

HAMBURGER MARY'S PARTIAL BUILDING ALTERATION & BUILDOUT

235 S 2ND ST, MILWAUKEE, WI 53204

APPLICABLE BUILDING CODES

EXISTING BUILDING CODE: WISCONSIN EXISTING BUILDING CODE 2015 (IEBC 2015) AS ADOPTED & AMENDED
WISCONSIN BUILDING CODE 2015 (2015 IBC AMENDED)
BUILDING CODE (WHEN REQUIRED BY THE WI EXISTING BUILDING CODE): WISCONSIN ENERGY CODE 2015 (IECC 2015 AMENDED)
ENERGY CONSERVATION CODE: WISCONSIN MECHANICAL CODE 2015 (IMC 2015 AMENDED)
MECHANICAL CODE: WISCONSIN FUEL GAS CODE 2015 (IFGC 2015 AMENDED)
FUEL GAS CODE: WISCONSIN ELECTRICAL CODE 2017 (NFPA 70, 2017)
ELECTRICAL CODE: WISCONSIN PLUMBING CODE
PLUMBING CODE: WISCONSIN ACCESSIBILITY CODE 2009 (A117.1 2009)
ACCESSIBILITY CODE: WISCONSIN FIRE SPRINKLER CODE 2013 (NFPA 13, 2013)
FIRE SPRINKLER CODE: WISCONSIN FIRE ALARM CODE 2013 (NFPA 72, 2013)
FIRE ALARM CODE: WISCONSIN FIRE WALL CODE 2015 (NFPA 221, 2015)
FIRE WALL CODE: WISCONSIN FIRE WALL CODE 2015 (NFPA 221, 2015)

EXISTING BUILDING DATA

	OCCUPANCY	AREA
BASEMENT:	S-1 (NO CHANGE IN OCCUPANCY)	3,974 S.F.
FIRST LEVEL:	R-2 & WHITE BOX FOR A-2, B OR M (NO CHANGE IN OCCUPANCY)	3,974 S.F.
SECOND LEVEL:	R-2 (NO CHANGE IN OCCUPANCY)	3,974 S.F.
THIRD LEVEL:	R-2 (NO CHANGE IN OCCUPANCY)	3,974 S.F.
FOURTH LEVEL:	R-2 (NO CHANGE IN OCCUPANCY)	3,974 S.F.
TOTAL:		19,870 S.F.

- APPROXIMATELY 54'-0" IN HEIGHT
- STORIES ABOVE GRADE PLANE = 4
- STORIES BELOW GRADE PLANE = 1
- THE BASEMENT IS A WINDOWLESS STORY

CONSTRUCTION CLASSIFICATION

TYPE IIB CONSTRUCTION (IBC SECTION 602.3)

FIRE PROTECTION

FROM THE PREVIOUSLY REVIEWED & APPROVED PLANS THE EXISTING BUILDING IS FULLY PROTECTED WITH AN AUTOMATIC SPRINKLER SYSTEM PER NFPA 13R (RESIDENTIAL) FOR ENTIRE BUILDING
NOTE: BUILDING WAS PREVIOUSLY ALTERED, OCCUPANCY TYPES CHANGED & APPROVED WITH THIS SPRINKLER SYSTEM. SPRINKLER SYSTEM AT AREAS OF WORK (FIRST FLOOR & THE BASEMENT) IS NFPA 13 TO BE VERIFIED BY FIRE PROTECTION ENGINEER AND MODIFIED AS REQUIRED TO BE PER CODE REQUIREMENTS FOR THESE BUILDING OCCUPANCIES & TO BE PER CURRENT IBC CODE REQUIREMENTS FOR NEW CONSTRUCTION.

IEBC 2015

THIS IS A LEVEL 03 BUILDING ALTERATION (IEBC SECTION 505.1) WHERE WORK AREA EXCEEDS 50% OF THE BUILDING AREA

LEVEL 3 BUILDING ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 7 AND 8 FOR LEVEL 1 AND LEVEL 2 ALTERATIONS, RESPECTIVELY, AS WELL AS THE PROVISIONS OF CHAPTER 9
THE CURRENT AREA OF WORK DOES NOT INVOLVE A CHANGE OF OCCUPANCY

ENERGY CONSERVATION MINIMUM REQUIREMENTS (IEBC 908.1)
LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY CONSERVATION CODE, INTERNATIONAL ENERGY CONSERVATION CODE, OR INTERNATIONAL RESIDENTIAL CODE. THESE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

ACCESSIBLE ROUTE TO BASEMENT IS NOT REQUIRED. PER THE IEBC DEFINITION FOR PRIMARY FUNCTION, STORAGE ROOMS ARE NOT PRIMARY FUNCTIONS. THE SMALL BUSINESS OFFICE IN THE BASEMENT IS ALSO NOT AN AREA OF PRIMARY FUNCTION.

705.1 EXCEPTION 1: THE ALTERED ELEMENT OR SPACE IS NOT REQUIRED TO BE ON AN ACCESSIBLE ROUTE UNLESS REQUIRED BY SECTION 705.2

705.2: WHERE AN ALTERATION AFFECTS THE ACCESSIBILITY TO A, OR CONTAINS AN AREA OF PRIMARY FUNCTION, THE ROUTE TO THE PRIMARY FUNCTION AREA SHALL BE ACCESSIBLE.

803.2: EXISTING VERTICAL OPENINGS SHALL COMPLY WITH THE PROVISIONS OF SECTIONS 803.2.1, 803.2.2 AND 803.2.3

803.2.1: EXISTING VERTICAL OPENINGS CONNECTING TWO OR MORE FLOORS SHALL BE ENCLOSED WITH APPROVED ASSEMBLIES WITH A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR WITH APPROVED OPENING PROTECTIVES.

EXCEPTIONS:
1. WHERE VERTICAL OPENING ENCLOSURE IS NOT REQUIRED BY IBC OR IFC
2. INTERIOR VERTICAL OPENINGS OTHER THAN STAIRWAYS MAY BE BLOCKED AT THE FLOOR AND CEILING OF THE WORK AREA BY INSTALLATION OF NOT LESS THAN 2 INCHES OF SOLID WOOD OR EQUIVALENT CONSTRUCTION.

803.2.4 & 5: GROUP A & B, A MINIMUM 30 MINUTE ENCLOSURE SHALL BE PROVIDED TO PROTECT ALL VERTICAL OPENINGS NOT EXCEEDING THREE STORIES
• 5.1 & 5.2 ONLY GROUP B OCCUPANCIES: NOT REQUIRED FOR BUILDINGS NOT EXCEEDING 3,000 SQUARE FEET PER FLOOR OR IF BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM

803.2.2: WHERE THE WORK AREA ON ANY FLOOR EXCEEDS 50 PERCENT OF THAT FLOOR AREA, THE ENCLOSURE REQUIREMENTS OF SECTION 803.2 SHALL APPLY TO VERTICAL OPENINGS OTHER THAN STAIRWAYS THROUGHOUT THE FLOOR UNLESS THE VERTICAL OPENINGS ARE LOCATED ENTIRELY OUTSIDE OF THE WORK AREA

803.2.3: WHERE THE WORK AREA ON ANY FLOOR EXCEEDS 50 PERCENT OF THAT FLOOR AREA, STAIRWAYS THAT ARE PART OF THE MEANS OF EGRESS SERVING THE WORK AREA SHALL, AT A MINIMUM, BE ENCLOSED WITH SMOKE-TIGHT CONSTRUCTION ON THE HIGHEST WORK AREA FLOOR AND ALL FLOORS BELOW.

EXCEPTION: WHERE STAIRWAY ENCLOSURE IS NOT REQUIRED BY IBC OR IFC

803.4: THE INTERIOR FINISH OF WALLS AND CEILINGS IN EXITS AND CORRIDORS AND WORK AREA SHALL COMPLY WITH THE REQUIREMENTS OF IBC

803.4.1: WHERE THE WORK AREA ON ANY FLOOR EXCEEDS 50 PERCENT OF THE FLOOR AREA, SECTION 803.4 SHALL ALSO APPLY TO THE INTERIOR FINISH IN EXITS AND CORRIDORS SERVING THE WORK AREA THROUGHOUT THE FLOOR.

EXCEPTION: INTERIOR FINISH WITHIN TENANT SPACES THAT ARE ENTIRELY OUTSIDE THE WORK AREA.

ALTERATION BUILDING DATA

	OCCUPANCY	EXISTING AREA	AREA OF WORK
BASEMENT:	S-1 & B	3,974 S.F.	2,886 S.F.
FIRST LEVEL:	R-2, A-2 & B	3,974 S.F.	3,172 S.F.
SECOND LEVEL:	R-2	3,974 S.F.	0 S.F.
THIRD LEVEL:	R-2	3,974 S.F.	0 S.F.
FOURTH LEVEL:	R-2	3,974 S.F.	0 S.F.
TOTAL:		19,870 S.F.	5,858 S.F.

- EXISTING BUILDING APPROXIMATELY 54'-0" IN HEIGHT
- EXISTING STORIES ABOVE GRADE PLANE = 4
- EXISTING STORIES BELOW GRADE PLANE = 1

OCCUPANCY CLASSIFICATION

BUILDING SEPARATED OCCUPANCIES:

FOR THIS WORK, THE EXISTING RESIDENTIAL R-2 OCCUPANCY ON FLOORS 2,3 & 4 SHALL BE SEPARATED FROM THE FIRST FLOOR AREA OF WORK BY A 1HR FIRE RATED HORIZONTAL ASSEMBLY. MINIMUM REQUIRED OCCUPANCY SEPARATION = 1 HR

THE AREAS WITHIN THE FIRST FLOOR & BASEMENT AREA OF WORK SHALL BE NON-SEPARATED MIXED USE (IBC SECTION 508.32)

USE GROUPS PRESENT IN THE AREA OF WORK INCLUDE:

- ASSEMBLY GROUP "A-2" (IBC SECTION 303)
- BUSINESS GROUP "B" (IBC SECTION 304)
- STORAGE GROUP "S-1" MODERATE HAZARD (IBC SECTION 311.2)

AREA OF WORK ALLOWABLE HEIGHTS AND AREAS

TABULAR ALLOWABLE HEIGHT (IBC TABLE 504.3)
(OCCUPANCY CLASSIFICATION "A-2, B, R-2 AND S-1" / NFPA 13R (RESIDENTIAL SPRINKLER) / CONSTRUCTION TYPE IIB)
ALLOWABLE HEIGHT = 60 FT

TABULAR ALLOWABLE NUMBER OF STORIES ABOVE GRADE (IBC TABLE 504.4)
(OCCUPANCY CLASSIFICATION "A-2, B, R-2 AND S-1" / NFPA 13R (RESIDENTIAL SPRINKLER) / CONSTRUCTION TYPE IIB)
ALLOWABLE STORIES = 3
ACTUAL NUMBER OF STORIES ABOVE GRADE = 4

TABULAR AREA ALLOWANCE (IBC TABLE 506.2)
(OCCUPANCY CLASSIFICATION "A-2, R-2 AND S-1" / NFPA 13R (RESIDENTIAL SPRINKLER) / CONSTRUCTION TYPE IIB)
ALLOWABLE AREA = 16,000 SQ. FT.

BUILDING HEIGHT (ACTUAL) = 4 STORIES / APPROXIMATELY 54 FT. ABOVE GRADE
BUILDING AREA (ACTUAL) = 3,974 SQ. FT. PER STORY

NOTE: THE EXISTING BASEMENT & FIRST FLOOR SPRINKLER RISER ARE LABELED AS NFPA 13. TO BE VERIFIED BY FIRE PROTECTION ENGINEER

OCCUPANT LOAD AT AREA OF WORK

124 OCCUPANTS (IBC TABLE 1004.1.2)
REFER TO LIFE SAFETY PLAN

MEANS OF EGRESS AND EXIT DISTANCE

REQUIRED EGRESS WIDTH FOR COMPONENTS OTHER THAN STAIRWAYS = 124 OCC. x 0.2 IN. = 24.8 IN.
PROVIDED EGRESS WIDTH FOR COMPONENTS OTHER THAN STAIRWAYS = 99"

REQUIRED EGRESS WIDTH FOR STAIRWAYS = 9 OCC. x 0.3 IN. = 2.7 IN.
PROVIDED EGRESS WIDTH FOR STAIRWAYS = 89"

MAX ALLOWABLE COMMON PATH OF EGRESS FOR A-2 = 75 FT (IBC 1006.2.1)

MAX ALLOWABLE COMMON PATH OF EGRESS FOR S-1 = 100 FT (IBC 1006.2.1)

ACTUAL MAX COMMON PATH OF EGRESS FOR A-2 = 71'-2"

ACTUAL MAX COMMON PATH OF EGRESS FOR S-1 = 51'-2"

NUMBER OF EXITS REQUIRED PER STORY = 2 (IBC 1006)

NUMBER OF EXITS PROVIDED IN BASEMENT = 2 (IBC 1006)

NUMBER OF EXITS PROVIDED IN FIRST FLOOR = 3 (IBC 1006)

MAX ALLOWABLE EXIT ACCESS TRAVEL DISTANCE WITH AUTOMATIC SPRINKLER SYSTEM FOR A-2 & S-1 (IBC TABLE 1016.1) = 250 FT.

MAXIMUM ACTUAL EXIT ACCESS TRAVEL DISTANCE = 107'-8"

SANITARY FIXTURES

TOTAL OCCUPANTS : 124 OCCUPANTS
TOTAL OCCUPANTS EACH SEX: 62 OCCUPANTS

REQUIRED MALE FIXTURES: 62 OCC. + 75 = 1 WC, 62 OCC. + 200 = 1 LAV

PROVIDED MALE FIXTURES: 1 WC, 1 URINAL, 1 LAV

REQUIRED FEMALE FIXTURES: 62 OCC. + 75 = 1 WC, 62 OCC. + 200 = 1 LAV

PROVIDED FEMALE FIXTURES: 3 WC, 1 URINAL, 1 LAV

REQUIRED GENERAL: 1 SERVICE SINK(S)

PROVIDED GENERAL: DRINKING WATER PROVIDE BY CUP AT BAR

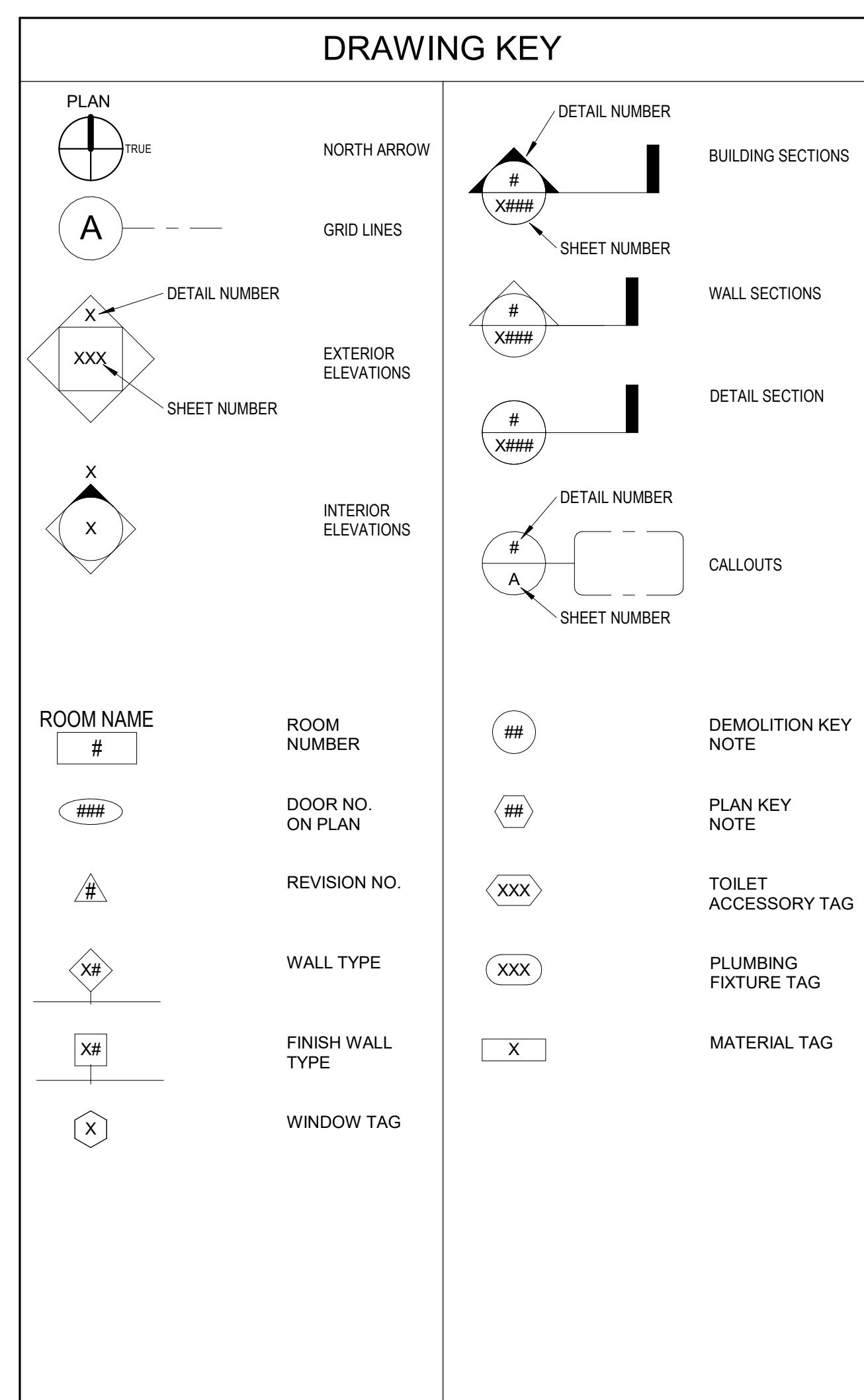
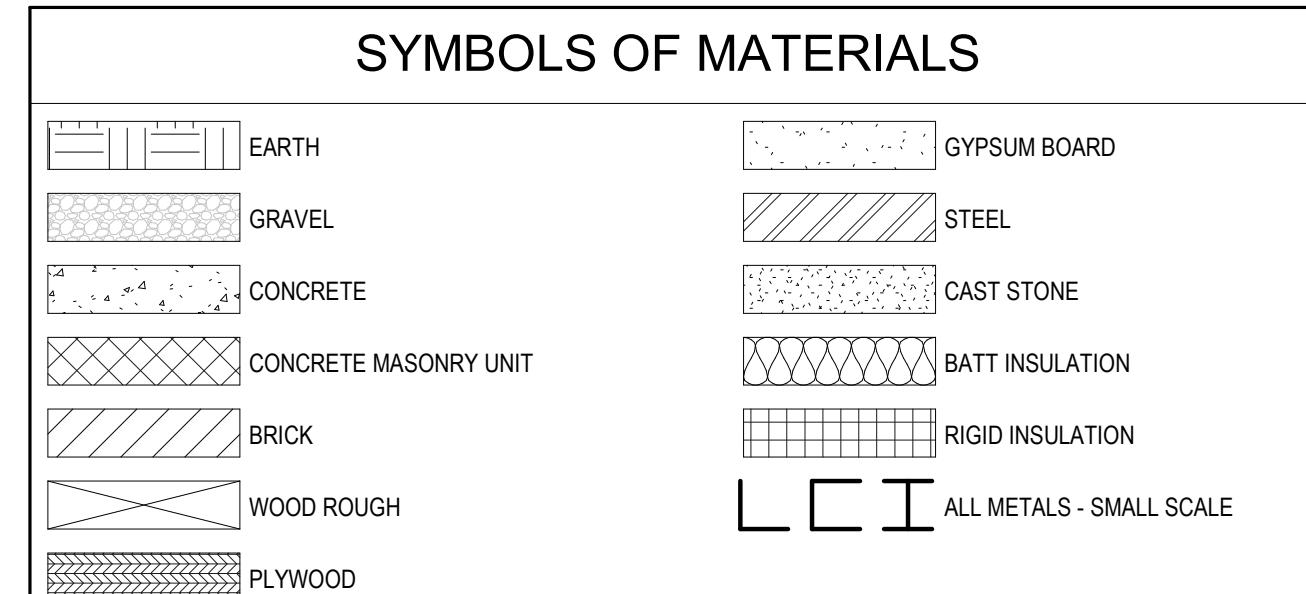
AREA, 1 SERVICE SINK(S)

REFER TO LIFE SAFETY PLAN

DEFERRED SUBMITTALS

FIRE SPRINKLERS

FIRE ALARM



OWNER	BORGER BUILDING, LLC 7213, HWY. 41 CALEDONIA, WI
OWNER REPRESENTATIVE	N/A
ARCHITECT	ANDERSON ASHTON DESIGN BUILD 2746 South 16th Street New Berlin WI 53151 CONTACT: Brett Daniels PHONE: 262.786.4640 EMAIL: bdaniels@andersonashton.com SUPERVISING PROFESSIONAL FOR ARCHITECTURE: Brett Daniels
STRUCTURAL ENGINEER	N/A
MEP ENGINEER	N/A
CIVIL ENGINEER	N/A
FIRE PROTECTION ENGINEER	TBD

PROJECT SCOPE OF WORK

INTERIOR BUILD-OUT OF AN EXISTING "WHITE BOX" TENANT SPACE INTO A RESTAURANT, WITH WORK TO INCLUDE CONSTRUCTION, FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, AND LIFE SAFETY SYSTEMS AS REQUIRED FOR A FULLY OPERATIONAL FACILITY.

