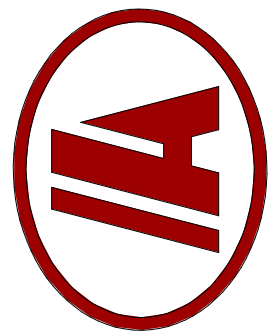
2 FIRST FLOOR DEMOLITION FLOOR PLAN
3/16" = 1'-0"



1 BASEMENT DEMOLITION FLOOR PLAN
3/16" = 1'-0"

REVISIONS

ANDERSON
ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-6640
WWW.ANDERSONASHTON.COM



HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT

235 S 2ND ST, MILWAUKEE, WI 53204

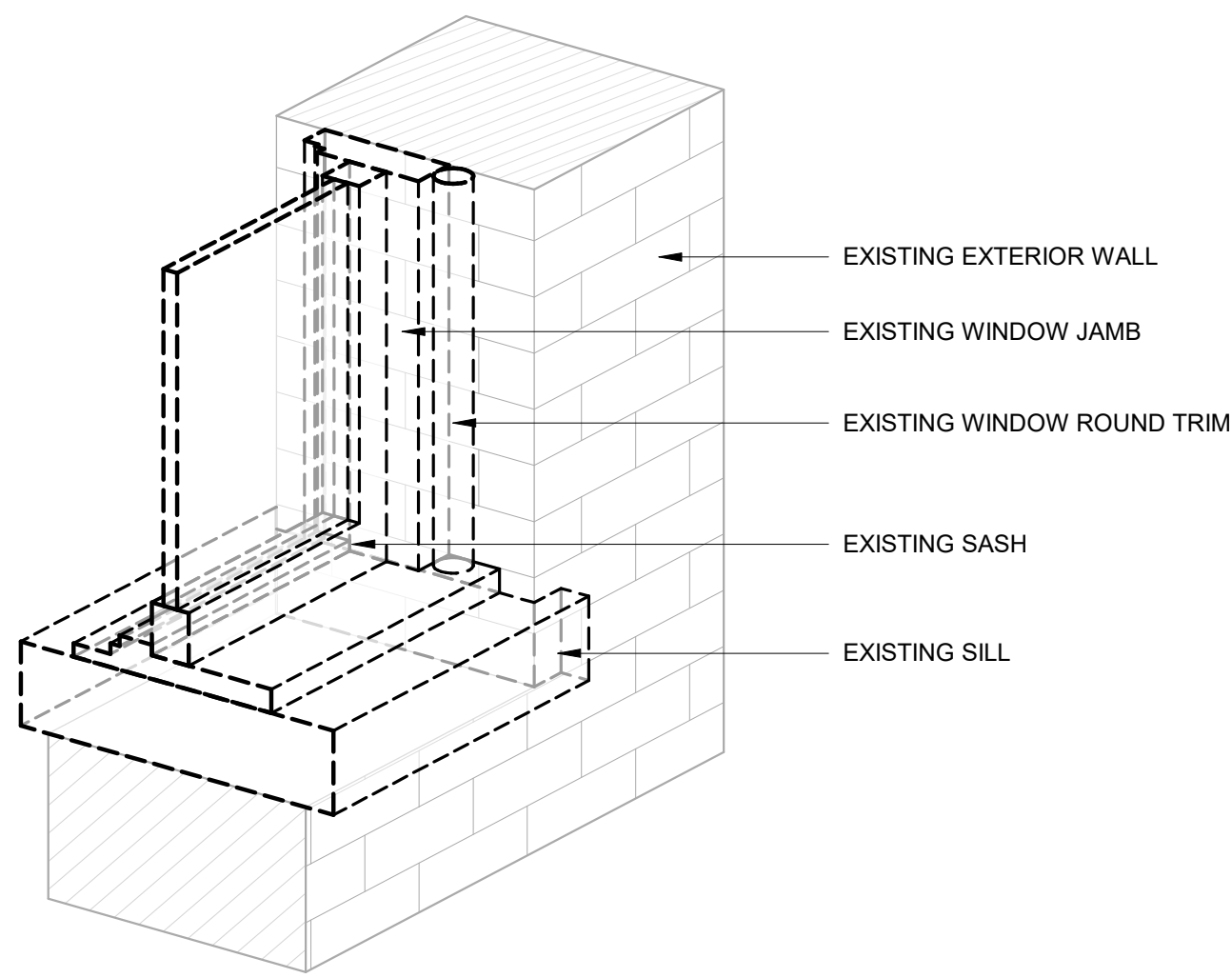
DRAFTED BY: UH
DESIGNER: UH
ISSUE: 10/8/2025 4:26:08 PM
SUBMITTAL DATE 10-08-2025
DESIGN NO. P-02519
CONSTRUCTION NO. -

