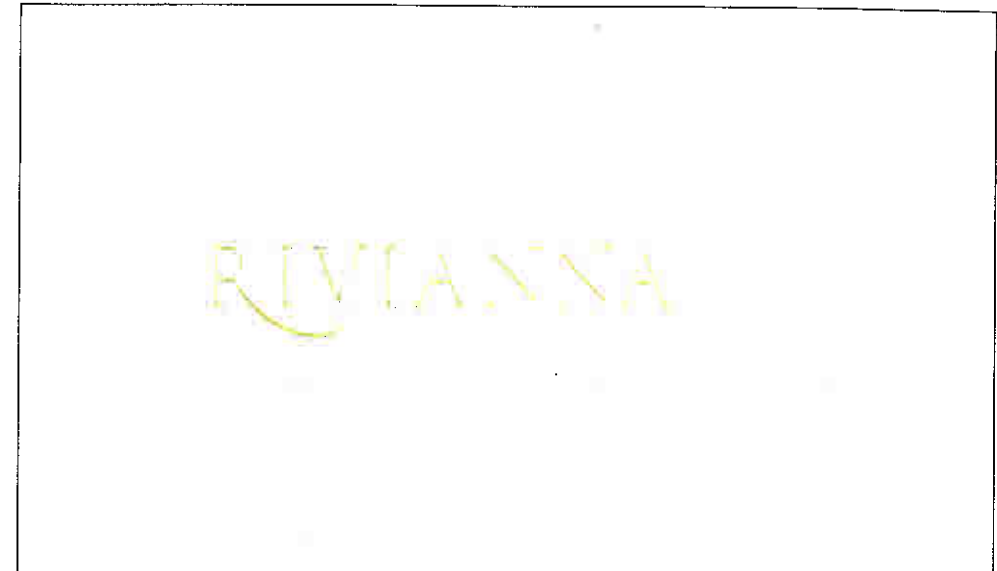


EXHIBIT A (Cont.)

Rivianna - 236 S. Water Street Milwaukee, WI

REVISED 6-26-07-

GENERAL PLANNED DEVELOPMENT



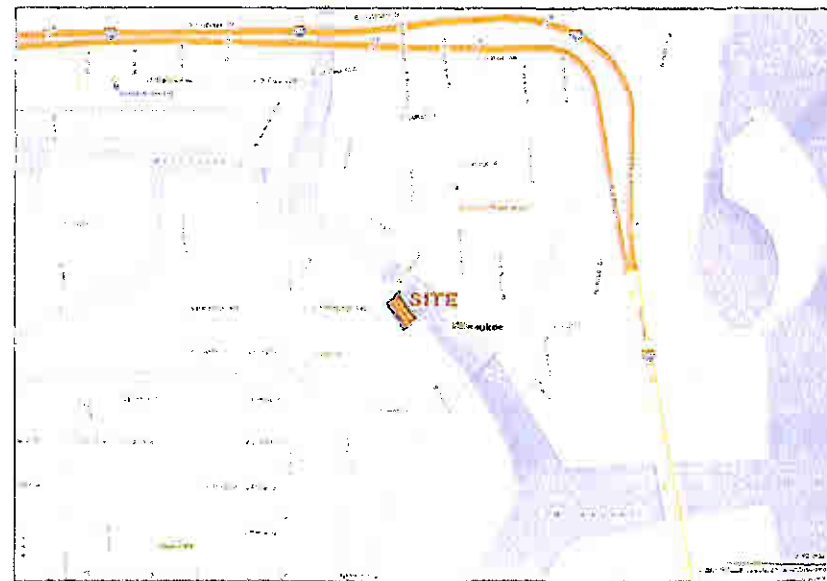
230-260-290 SOUTH WATER STREET MILWAUKEE, WISCONSIN 53204