SHEET	SHEET TITLE	REVISION</th
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INTERIOR OCCUPANCY CALCULATIONS

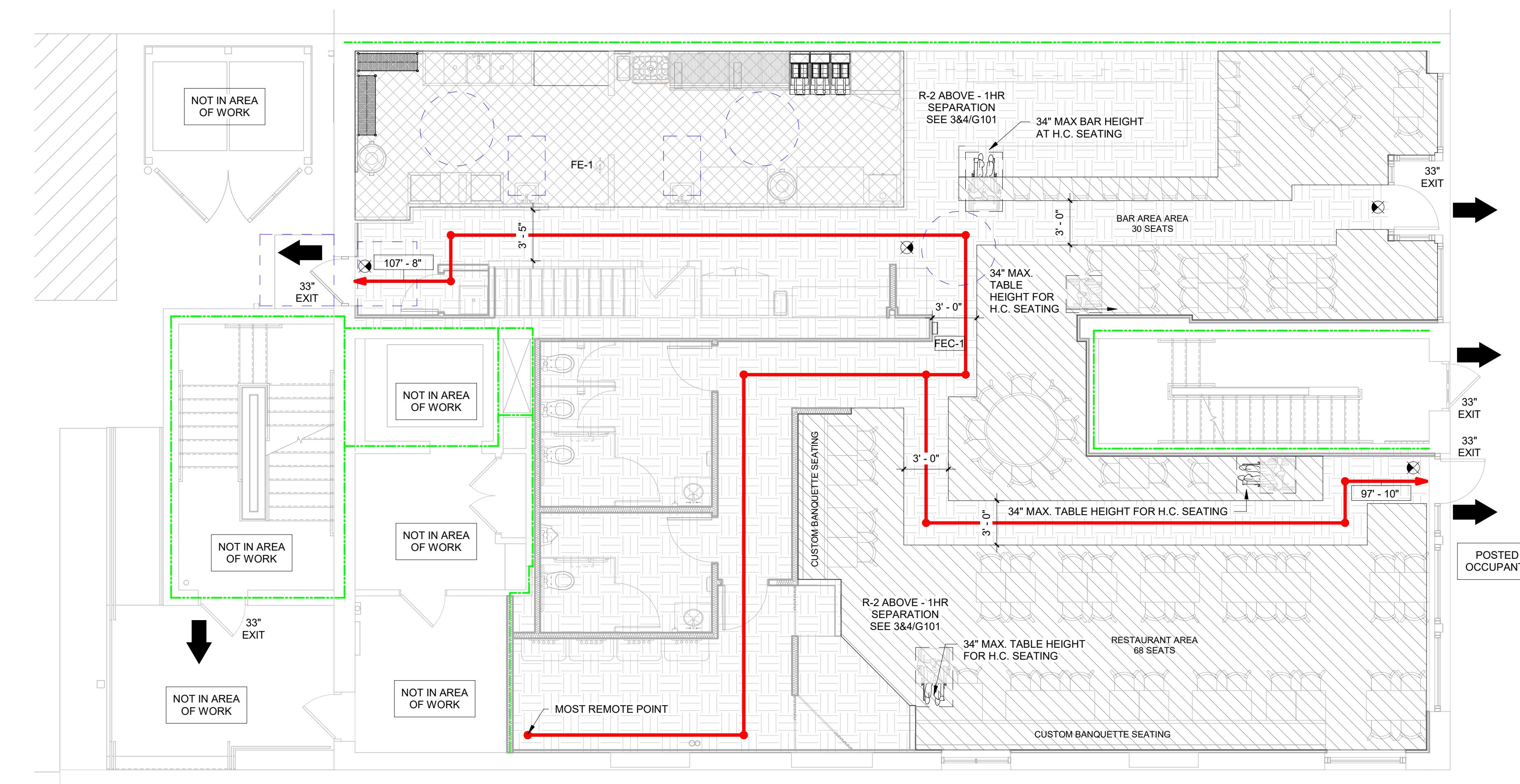
INTERIOR ASSEMBLY AREAS	BASEMENT LEVEL			FIRST FLOOR LEVEL		
	SF	CALCULATED OCCUPANTS	ACTUAL OCCUPANTS	SF	CALCULATED OCCUPANTS	ACTUAL OCCUPANTS
ASSEMBLY WITHOUT FIXED SEATS UNCONCENTRATED (TABLES AND CHAIRS) 15 NET SQ. FT. PER OCCUPANT	N/A	N/A	N/A	1,073 SF	72	98
BUSINESS 100 GROSS SQ. FT. PER OCCUPANT	76 SF	1	1	1,410 SF	15	15
KITCHENS, COMMERCIAL 200 GROSS SQ. FT. PER OCCUPANT	N/A	N/A	N/A	393 SF	2	2
ACCESSORY STORAGE AREAS 300 GROSS SQ. FT. PER OCCUPANT	2,393 SF	8	8	N/A	N/A	N/A
SUBTOTALS		9	9		89	115
TOTALS				9 + 115 = 124		

LIFE SAFETY LEGEND

1 HR FIRE BARRIER
2 HR FIRE BARRIER
2 HR EXTERIOR FIRE-RESISTANCE RATING
SAMPLE EXIT ROUTE
FEC-1
FE-1
X' - X"
↑
↗
↖
↗
NOTES:
1. (IRC 1004.3) EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR THE OWNER'S AUTHORIZED AGENT.
2. (IBC 703.7) ALL INTERIOR FIRE RATED WALLS TO BE MARKED W/ A STENCIL READING: (# HR FIRE BARRIER) INCLUDE ACTUAL # NUMBER OF THE FIRE RATING PER PLAN. LOCATE MARKING ABOVE CEILING ON EACH SIDE OF WALL @ 20' INTERVALS - LETTER TO BE 5/8" IN HEIGHT
3. POSTED OCCUPANCY SIGNS MUST BE PER ALL LOCAL REQUIREMENTS
4. (IRC 903.2.1.5) COMMERCIAL COOKING OPERATIONS. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN COMMERCIAL KITCHEN EXHAUST HOOD AND DUCT SYSTEMS WHERE AN AUTOMATIC SPRINKLER SYSTEM IS USED TO COMPLY WITH IBC SECTION 904

NOTES:

- (IRC 1004.3) EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR THE OWNER'S AUTHORIZED AGENT.
- (IBC 703.7) ALL INTERIOR FIRE RATED WALLS TO BE MARKED W/ A STENCIL READING: (# HR FIRE BARRIER) INCLUDE ACTUAL # NUMBER OF THE FIRE RATING PER PLAN. LOCATE MARKING ABOVE CEILING ON EACH SIDE OF WALL @ 20' INTERVALS - LETTER TO BE 5/8" IN HEIGHT
- POSTED OCCUPANCY SIGNS MUST BE PER ALL LOCAL REQUIREMENTS
- (IRC 903.2.1.5) COMMERCIAL COOKING OPERATIONS. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN COMMERCIAL KITCHEN EXHAUST HOOD AND DUCT SYSTEMS WHERE AN AUTOMATIC SPRINKLER SYSTEM IS USED TO COMPLY WITH IBC SECTION 904

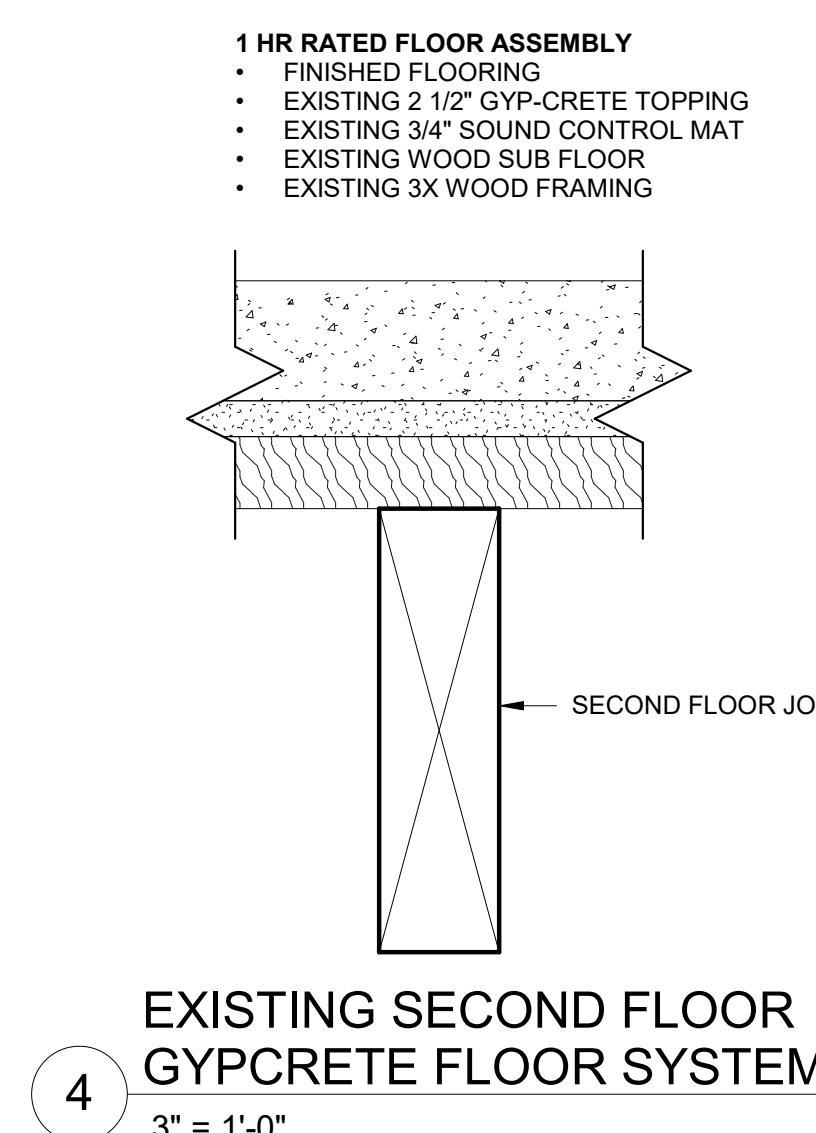


ANDERSON
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Phone: (262) 785-4540
www.andersonashton.com

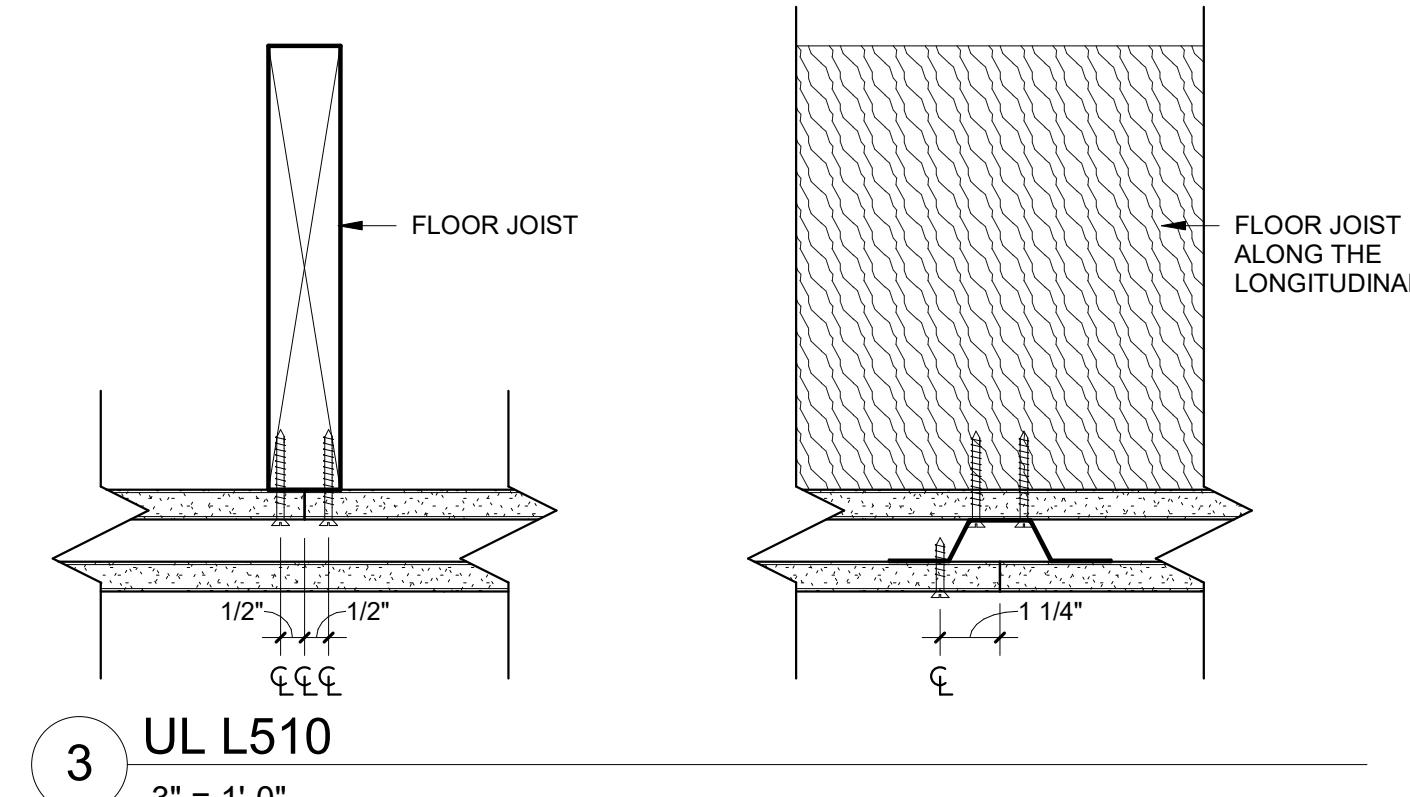
HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT
235 S 2ND ST, MILWAUKEE, WI 53204