DEMOLITION PLANS

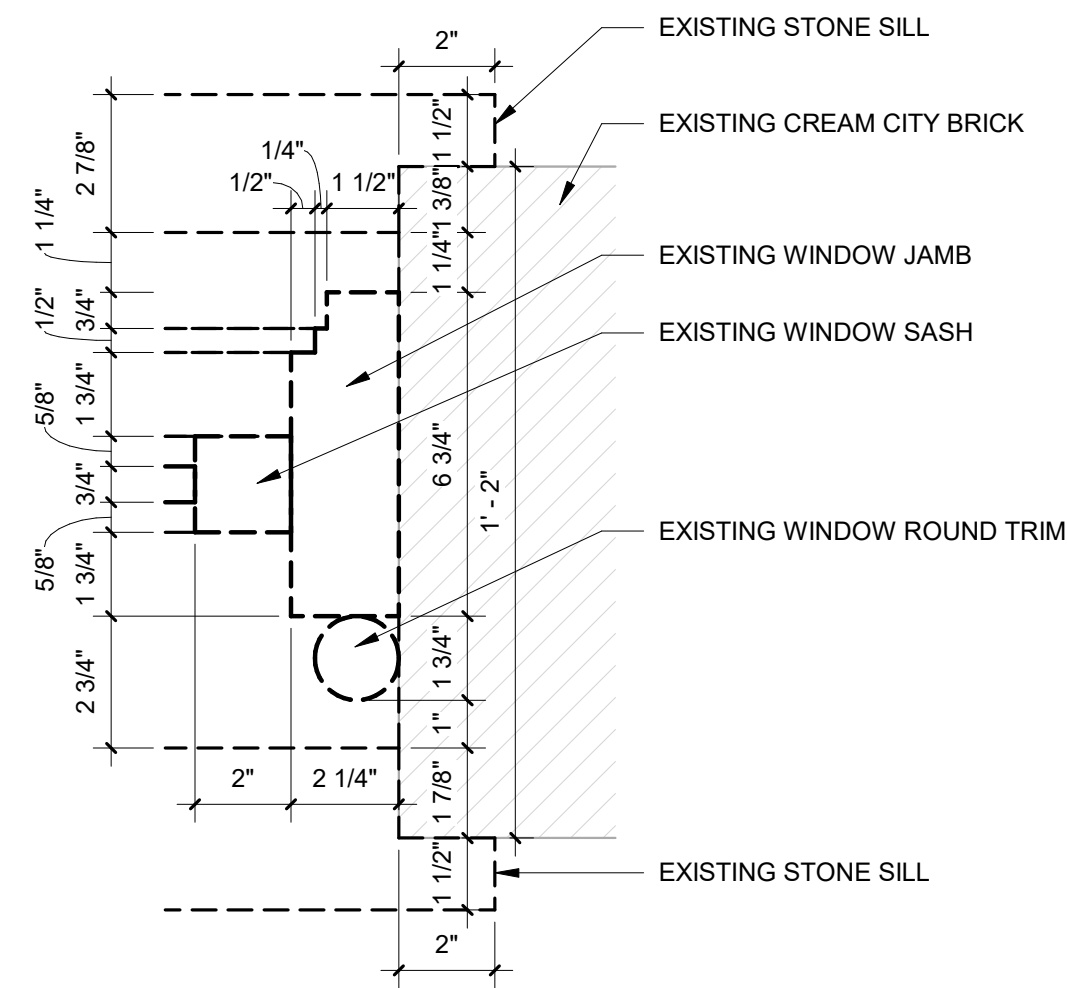
D101

COPYRIGHT PROTECTED 2025

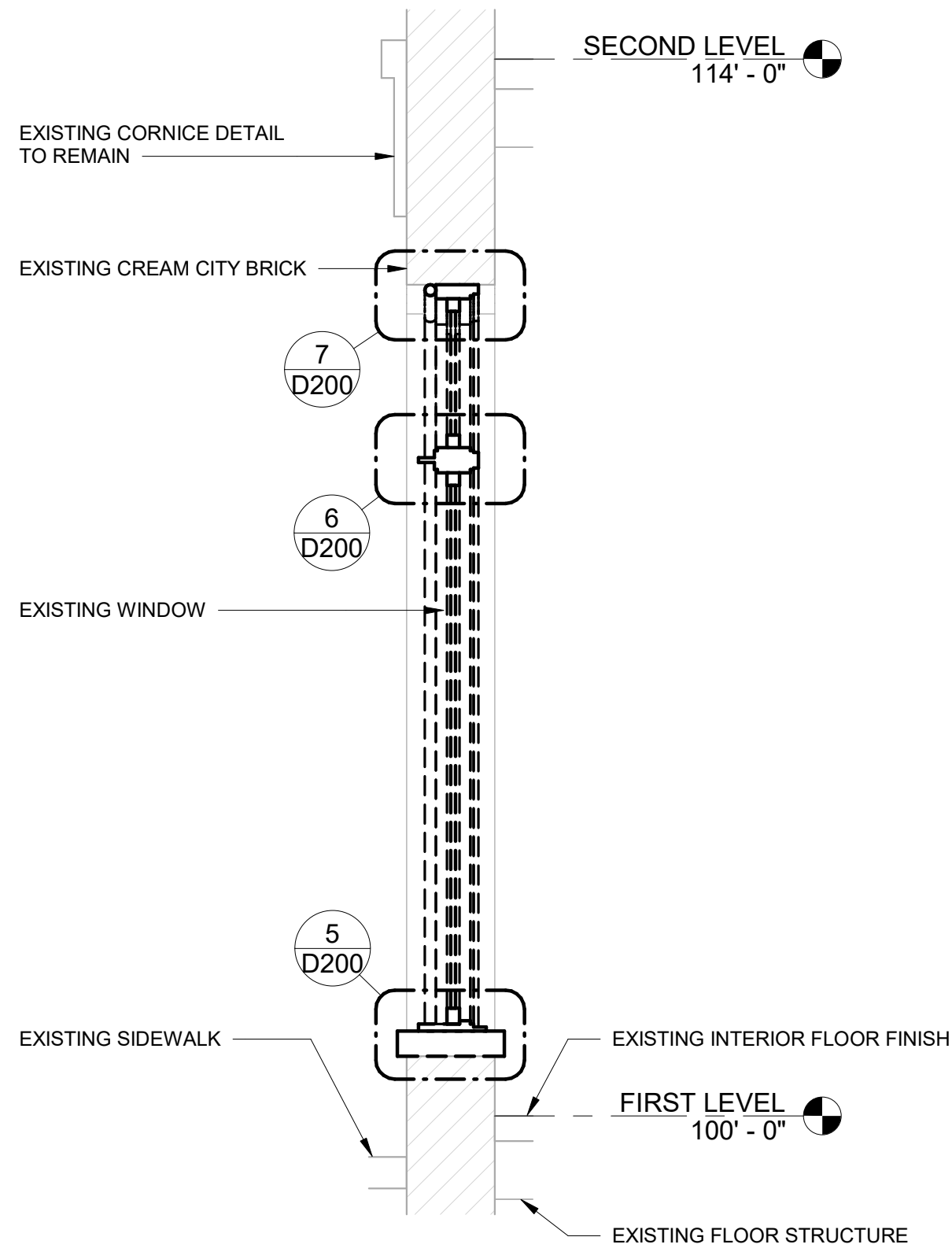
SHEET SIZE 24X36



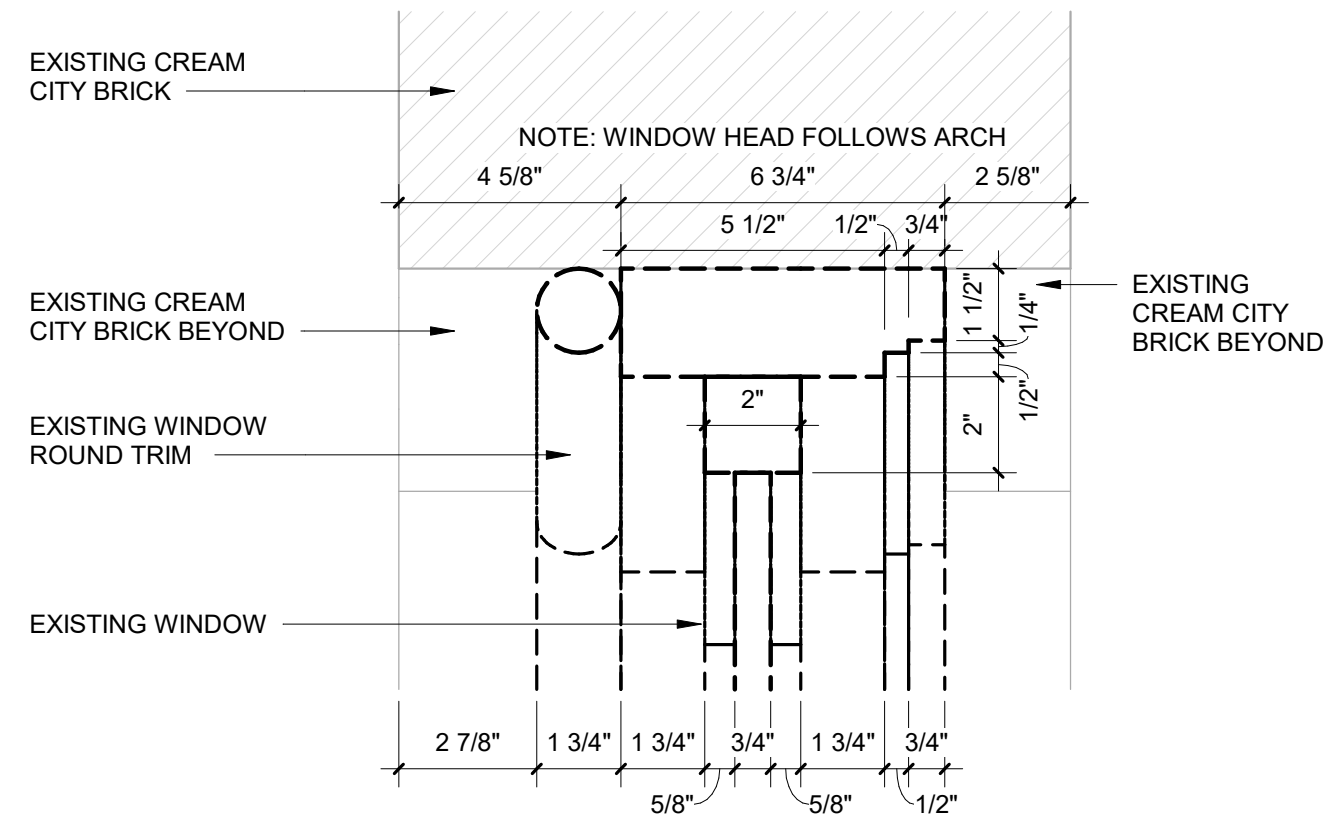
9 EXISTING WINDOW AXON



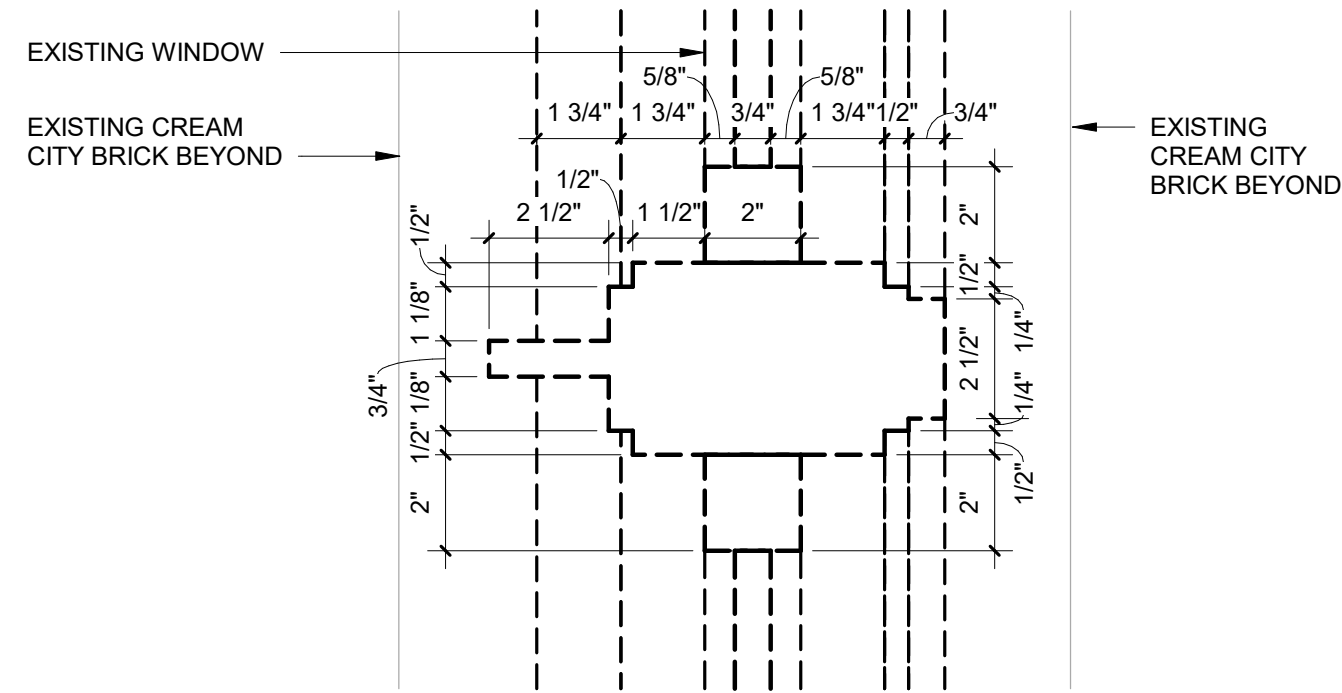
8 EXISTING WINDOW JAMB



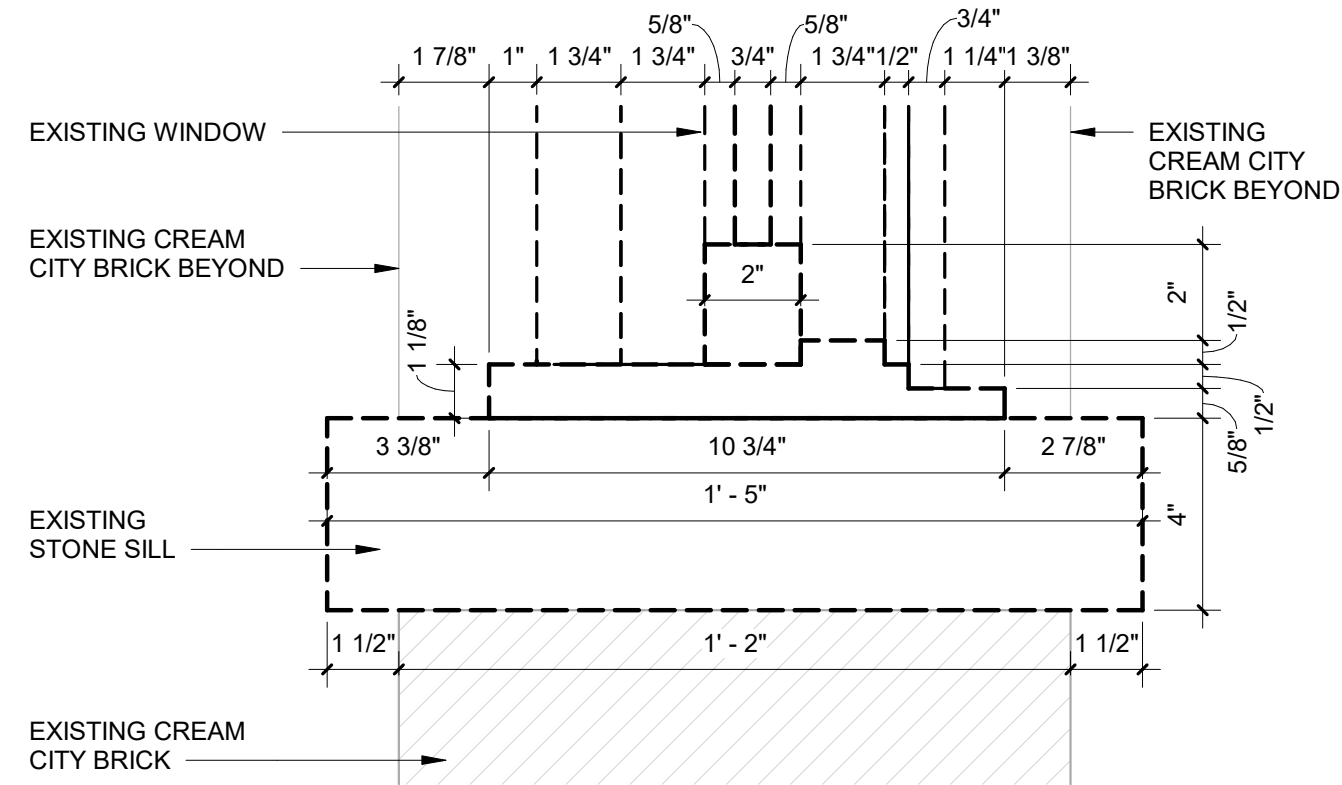
4 EXISTING WINDOW SECTION



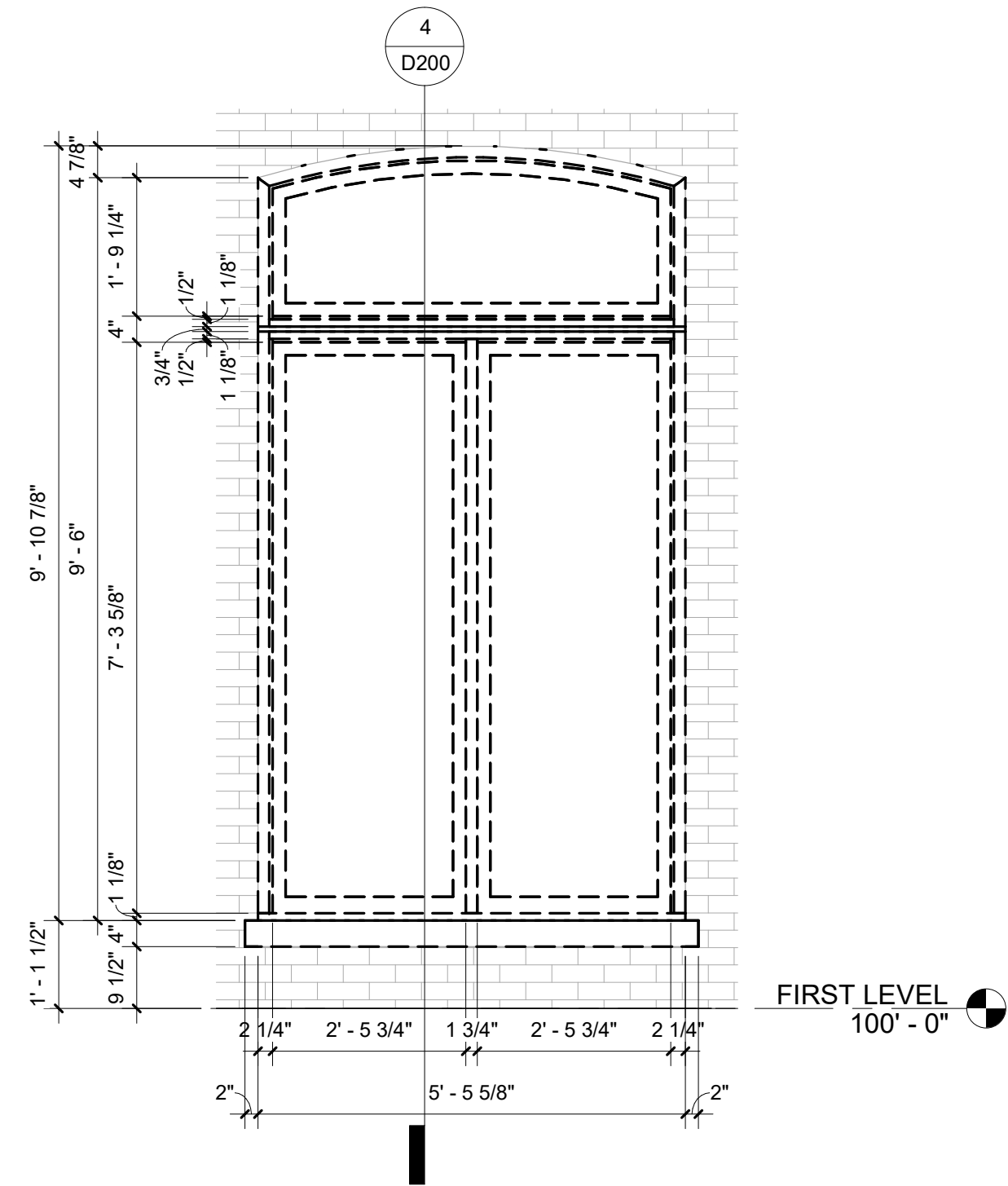
7 EXISTING WINDOW HEAD



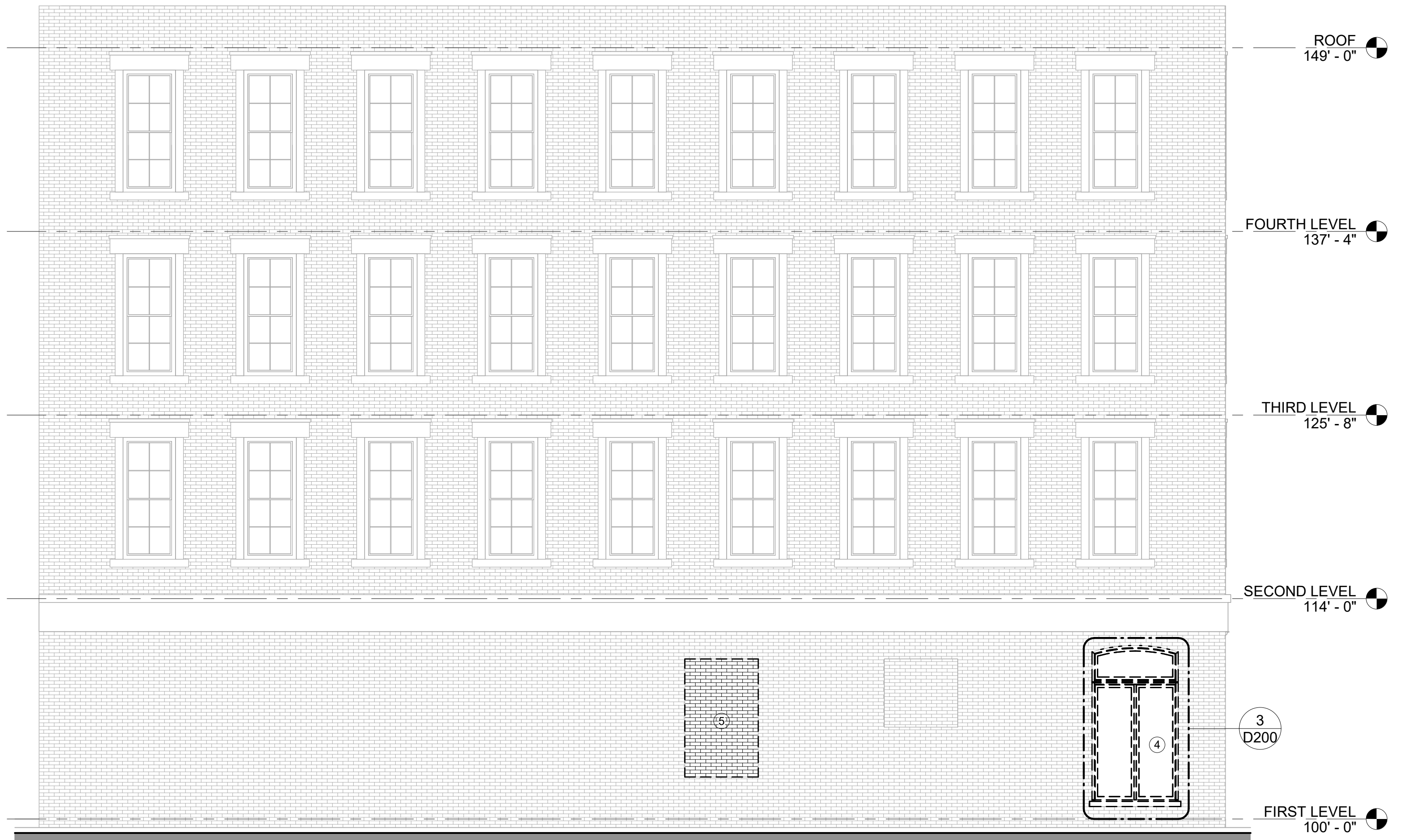
6 EXISTING WINDOW INTERMEDIATE MULLION



5 EXISTING WINDOW SILL

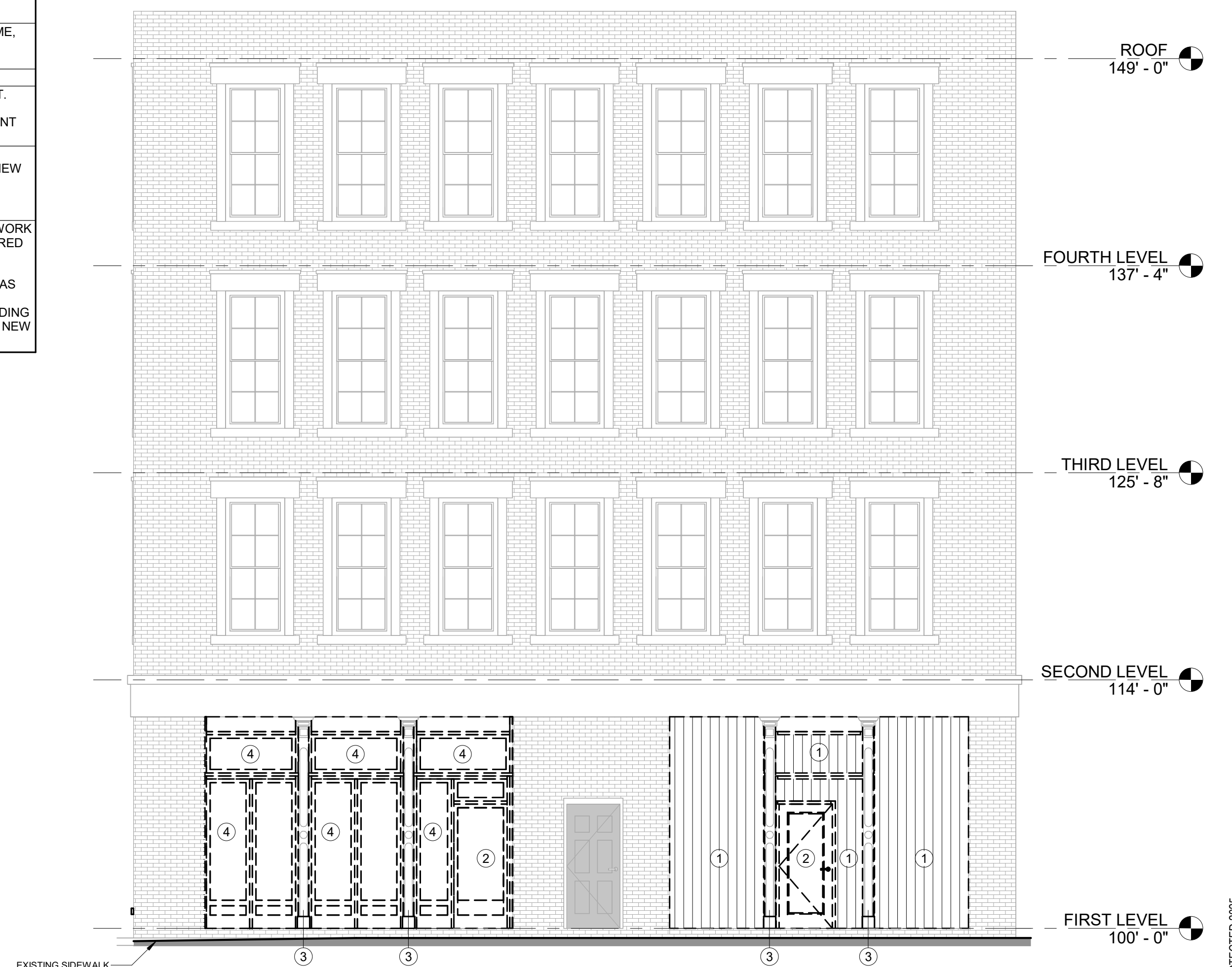


3 EXISTING WINDOW ELEVATION



2 DEMOLITION EXTERIOR ELEVATION - SOUTH

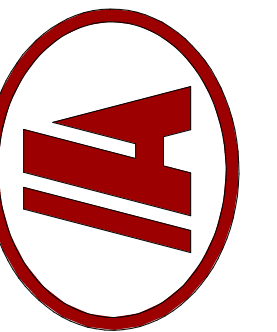
NO.	DESCRIPTION
1	REMOVE NON-HISTORIC PARTITION WALLS TO EXTENTS INDICATED BY DASHED LINES.
2	REMOVE NON-HISTORIC DOOR INCLUDING FRAME, HARDWARE, ACCESSORIES, CASING, TRIM, AND RELATED SUPPORTS.
3	EXISTING HISTORIC COLUMN TO REMAIN.
4	REMOVE EXISTING NON-HISTORIC STOREFRONT. REPLACE WITH NEW THERMALLY BROKEN PRE-FINISHED (PAINTED) ALUMINUM STOREFRONT ASSEMBLY WITH 1" CLEAR INSULATED GLASS.
5	REMOVE NON-HISTORIC MASONRY INFILL AT EXISTING WINDOW OPENINGS. REPLACE WITH NEW THERMALLY BROKEN PRE-FINISHED (PAINTED) ALUMINUM WINDOW WITH 1" CLEAR INSULATED GLASS.
6	EXISTING FIRST FLOOR & BASEMENT AREA OF WORK SPRINKLER SYSTEM TO BE MODIFIED AS REQUIRED TO ACCOMMODATE & BE ADAPTED TO NEW CONSTRUCTION. WITHIN THE AREA OF WORK, EXISTING SPRINKLER SYSTEM TO BE MODIFIED AS REQUIRED TO BE PER CURRENT WISCONSIN BUILDING CODE REQUIREMENTS FOR THIS BUILDING & THIS TENANT OCCUPANCY AS REQUIRED FOR NEW CONSTRUCTION



1 DEMOLITION EXTERIOR ELEVATION - EAST

REVISIONS

ANDERSON
ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-6640
WWW.ANDERSONASHTON.COM



HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT
235 S 2ND ST. MILWAUKEE, WI 53204

DRAFTED BY: UH
DESIGNER: UH
ISSUE: 10/8/2025 4:26:09 PM
SUBMITTAL DATE: 10-08-2025
DESIGN NO. P-02519
CONSTRUCTION NO.

DEMOLITION EXTERIOR
ELEVATIONS

D200

COPYRIGHT PROTECTED 2025

SHEET SIZE 24X36

FLOOR PLAN LEGEND

ROOM

	ROOM NAME		NEW CONSTRUCTION
	ROOM NUMBER		NEW CONSTRUCTION (INSULATED)
	DOOR NUMBER		NEW DOOR & FRAME
	PARTITION TYPE		EXISTING DOOR & FRAME TO REMAIN
	PLAN NOTES		

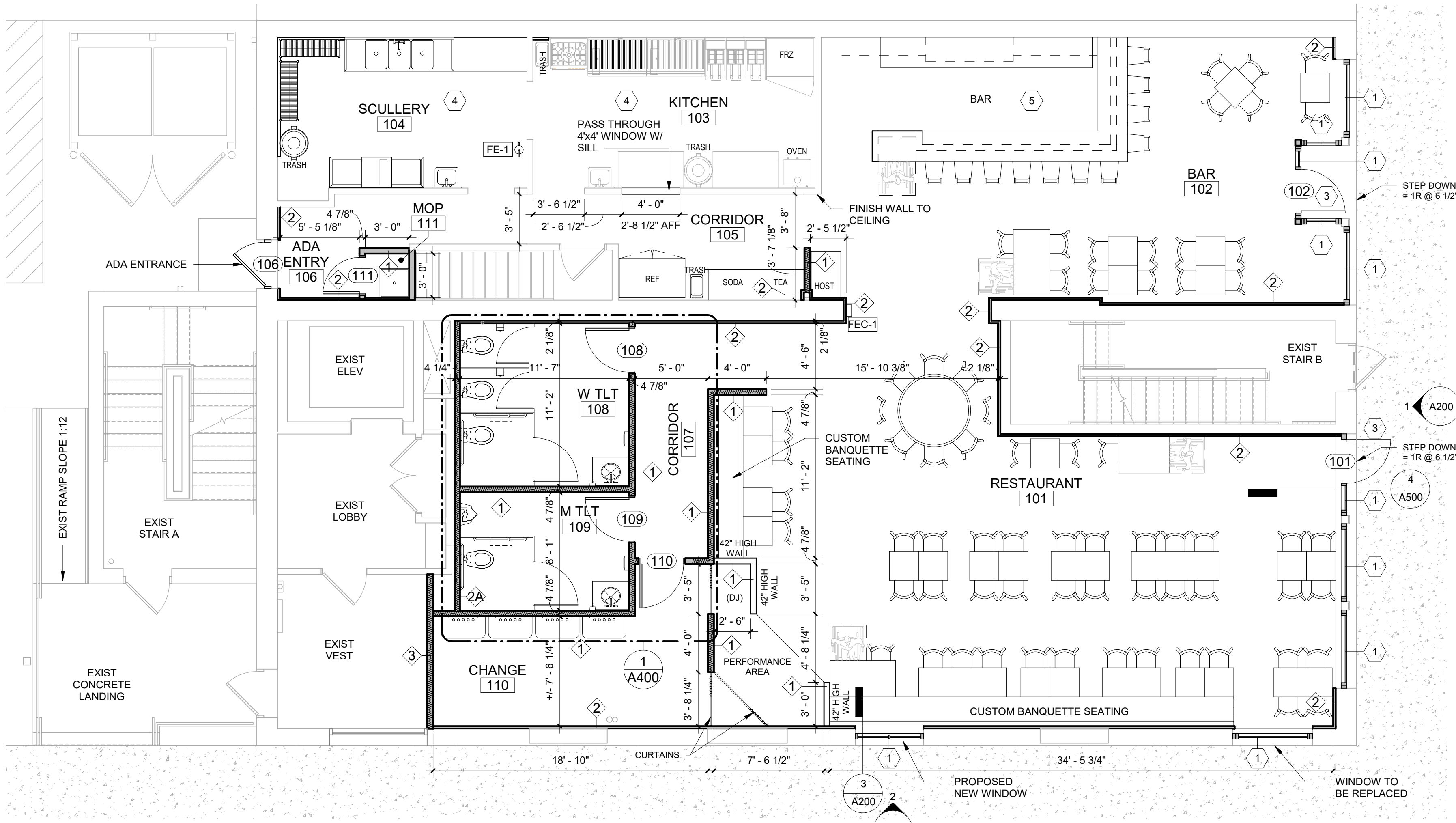
FEC-1
WALL MOUNTED 2-A FIRE EXTINGUISHER CABINET (CONFIRM FIRE EXTINGUISHER TYPE WITH LOCAL FIRE DEPARTMENT PRIOR TO INSTALL)

FE-1
WALL MOUNTED CLASS K EXTINGUISHER (CONFIRM FIRE EXTINGUISHER TYPE WITH LOCAL FIRE DEPARTMENT PRIOR TO INSTALL)

NEW WORK KEYNOTES

NEW WORK KEYNOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.

NO.	DESCRIPTION
1	NEW THERMALLY BROKEN LOW-E PRE-FINISHED (BAKED ENAMEL) ALUMINUM STOREFRONT ASSEMBLY WITH 1" CLEAR INSULATED GLASS. PROVIDE TEMPERED SAFETY GLAZING
2	PRE-FINISHED METAL PANEL GLAZED INTO STOREFRONT WINDOW SYSTEM. FINISH & COLOR TO MATCH FRAME.
3	NEW THERMALLY BROKEN PRE-FINISHED (BAKED ENAMEL) ALUMINUM FULL LITE 2-PANEL DOOR. GLAZING TO BE 1" CLEAR INSULATED GLASS. PROVIDE TEMPERED SAFETY GLAZING
4	KITCHEN & SCULLERY DESIGN BY OTHERS. KITCHEN TO BE FULLY ACCESSIBLE & TO MEET LOCAL CODE REQUIREMENTS. PROVIDE ACCESSIBLE SINKS, OVENS, APPLIANCES, COOKTOPS, AND CONTROLS.
5	BAR DESIGN BY OTHERS. TO HAVE ADA ACCESSIBLE SEATING AS REQUIRED.



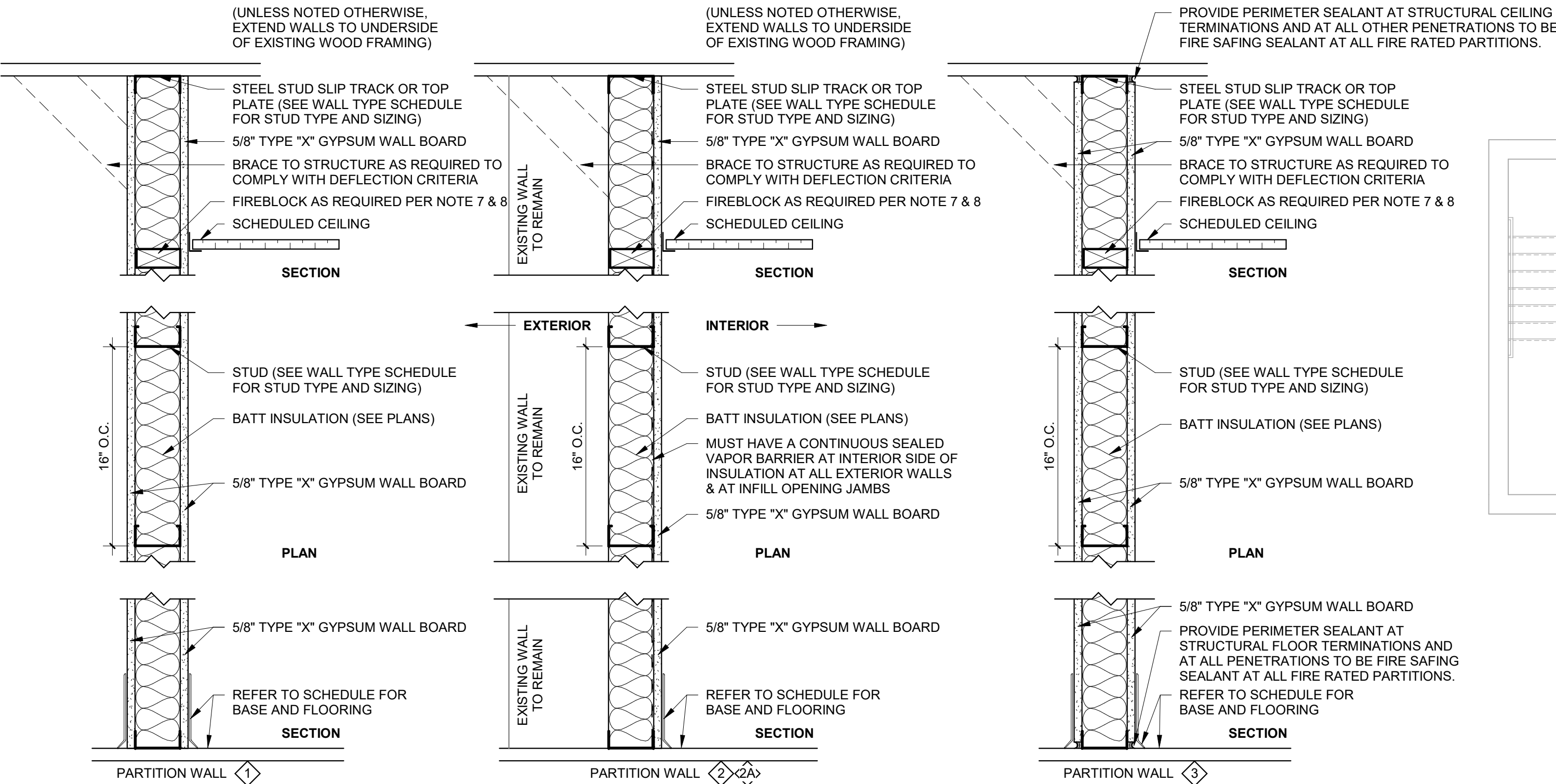
2 FINISH FLOOR PLAN
3/16" = 1'-0"

NOTES:

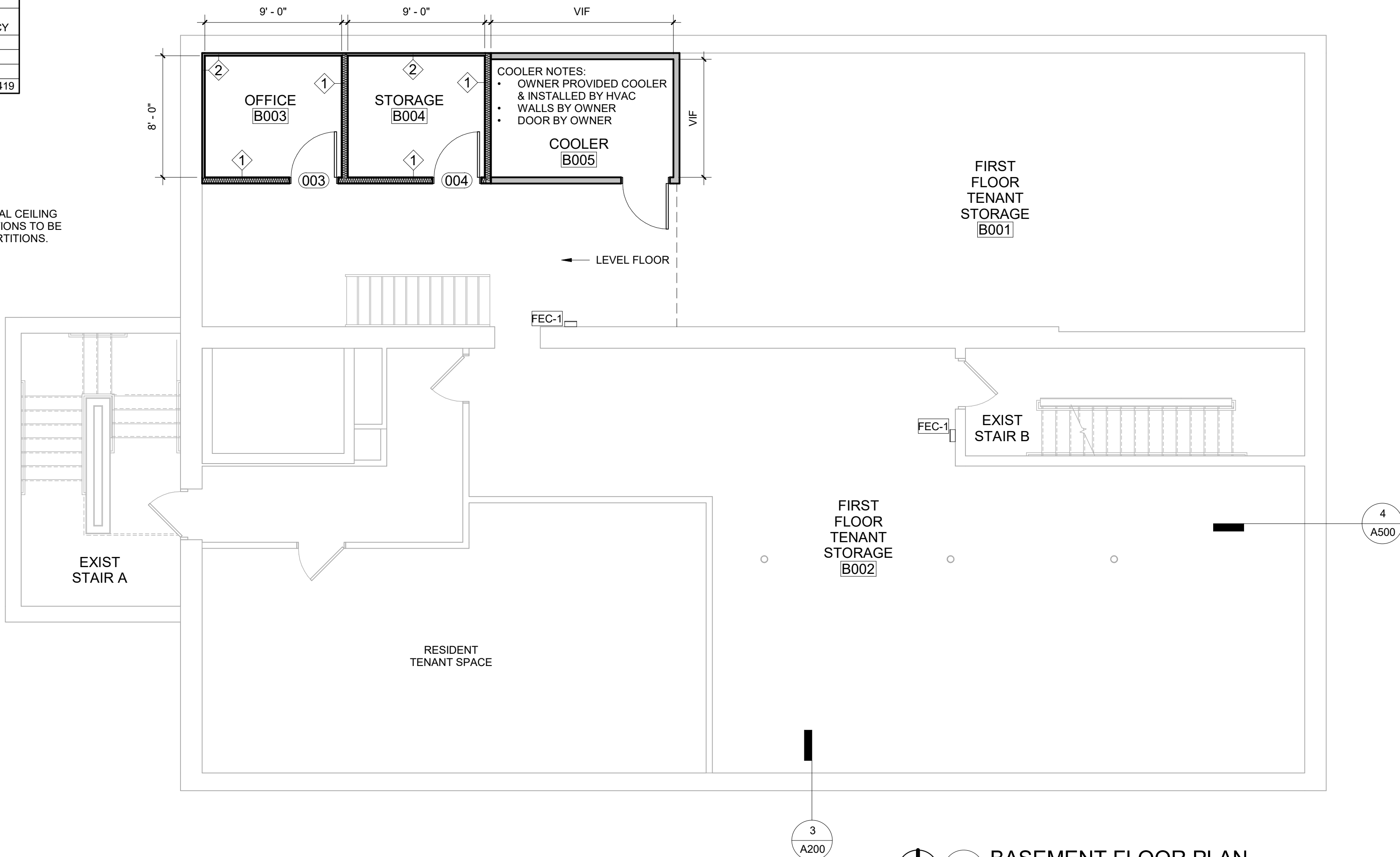
- ALL GYP. BOARD SHALL BE TYPE "X"
- CARPENTER TO INCLUDE SLIP TRACK @ ROOF TRUSSES FOR ALL FULL HEIGHT INTERIOR WALLS
- CARPENTER TO PROVIDE FOR MOVEMENT AT PERIMETER ROOF WALL DRYWALL JUNCTIONS
- PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT WET/DAMP LOCATIONS
- SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON APPLIED WALL FINISHES
- CARPENTER TO PROVIDE BLOCKING AS NEEDED FOR BATHROOM ACCESSORIES, FIRE EXTINGUISHER CABS, ELECTRICAL PANELS, ETC.
- PROVIDE CODE REQUIRED FIREBLOCKING AT CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING AT FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS VERTICALLY AT THE CEILING AND FLOOR LEVELS, AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. PER 2015 IBC SECTION 718.2.2
- INSTALL FIREBLOCKING BETWEEN VERTICAL AND HORIZONTAL SPACES CREATED BY FLOOR JOISTS OR TRUSSES, AT SOFFITS, DROPPED CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS. PER 2015 IBC SECTION 718.2.3
- ALL DIMENSION STRINGS ARE TO FINISH FACE OF WALL, UNLESS NOTED OTHERWISE
- LOCATE NEAREST FACE OF ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, TYP. UNLESS NOTED OTHERWISE

WALL SCHEDULE

TYPE MARK	FIRE RATING	DESCRIPTION	NOMINAL WIDTH	STUD SIZE	TESTING AGENCY
1	-	5/8" DRYWALL BOTH SIDES ON 25 GAUGE METAL STUDS	0' - 4 7/8"	3 5/8"	-
2	-	5/8" DRYWALL ONE SIDE ON 25 GAUGE METAL STUDS	0' - 2 1/8"	1 1/2"	-
2A	-	5/8" DRYWALL ONE SIDE ON 25 GAUGE METAL STUDS	0' - 4 1/4"	3 5/8"	-
3	-	5/8" DRYWALL BOTH SIDES ON 25 GAUGE METAL STUDS	0' - 4 7/8"	3 5/8"	UL DESIGN NO. U419



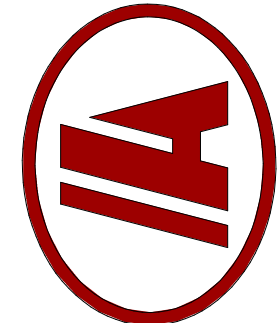
WALL TYPES



1 BASEMENT FLOOR PLAN
3/16" = 1'-0"

REVISIONS

ANDERSON
ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-6640
WWW.ANDERSONASHTON.COM



HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT

235 S 2ND ST. MILWAUKEE, WI 53204

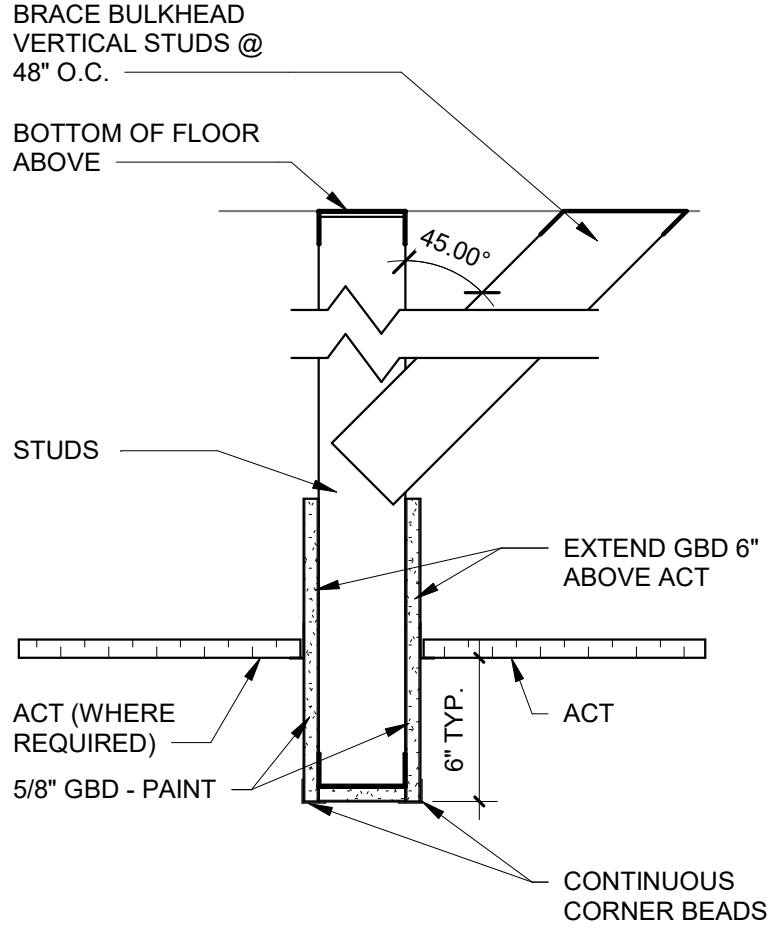
DRAFTED BY: UH
DESIGNER: UH
ISSUE: 10/8/2025 4:26:11 PM
SUBMITTAL DATE 10-08-2025
DESIGN NO. P-02519
CONSTRUCTION NO. -

PLANS

COPYRIGHT PROTECTED 2025

A101
SHEET SIZE 24X36

LIGHTING FIXTURE SCHEDULE				
TYPE	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
A	2X4 LED INDIRECT LAY-IN	COOPER	24CZSCT3-UNV	
AE	2X4 LED INDIRECT LAY-IN EMERGENCY	COOPER	24CZSCT3-UNV	PROVIDE EMERGENCY BACK UP OPTION
B	2X2 LED INDIRECT LAY-IN	COOPER	24CZSCT3-UNV	
BE	2X2 LED INDIRECT LAY-IN EMERGENCY	COOPER	24CZSCT3-UNV	PROVIDE EMERGENCY BACK UP OPTION
C	6" ROUND RECESSED LED	COOPER	HC6	



3
TYPICAL BULKHEAD SECTION DETAIL
1 1/2" = 1'-0"

GENERAL CEILING NOTES:

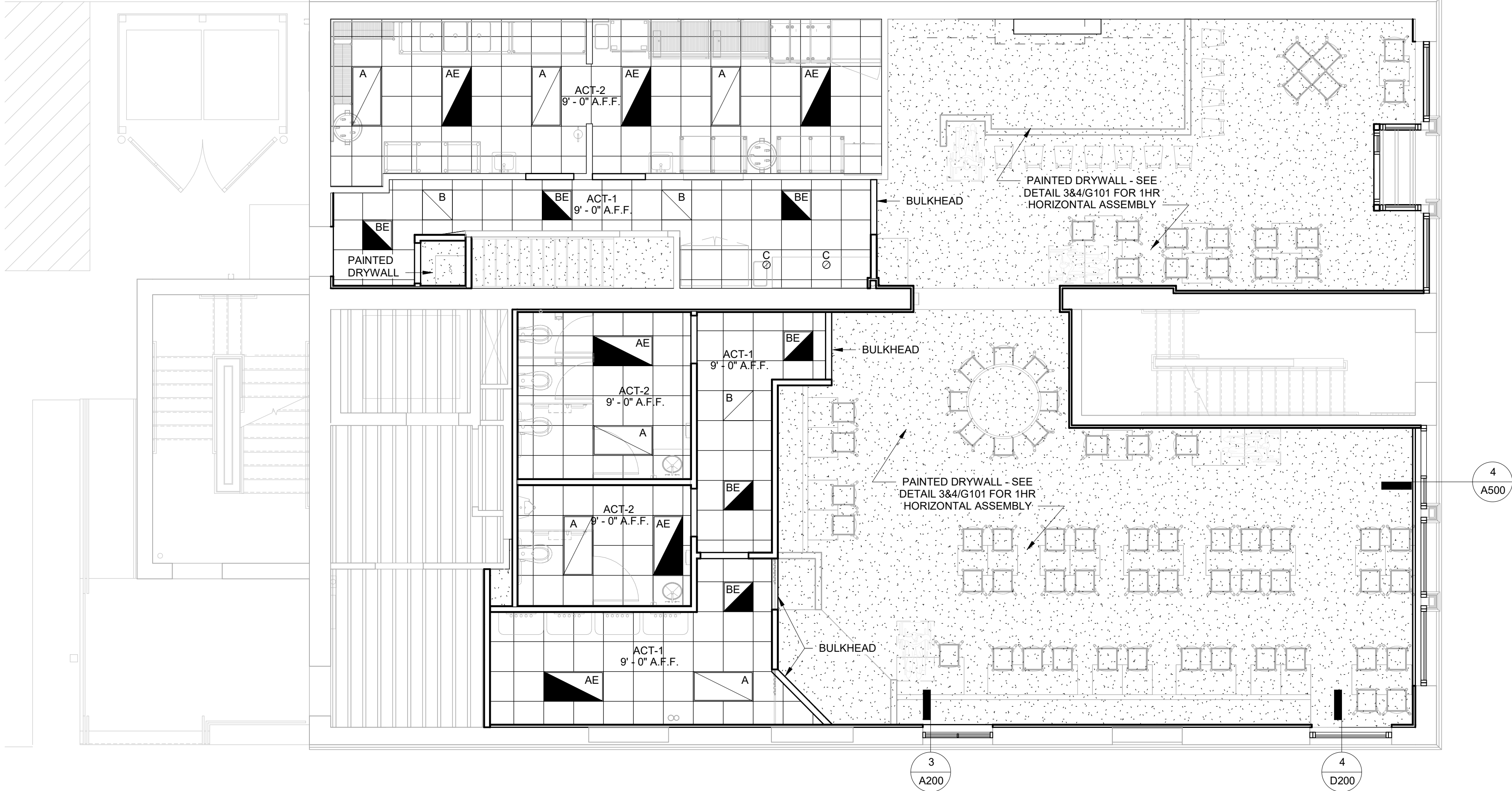
1. EXPOSED TO STRUCTURE WHERE NO CEILING MATERIAL IS SPECIFIED
2. REFER TO ROOM FINISH SCHEDULE FOR CEILING MATERIALS AND FINISHES
3. MINIMUM SIZE FOR PERIMETER CEILING TILES SHALL NOT BE LESS THAN 6" IN ALL DIRECTIONS
4. COORDINATE DIMMABLE LIGHTING LOCATIONS WITH OWNER

ELECTRICAL NOTES

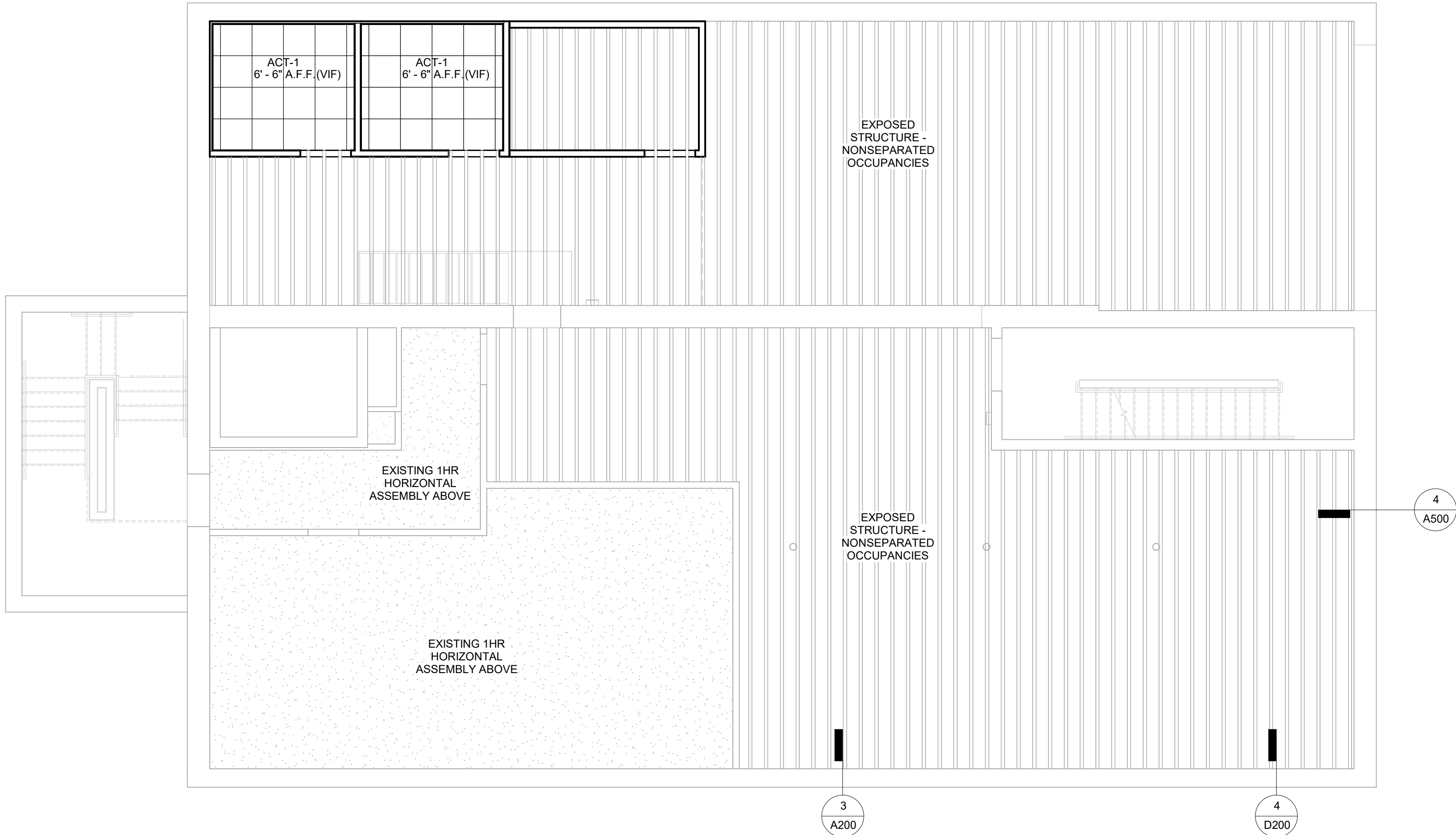
ELECTRICAL CONTRACTOR RESPONSIBLE FOR CODE COMPLIANT (IBC 1008) EXIT LIGHTING INCLUDING DIRECTIONAL EXIT LIGHTS - A SET OF COMPLETE EXIT LIGHTING BY ELECTRICAL CONTRACTOR TO REMAIN ON SITE DURING CONSTRUCTION