PROJECT TEAM

DEVELOPER	THE RIVIANNA GROUP, LLC 544 E Ogden Ave. Suite 700-301 Milwaukee, WI 53202 P. 414-434-0948 F. 262-436-1762
LEAD ARCHITECT	3RD COAST DESIGN CONCEPTS, LLC 544 E Ogden Ave. Suite 700-301 Milwaukee, WI 53202 P. 414-434-0948 F. 262-436-1762
DESIGN CONSULTANT	LANDSCAPE ARCHITECTS, INC. 788 N Jefferson St. Suite 710 Milwaukee, WI 53202 P. 414-224-1030 F. 414-224-8070
CIVIL ENGINEER/ SURVEYOR	CJ ENGINEERING, LLC 13005 W. Bluemound Rd. Suite 250 Brookfield, WI 53005 P. 262-641-2848 F. 262-641-2871
LANDSCAPE ARCHITECT	LANDSCAPE ARCHITECTS, INC. 788 N Jefferson St. Suite 710 Milwaukee, WI 53202 P. 414-224-1030 F. 414-224-8070
GENERAL CONTRACTOR	VJS CONSTRUCTION SERVICES, INC. W233 N2847 Roundy Circle West Pewaukee, WI 53072 P. 262-542-9000 F. 262-542-1371

SHEET INDEX REV. 6-26-07

TITLE SHEET	A5.0 COMMERCIAL SIGNAGE
C0.0 SITE SURVEY	
C1.0 SITE PLAN/ GROUND FLOOR PLAN	
C2.0 GRADING PLAN	
C&D UTILITY	
A0.0 MASSING CONCEPT	
A3.0 SECTIONS	
A4.0 DETAIL RENDERINGS	
A4.1 ARTIST RENDERINGS	