DRAFTED BY: UH
DESIGNER: UH
ISSUE: 10/8/2025 4:26:03 PM
SUBMITTAL DATE: 10-08-2025
DESIGN NO. P-02519
CONSTRUCTION NO. -

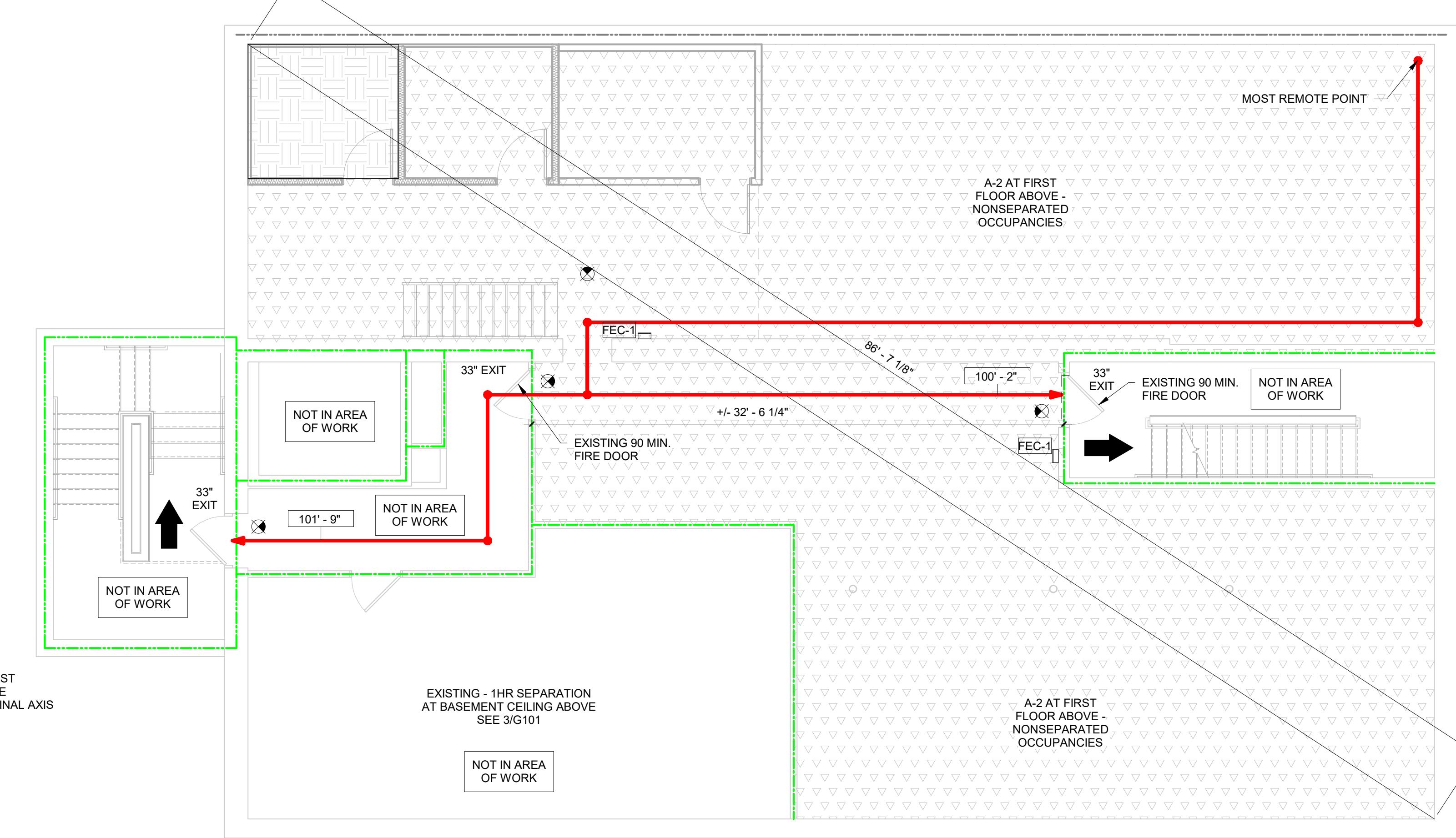
G101



4 EXISTING SECOND FLOOR
GYPCRETE FLOOR SYSTEM
3" = 1'-0"

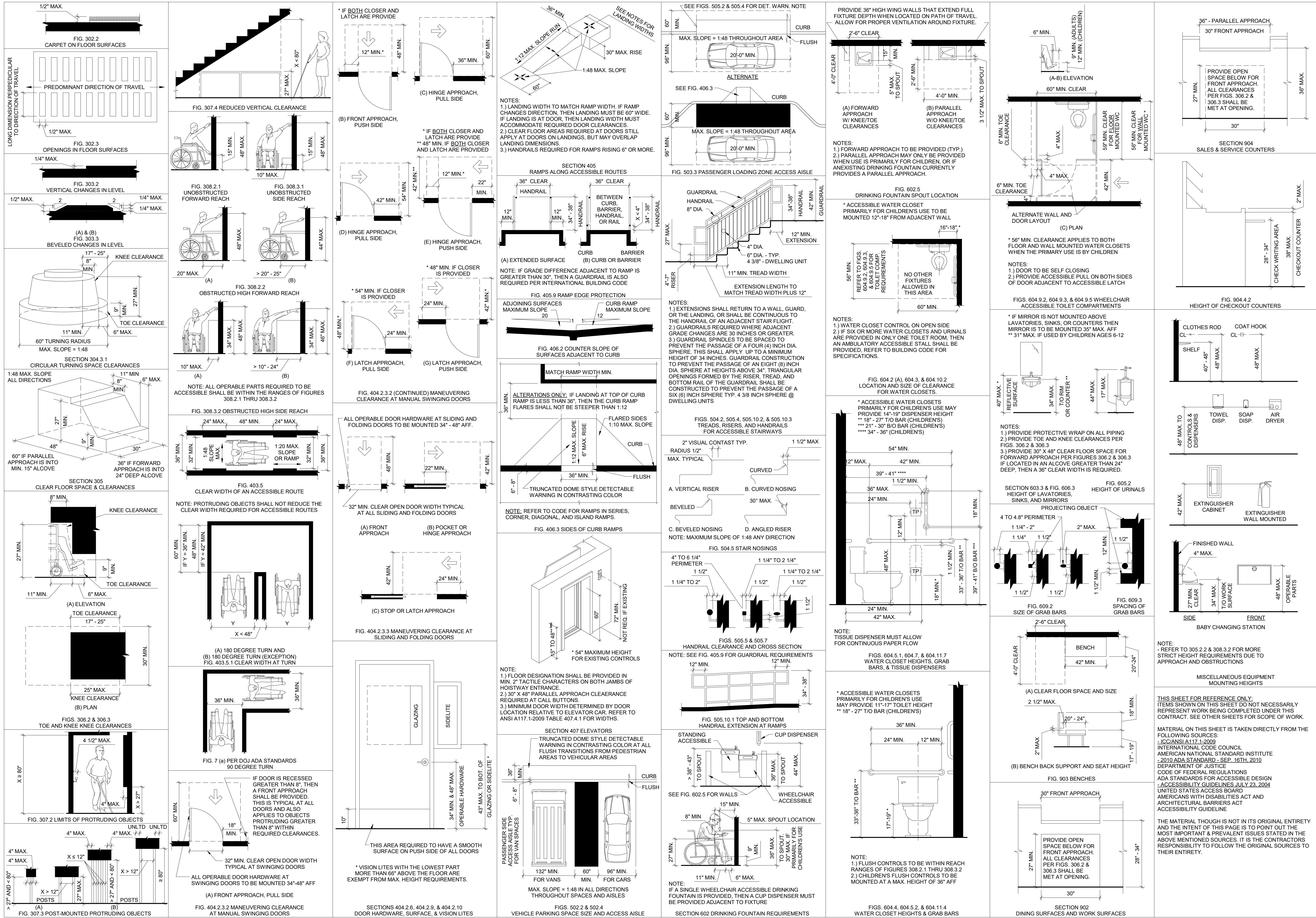


3 UL L510
3" = 1'-0"



1 BASEMENT LIFE SAFETY PLAN
3/16" = 1'-0"

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SHEET SIZE 24x36





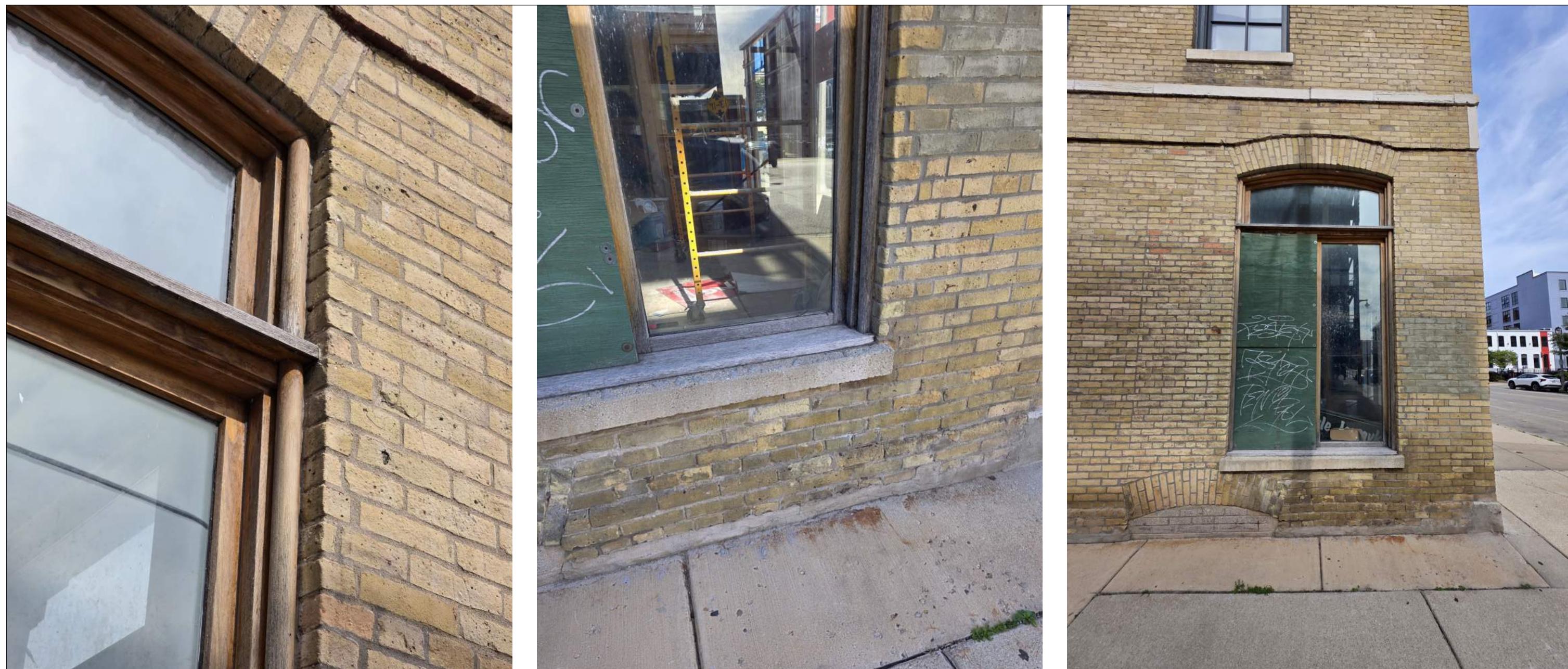
EXISTING EAST ELEVATION ENTRANCE 2



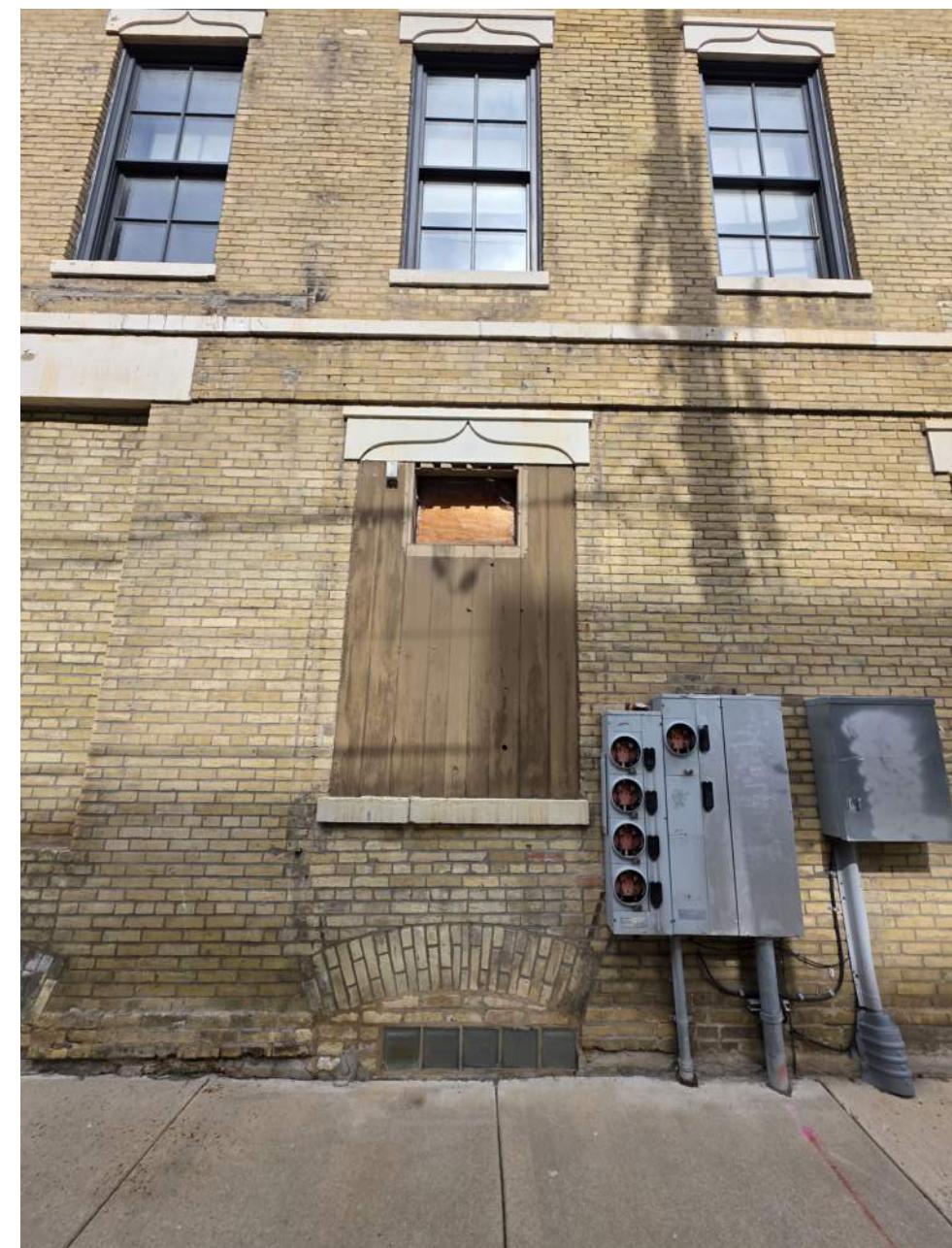
EXISTING EAST ELEVATION ENTRANCE 1



EXISTING EAST ELEVATION



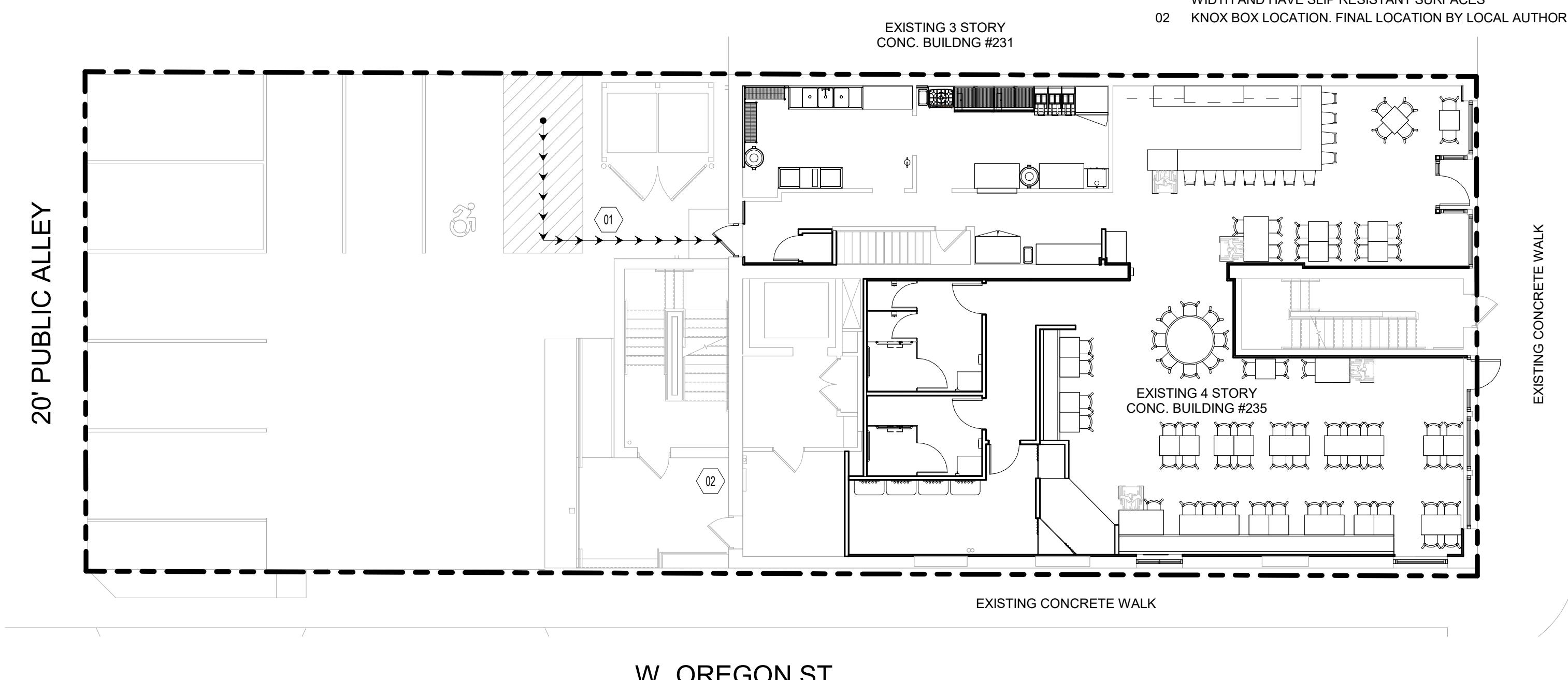
EXISTING SOUTHEAST CORNER WINDOW - EXTERIOR

EXISTING SOUTH ELEVATION
LOCATION OF NEW WINDOW

EXISTING SOUTH ELEVATION



EXISTING SOUTHEAST CORNER WINDOW - INTERIOR



W. OREGON ST.

S. 2ND ST.

HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT

235 S 2ND ST, MILWAUKEE, WI 53204

DRAFTED BY: UH
DESIGNER: UH
ISSUE: 10/8/2025 4:26:07 PM
SUBMITTAL DATE: 10-08-2025
DESIGN NO. P-02519
CONSTRUCTION NO. -
ARCHITECTURAL SITE PLAN

COPRIGHT PROTECTED 2025

AS01

SHEET SIZE 24x36

1 ARCHITECTURAL SITE PLAN
1" = 10'-0"

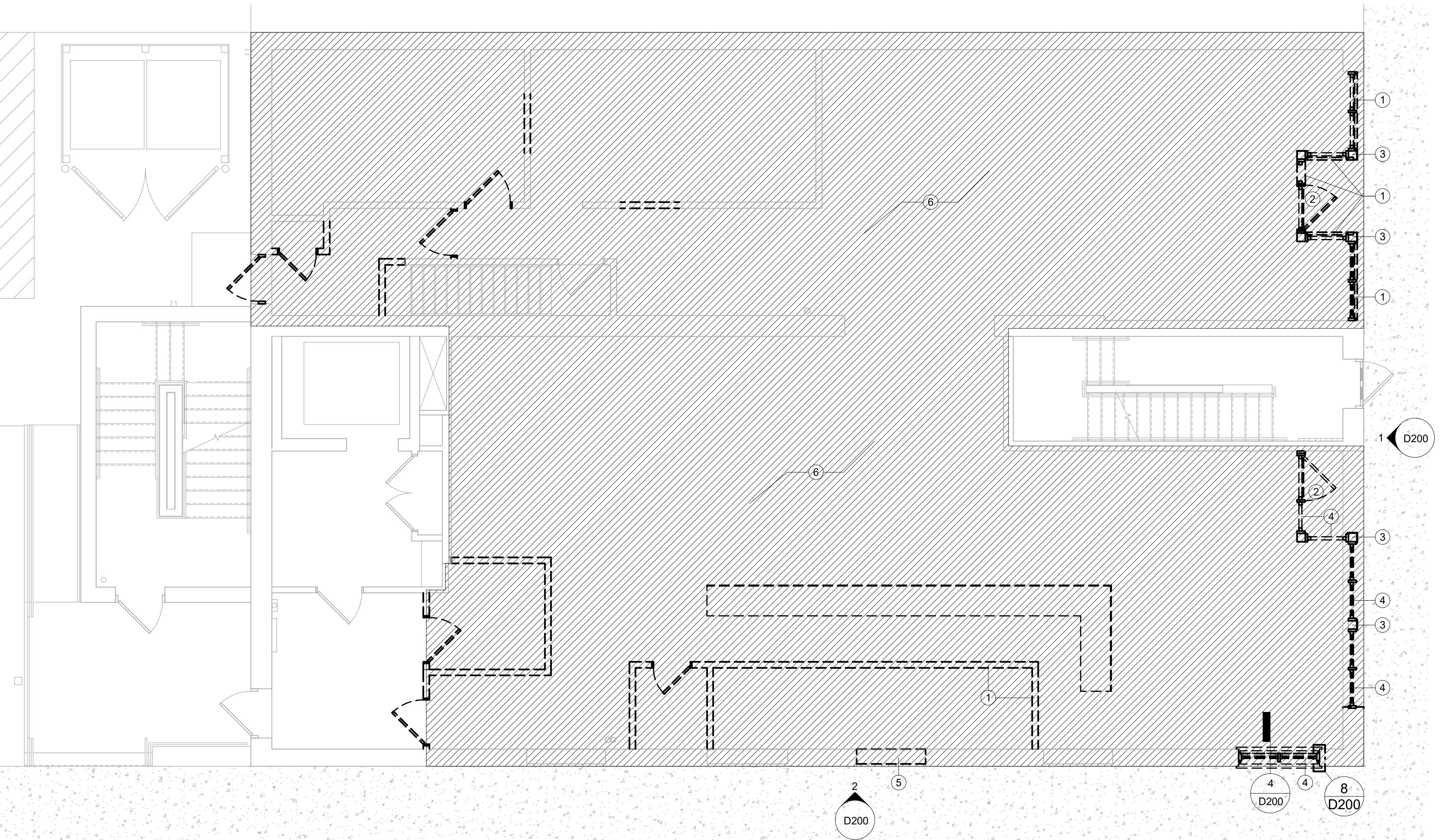
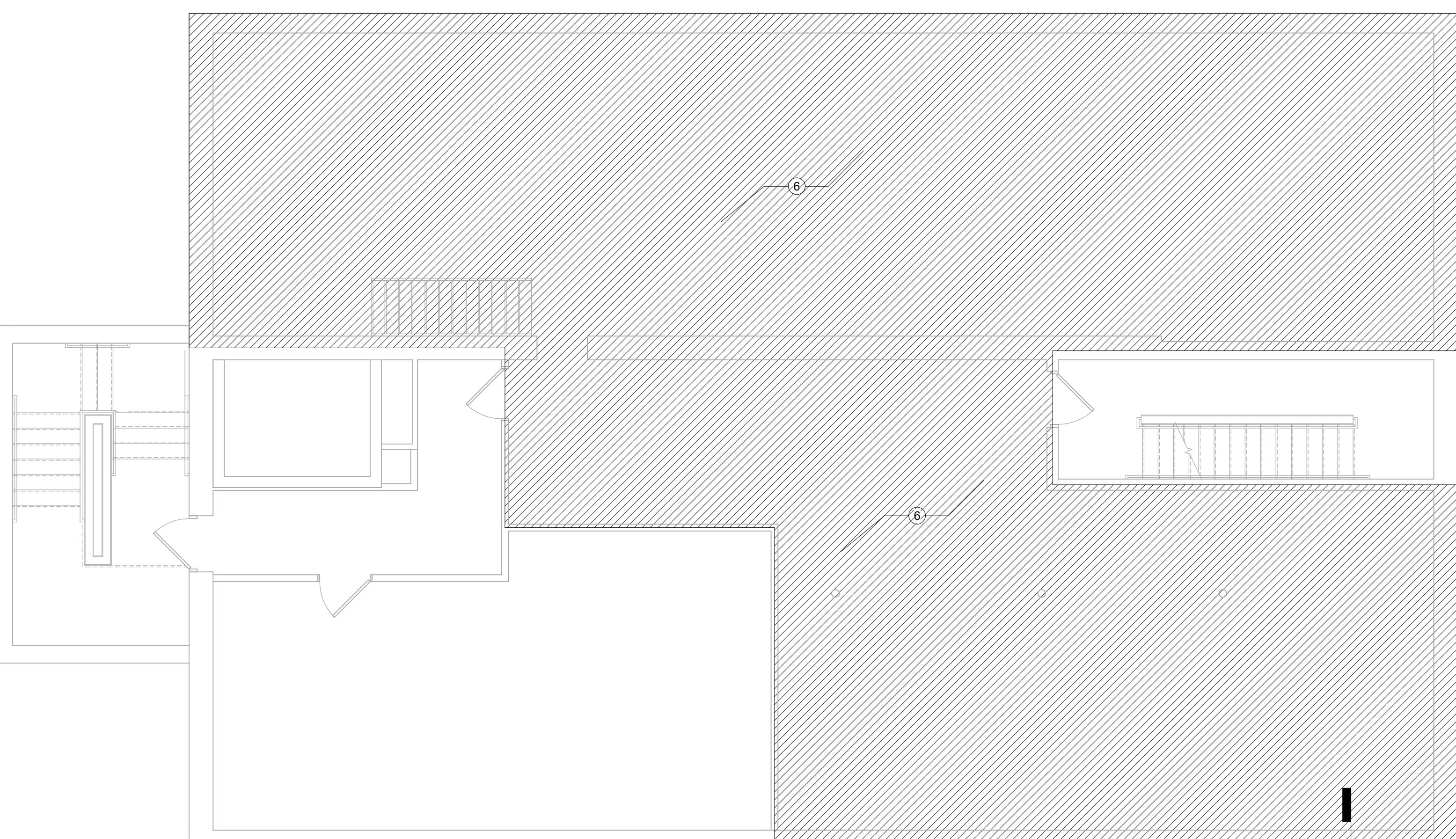
DEMOLITION PLAN KEYNOTES	
NO.	DESCRIPTION
1	REMOVE NON-HISTORIC PARTITION WALLS TO EXTENTS INDICATED BY DASHED LINES.
2	REMOVE NON-HISTORIC DOOR INCLUDING FRAME, HARDWARE, ACCESSORIES, CASING, TRIM, AND RELATED SUPPORTS.
3	EXISTING HISTORIC COLUMN TO REMAIN.
4	REMOVE EXISTING NON-HISTORIC STOREFRONT. REPLACE WITH NEW THERMALLY BROKEN PRE-FINISHED (PAINTED) ALUMINUM STOREFRONT ASSEMBLY WITH 1" CLEAR INSULATED GLASS.
5	REMOVE NON-HISTORIC MASONRY INFILL AT EXISTING WINDOW OPENINGS. REPLACE WITH NEW THERMALLY BROKEN PRE-FINISHED (PAINTED) ALUMINUM WINDOW WITH 1" CLEAR INSULATED GLASS.
6	EXISTING FIRST FLOOR & BASEMENT AREA OF WORK SPRINKLER SYSTEM TO BE MODIFIED AS REQUIRED TO ACCOMMODATE & BE ADAPTED TO NEW CONSTRUCTION WITHIN THE AREA OF WORK. EXISTING SPRINKLER SYSTEM TO BE MODIFIED AS REQUIRED TO BE PER CURRENT WISCONSIN BUILDING CODE REQUIREMENTS FOR THIS BUILDING & THIS TENANT OCCUPANCY AS REQUIRED FOR NEW CONSTRUCTION