LIGHTING FIXTURES SHOWN ARE ON THE PLAN TO COMMUNICATE THE DESIGN INTENT ONLY. ELECTRICAL DESIGN/BUILD CONTRACTOR SHALL PROVIDE INTERIOR SPACE PHOTOMETRIC FOR APPROVAL OF LIGHTING FIXTURES AND LIGHTING LEVELS. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE FIXTURES AND LAMPS TO MEET THE FOLLOWING MINIMUM DESIGN LIGHT LEVELS:

DINING TABLES	10-20 FC
KITCHEN AREAS	50-100 FC
OFFICE	75 FC
CORRIDOR	30 FC
TOILET	20-30 FC
GENERAL LIGHTING	30-50 FC



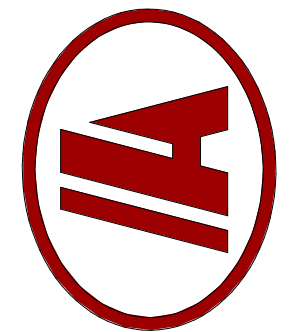
2 FIRST FLOOR REFLECTED CEILING PLAN
3/16" = 1'-0"



1 BASEMENT REFLECTED CEILING PLAN
3/16" = 1'-0"

REVISIONS

ANDERSON
ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-6640
WWW.ANDERSONASHTON.COM



HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT
235 S 2ND ST. MILWAUKEE, WI 53204

DRAFTED BY: UH
DESIGNER: UH
ISSUE: 10/8/2025 4:26:12 PM
SUBMITTAL DATE 10-08-2025
DESIGN NO. P-02519
CONSTRUCTION NO. -

REFLECTED CEILING
PLAN

A111

COPYRIGHT PROTECTED 2025

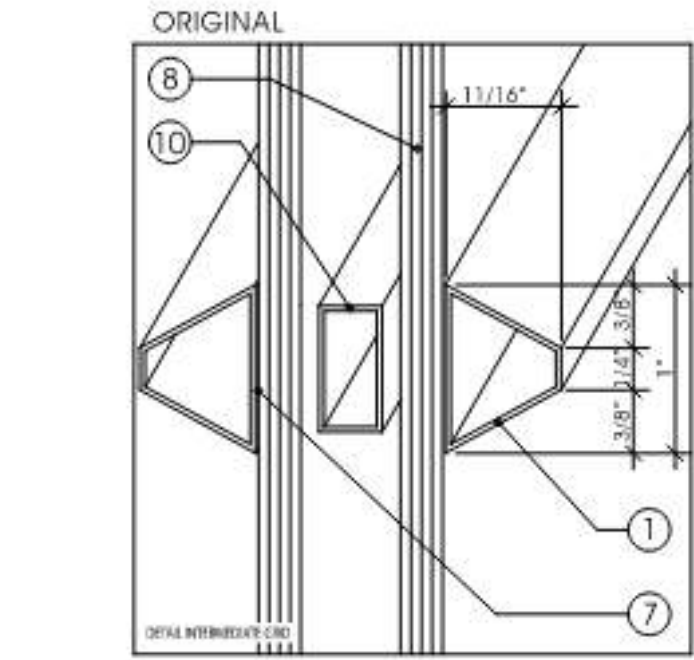
SHEET SIZE 24X36

NEW WORK KEYNOTES	
NEW WORK KEYNOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.	
NO.	DESCRIPTION
1	NEW THERMALLY BROKEN LOW-E PRE-FINISHED (BAKED ENAMEL) ALUMINUM STOREFRONT ASSEMBLY WITH 1" CLEAR INSULATED GLASS. PROVIDE TEMPERED SAFETY GLAZING
2	PREFINISHED METAL PANEL GLAZED INTO STOREFRONT WINDOW SYSTEM. FINISH & COLOR TO MATCH FRAME.
3	NEW THERMALLY BROKEN PRE-FINISHED (BAKED ENAMEL) ALUMINUM FULL LITE 2-PANEL DOOR. GLAZING TO BE 1" CLEAR INSULATED GLASS. PROVIDE TEMPERED SAFETY GLAZING
4	KITCHEN & SCULLERY DESIGN BY OTHERS. KITCHEN TO BE FULLY ACCESSIBLE & TO MEET LOCAL CODE REQUIREMENTS. PROVIDE ACCESSIBLE SINKS, OVENS, APPLIANCES, COOKTOPS, AND CONTROLS.
5	BAR DESIGN BY OTHERS. TO HAVE ADA ACCESSIBLE SEATING AS REQUIRED.

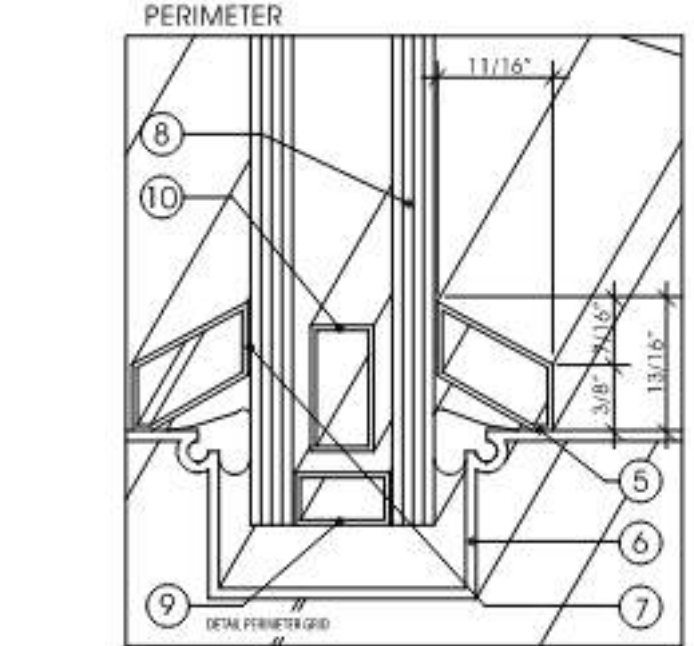
REVISIONS

ANDERSON
ASHTON
DESIGN / BUILD

2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-6640
WWW.ANDERSONASHTON.COM



5 MUNTIN
3" = 1'-0"



4 PERIMETER FRAME
3" = 1'-0"

- 1

INTERMEDIATE "ORIGINAL" ZIPPY GRID
- 2

INTERMEDIATE "TRADITIONAL" ZIPPY GRID
- 3

INTERMEDIATE "IL PRESIDENTE" ZIPPY GRID
- 4

INTERMEDIATE "GENERALISIMO" ZIPPY GRID
- 5

PERIMETER ZIPPY GRID
- 6

STANDARD 2 x 4 STOREFRONT
- 7

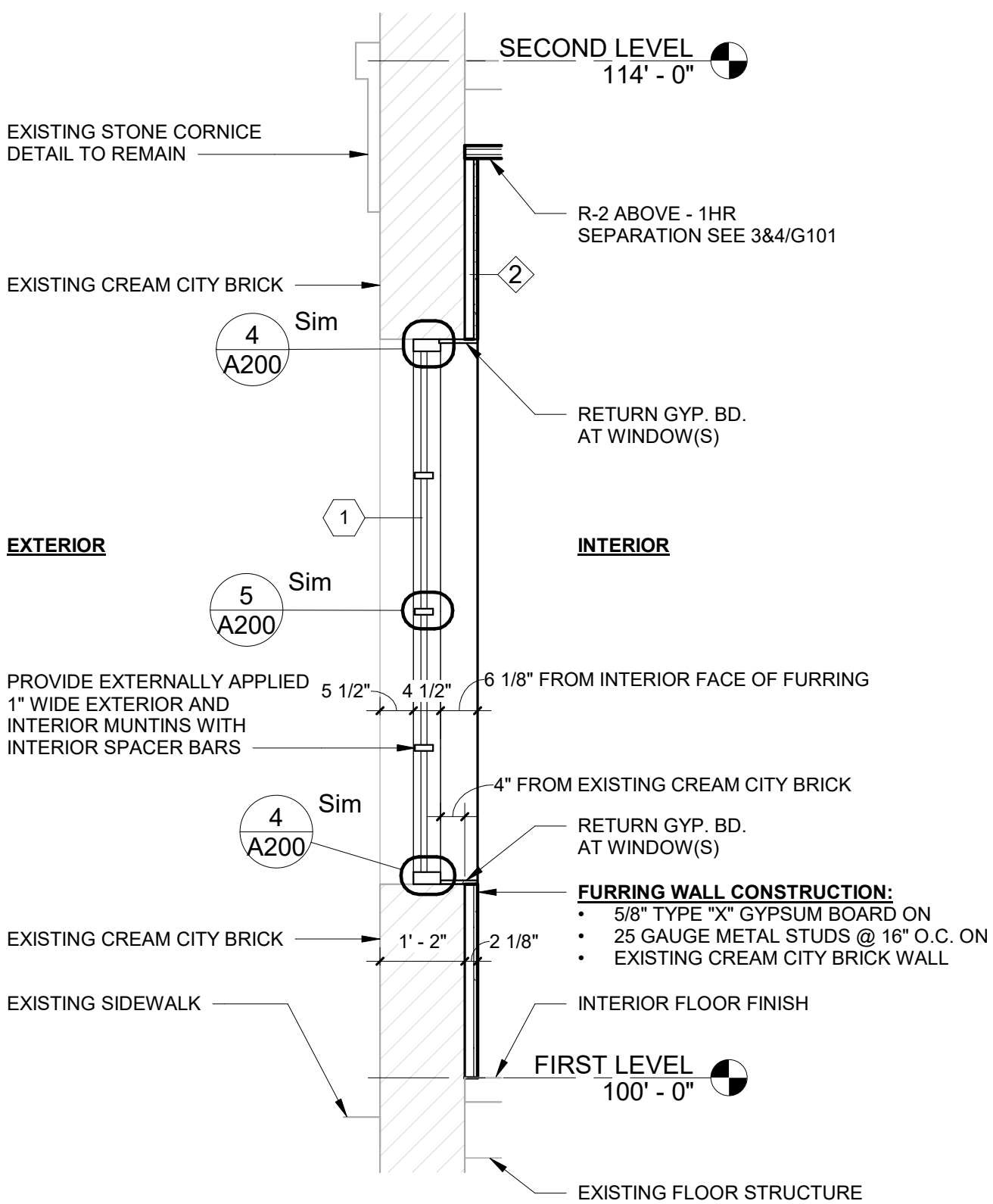
GLAZING TAPE
- 8

GLASS
- 9

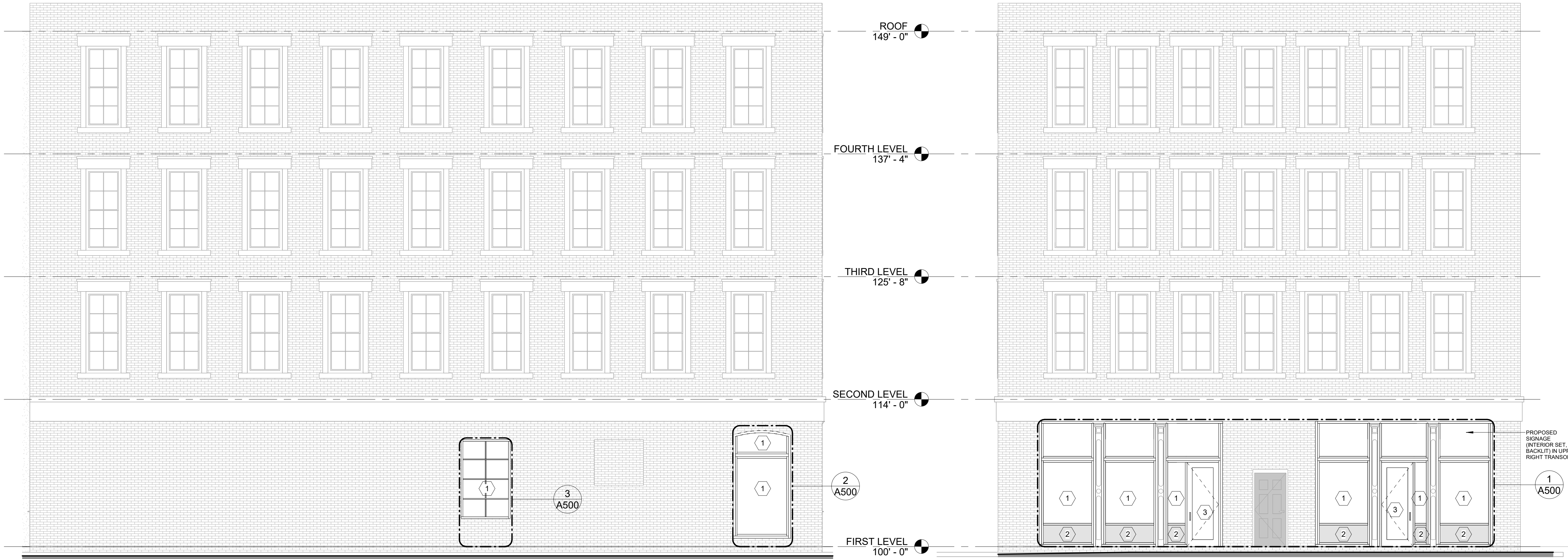
DESICANT STRIP BY GLAZIER
- 10

3/8" x 3/4", 1" INNER GRID BY GLAZIER (GLAZIER TO MATCH COLOR OF STOREFRONT)

ZIPPY GRID

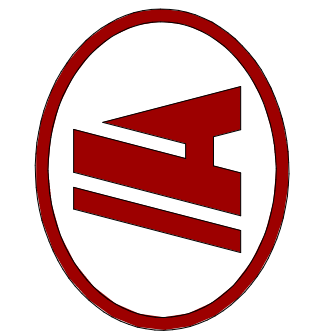
SHOWN INSTALLED WITH STOCK ALUMINUM STOREFRONT (FULL SCALE)

3 WINDOW SECTION
1/2" = 1'-0"



2 SOUTH ELEVATION - NEW WORK
3/16" = 1'-0"

1 EAST ELEVATION - NEW WORK
3/16" = 1'-0"



HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT

235 S 2ND ST. MILWAUKEE, WI 53204

DRAFTED BY: UH
DESIGNER: UH
ISSUE: 10/8/2025 4:26:13 PM
SUBMITTAL DATE 10-08-2025
DESIGN NO. P-02519
CONSTRUCTION NO.

EXTERIOR ELEVATIONS

A200

COPYRIGHT PROTECTED 2025

SHEET SIZE 24X36

ADA ACCESSIBILITY REQUIREMENTS

PIPES UNDER ACCESSIBLE LAVATORIES SHALL BE INSULATED OR OTHERWISE THERMALLY COVERED. THERE SHALL BE NO SHARP OR ABRASIVE OBJECTS OR SURFACES UNDER LAVATORIES.

