



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property

827 – 829 E. BRADY ST. Brady Street Historic District

Description of work

The property at 827-829 East Brady Street consists of a small retail building (formerly Peccoraro's) and a residential building. The buildings will be rehabilitated to maintain their historic appearance. The proposed work will include the following:

New wood windows will replace the current vinyl ones

The commercial storefront will be rebuilt with a new wood storefront featuring one large pane of clear, low-e glass and transom. A new full-lite door will be installed.

The commercial building's flat roof will be re-sheathed with new EPDM and feature a wood deck that will be hidden by the parapet wall. On the rear elevation, a small existing window will be infilled and an existing opening under the rear windowsill of another window will be infilled.

The roof of the residential building will be resheathed in asphalt. The clay tile pent roof at the front will be retained. The front elevation of the residential unit will feature a new full-lite front door.

Date issued

9/8/2015

PTS ID 105376 COA

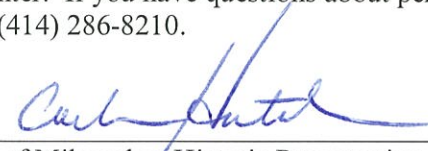
In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work to be carried out as per application.

NOTE: At the residential building, demolition of the rear concrete block addition, and the construction of new rear decks and spiral stairs will be reviewed by the full HPC.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Carlen Hatala of the Historic Preservation staff as follows: Phone: (414) 286-5722 Fax: (414) 286-3004 E-mail: chatal@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.



City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Contractor , Inspector Peter Schwartz (286-2537)