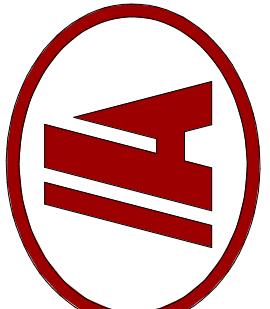
DEMOLITION LEGEND:

	EXISTING DOOR TO REMAIN
	DOOR & FRAME TO BE REMOVED
	EXISTING WALL TO BE REMOVED W/ ASSOC. ELEC & UTILITIES WITHIN WALL - CAP AS NEEDED
	WORK AREA

GENERAL NOTES - DEMOLITION:

- EXISTING CONDITIONS MAY VARY FROM THOSE INDICATED. NOTIFY THE ARCHITECT IN WRITING OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK.
- REMOVE INTERIOR PARTITION WALLS, INTERIOR DOORS, ACOUSTIC CEILING SYSTEMS, ACOUSTIC TILES, LIGHTING AND ELECTRICAL ACCESSORIES AS REQUIRED BY FINAL PLANS.
- CONFIRM WITH OWNER FOR ANY INTENT TO SALVAGE ANYTHING FROM DEMOLITION WORK.
- DEMOLITION OF MECHANICAL, ELECTRICAL, AND PLUMBING ELEMENTS REQUIRED BY THE GENERAL DEMOLITION, BUT NOT INDICATED, SHALL BE COORDINATED BY THE GENERAL CONTRACTOR. EACH TRADE CONTRACTOR SHALL COORDINATE THEIR DEMOLITION WITH EACH OTHER AND WITH THE SCOPE OF THE FINISHED WORK.
- CONTRACTOR TO VERIFY STRUCTURAL INTEGRITY OF ALL ADJACENT FRAMING PRIOR TO REMOVING WALLS, HEADERS, ETC. PROVIDE TEMPORARY SUPPORT AND/OR SHORING AS REQUIRED BETWEEN DEMOLITION AND NEW CONSTRUCTION WORK.
- CONTRACTOR SHALL PATCH FLOOR, FILL Voids AND DEPRESSIONS TO MAKE FLOOR LEVEL TO ACCEPT NEW FLOOR FINISHES PER MANUFACTURER'S RECOMMENDATIONS.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- PROVIDE TEMPORARY SUPPORT AND STABILIZE ANY PARTITIONS THAT BECOME UNBRACED DUE TO SELECTIVE OR PARTIAL DEMOLITION. NO DEMOLITION WORK SHALL INTERRUPT, COMPROMISE, DAMAGE, OR REMOVE ADJACENT STRUCTURE OR FINISHES NOT SPECIFIED FOR DEMOLITION.
- PATCH OUT FLOORS AND WALLS AT REMOVED PARTITIONS TO MATCH EXISTING FINISHES WHERE NEW FINISHES ARE NOT SCHEDULED.
- FILL AND/OR GRIND FLOORS AT REMOVED PARTITIONS AS REQUIRED TO PROVIDE A SMOOTH TRANSITION. SLOPE NOT TO EXCEED 1/16" PER FOOT.
- REMOVE ALL CARPETING, RUGS, TILE, SHEET FLOORING, AND OTHER FINISHES COMPLETELY TO EXISTING SUBFLOOR AS REQUIRED BY FINAL PLANS.
- REMOVE ALL ELECTRICAL FIXTURES, OUTLETS, SUPPLY BOXES, AND WIRES AS REQUIRED BY FINAL PLANS. TERMINATE LINES BELOW SUBFLOOR (MINIMUM) OR AT MAIN PANEL.
- CONTRACTOR SHALL TERMINATE ALL ELECTRICAL, IT, PLUMBING, TELECOM/DATA LINES AND PROVIDE FOR UNINTERRUPTED SERVICE TO THE FACILITY BEFORE COMMENCING DEMOLITION WORK.
- WHERE APPLICABLE, REMOVE ALL LOOSE PAINT ENCOUNTERED ON SURFACES RELATED TO THE WORK, AND DISPOSE PER CODE REQUIREMENTS.
- REMOVE ALL EXISTING FLOORING FINISHES, PROTRUDING OBJECTS (BOLTS, ETC.) AND LOOSE PIECES OF CONCRETE. ALL UNLEVEL SURFACES TO BE GROUND DOWN. REMEDIATE IDENTIFIED HAZARDOUS MATERIALS AS REQUIRED BY CODE AND APPLICABLE LAWS & REGULATIONS. STRIP CONCRETE FLOOR AND RESEAL PER FINAL PLANS.
- REMOVE EXISTING CMU WALLS, FILL AND/OR GRIND FLOORS AT REMOVED PARTITIONS AS REQUIRED TO PROVIDE A SMOOTH TRANSITION.
- REMOVE EXISTING ABANDONED ELECTRICAL EQUIPMENT. GC TO COORDINATE WITH OWNER TO IDENTIFY FIXTURES AND EQUIPMENT FOR SALVAGE, RECYCLING, OR REMOVAL. GC SHALL PROVIDE CREDIT TO OWNER FOR ANY MATERIAL THAT CAN BE SALVAGED FOR REUSE/RECYCLING.

FIRST FLOOR DEMOLITION FLOOR PLAN
3/16" = 1'-0"BASEMENT DEMOLITION FLOOR PLAN
3/16" = 1'-0"


**HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT**

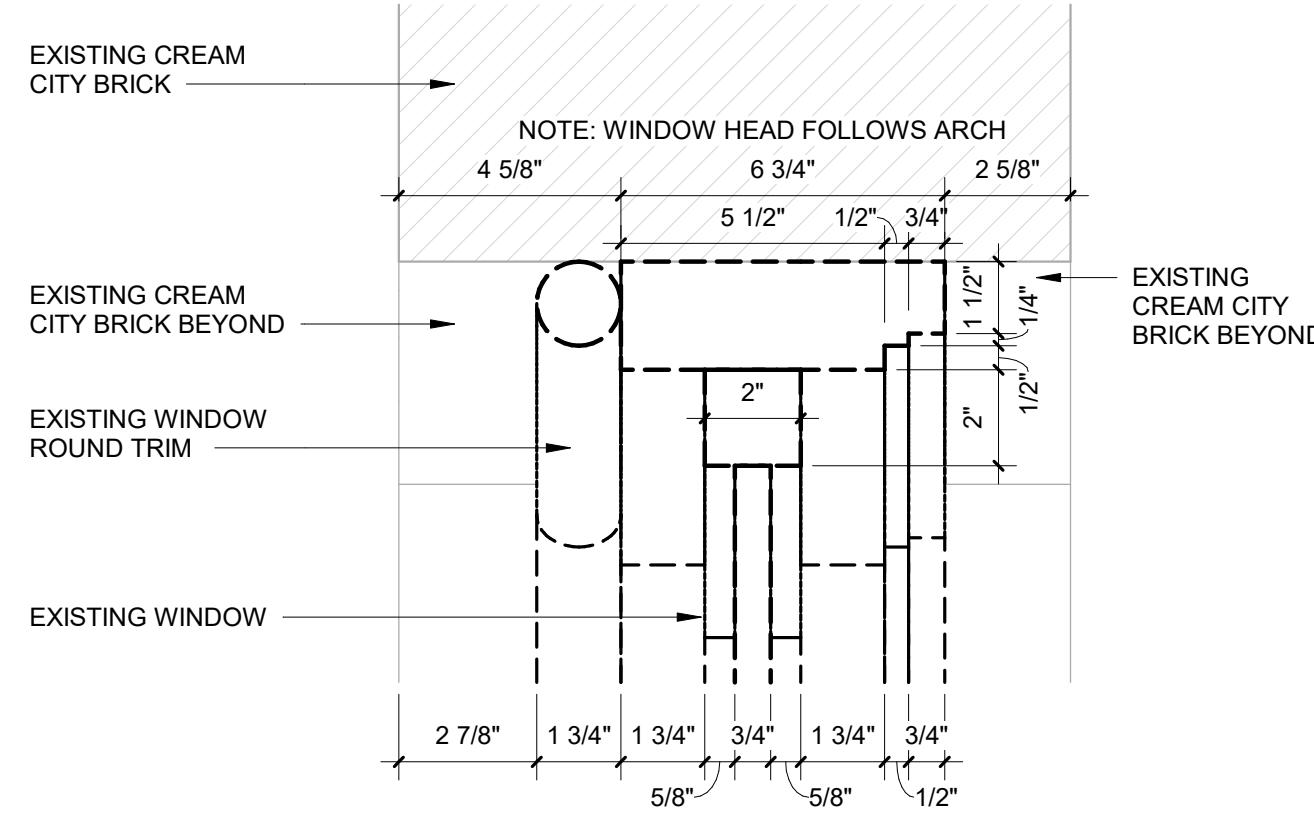
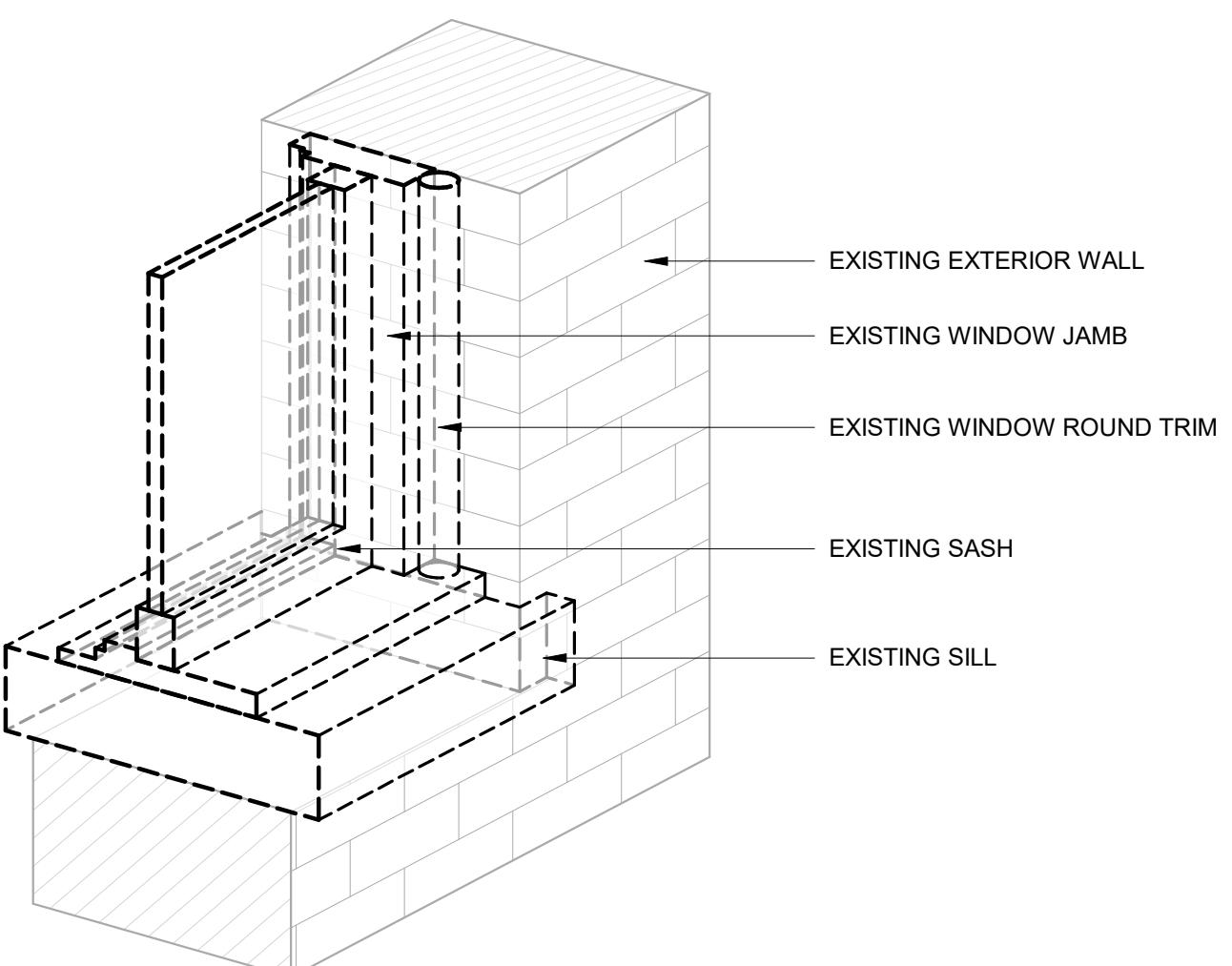
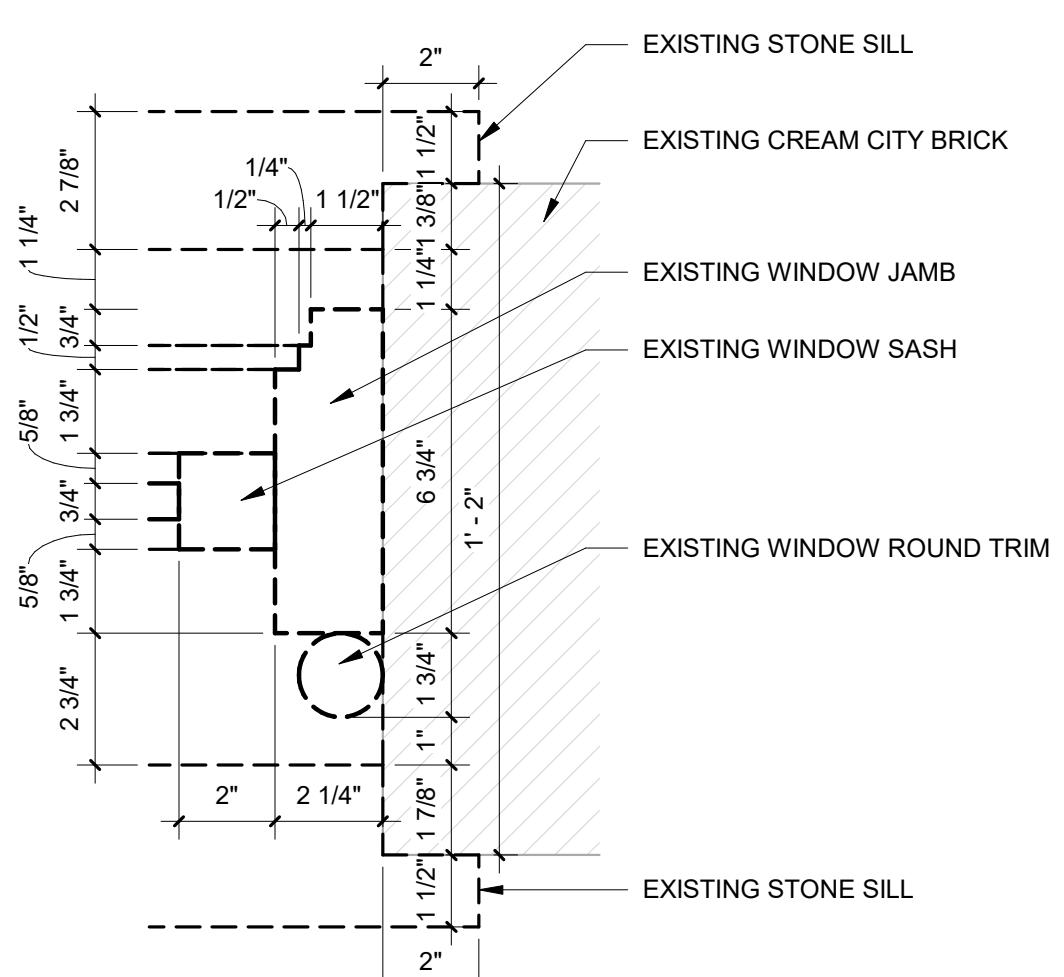
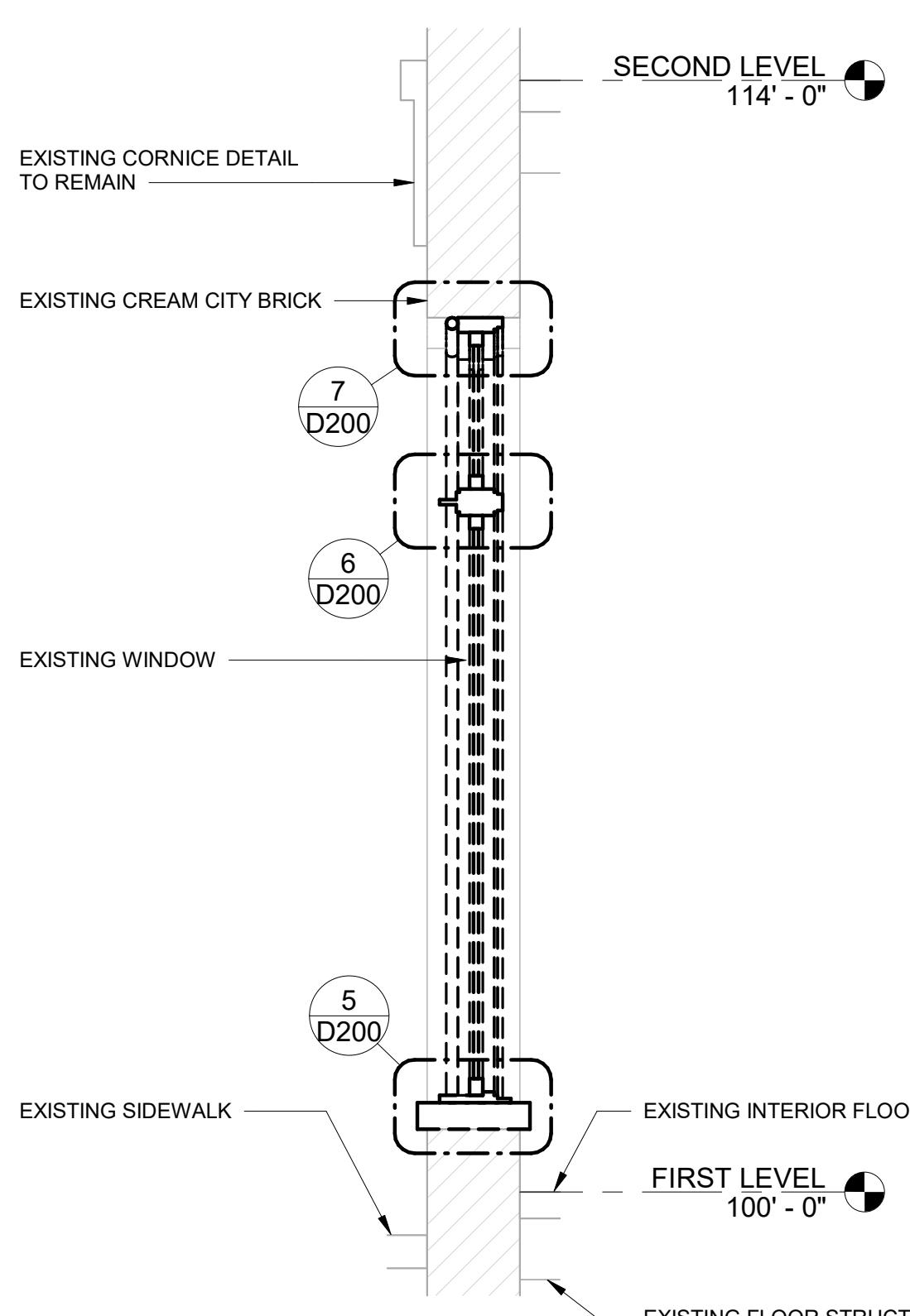
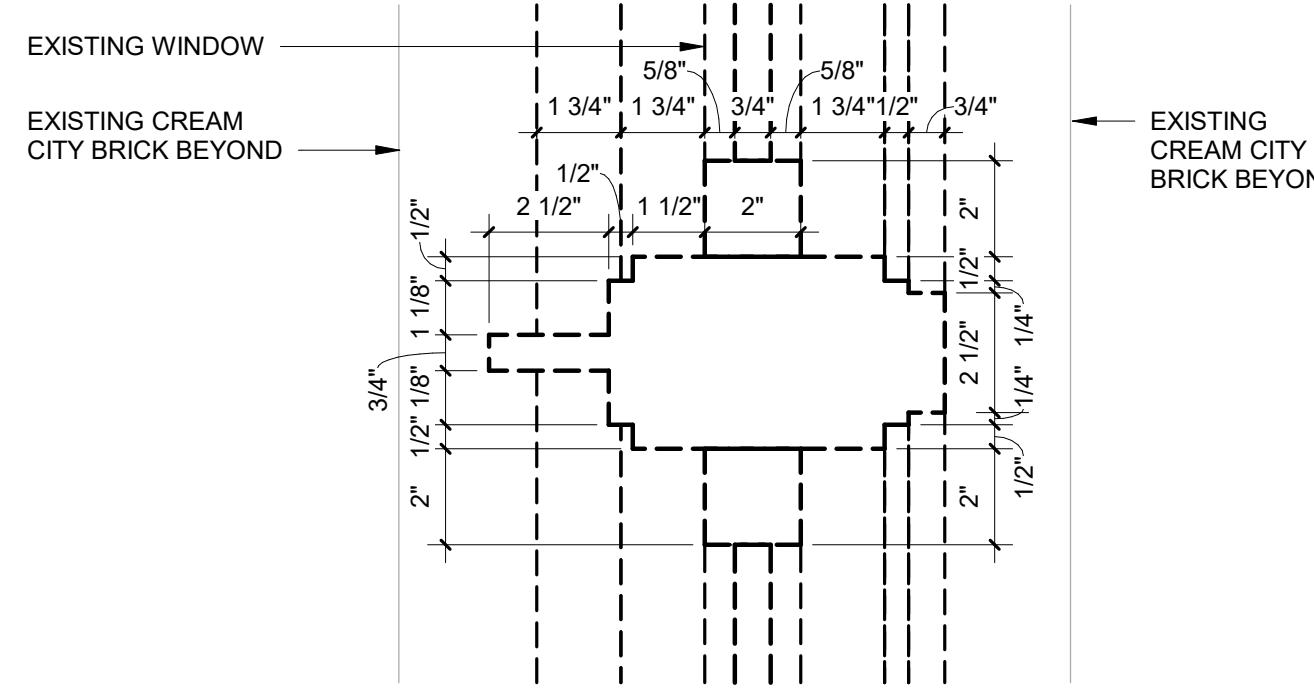
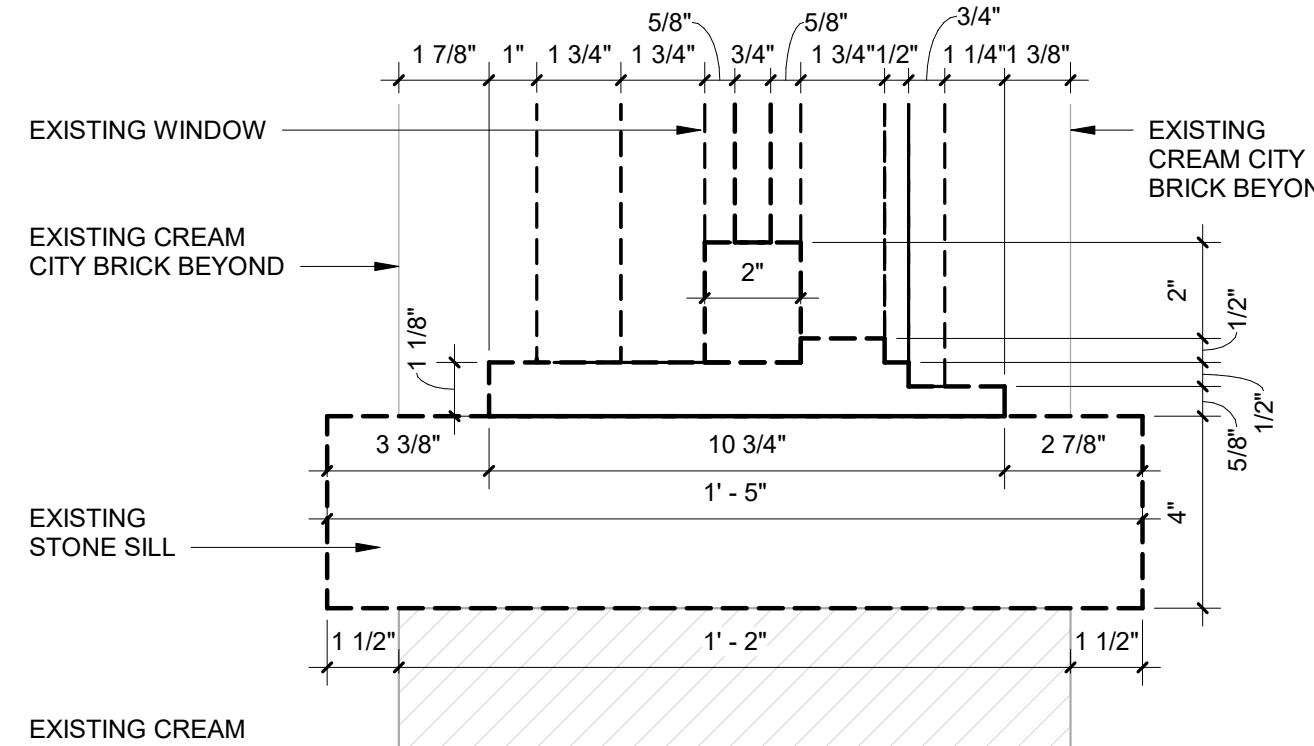
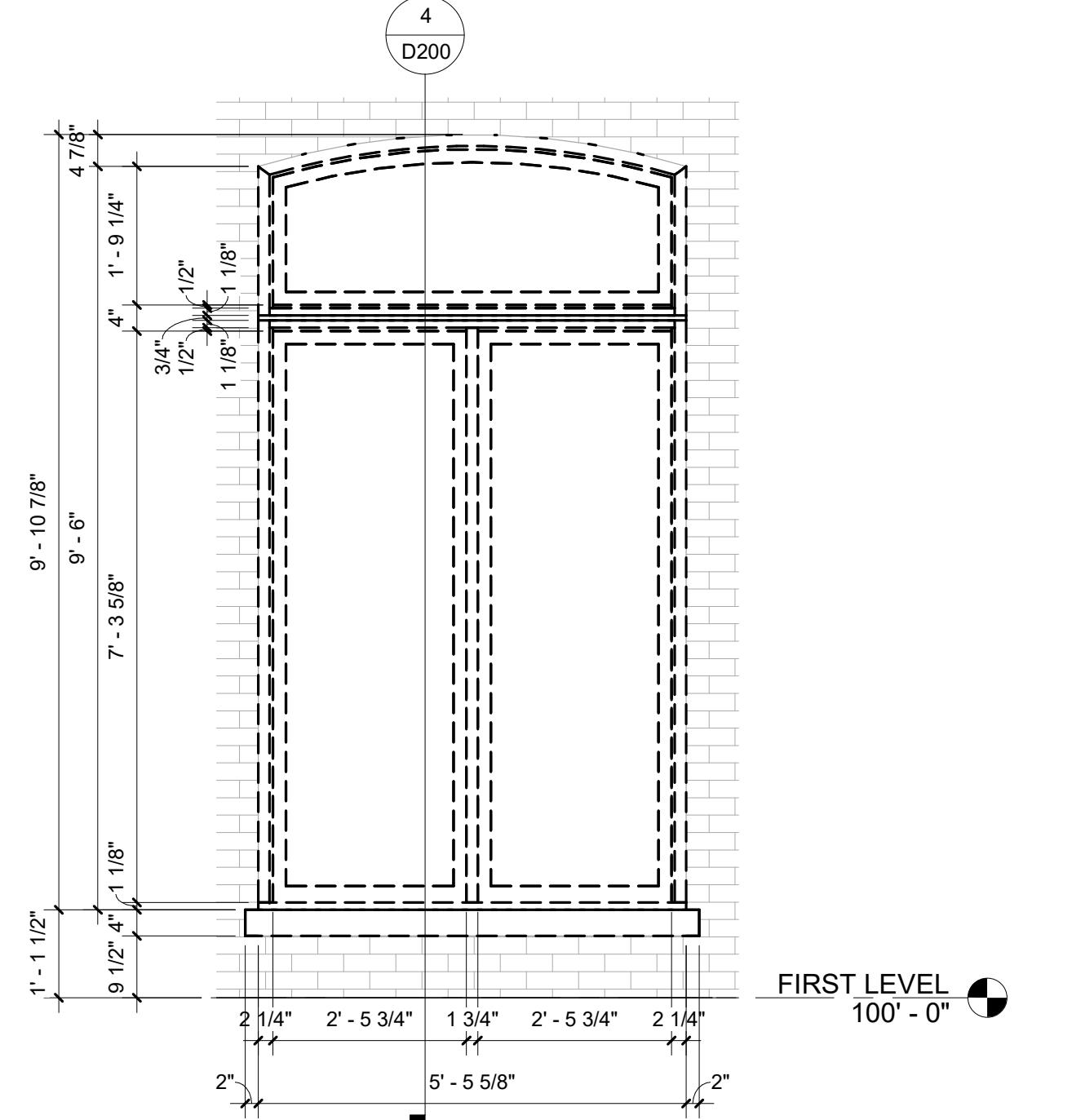
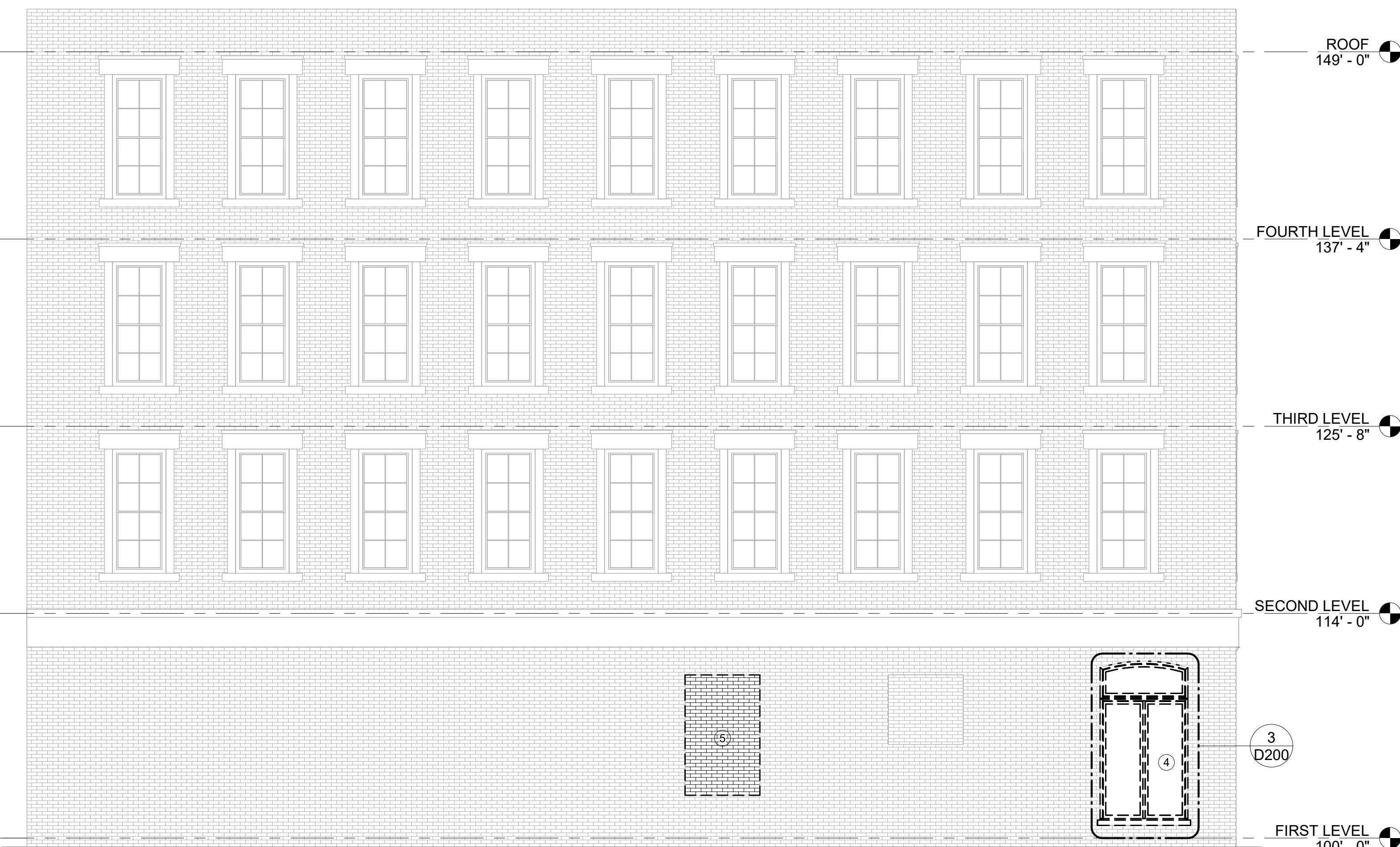
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 CONSTRUCTION NO.: -
 DEMOLITION EXTERIOR ELEVATIONS

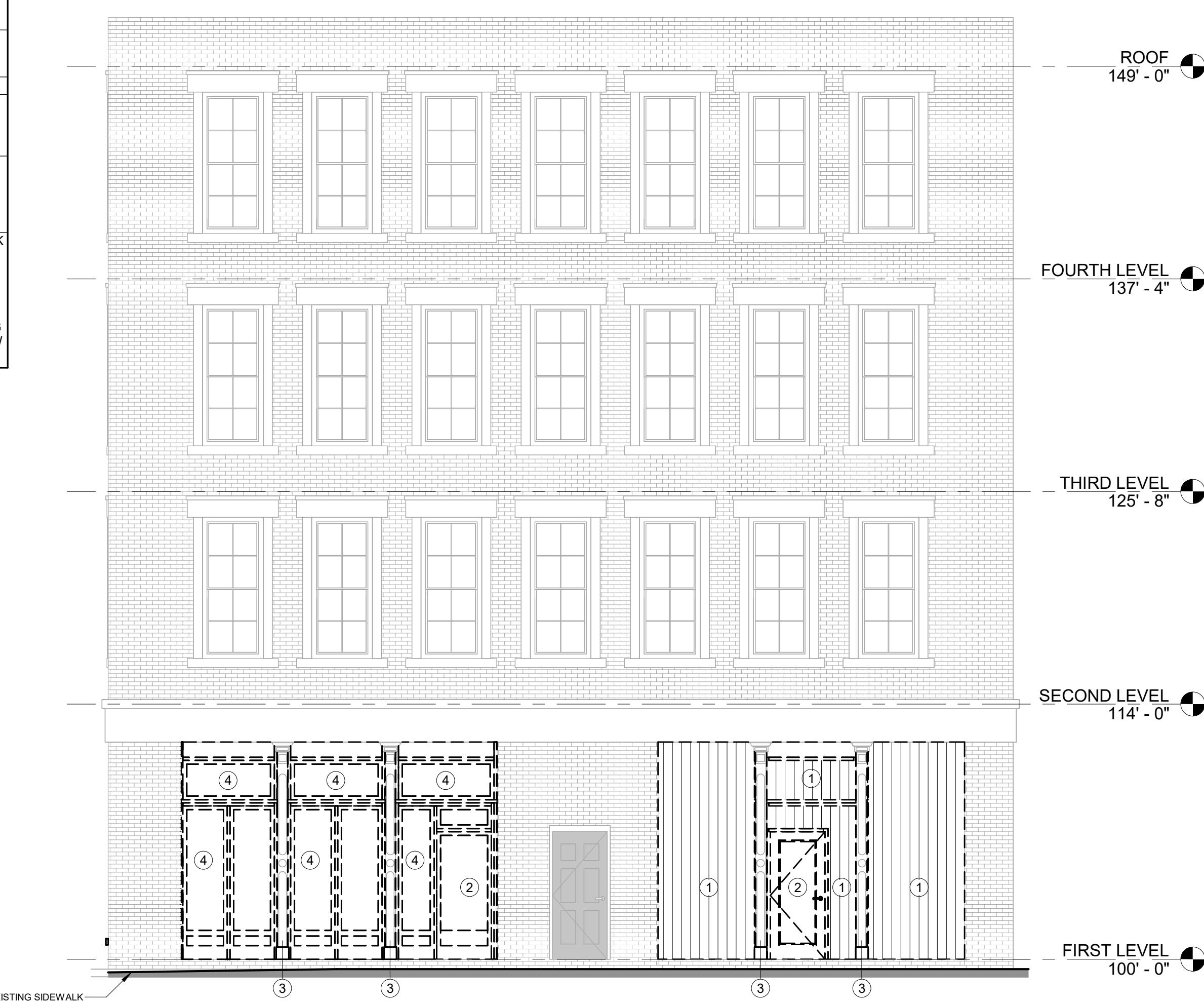
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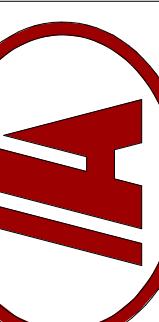
D200