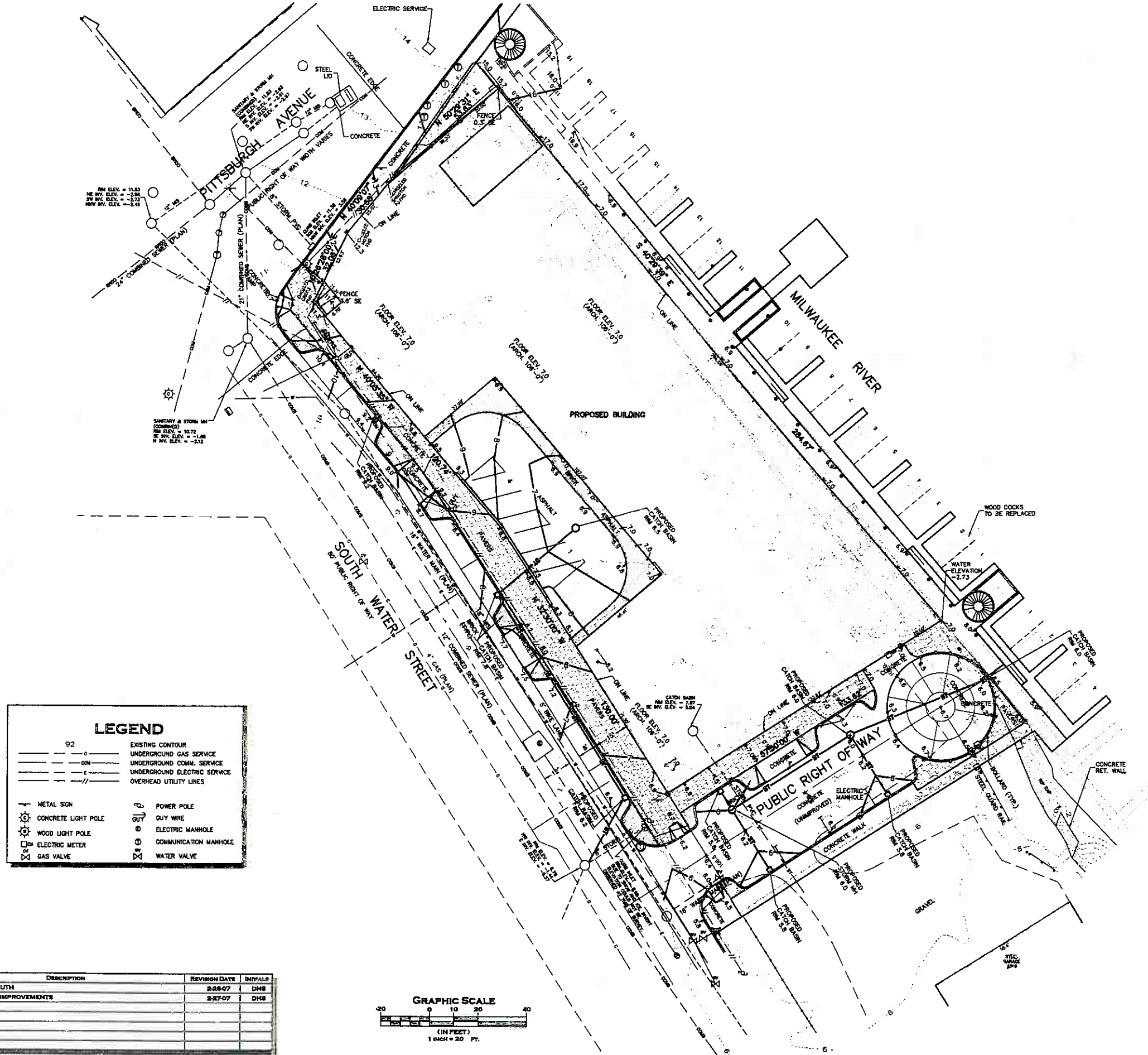


VICINITY MAP



SITE AERIAL

REV. 6-26-07



LEGAL DESCRIPTION
 THAT PART OF LOT 2 AND ALL OF LOTS 3, 4, 5, 6, AND 7 IN BLOCK 54, IN SUBDIVISION OF LOTS 3 AND 5 IN SECTION 33, IN TOWNSHIP 7 NORTH, RANGE 22 EAST LYING SOUTHWESTERLY OF THE SOUTHEASTERN LINE OF WEST PITTSBURGH AVENUE, EXCEPTING THEREFROM THAT PART DESCRIBED IN QUIT CLAIM DEED DATED MARCH 2, 1954, BETWEEN CHICAGO AND NORTHWESTERN RAILWAY COMPANY AND THE STATE OF WISCONSIN, BUT INCLUDING ALL SUBMERGED AND OTHER LANDS BETWEEN THE DOCK LINE OF THE MILWAUKEE RIVER AND SAID LOTS AND THOSE PORTIONS OF VACATED SOUTH WATER STREET APPERTAINING TO SAID PROPERTY, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

- NOTES**
1. SUBJECT PROPERTY ZONED: PD, SEE CITY FOR ZONING RESTRICTIONS.
 2. LEGAL DESCRIPTION FROM HERITAGE TITLE SERVICES, INC. LETTER REPORT FILE NO. ML-182381 AND PLAT OF SURVEY BY INTERLINE SURVEY SERVICE DATED 5/20/97.
 3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 4. PORTIONS OF SUBJECT PROPERTY ARE IN THE 100 YEAR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP - COMMUNITY PANEL #550278 0005 6, EFFECTIVE DATE MARCH 1, 1982.
 5. PROJECT BENCHMARK - S.W.R.P.C. BENCHMARK, HYDRANT AT NORTHWEST INTERSECTION OF E. MENOMONEE AND E. EARLE ST., FOUND CHISEL CROSS IN TOP OF S. SIDE HYDRANT FLANGE, ELEVATION: 13.02.
 6. SITE BENCHMARK - SANTARY MANHOLE RM IN THE INTERSECTION OF S. WATER ST. AND PITTSBURGH AVE. SOUTHWEST OF CONCRETE ISLAND, ELEVATION: 11.53.
 7. ELEVATIONS BASED ON INFORMATION FROM S.W.R.P.C. AND CITY OF MILWAUKEE AND ARE AT CITY OF MILWAUKEE DATUM.

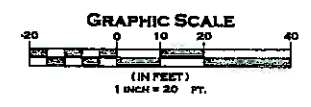
I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.
 THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.