SIDE ELEVATION

- 27" MIN. (height to rim)
- 8" MIN. (height to centerline)
- 1" MIN. (height to bottom edge)
- 9" MIN. (height to bottom edge of wall backing)
- 34" MAX. T/O RIM (height to top of rim)

MIRROR

- 18" MIN. U.O.N. (height to top of mirror)
- 30" MIN. U.O.N. (height to bottom of mirror)
- 40" MAX. TO REEL SURFACE (height to bottom of mirror)

SOAP DISPENSER

- 44" MAX. (height to top of dispenser)

PAPER TOWEL DISPENSER

- 48" MAX. (height to top of dispenser)

URINAL

- 44" MAX. (height to top of urinal)
- 17" MAX. T/O RIM U.O. (height to top of rim)

TOILET ROOMS SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS AND THE PLUMBING CODE INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

1. WATER CLOSET SEAT HEIGHT - 17" TO 19" A.F.F.
2. CENTERLINE OF WATER CLOSET - 18" FROM SIDEWALL
3. GRAB BAR BEHIND WATER CLOSET - 36" LONG - 33-36" A.F.F.
4. GRAB BAR DIAMETER - 1-1/2"
5. GRAB BAR AT SIDE OF WATER CLOSET - 42" LONG, 33" TO 36" A.F.F.
6. SPACE BETWEEN GRAB BAR AND WALL - 1-1/2"
7. KNEE CLEARANCE AT LAVATORY - 27" MIN HEIGHT, 8" MIN. DEPTH
8. LAVATORY DEPTH - 17" MIN
9. LAVATORY DRAIN AND HOT WATER PIPES - INSULATED WHEN EXPOSED
10. LAVATORY RIM SURFACE - MAX. 34" A.F.F.
11. MIRROR BOTTOM EDGE - 40 A.F.F. MAX
12. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE MOUNTED ON THE EXTERIOR OF THE TOILET ROOM DOOR INCLUDING APPROVED BRAILLE SIGNAGE.
13. ALL NEW DOOR HARDWARE SHALL BE LEVER TYPE
14. SANITARY NAPKIN - 17" TO 19" A.F.F.
15. PAPER TOWEL DISPENSER 40" A.F.F. MAX
16. ROLL TYPE TISSUE MAX. PROJECTION OF 3"
17. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET

SIDE ELEVATION (ACCESSIBILITY)

- 33"-36" HT. T/O BAR (height to top of grab bar)
- 39"-41" (width of fixture)
- 54" MIN. (width of basin)
- 42" MIN. (width of rim)
- 12" MAX. (width of rim)
- 18" MIN. (height to top of rim)
- 39"-41" HT. B/O BAR (height to bottom of grab bar)

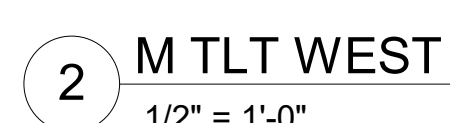
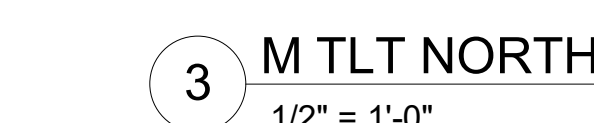
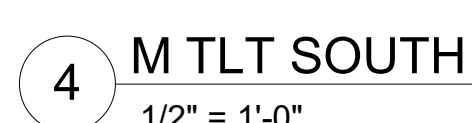
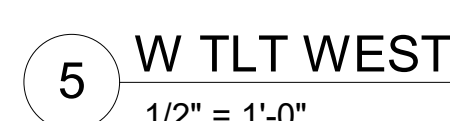
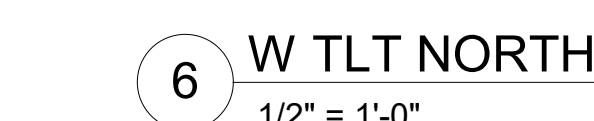
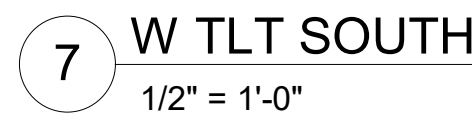
FRONT ELEVATION (ACCESSIBILITY)

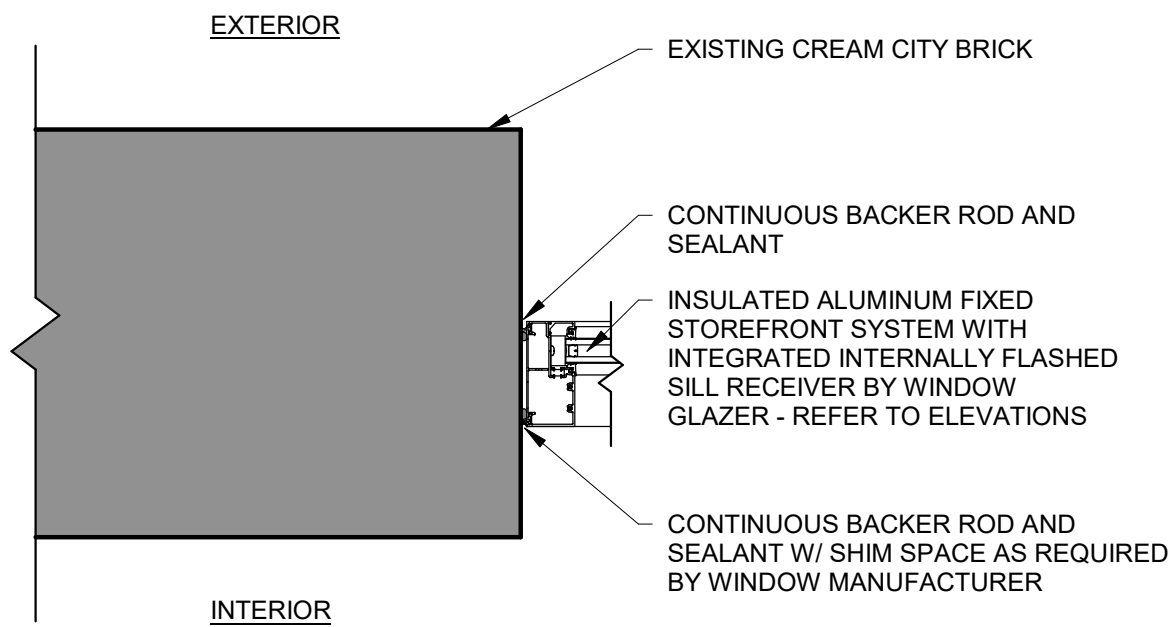
- 16"-18" (width of basin)
- 36" MIN. (width of rim)
- 24" MIN. (width of rim)
- 12" MIN. (width of rim)
- 17" MIN. (height to top of rim)
- 19" MAX. (height to top of rim)

SIDE ELEVATION

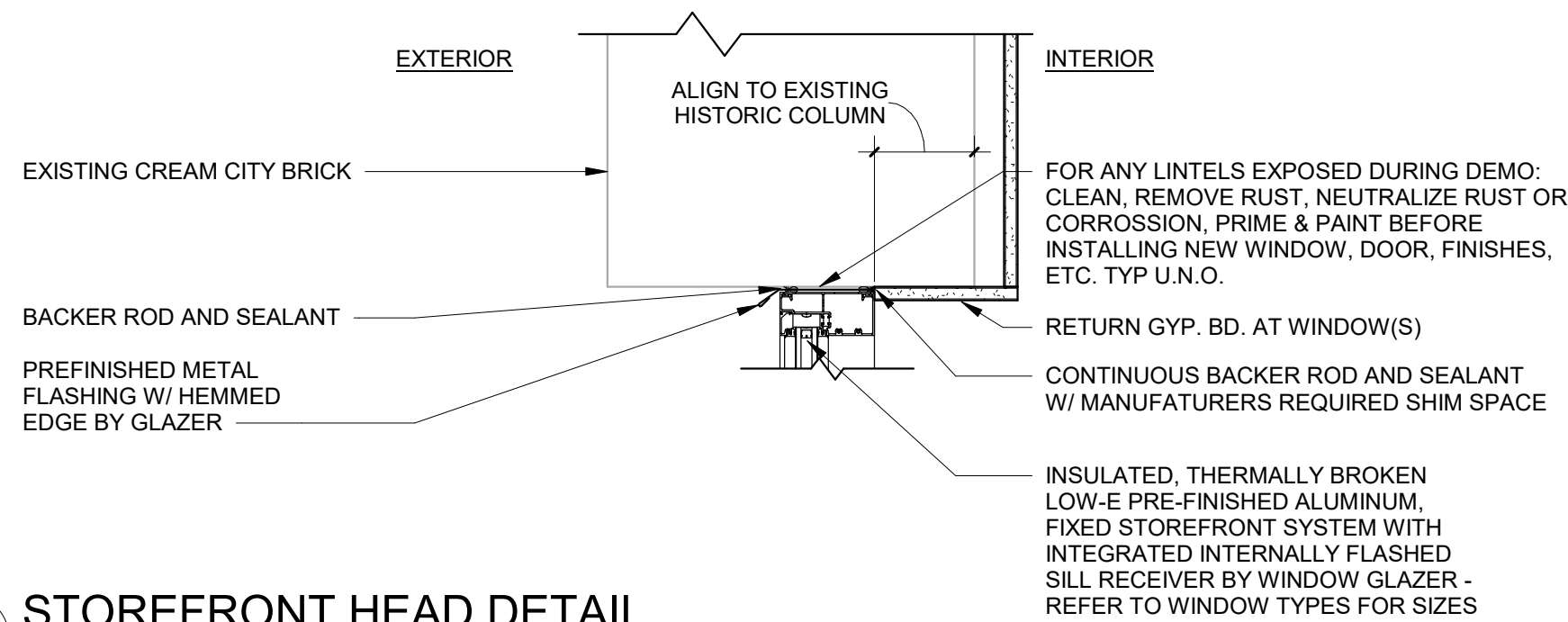
- 11 1/2" MIN. (height to top of grab bar)
- 15" MIN. (height to top of grab bar)
- 7'-9" (width of fixture)
- 36" (width of fixture)
- 33"-36" HT. T/O BAR (height to top of grab bar)
- 3'-4" MAX. (height to top of grab bar)

TOILET ROOM ACCESSORY SCHEDULE					
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	TYPE COMMENTS	
GB-1	42" GRAB BAR	BOBRICK	B-6806.99x42	GRAB BAR (1 1/2" O.D. X 42" LONG); 36" A.F.F. TO CENTERLINE AND 12" FROM REAR WALL	
GB-2	18" GRAB BAR	BOBRICK	B-6806.99x18	GRAB BAR (1 1/2" O.D. X 18" LONG); 40" A.F.F. TO BOTTOM END CENTERLINE AND 40" FROM REAR WALL TO CENTERLINE	
GB-3	36" GRAB BAR	BOBRICK	B-6806.99x36	GRAB BAR (1 1/2" O.D. X 36" LONG); 36" A.F.F. TO CENTERLINE AND 6" FROM SIDE WALL	
M-1	24x36 MIRROR	TBD	TBD	FRAMELESS	
PD-1	ACCESSIBLE PARTITION DIVIDER - PAINTED STAINLESS STEEL (PROVIDE BLOCKING AS REQUIRED)	TBD	TBD		
PD-2	PARTITION DIVIDER - PAINTED STAINLESS STEEL (PROVIDE BLOCKING AS REQUIRED)	TBD	TBD		
SD-1	SOAP DISPENSER	BOBRICK	B-40		
TD-1	FINO COLLECTION SURFACE MOUNTED PAPER TOWEL DISPENSER	BOBRICK	B-9262		
TPD-1	TOILET PAPER DISPENSER	BOBRICK	B-4288		

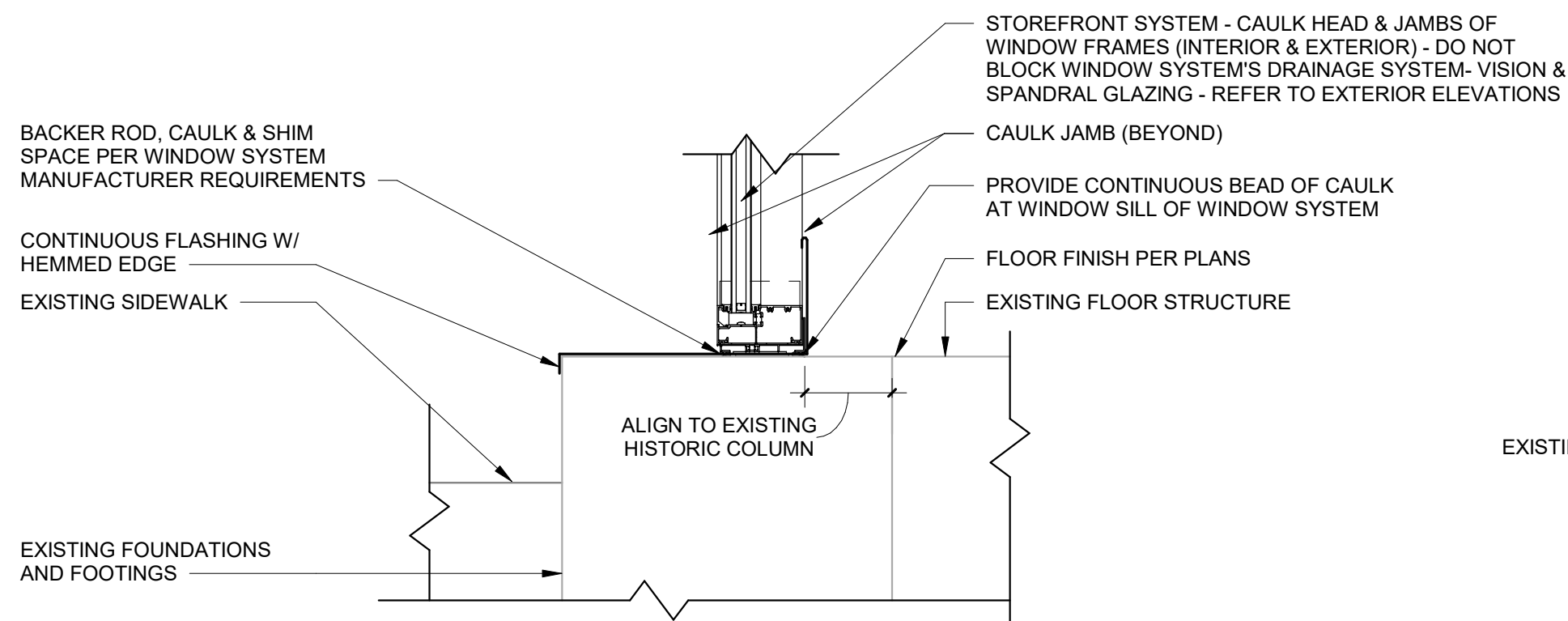




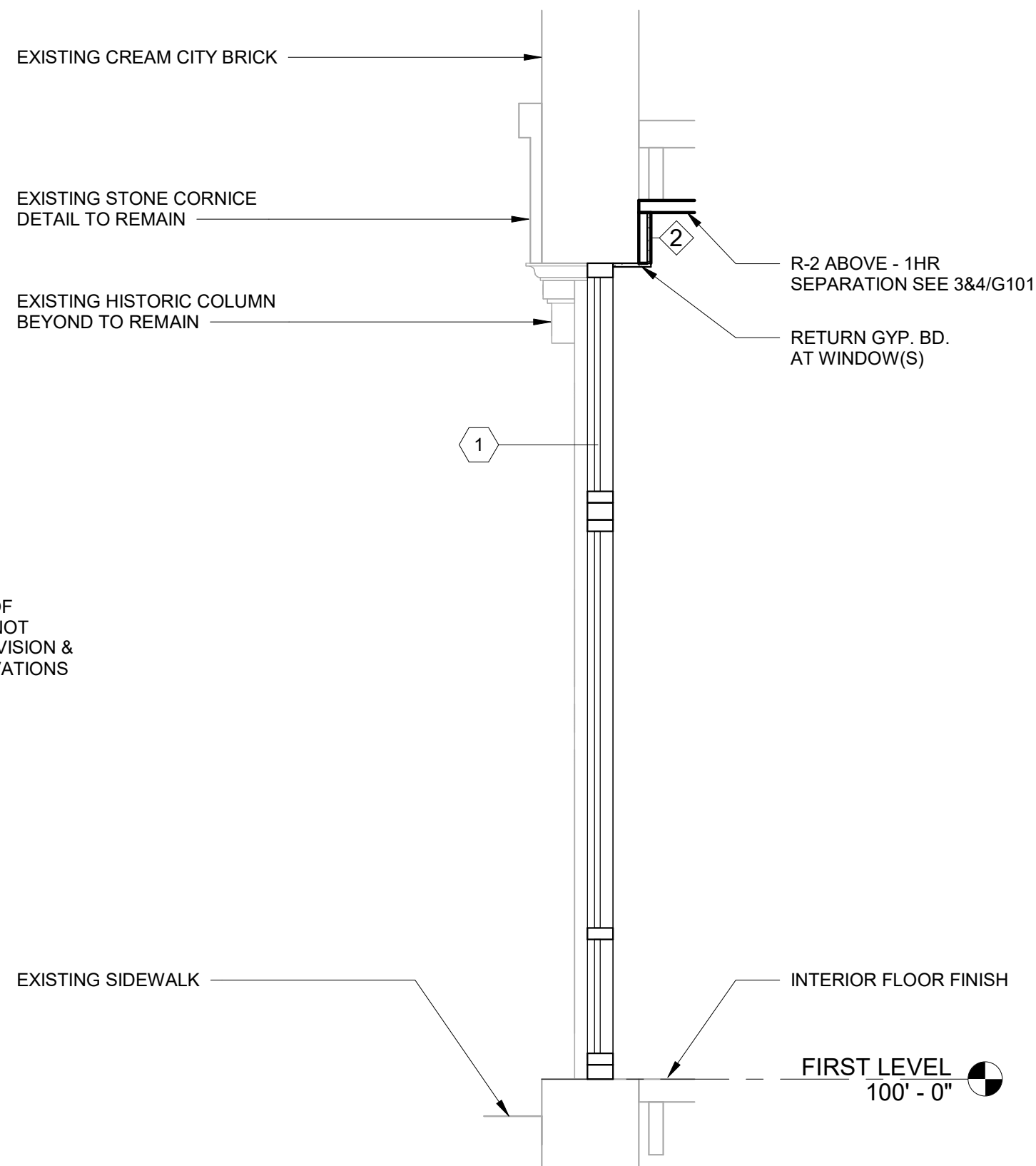
7 STOREFRONT JAMB DETAIL
1 1/2" = 1'-0"