SHEET SIZE 24x36


7 EXISTING WINDOW HEAD
 $3'' = 1'-0''$
9 EXISTING WINDOW AXON

8 EXISTING WINDOW JAMB
 $3'' = 1'-0''$

4 EXISTING WINDOW SECTION
 $1/2'' = 1'-0''$

6 EXISTING WINDOW INTERMEDIATE MULLION
 $3'' = 1'-0''$

5 EXISTING WINDOW SILL
 $3'' = 1'-0''$

3 EXISTING WINDOW ELEVATION
 $1/2'' = 1'-0''$

2 DEMOLITION EXTERIOR ELEVATION - SOUTH
 $3/16'' = 1'-0''$

DEMOLITION PLAN KEYNOTES	
NO.	DESCRIPTION
1	REMOVE NON-HISTORIC PARTITION WALLS TO EXTENTS INDICATED BY DASHED LINES
2	REMOVE NON-HISTORIC DOOR INCLUDING FRAME, HARDWARE, ACCESSORIES, CASING, TRIM, AND RELATED SUPPORTS
3	EXISTING HISTORIC COLUMN TO REMAIN
4	REMOVE EXISTING NON-HISTORIC STOREFRONT. REPLACE WITH NEW THERMALLY BROKEN PRE-FINISHED (PAINTED) ALUMINUM STOREFRONT ASSEMBLY WITH 1" CLEAR INSULATED GLASS.
5	REMOVE NON-HISTORIC MASONRY INFILL AT EXISTING WINDOW OPENINGS. REPLACE WITH NEW THERMALLY BROKEN PRE-FINISHED (PAINTED) ALUMINUM WINDOW WITH 1" CLEAR INSULATED GLASS.
6	EXISTING FIRST FLOOR & BASEMENT AREA OF WORK SPRINKLER SYSTEM TO BE MODIFIED AS REQUIRED TO ACCOMMODATE & BE ADAPTED TO NEW CONSTRUCTION. WITHIN THE AREA OF WORK, EXISTING SPRINKLER SYSTEM TO BE MODIFIED AS REQUIRED TO BE PER CURRENT WISCONSIN BUILDING CODE REQUIREMENTS FOR THIS BUILDING & THIS TENANT OCCUPANCY AS REQUIRED FOR NEW CONSTRUCTION


1 DEMOLITION EXTERIOR ELEVATION - EAST
 $3/16'' = 1'-0''$


**HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT**

235 S 2ND ST, MILWAUKEE, WI 53204

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 PLANS

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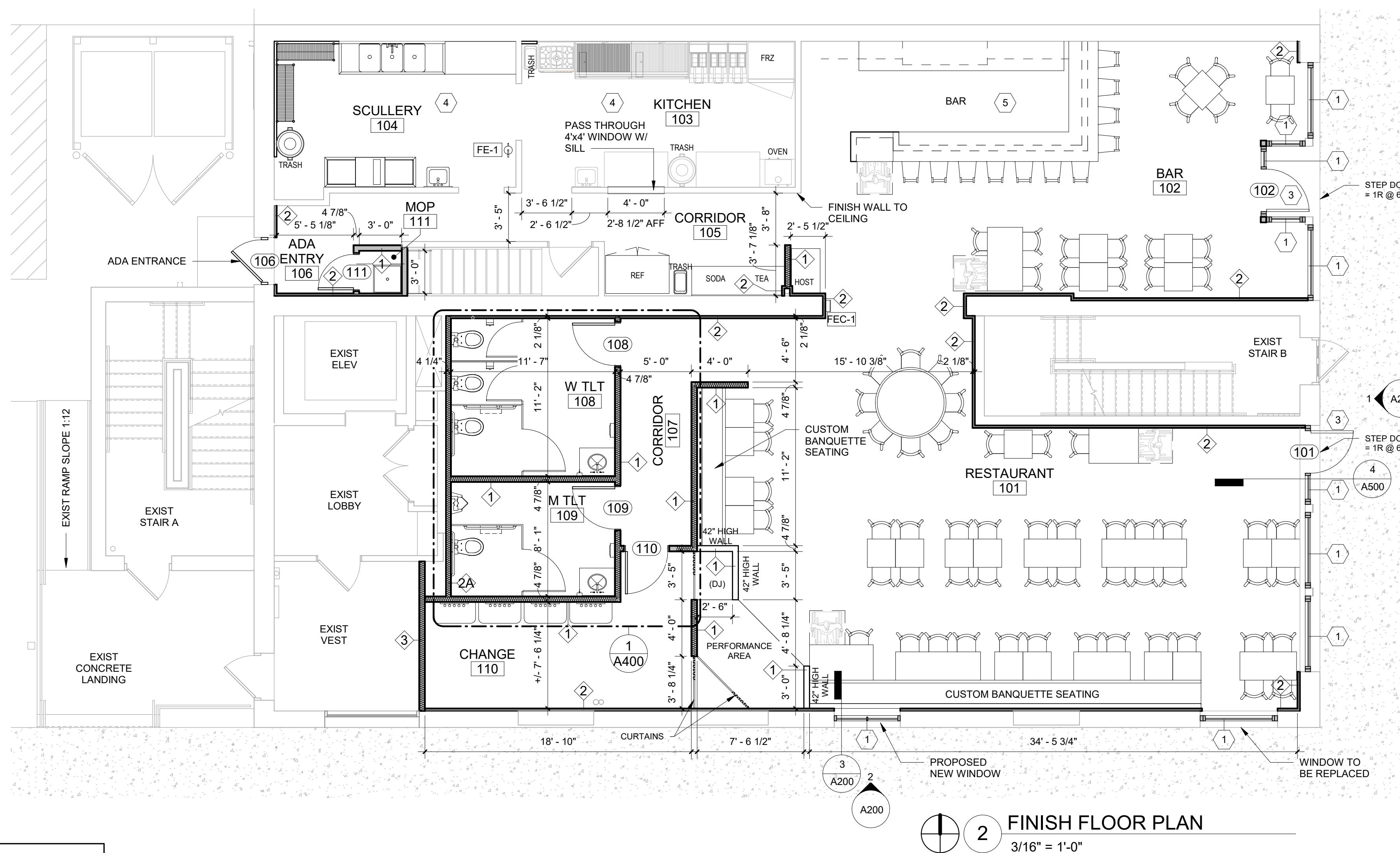
A101

SHEET SIZE 24x36

FLOOR PLAN LEGEND

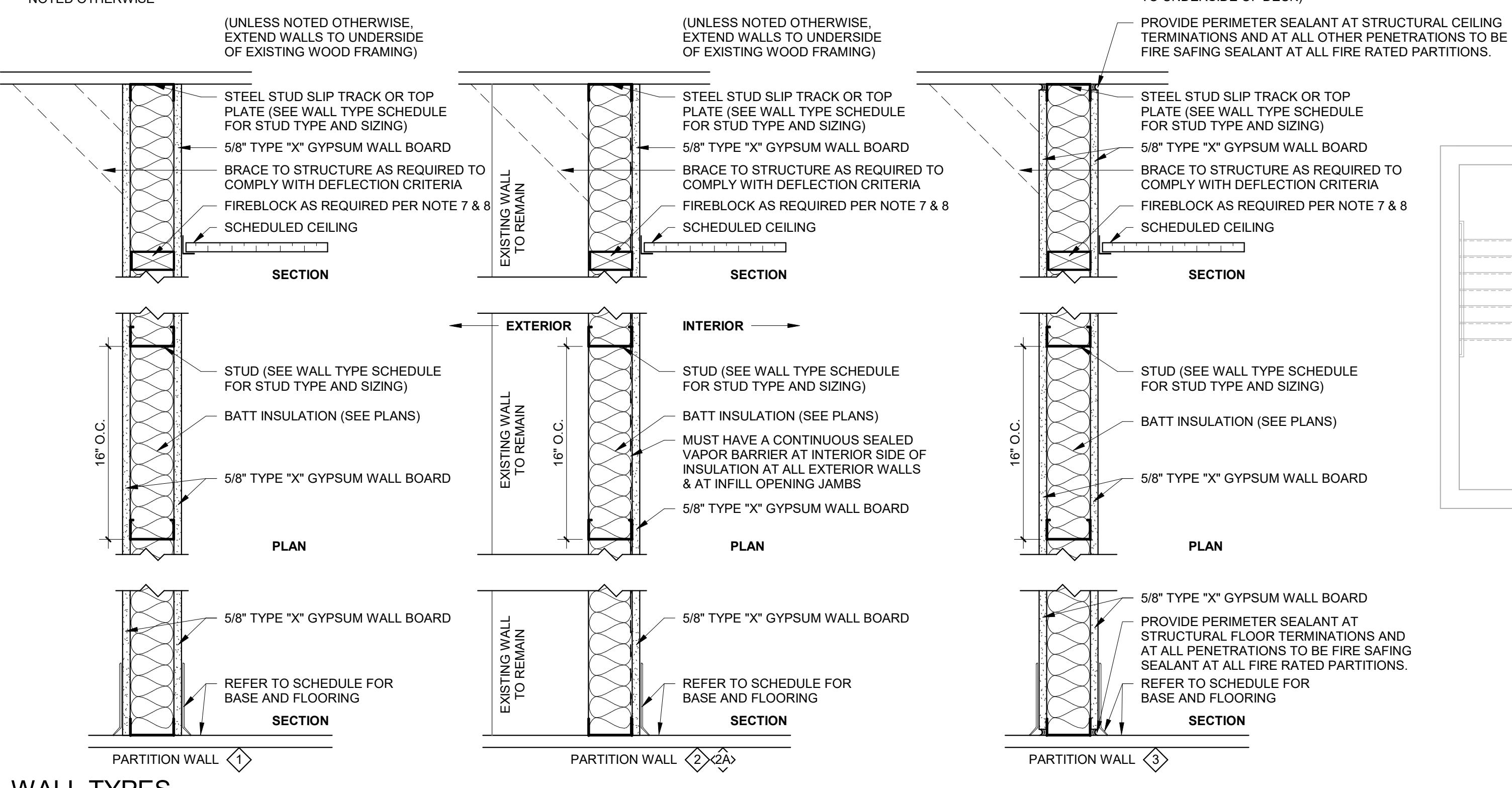
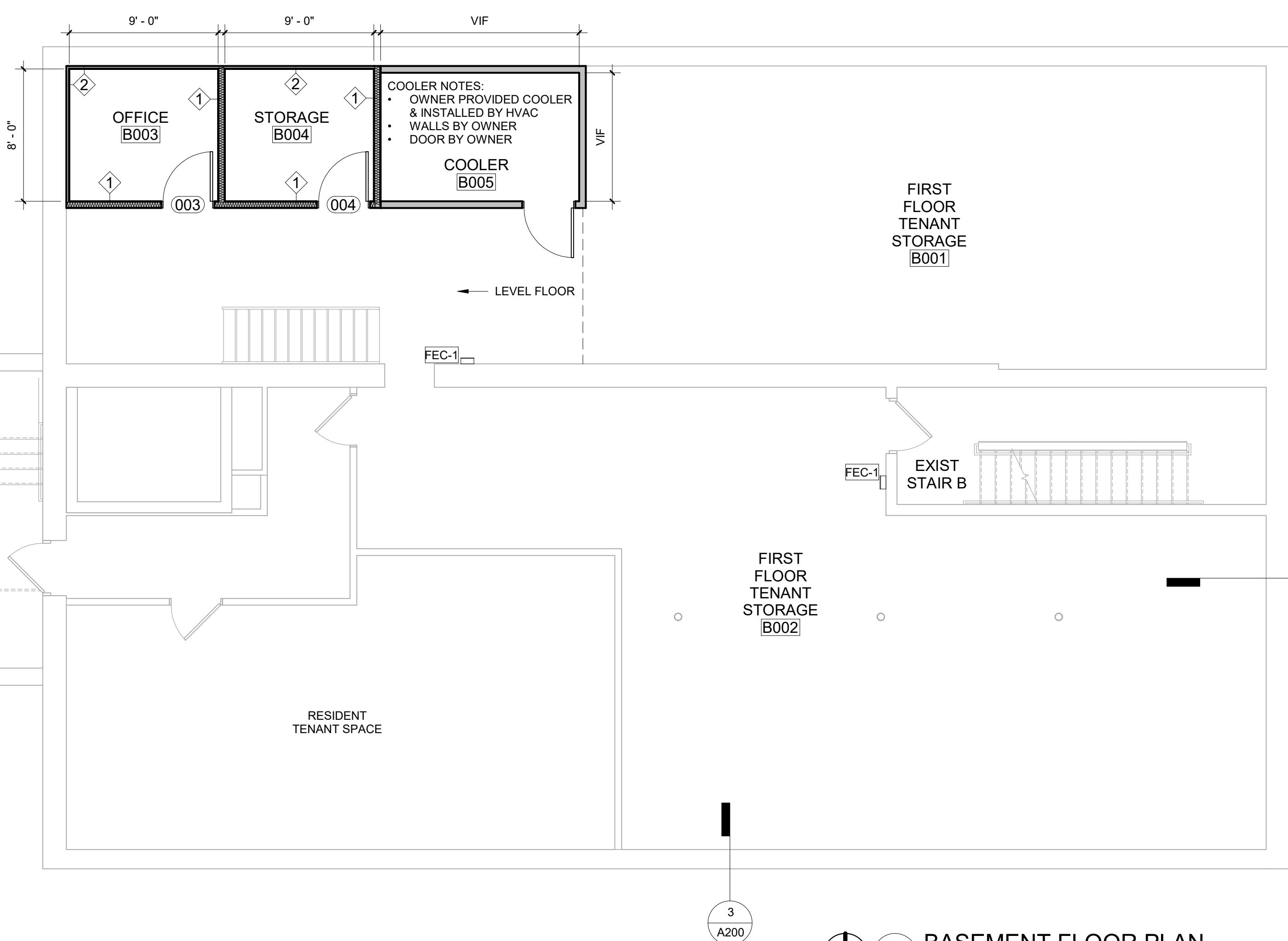
ROOM	ROOM NAME	NEW CONSTRUCTION
100		NEW CONSTRUCTION (INSULATED)
100	DOOR NUMBER	NEW DOOR & FRAME
#	PARTITION TYPE	EXISTING DOOR & FRAME TO REMAIN
1	PLAN NOTES	
FEC-1	WALL MOUNTED 2-A FIRE EXTINGUISHER CABINET (CONFIRM FIRE EXTINGUISHER TYPE WITH LOCAL FIRE DEPARTMENT PRIOR TO INSTALL)	
FE-1	WALL MOUNTED CLASS K EXTINGUISHER (CONFIRM FIRE EXTINGUISHER TYPE WITH LOCAL FIRE DEPARTMENT PRIOR TO INSTALL)	

NEW WORK KEYNOTES	
NEW WORK KEYNOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.	
NO.	DESCRIPTION
1	NEW THERMALLY BROKEN LOW-E PRE-FINISHED (BAKED ENAMEL) ALUMINUM STOREFRONT ASSEMBLY WITH 1" CLEAR INSULATED GLASS. PROVIDE TEMPERED SAFETY GLAZING
2	PREFINISHED METAL PANEL GLAZED INTO STOREFRONT WINDOW SYSTEM. FINISH & COLOR TO MATCH FRAME
3	NEW THERMALLY BROKEN PRE-FINISHED (BAKED ENAMEL) ALUMINUM TITANITE 2-PANEL DOOR. GLAZING TO BE 1" CLEAR INSULATED GLASS. PROVIDE TEMPERED SAFETY GLAZING
4	KITCHEN & SCULLERY DESIGN BY OTHERS. KITCHEN TO BE FULLY ACCESSIBLE & TO MEET LOCAL CODE REQUIREMENTS. PROVIDE ACCESSIBLE SINKS, OVENS, APPLIANCES, COOKTOPS, AND CONTROLS.
5	BAR DESIGN BY OTHERS. TO HAVE ADA ACCESSIBLE SEATING AS REQUIRED.

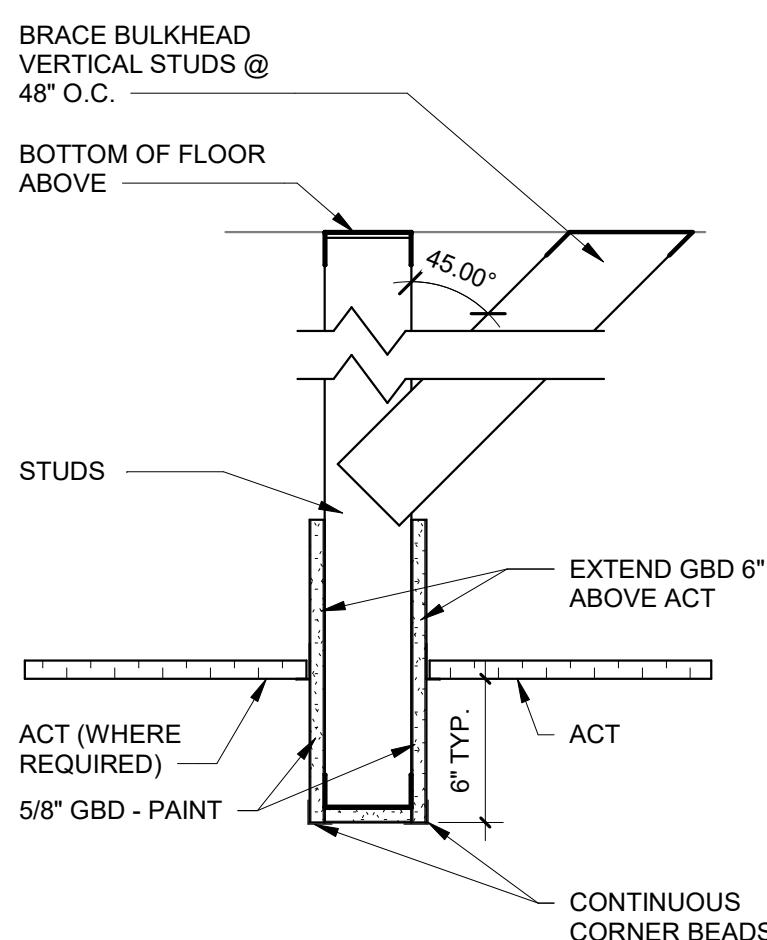

2 FINISH FLOOR PLAN
 3/16" = 1'-0"

NOTES:

1. GYP. BOARD SHALL BE TYPE "X".
2. CARPENTER TO INCLUDE SLIP TRACK @ ROOF TRUSSES FOR ALL FULL HEIGHT INTERIOR WALLS
3. CARPENTER TO PROVIDE FOR MOVEMENT AT PERIMETER ROOF WALL DRYWALL JUNCTIONS
4. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT WET/DAMP LOCATIONS
5. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON APPLIED WALL FINISHES
6. CARPENTER TO PROVIDE BLOCKING AS NEEDED FOR BATHROOM ACCESSORIES, FIRE EXTINGUISHER CABINS, ELECTRICAL PANELS, ETC.
7. PROVIDE CODE REQUIRED FIREBLOCKING AT CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING AT FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS VERTICALLY AT THE CEILING AND FLOOR LEVELS, AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. PER 2015 IBC SECTION 718.2.2
8. INSTALL FIREBLOCKING VERTICAL AND HORIZONTAL SPACES CREATED BY FLOOR JOISTS OR TRUSSES, AT SOFFITS, DROPPED CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS. PER 2015 IBC SECTION 718.2.2
9. ALL DIMENSION STRINGS ARE TO FINISH FACE OF WALL, UNLESS NOTED OTHERWISE
10. LOCATE NEAREST FACE OF ALL DOOR JAMBS 4' FROM ADJACENT PERPENDICULAR WALL, TYP. UNLESS NOTED OTHERWISE


WALL TYPES

1 BASEMENT FLOOR PLAN
 3/16" = 1'-0"

LIGHTING FIXTURE SCHEDULE				
TYPE	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
A	2X4 LED INDIRECT LAY-IN	COOPER	24CZSCT3-UNV	
AE	2X4 LED INDIRECT LAY-IN EMERGENCY	COOPER	24CZSCT3-UNV	PROVIDE EMERGENCY BACK UP OPTION
B	2X2 LED INDIRECT LAY-IN	COOPER	24CZSCT3-UNV	
BE	2X2 LED INDIRECT LAY-IN EMERGENCY	COOPER	24CZSCT3-UNV	PROVIDE EMERGENCY BACK UP OPTION
C	6" ROUND RECESSED LED	COOPER	HC6	