FEBRUARY 5, 2007
 DATE
 MICHAEL J. BERRY, R.L.S.
 REGISTERED LAND SURVEYOR S-2545

LEGEND

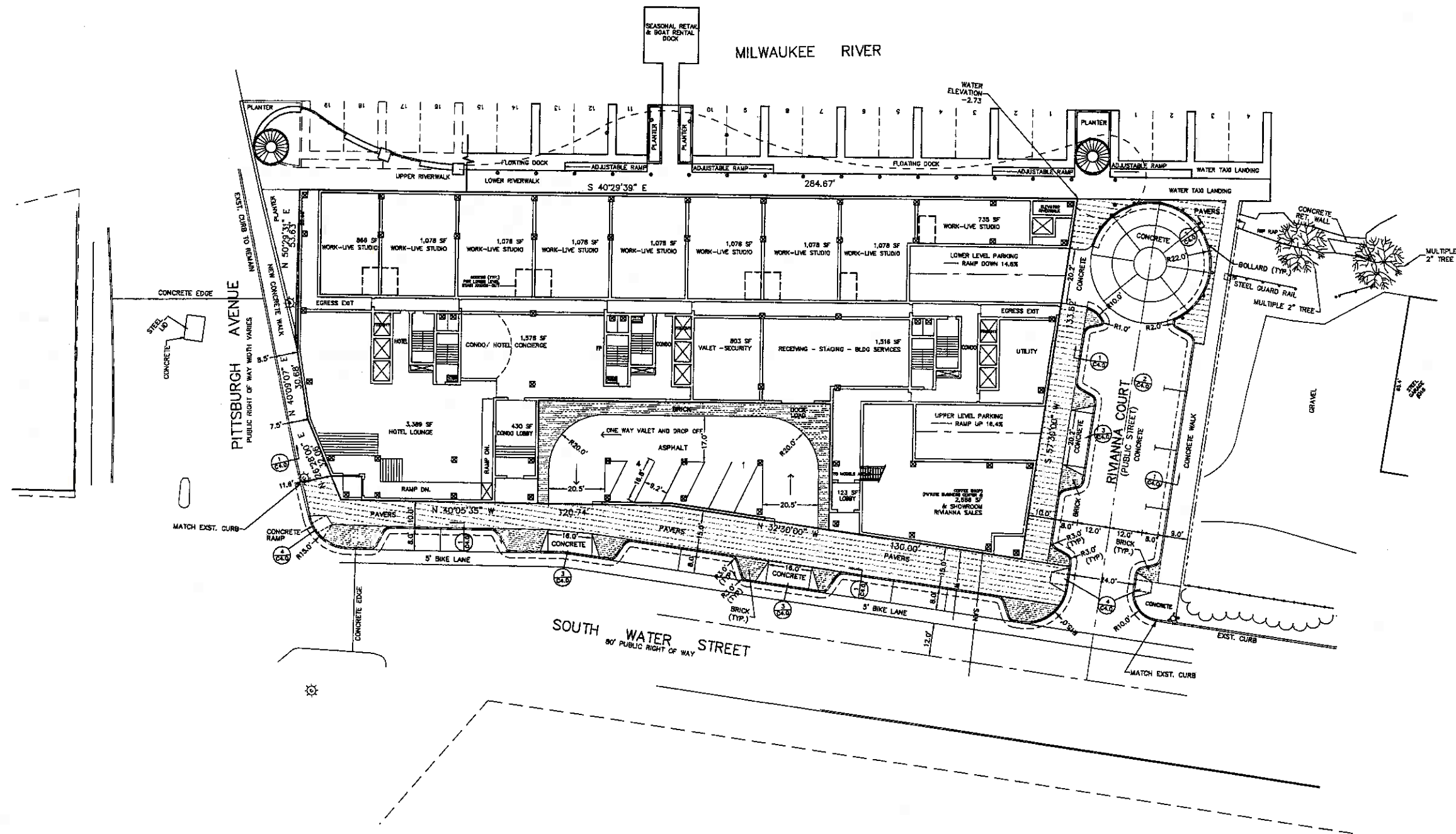
92	EXISTING CONTOUR	—	UNDERGROUND GAS SERVICE
—	UNDERGROUND COMM. SERVICE	—	UNDERGROUND ELECTRIC SERVICE
—	OVERHEAD UTILITY LINES	—	
METAL SIGN	POWER POLE	—	GLY WIRE
CONCRETE LIGHT POLE	ELECTRIC MANHOLE	—	COMMUNICATION MANHOLE
WOOD LIGHT POLE	WATER VALVE	—	
ELECTRIC METER		—	
GAS VALVE		—	

NO.	DESCRIPTION	REVISION DATE	INITIALS
1	ADD TOP TO SOUTH	2-26-07	DHS
2	ADD PROPOSED IMPROVEMENTS	2-27-07	DHS



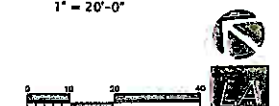
PLAT OF SURVEY
 FOR
C.J. ENGINEERING
 236 S. WATER ST.
 MILWAUKEE, WI.