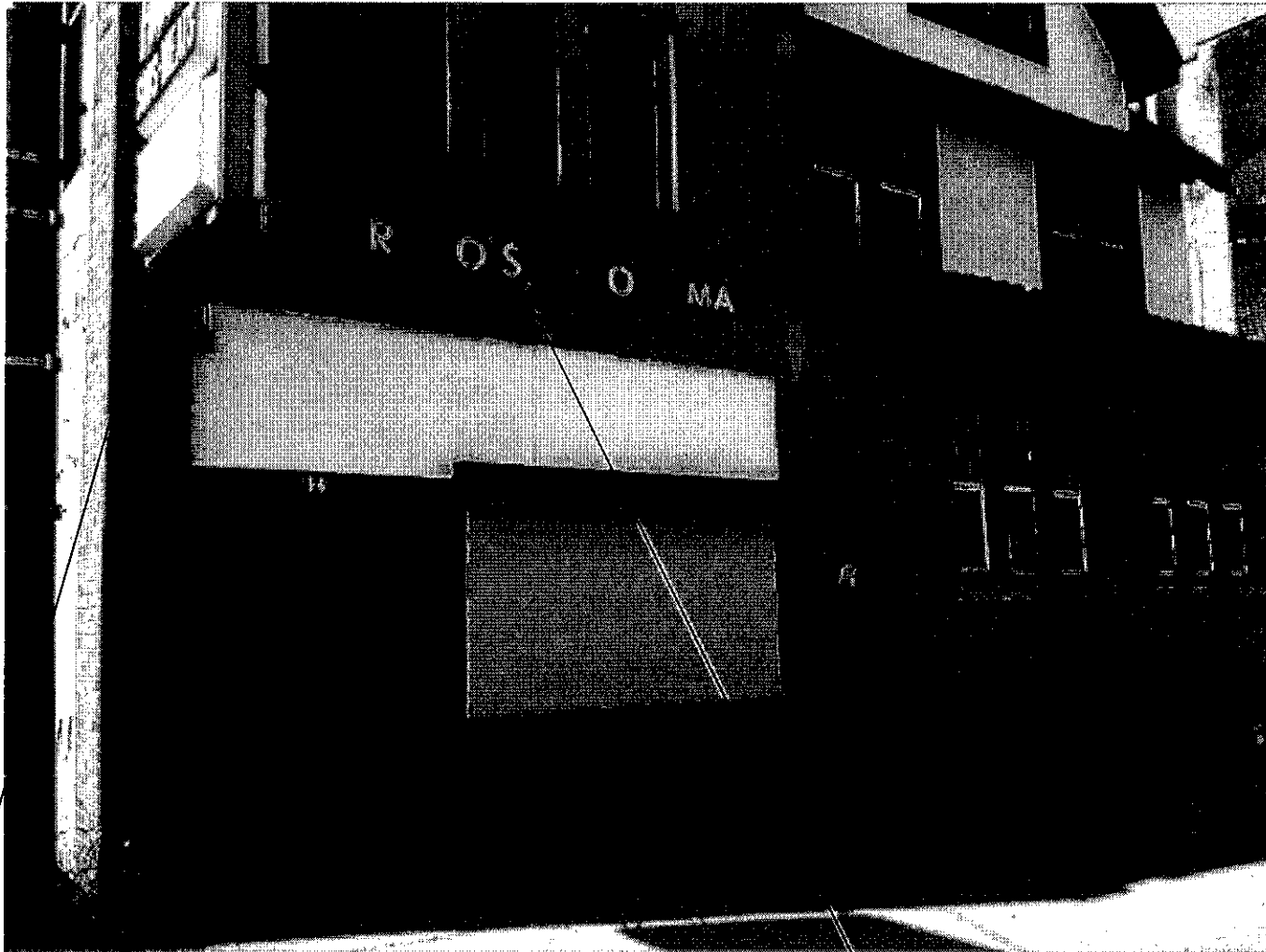


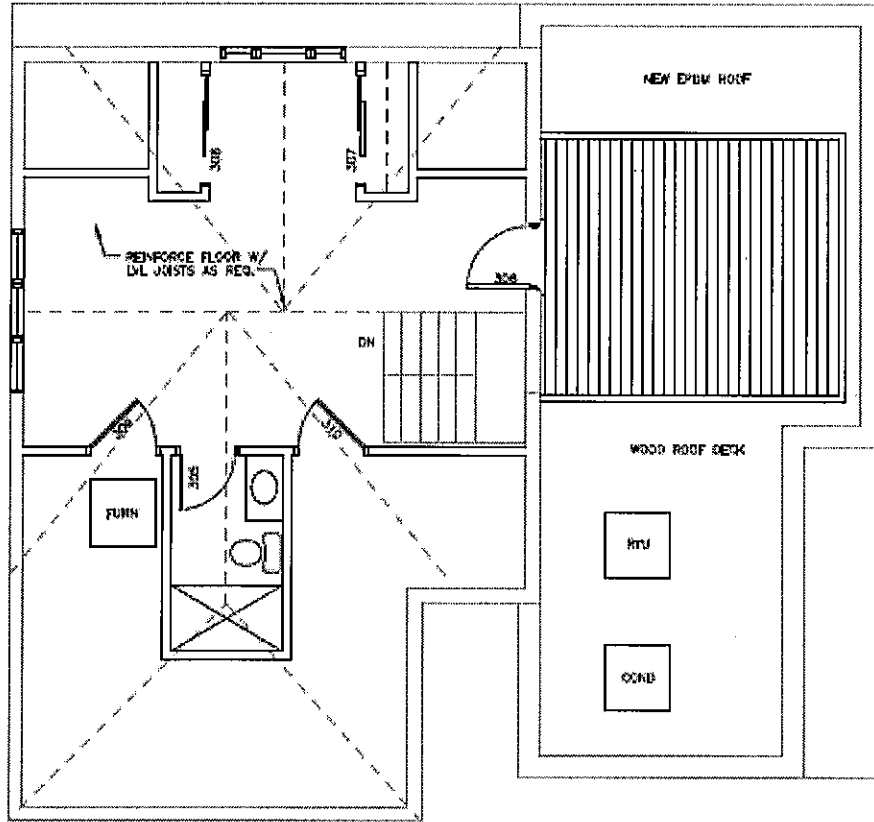
Photo from 2013. Signage has since been removed.



Renovations include new wood windows, opening up storefront and transom, installing new full lite doors at store and apartment entrances.