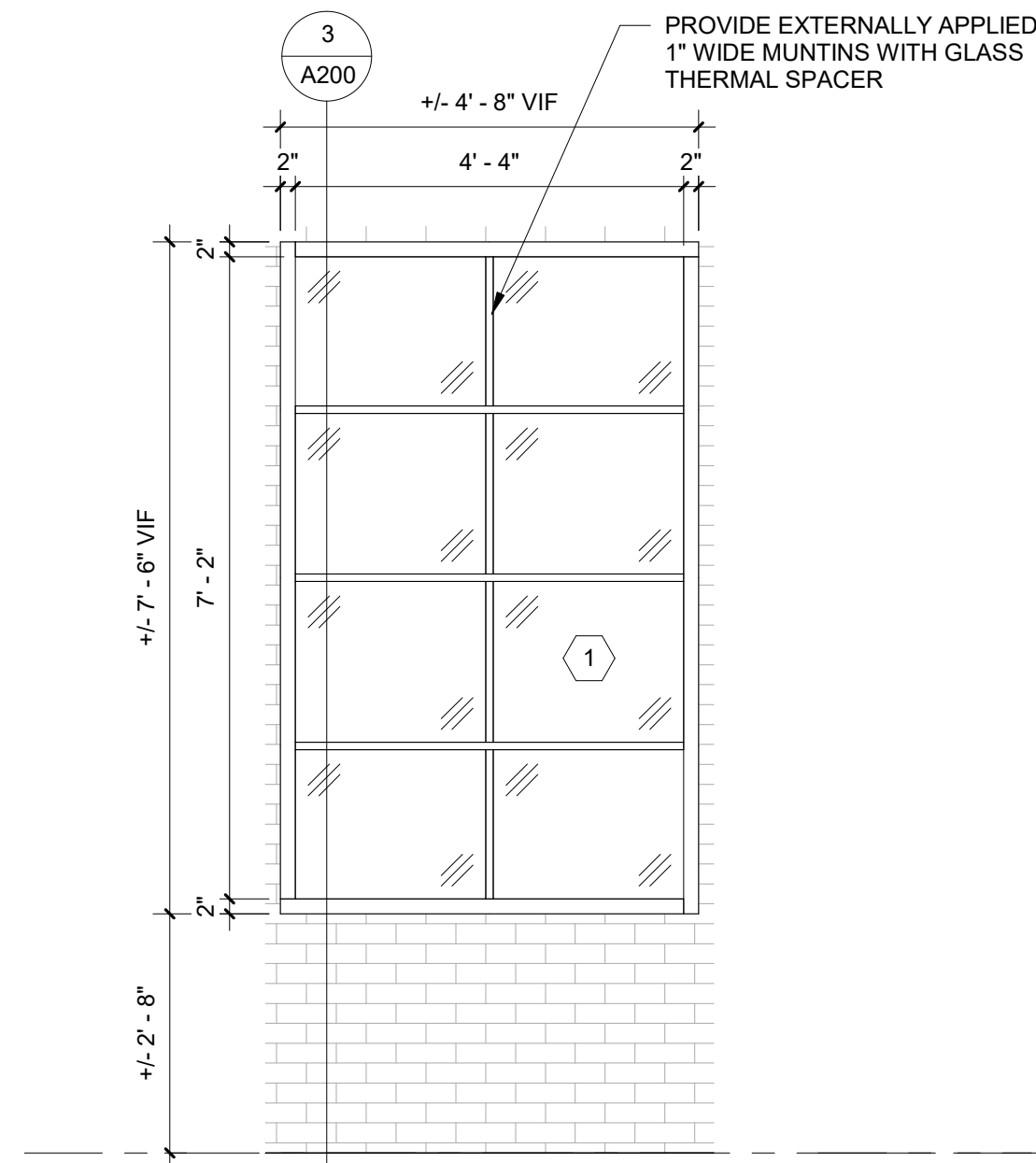
6 STOREFRONT HEAD DETAIL
1 1/2" = 1'-0"



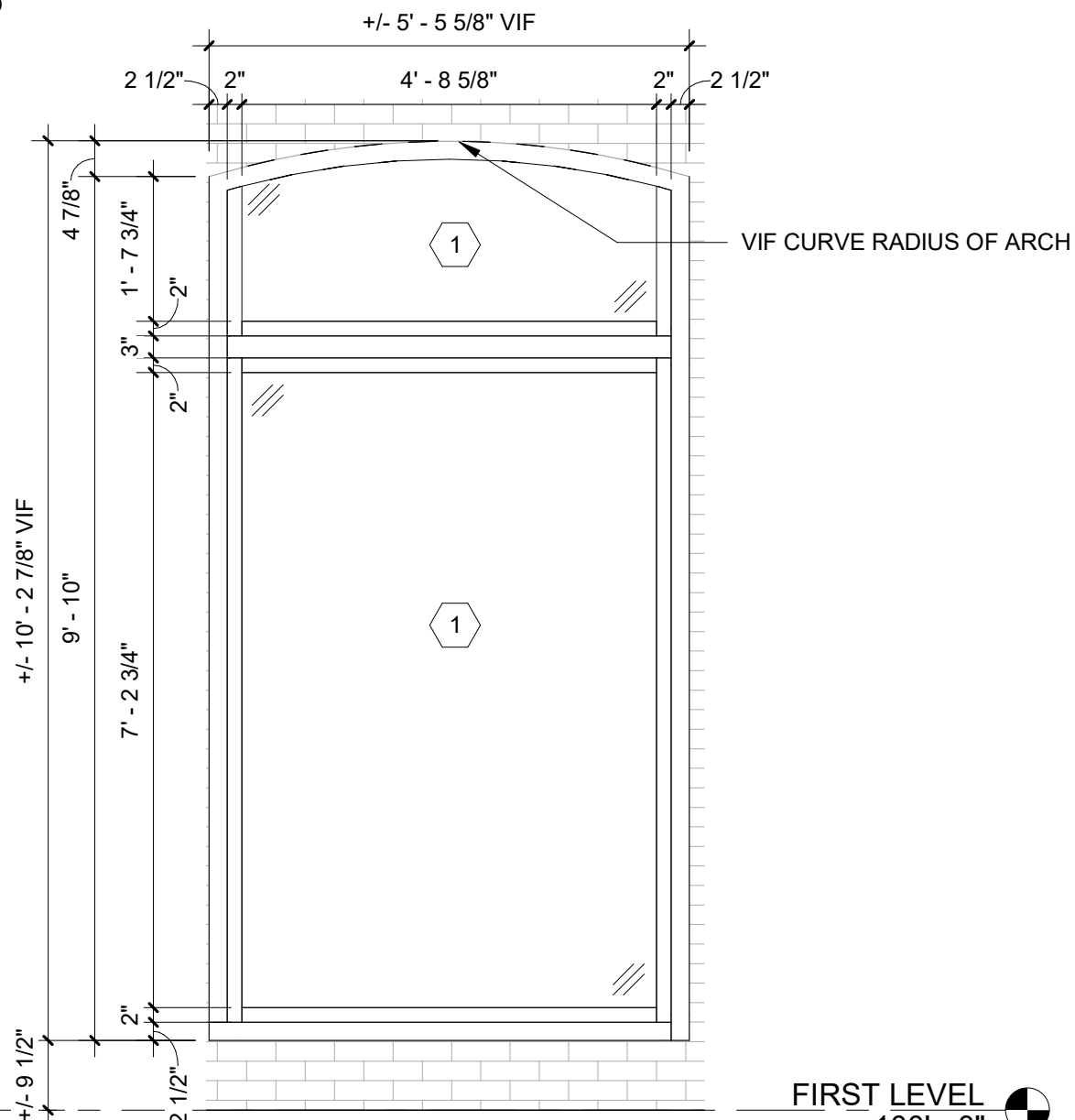
5 STOREFRONT BASE DETAIL
1 1/2" = 1'-0"



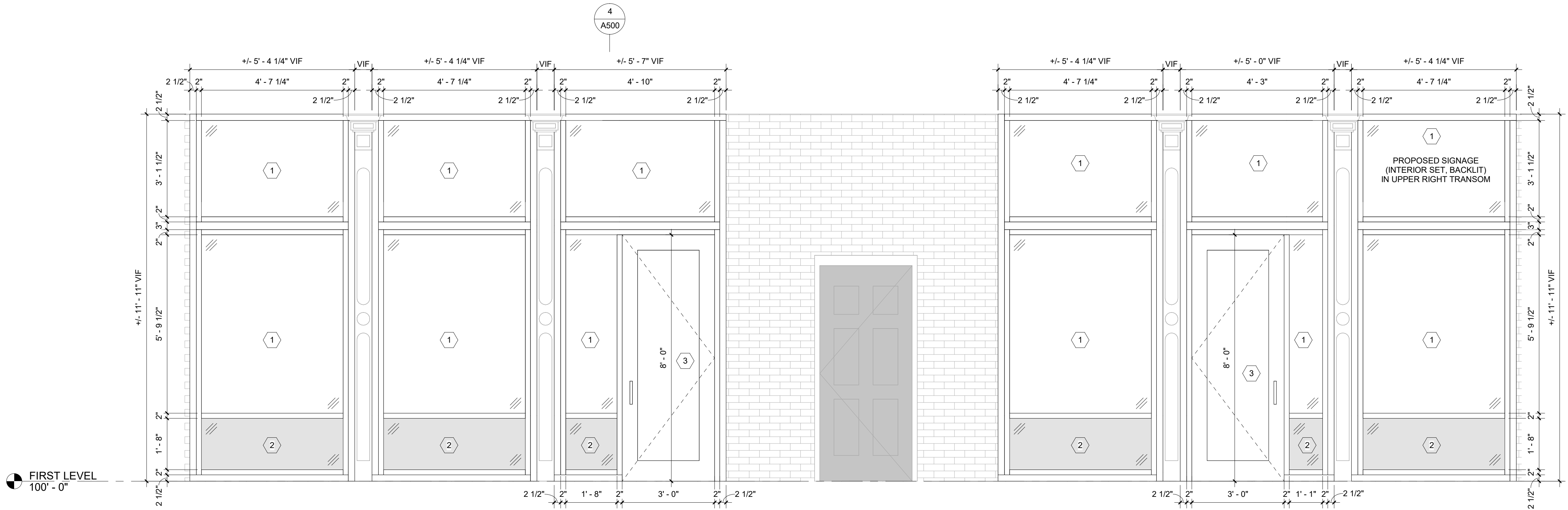
4 STOREFRONT SECTION
1/2" = 1'-0"



3 SOUTH ELEVATION WINDOW 2
1/2" = 1'-0"



2 SOUTH ELEVATION WINDOW 1
1/2" = 1'-0"



1 EAST ELEVATION WINDOWS
1/2" = 1'-0"

NEW WORK KEYNOTES	
NEW WORK KEYNOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.	
NO.	DESCRIPTION
1	NEW THERMALLY BROKEN LOW-E PRE-FINISHED (BAKED ENAMEL) ALUMINUM STOREFRONT ASSEMBLY WITH 1" CLEAR INSULATED GLASS. PROVIDE TEMPERED SAFETY GLAZING.
2	PREFINISHED METAL PANEL GLAZED INTO STOREFRONT WINDOW SYSTEM. FINISH & COLOR TO MATCH FRAME.
3	NEW THERMALLY BROKEN PRE-FINISHED (BAKED ENAMEL) ALUMINUM FULL LITE 2-PANEL DOOR. GLAZING TO BE 1" CLEAR INSULATED GLASS. PROVIDE TEMPERED SAFETY GLAZING.
4	KITCHEN & SCULLERY DESIGN BY OTHERS. KITCHEN TO BE FULLY ACCESSIBLE & TO MEET LOCAL CODE REQUIREMENTS. PROVIDE ACCESSIBLE SINKS, OVENS, APPLIANCES, COOKTOPS, AND CONTROLS.
5	BAR DESIGN BY OTHERS. TO HAVE ADA ACCESSIBLE SEATING AS REQUIRED.

REVISIONS

ANDERSON ASHTON DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-6640
WWW.ANDERSONASHTON.COM

HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT
235 S 2ND ST. MILWAUKEE, WI 53204

DRAFTED BY: UH
DESIGNER: UH
ISSUE: 10/8/2025 4:26:14 PM
SUBMITTAL DATE 10-08-2025
DESIGN NO. P-02519
CONSTRUCTION NO.
STOREFRONT DETAILS

A500
1/2" = 1'-0"

COPYRIGHT PROTECTED 2025
SHEET SIZE 24X36

FINISH SCHEDULE KEY

KEY NAME		DESCRIPTION
FLOOR FINISH		
CONC-1	CONCRETE (SEALED)	
CT-1	CERAMIC TILE	
QT-1	QUARRY TILE	
WD-1	HARDWOOD	
WALL BASE		
CTB-1	4" HIGH MINIMUM CERAMIC COVED BASE	
QTB-1	4" HIGH MINIMUM QUARRY COVED BASE	
VB-1	NONABSORBENT 4" COVED VINYL BASE	
WB-1	WOOD	
WALL FINISH		
GWB	5/8" GYPSUM WALL BOARD	
GWB-MR	5/8" MOISTURE RESISTANT GYPSUM WALL BOARD	
APPLIED FINISHES		
PT-1	PAINT -	
MILLWORK		
PLAM-1	PLASTIC LAMINATE -	
SS-1	SOLID SURFACE -	
CEILING FINISHES		
ACT-1	2'X2' ARMSTRONG CIRRUS 3/4" ANGLED TEGULAR 15/16 LAY-IN (OR EQUAL) ACOUSTICAL CEILING TILE IN 2X2 WHITE METAL GRID	
ACT-2	VINYL FACED DRYWALL TILE IN 2X2 WHITE METALL GRID	