DRAWN BY:	NJF	DATE:	2-5-07
CHECKED BY:	DHS	DRAWING NO.:	S07-011-2-P
CSE JOB NO.:	07-011	SHEET:	1 OF 1



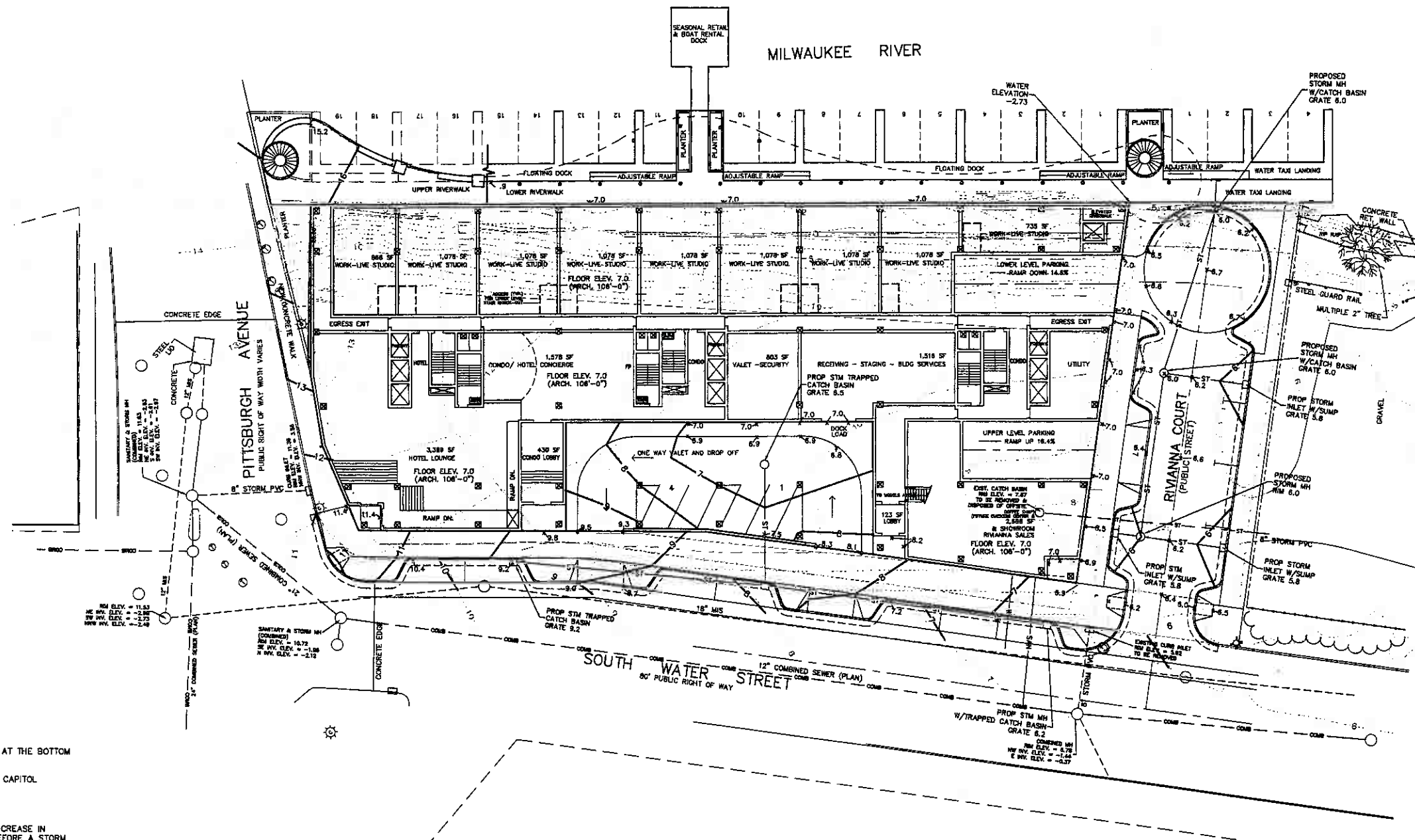
NOTES:
 1. FOR DETAILS, SEE SHEET C4.0, SITE DETAILS
 2. ALL EXISTING CONDITIONS ARE PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-03-07.