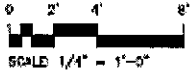


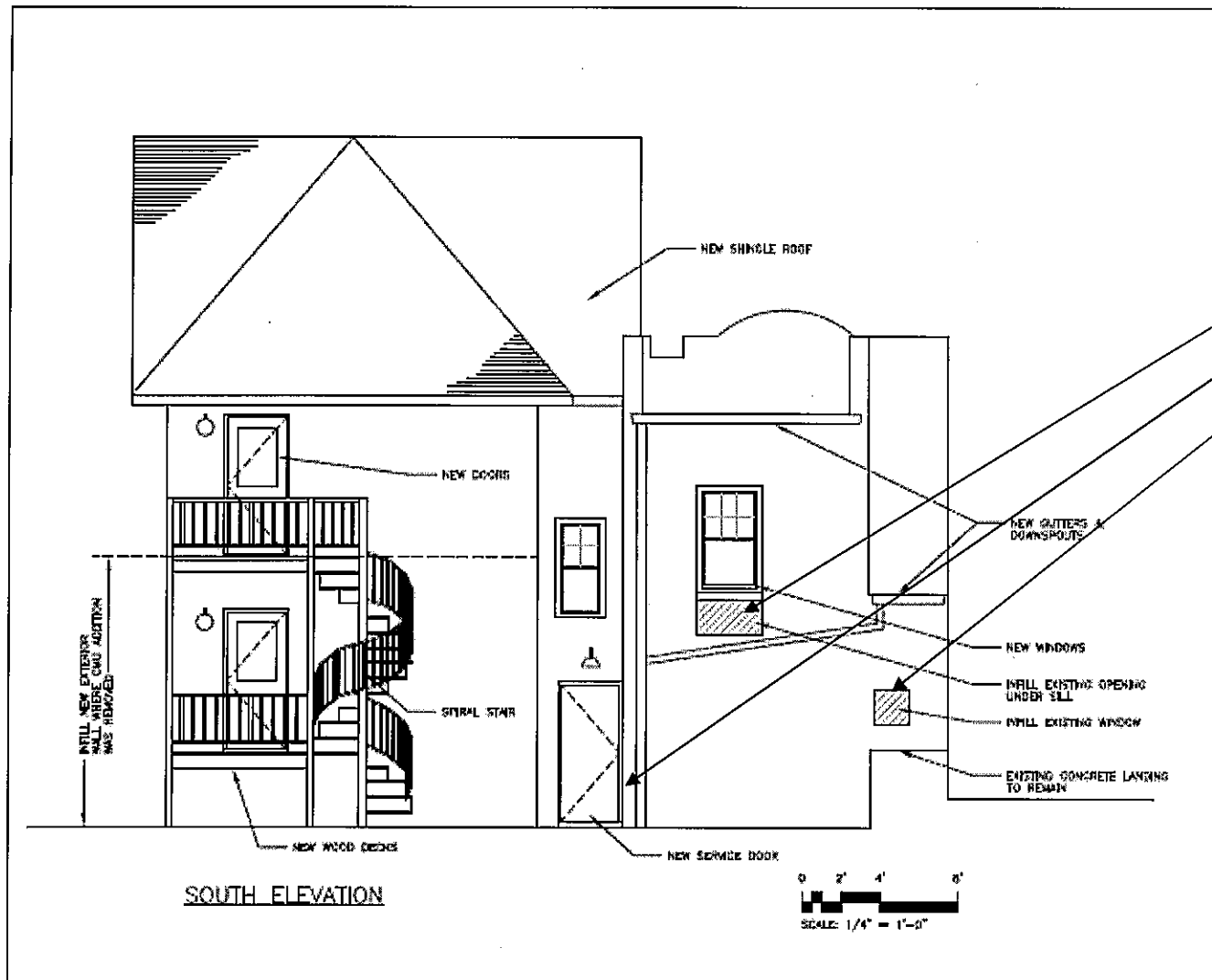
New asphalt shingle roof to be installed. Tile pent roof to remain.



New wood deck on rooftop will be screened by parapet wall.

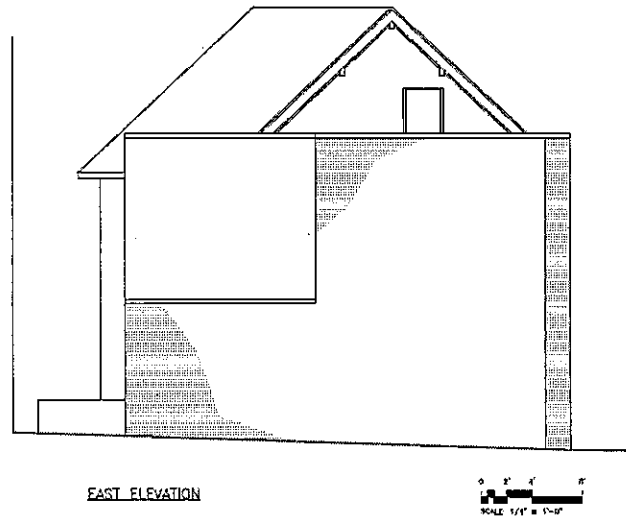
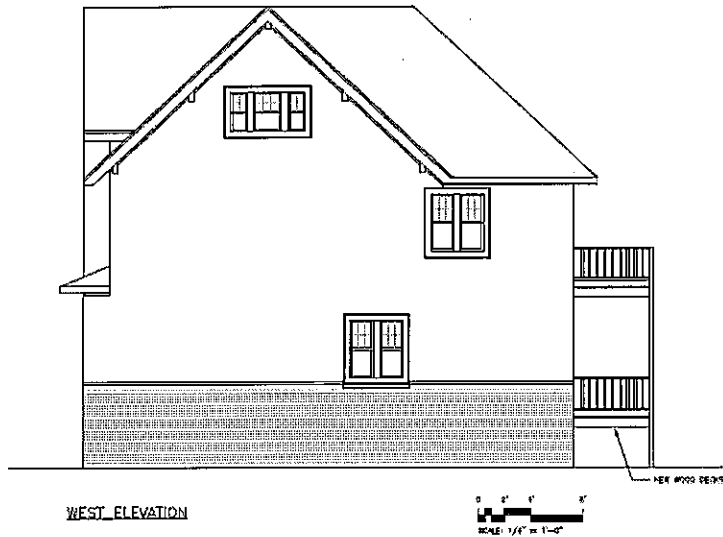
ATTIC FLOOR PLAN





Note: new service door, infill at opening below window and infill at small window

Rear decks and spiral stairs will be built after concrete block addition is removed. Removal of this addition and the construction of the porches will go before the HPC for approval.



East and west elevations to remain the same with the exception of new windows