GENERAL CEILING NOTES:

1. EXPOSED TO STRUCTURE WHERE NO CEILING MATERIAL IS SPECIFIED
2. REFER TO ROOM FINISH SCHEDULE FOR CEILING MATERIALS AND FINISHES
3. MINIMUM SIZE FOR PERIMETER CEILING TILES SHALL NOT BE LESS THAN 6" IN ALL DIRECTIONS
4. COORDINATE DIMMABLE LIGHTING LOCATIONS WITH OWNER

ELECTRICAL NOTES

ELECTRICAL CONTRACTOR RESPONSIBLE FOR CODE COMPLIANT (IBC 1008) EXIT LIGHTING INCLUDING DIRECTIONAL EXIT LIGHTS - A SET OF COMPLETE EXIT LIGHTING BY ELECTRICAL CONTRACTOR TO REMAIN ON SITE DURING CONSTRUCTION

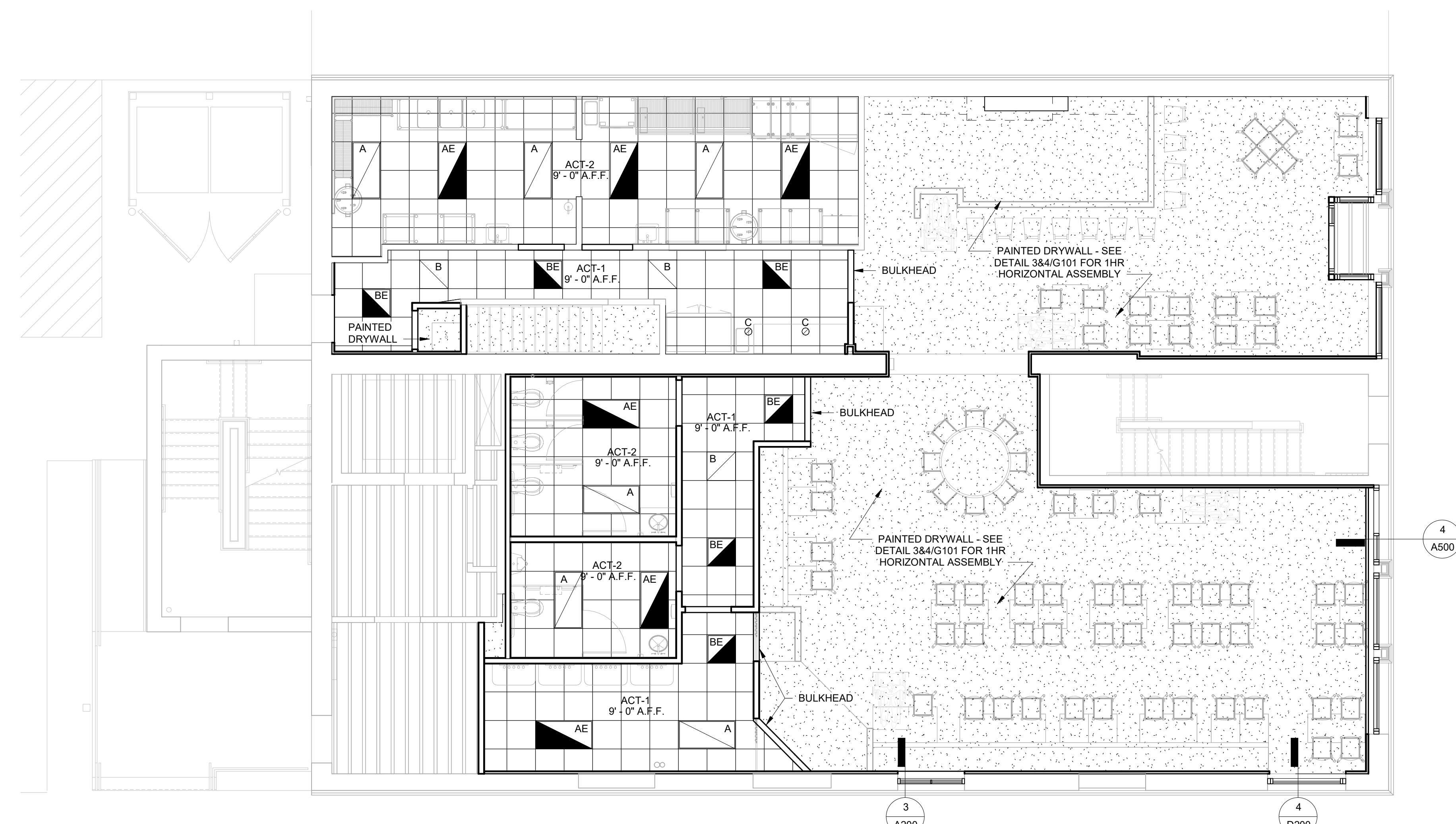
LIGHTING FIXTURES SHOWN ARE ON THE PLAN TO COMMUNICATE THE DESIGN INTENT ONLY. ELECTRICAL DESIGN/BUILD CONTRACTOR SHALL PROVIDE INTERIOR SPACE PHOTOMETRIC FOR APPROVAL OF LIGHTING FIXTURES AND LIGHTING LEVELS. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE FIXTURES AND LAMPS TO MEET THE FOLLOWING MINIMUM DESIGN LIGHT LEVELS:

DINING TABLES 10-20 FC
KITCHEN AREAS 50-100 FC
OFFICE 75 FC
CORRIDOR 30 FC
TOILET 20-30 FC
GENERAL LIGHTING 30-50 FC

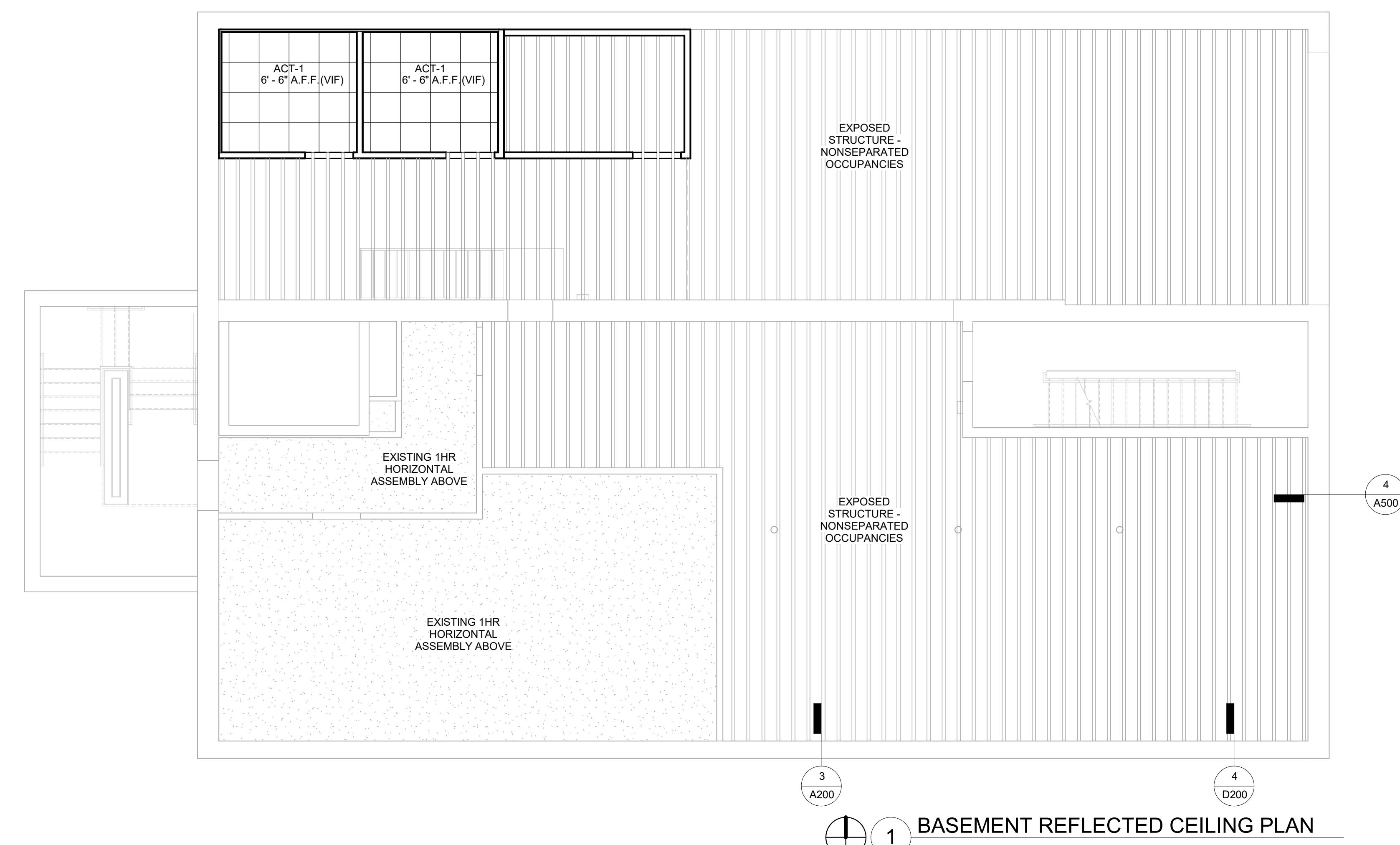
TYPICAL BULKHEAD SECTION DETAIL

3

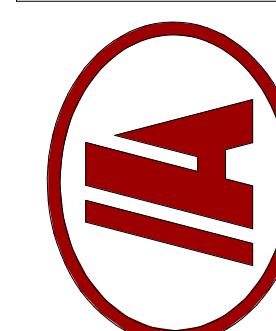
1 1/2" = 1'-0"



2 FIRST FLOOR REFLECTED CEILING PLAN
3/16" = 1'-0"



1 BASEMENT REFLECTED CEILING PLAN
3/16" = 1'-0"



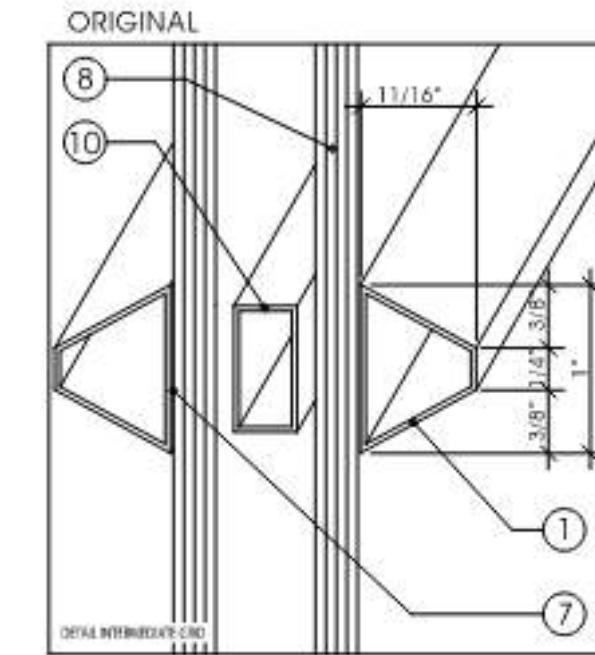
HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT
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REFLECTED CEILING PLAN

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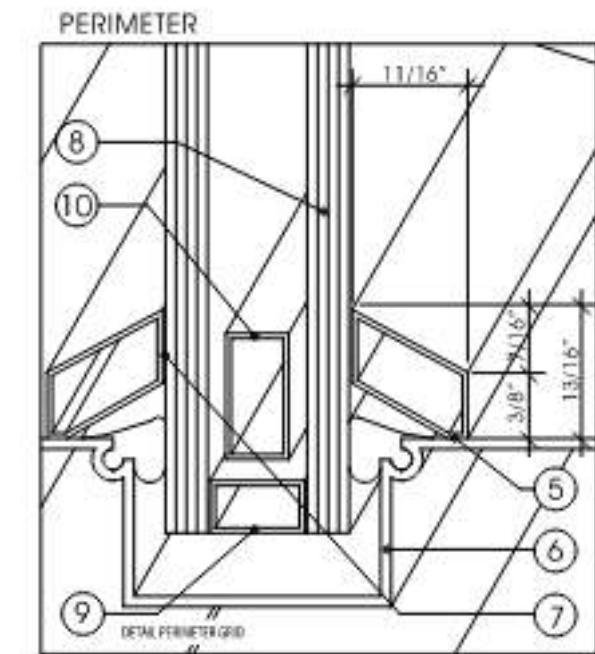
A111

NEW WORK KEYNOTES	
NEW WORK KEYNOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.	
NO.	DESCRIPTION
1	NEW THERMALLY BROKEN LOW-E PRE-FINISHED (BAKED ENAMEL) ALUMINUM STOREFRONT ASSEMBLY WITH 1" CLEAR INSULATED GLASS. PROVIDE TEMPERED SAFETY GLAZING.
2	PREFINISHED METAL PANEL GLAZED INTO STOREFRONT WINDOW SYSTEM. FINISH & COLOR TO MATCH FRAME.
3	NEW THERMALLY BROKEN PRE-FINISHED (BAKED ENAMEL) ALUMINUM 2-PANEL DOOR. GLAZING TO BE CLEAR INSULATED GLASS. PROVIDE TEMPERED SAFETY GLAZING.
4	KITCHEN & SOUTHERY DESIGN BY OTHERS. KITCHEN TO BE FULLY ACCESSIBLE & TO MEET LOCAL CODE REQUIREMENTS. PROVIDE ACCESSIBLE SINKS, OVENS, APPLIANCES, COOKTOPS, AND CONTROLS.
5	BAR DESIGN BY OTHERS. TO HAVE ADA ACCESSIBLE SEATING AS REQUIRED.



5 MUNTIN

3" = 1'-0"

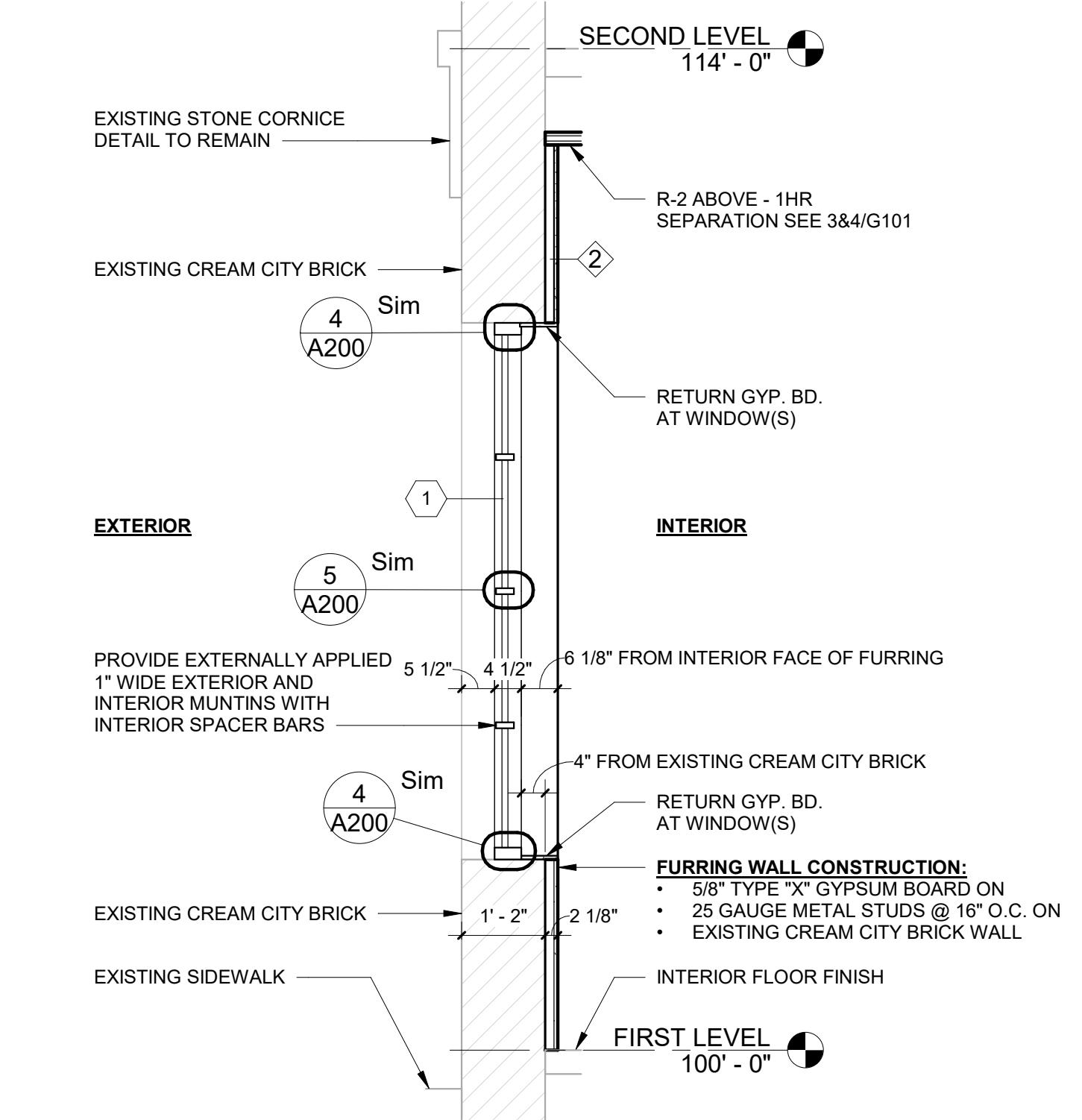


4 PERIMETER FRAME

3" = 1'-0"

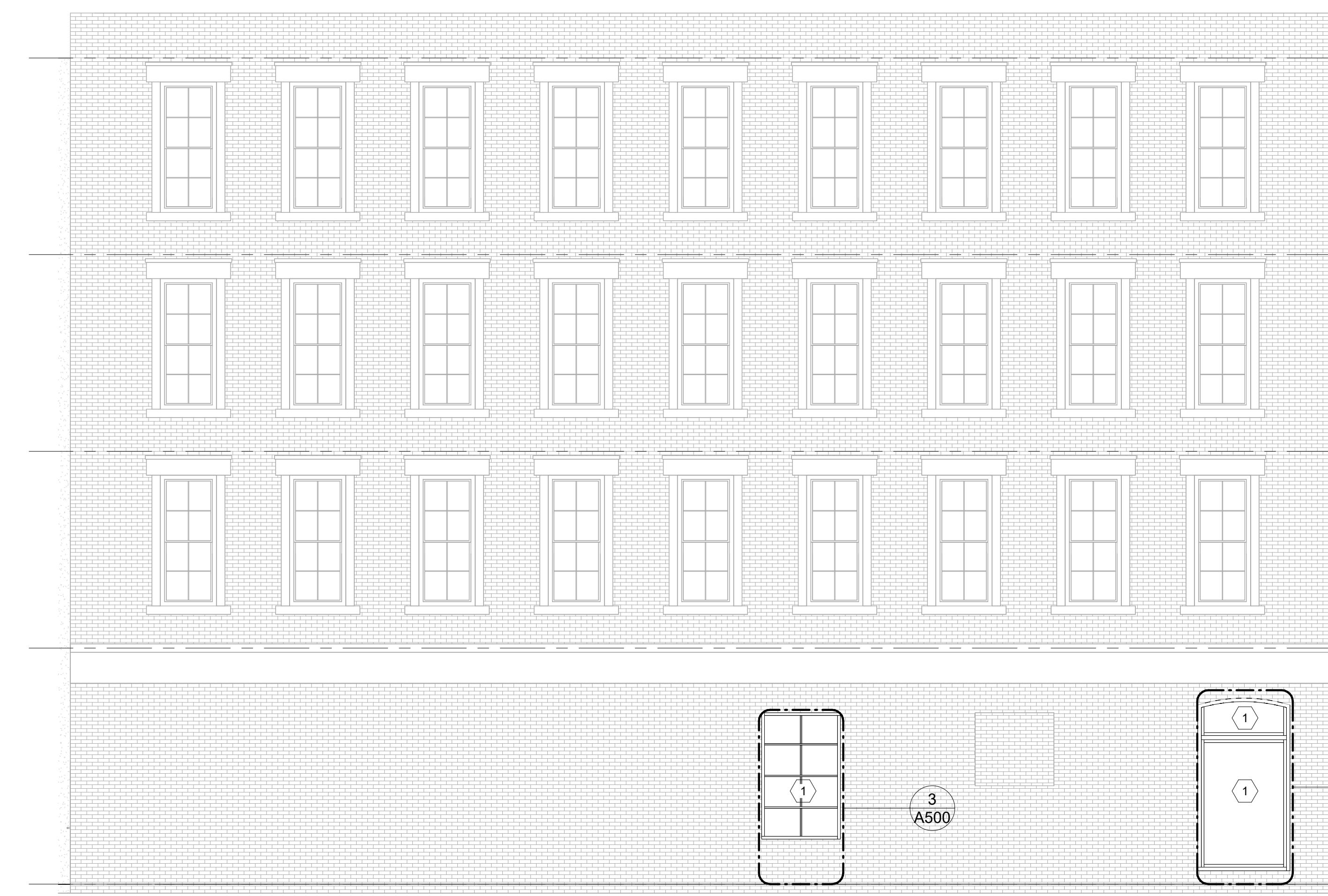
- ① INTERMEDIATE "ORIGINAL" ZIPPY GRID
- ② INTERMEDIATE "TRADITIONAL" ZIPPY GRID
- ③ INTERMEDIATE "IL PRESIDENTE" ZIPPY GRID
- ④ INTERMEDIATE "GENERALISIMO" ZIPPY GRID
- ⑤ PERIMETER ZIPPY GRID
- ⑥ STANDARD 2 x 4 STOREFRONT
- ⑦ GLAZING TAPE
- ⑧ GLASS
- ⑨ DESCANT STRIP BY GLAZIER
- ⑩ 3/8" x 3/4", 1" INNER GRID BY GLAZIER (GLAZIER TO MATCH COLOR OF STOREFRONT)