ROOM FINISH SCHEDULE

ROOM		FLOOR			WALL								COMMENTS
NUMBER	NAME	SUBSTRATE	FINISH	BASE FINISH	NORTH		SOUTH		EAST		WEST		
					MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
BASEMENT													
B001	FIRST FLOOR TENANT STORAGE	EXST CONC	CONC-1	VB-1	EXST/GWB	PT-1	EXST	EXST	EXST	EXST	EXST/GWB	PT-1	
B002	FIRST FLOOR TENANT STORAGE	EXST CONC	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	
B003	OFFICE	EXST CONC	CONC-1	VB-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
B004	STORAGE	EXST CONC	CONC-1	VB-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
B005	COOLER	EXST CONC	CONC-1	BY OWNER	BY OWNER	BY OWNER	BY OWNER	BY OWNER	BY OWNER	BY OWNER	BY OWNER	BY OWNER	
FIRST LEVEL													
101	RESTAURANT	VIF	WD-1	WB-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
102	BAR	VIF	WD-1	WB-1	EXST BRICK	PT-1	GWB	PT-1	GWB	PT-1	EXST GWB	PT-1	
103	KITCHEN	VIF	QT-1	QTB-1	EXST BRICK	PT-1	EXST GWB	PT-1	EXST GWB	PT-1	EXST GWB	PT-1	
104	SCULLERY	VIF	QT-1	QTB-1	EXST BRICK	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
105	CORRIDOR	VIF	WD-1	WB-1	EXST GWB	PT-2	EXST GWB	PT-2	EXST GWB	PT-2	EXST GWB	PT-2	
106	ADA ENTRY	VIF	WD-1	WB-1	EXST GWB	PT-2	GWB	PT-2	EXST GWB	PT-2	GWB	PT-2	
107	CORRIDOR	VIF	WD-1	WB-1	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2	
108	W TLT	VIF	CT-1	CTB-1	GWB-MR	PT-3	GWB-MR	PT-3	GWB-MR	PT-3	GWB-MR	PT-3	
109	M TLT	VIF	CT-1	CTB-1	GWB-MR	PT-3	GWB-MR	PT-3	GWB-MR	PT-3	GWB-MR	PT-3	
110	CHANGE	VIF	WD-1	WB-1	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2	
111	MOP	VIF	CT-1	CTB-1	GWB-MR	PT-3	GWB-MR	PT-3	GWB-MR	PT-3	GWB-MR	PT-3	

DOOR SCHEDULE

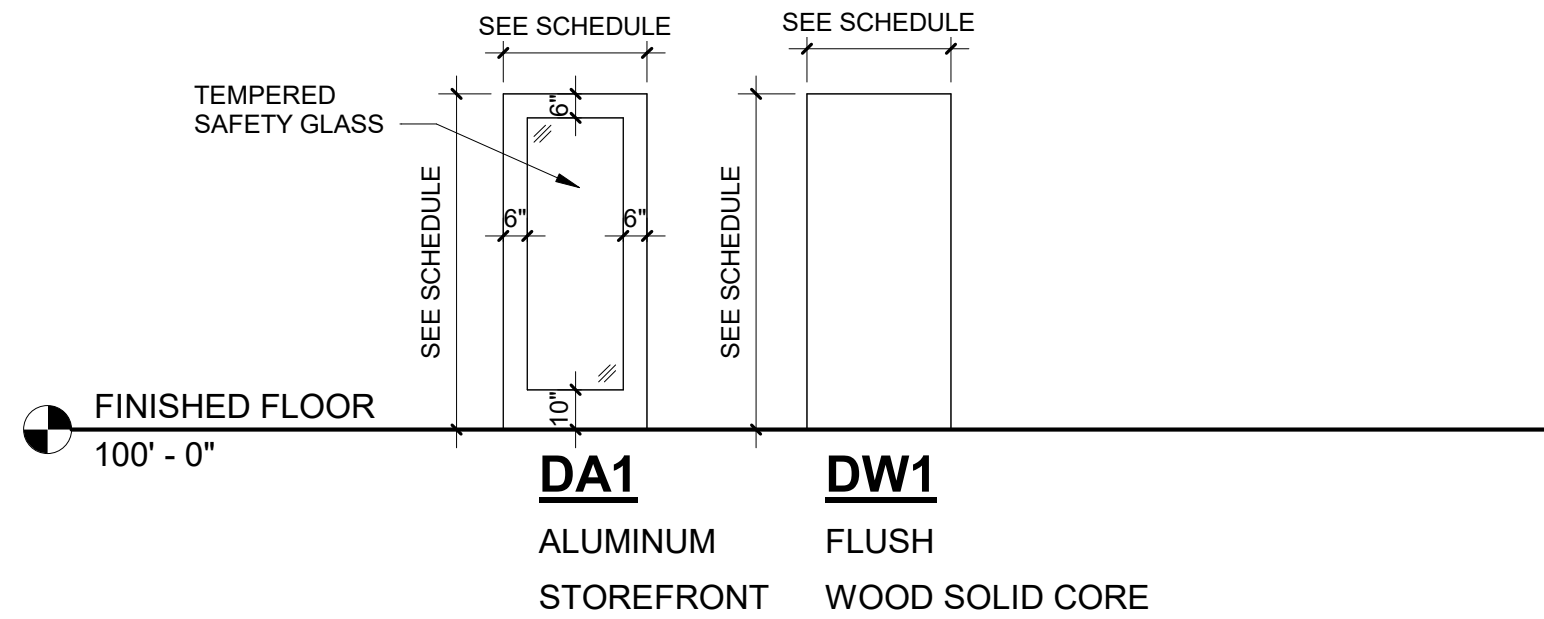
NUMBER	LOCATION	FIRE RATING	DOOR SIZE	DOOR STYLE	DOOR FINISH	FRAME STYLE	FRAME FINISH	HARDWARE GROUP	COMMENTS
BASEMENT									
003	OFFICE	--	3' - 0" X 7' - 0"	DW1	DST-1	F-HM1	FPT-1	2	
004	STORAGE	--	3' - 0" X 7' - 0"	DW1	DST-1	F-HM1	FPT-1	3	
FIRST LEVEL									
101	RESTAURANT	--	3' - 0" X 8' - 0"	DA1	PF	F-A1	PF	1	
102	BAR	--	3' - 0" X 8' - 0"	DA1	PF	F-A1	PF	1	
106	ADA ENTRY	--	3' - 0" X 8' - 0"	EXISTING	MATCH EXISTING	EXISTING	EXISTING	1	MODIFY EXISTING DOOR TO ACCOMODATE NEW SWING & NEW DOOR HARDWARE
108	W TLT	--	3' - 0" X 7' - 0"	DW1	DST-1	F-HM1	FPT-1	4	
109	M TLT	--	3' - 0" X 7' - 0"	DW1	DST-1	F-HM1	FPT-1	4	
110	CHANGE	--	3' - 0" X 7' - 0"	DW1	DST-1	F-HM1	FPT-1	2	
111	MOP	--	2' - 6" X 7' - 0"	DW1	DST-1	F-HM1	FPT-1	3	

DOOR SCHEDULE KEY

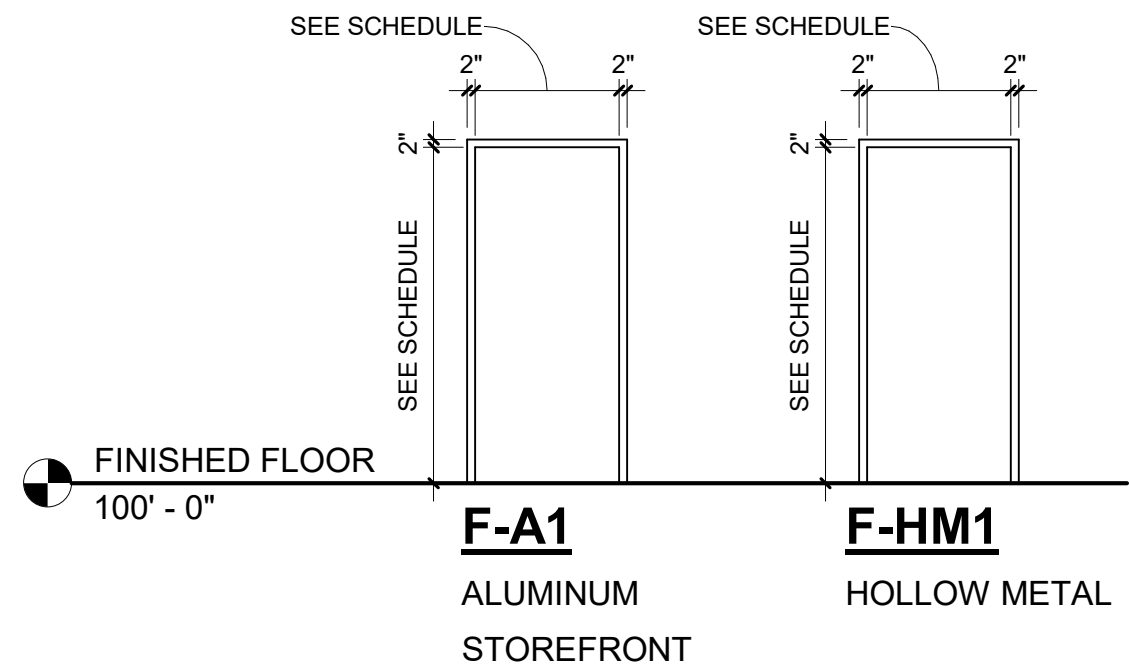
KEY NAME	DESCRIPTION	COLOR
DPT-1	PAINT	TBD
DST-1	DOOR STAINED	TBD
FPT-1	FRAME PAINT	TBD
PF	PREFINISHED	

DOOR HARDWARE KEY

- (STOREFRONT ENTRANCE)
 - HINGES
 - FLUID CLOSER
 - THRESHOLD
 - CYLINDER LOCK
 - PUSH PLATE & PULL HANDLE
- (OFFICE LOCKSET)
 - HINGES
 - AL50PD (OFFICE LOCKSET)
 - WALL STOP
- (STOREROOM LOCKSET)
 - HINGES
 - AL80PD (STOREROOM LOCKSET)
 - WALL STOP
- RESTROOM LOCKSET
 - HINGES
 - PASSAGE LOCKSET
 - PUSH PLATE & PULL HANDLE
 - WALL STOP
 - CLOSER



DOOR TYPE DETAILS



FRAME TYPE DETAILS

GENERAL PAINT NOTES

- DRYWALL CONTRACTOR TO TAPE, MUD, FINISH AND PRIME ALL DRYWALL FINISHED WALLS AND INSPECT FOR IMPERFECTIONS AFTER DRYWALL CONTRACTOR APPLIES PRIME COAT. PATCH & REPAIR IMPERFECTIONS AS REQUIRED BEFORE PAINTING BY PAINT CONTRACTOR BEGINS.

PAINTING & FINISHING

BY PAINTING CONTRACTOR

INTERIOR

1. HOLLOW METAL DOORS AND FRAMES

- TWO (2) FINISH COATS OF ALKYD URETHANE GLOSS ENAMEL, APPLY TO ACHIEVE 3.0 MILS. DRY FILM THICKNESS (D.F.T.) (CAULK INTERIOR AND EXTERIOR SIDE OF FRAME TO CONCRETE BLOCK W/ DYMONIC CAULK)

2. DRYWALL (GENERAL AREAS)

- ONE (1) PRIME COAT OF LATEX PRIMER AND (2) TWO FINISH COATS OF LATEX SEMI-GLOSS ENAMEL. APPLY AT 200 S.F./GAL. (OVER SMOOTH FINISHED DRYWALL).

3. DRYWALL (AT TOILETS)

- ONE (1) PRIME COAT OF LATEX PRIMER AND (2) TWO FINISH COATS OF LATEX SEMI-GLOSS ENAMEL. APPLY AT 200 S.F./GAL. (OVER SMOOTH FINISHED DRYWALL).

4. TRIM, ETC

- ONE (1) COAT OF STAIN AND SEALER TO MATCH EXISTING, SAND THIS APPLICATION SMOOTH, AND APPLY TWO (2) FINISH COATS OF VARNISH (SAND BETWEEN COATS). CARPENTER TO SINK ALL NAILS. PAINTER TO FILL ALL NAIL HOLES W/ MATCHING COLORED PUTTY.

DOOR NOTES

1. ALUMINUM DOORS & HARDWARE

-ALUMINUM DOORS TO BE MEDIUM STILE WITH ANODIZED FINISH (U.N.O)
-PANIC HARDWARE TO BE ADAMS-RITE OR APPROVED EQUAL
-DOOR CLOSERS TO BE LCN 4041 OR APPROVED EQUAL
-PROVIDE ADA COMPLIANT THRESHOLD AT EXTERIOR DOORS
-PROVIDE WEATHER STRIP AT EXTERIOR DOORS
-PROVIDE INTERIOR & EXTERIOR SWEEP AT EXTERIOR DOORS

2. WOOD DOORS & HARDWARE

-PREMACHINED AND PREFINISHED WOOD DOORS TO BE PLAIN SLICED WOOD VENEER TYPE
-SEE SCHEDULE FOR VISION LITE TYPE, SIZE AND LOCATION
-PANIC HARDWARE TO BE VON DUPRIN
-DOOR CLOSERS TO BE LCN 4041 (NO SUBSTITUTES) W/SPRAYED FINISH (SEE NOTE BELOW)
-DOOR MANUFACTURER TO INSTALL VISION LITES ON ALL PREMACHINED & PREFINISHED WOOD DOORS
-DOOR MANUFACTURER TO INSTALL VISION LITES ON ALL FIRE RATED WOOD DOORS
-DOORS & GLAZING BY DOOR SUPPLIER
-ON CARPENTER SUPPLIED DOORS (NOT PREMACHINED & PREFINISHED) CARPENTER SHALL CUT-IN AND INSTALL GLAZING PER SCHEDULE EXCEPT AT FIRE RATED DOORS

3. HOLLOW METAL DOORS & FRAMES

-DOORS AND FRAMES TO BE FACTORY PRIMED, THEN PAINTED ON SITE BY PAINTING CONTRACTOR
-FRAMES TO BE TO BE 16 GA STEEL
-DOOR LEAVES TO BE 18 GA STEEL
-PANIC HARDWARE TO BE VON DUPRIN OR APPROVED EQUAL
-DOOR CLOSERS TO BE LCN 4040 OR APPROVED EQUAL
-EXTERIOR DOOR TO HAVE INSULATED GLASS

4. GENERAL HARDWARE NOTES

-EXTERIOR LOCKSETS, PRIVACY & PASSAGE SETS TO BE SCHLAGE HEAVY DUTY "D" SERIES
-INTERIOR LOCKSETS, PRIVACY & PASSAGE SETS TO BE SCHLAGE HEAVY DUTY "AL" SERIES
-HANDLES TO BE LEVER STYLE PER ADA REQUIREMENTS AT ALL DOORS
-ALL HARDWARE TO BE BRUSHED CHROME FINISH
-DOOR CLOSERS TO BE PAINTED BY PAINTING CONTRACTOR TO MATCH BRUSHED CHROME FINISH
-EXTERIOR RAIN DRIPS TO BE ALUMINUM
-THRESHOLD TO BE REESE S256A
-WEATHER STRIP TO BE REESE 756A
-SWEEP TO BE REESE 967C (PROVIDE INTERIOR AND EXTERIOR SWEEPS)

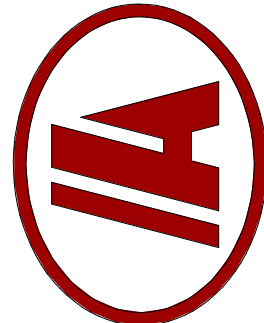
5. GENERAL DOOR NOTES

-IN 1-1/2 HOUR RATED DOORS, WIRED GLASS IS LIMITED TO 10" WIDE (MAX), 33" TALL (MAX) AND 100 SQ IN (MAX)
-IN 3/4 HOUR RATED DOORS, WIRED GLASS IS LIMITED TO 54" WIDE (MAX), 54" TALL (MAX) AND 1,296 SQ IN (MAX)
-EXTERIOR DOORS WITH 1-1/2 HOUR RATING OR GREATER ARE NOT PERMITTED TO HAVE WIRED GLASS
-IN 20 MINUTE LABELED DOORS THE AMOUNT OF WIRED GLASS IS UNLIMITED

NOTE: ALL KEYING TO BE PER OWNERS KEYING SYSTEM

REVISIONS

ANDERSON
ASHTON
DESIGN / BUILD
2746 South 168th Street
New Berlin, WI 53151
Phone: (262) 786-6640
WWW.ANDERSONASHTON.COM



HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT

235 S 2ND ST. MILWAUKEE, WI 53204

DRAFTED BY: UH
DESIGNER: UH
ISSUE: 10/8/2025 4:26:15 PM
SUBMITTAL DATE 10-08-2025
DESIGN NO. P-02519
CONSTRUCTION NO. -

SCHEDULES

A600

COPYRIGHT PROTECTED 2025

SHEET SIZE 24X36