ZIPPY GRID SHOWN INSTALLED WITH STOCK ALUMINUM STOREFRONT [FULL SCALE]



3 WINDOW SECTION

1/2" = 1'-0"

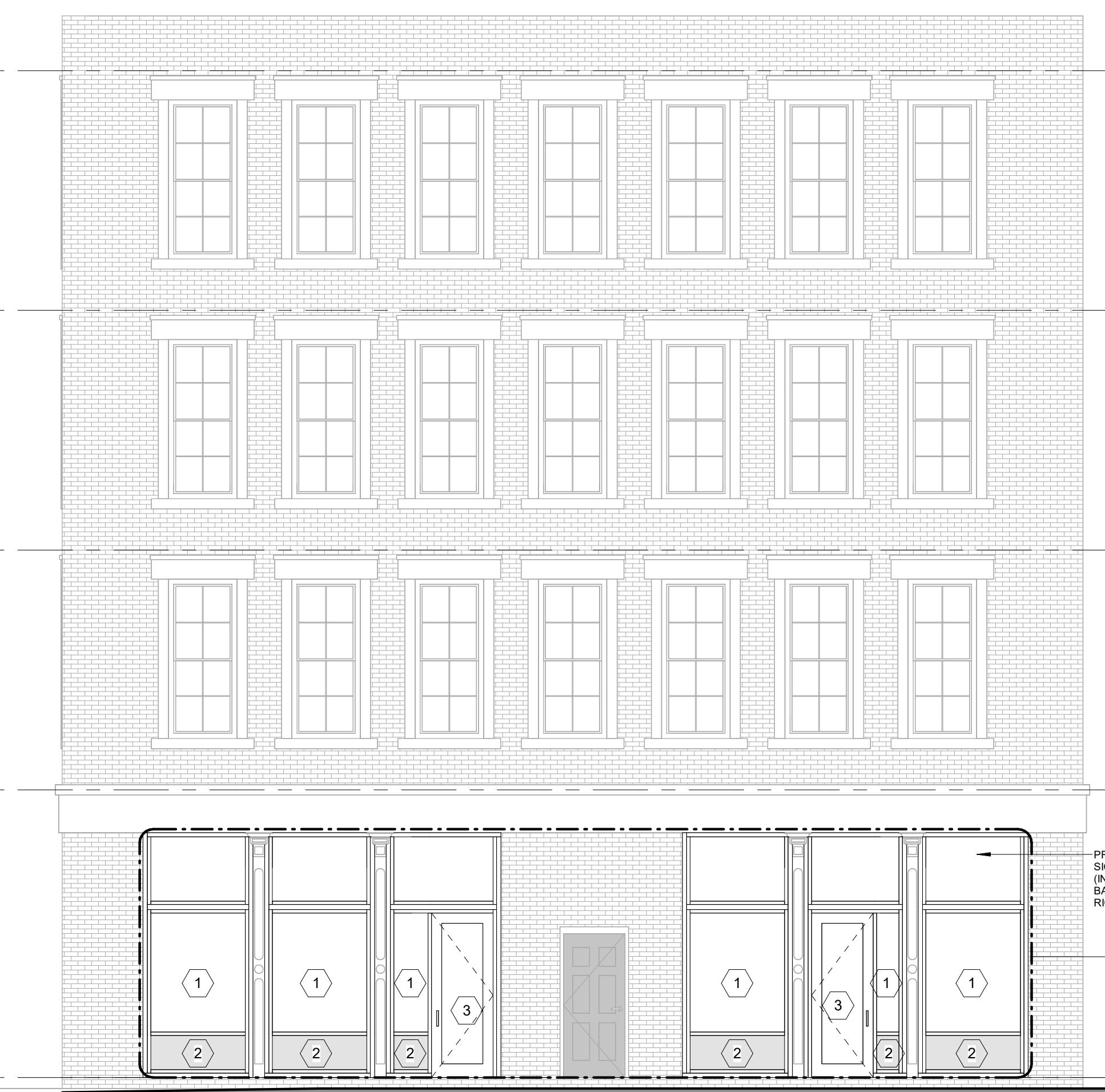


2 SOUTH ELEVATION - NEW WORK



HAMBURGER MARY'S PARTIAL
BUILDING ALTERATION & BUILDOUT

235 S 2ND ST, MILWAUKEE, WI 53204



1 EAST ELEVATION - NEW WORK

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EXTERIOR ELEVATIONS	-

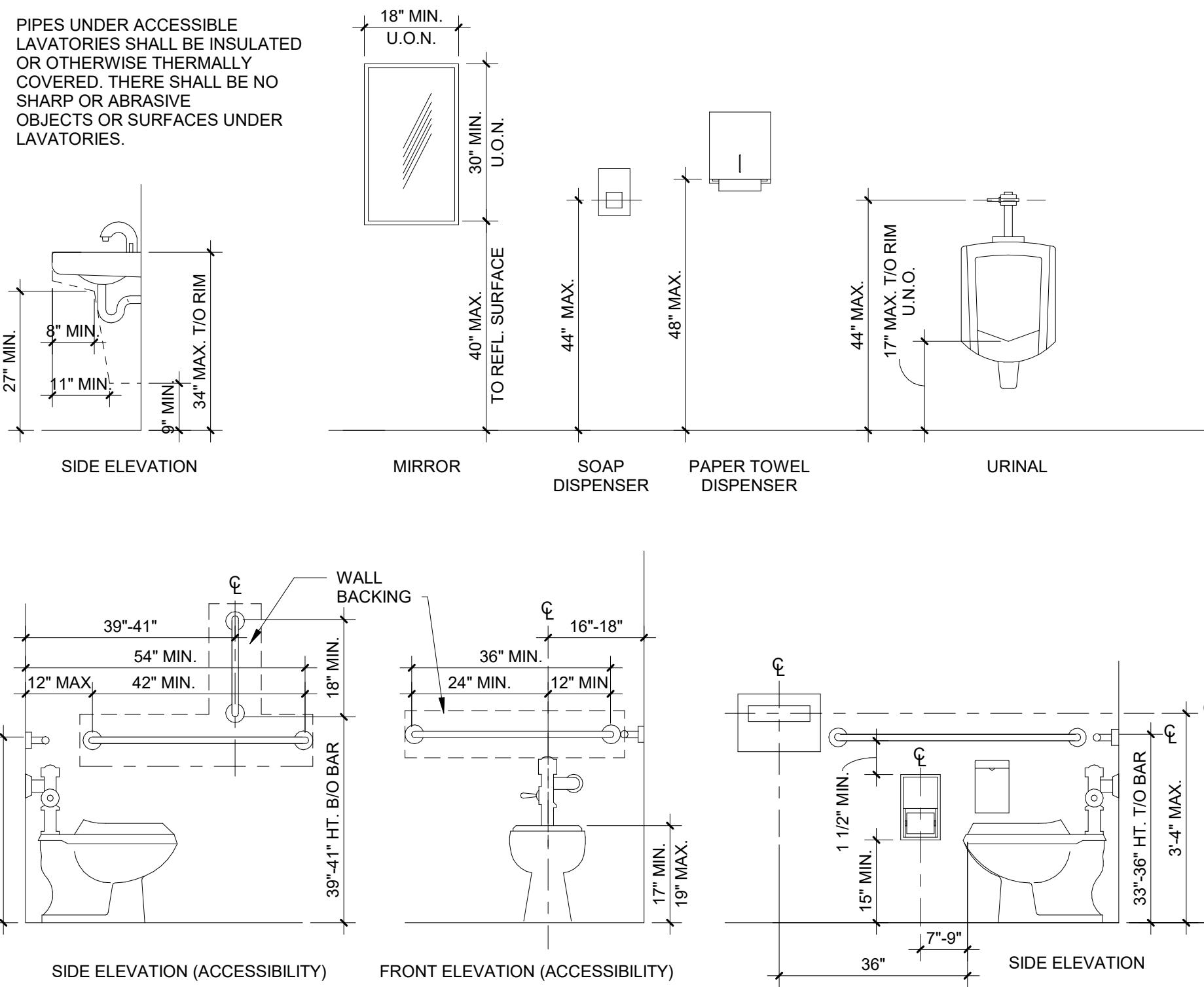
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A200

SHEET SIZE 24x36

ADA ACCESSIBILITY REQUIREMENTS

PIPES UNDER ACCESSIBLE LAVATORIES SHALL BE INSULATED OR OTHERWISE THERMALLY COVERED. THERE SHALL BE NO SHARP OR ABRASIVE OBJECTS OR SURFACES UNDER LAVATORIES.



TOILET ROOMS SHALL CONFORM TO ALL
ACCESSIBILITY REQUIREMENTS AND THE
PLUMBING CODE INCLUDING BUT NOT LIMITED TO
THE FOLLOWING:

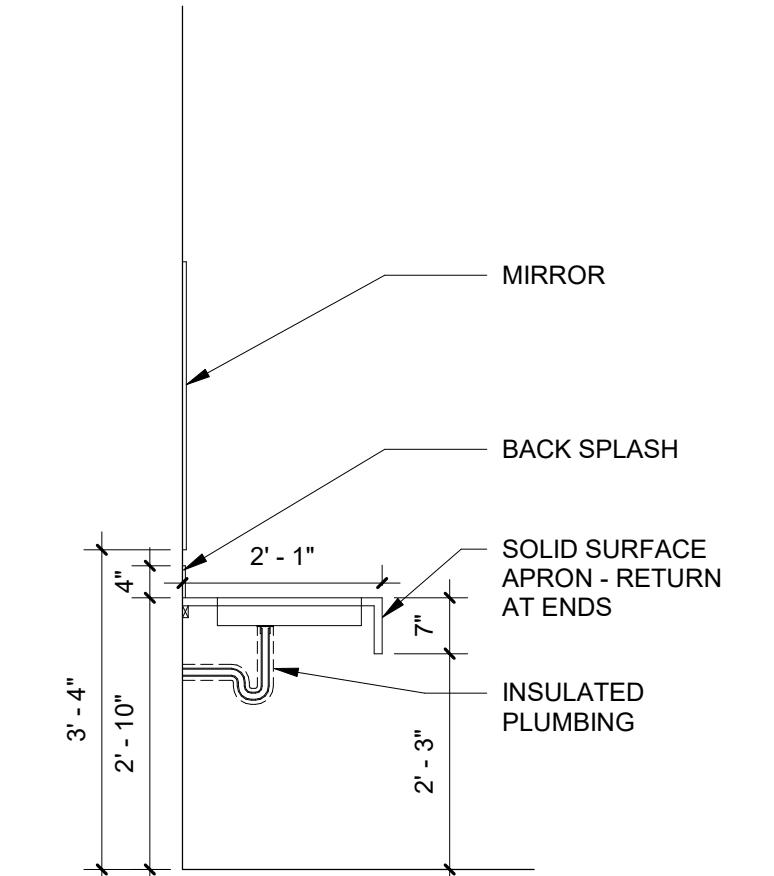
1. WATER CLOSET SEAT HEIGHT - 17" TO 19" A.F.F.
2. CENTERLINE OF WATER CLOSET - 18" FROM SIDEWALL
3. GRAB BAR BEHIND WATER CLOSET - 36" LONG - 33-36" A.F.F.
4. GRAB BAR DIAMETER - 1-1/2"
5. GRAB BAR AT SIDE OF WATER CLOSET - 42" LONG, 33" TO 36" A.F.F.
6. SPACE BETWEEN GRAB BAR AND WALL - 1-1/2"
7. KNEE CLEARANCE AT LAVATORY - 27" MIN HEIGHT, 8" MIN . DEPTH
8. LAVATORY DEPTH - 17" MIN
9. LAVATORY DRAIN AND HOT WATER PIPES - INSULATED WHEN EXPOSED.
10. LAVATORY RIM SURFACE - MAX. 34"A.F.F.
11. MIRROR BOTTOM EDGE - 40 A.F.F. MAX
12. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE MOUNTED ON THE EXTERIOR OF THE TOILET ROOM DOOR INCLUDING APPROVED BRAILLE SIGNAGE.
13. ALL NEW DOOR HARDWARE SHALL BE LEVER TYPE.
14. SANITARY NAPKIN - 17" TO 19" A.F.F.
15. PAPER TOWEL DISPENSER 40" A.F.F. MAX
16. ROLL TYPE TISSUE MAX. PROJECTION OF 3"
17. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET

ITEM #	Type Mark	Description	Manufacturer	Model	Type Comments
	LAV-1	WHITE ADA DROP IN OVAL LAVATORY W/ TWO-HANDLE FAUCET & ADA PIPE WRAPS	TBD	TBD	
	UR-1	WALL MOUNTED URINAL	TBD	TBD	
	WC-1	FLOOR MOUNTED TOILET	ZURN INDUSTRIES, LLC	Z5645-BWL1	PROVIDE ZER6000AV-CPM SENSOR FLUSH VALVE (OR APPROVED EQUAL)

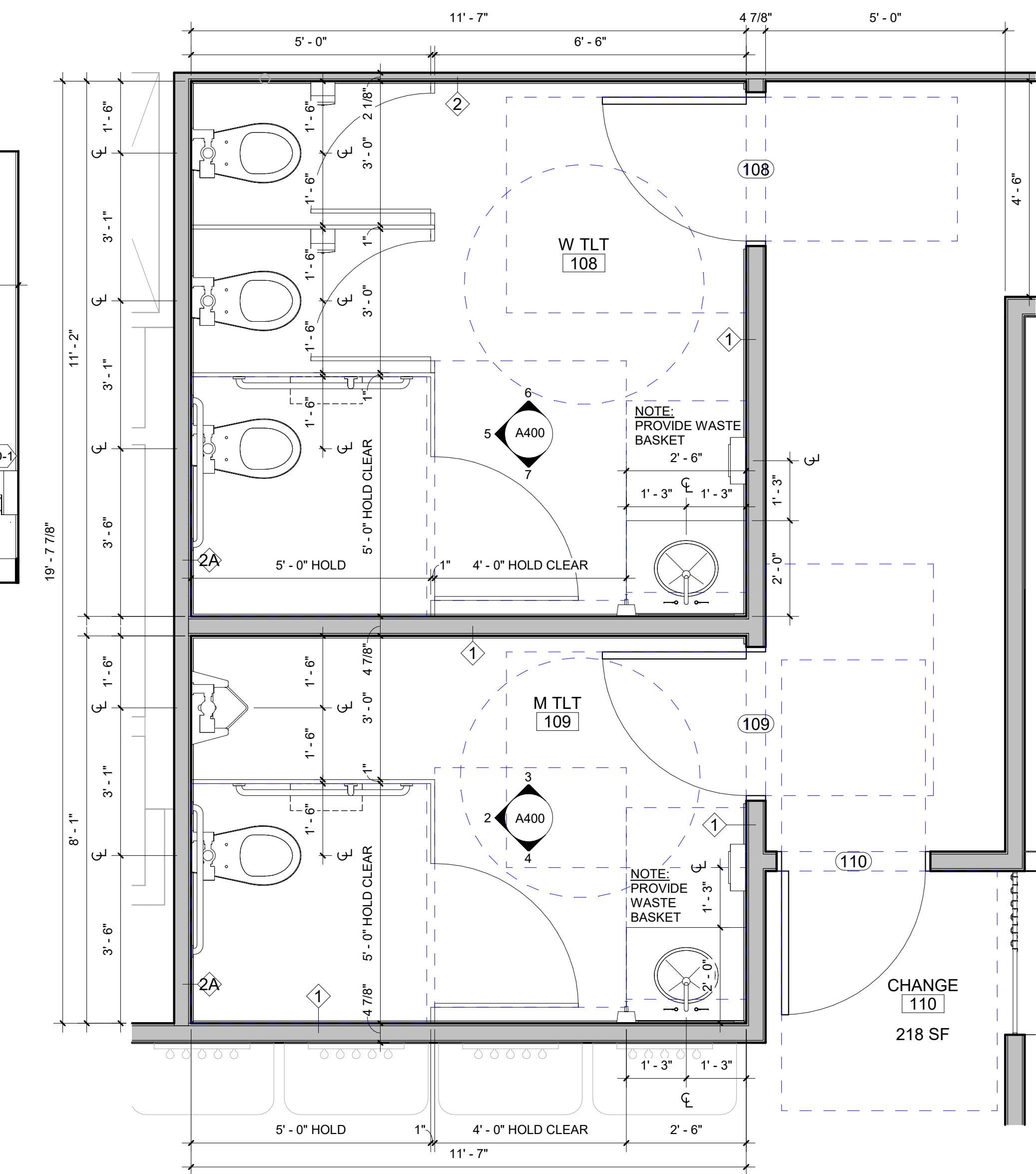
TOILET ROOM ACCESSORY SCHEDULE

TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	TYPE COMMENTS
GB-1	42" GRAB BAR	BOBRICK	B-6806.99x42	GRAB BAR (1 1/2" O.D. X 42" LONG): 36" A.F.F. TO CENTERLINE AND 12" FROM REAR WALL
GB-2	18" GRAB BAR	BOBRICK	B-6806.99x18	GRAB BAR (1 1/2" O.D. X 18" LONG): 40" A.F.F. TO BOTTOM END CENTERLINE AND 40" FROM REAR WALL TO CENTERLINE
GB-3	36" GRAB BAR	BOBRICK	B-6806.99x36	GRAB BAR (1 1/2" O.D. X 36" LONG): 36" A.F.F. TO CENTERLINE AND 6" FROM SIDE WALL
M-1	24x36 MIRROR	TBD	TBD	FRAMELESS
PD-1	ACCESSIBLE PARTITION DIVIDER - PAINTED STAINLESS STEEL (PROVIDE BLOCKING AS REQUIRED)	TBD	TBD	
PD-2	PARTITION DIVIDER - PAINTED STAINLESS STEEL (PROVIDE BLOCKING AS REQUIRED)	TBD	TBD	
SD-1	SOAP DISPENSER	BOBRICK	B-40	
TD-1	FINO COLLECTION SURFACE MOUNTED PAPER TOWEL DISPENSER	BOBRICK	B-9262	
TPD-1	TOILET PAPER DISPENSER	BOBRICK	B-4288	

REVISIONS



8 LAVATORY APRON DETAIL
1/2" = 1'-0"



 1 ENLARGED RESTROOM PLAN
1/2" = 1'-0"

ANDERSON
ASHTON
DESIGN / BUILD

HAMBURGER MARY'S PARTIAL BUILDING ALTERATION & BUILDOUT

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RESTROOM DETAILS

A400

A 100