SITE PLAN
 1" = 20'-0"



REV. 6-26-07

CJ
engineering
 civil design and consulting
 13005 W. Bluemound Rd.
 Suite 250
 Brookfield, WI 53005
 PH. (262) 641-2848
 FAX (262) 641-2871
 www.cj-engineering.com



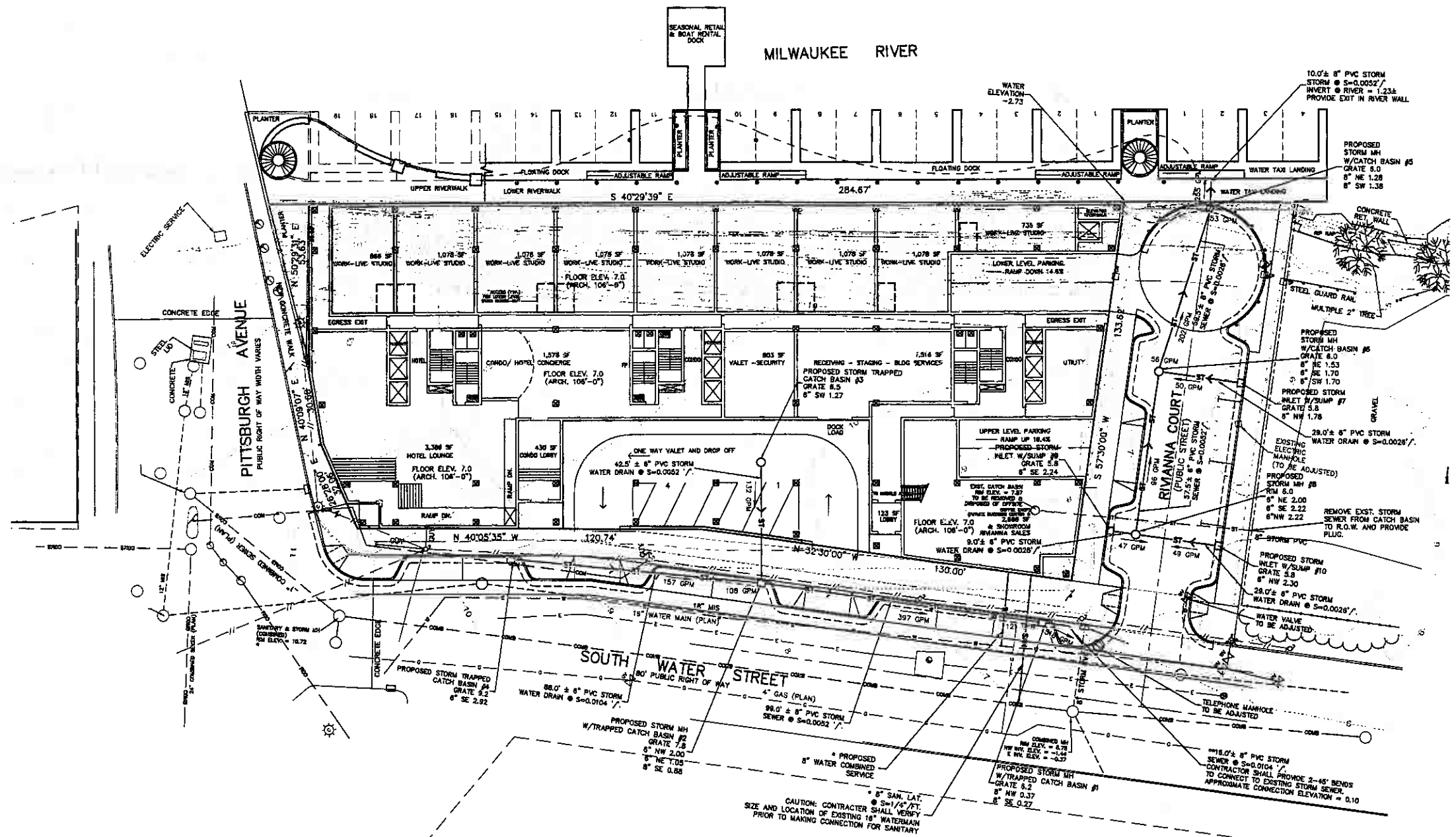
NOTES:

1. ALL PROPOSED GRADES ALONG THE CURB ARE AT THE BOTTOM OF THE CURB.
2. ALL EXISTING CONDITIONS PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-05-07.
3. STORM WATER MANAGEMENT REQUIREMENT:
 TOTAL SITE AREA EQUALS 0.74 ACRES. TOTAL INCREASE IN IMPERVIOUS SURFACE WILL BE 0.33 ACRES; THEREFORE A STORM WATER MANAGEMENT REPORT IS NOT REQUIRED PER 120-7-2 (2).



LEGEND	
12	EXISTING CONTOUR
10	PROPOSED CONTOUR
x 8.5	PROPOSED ELEVATION
ST	PROPOSED STORM SEWER

GRADING PLAN
 1" = 20'-0"



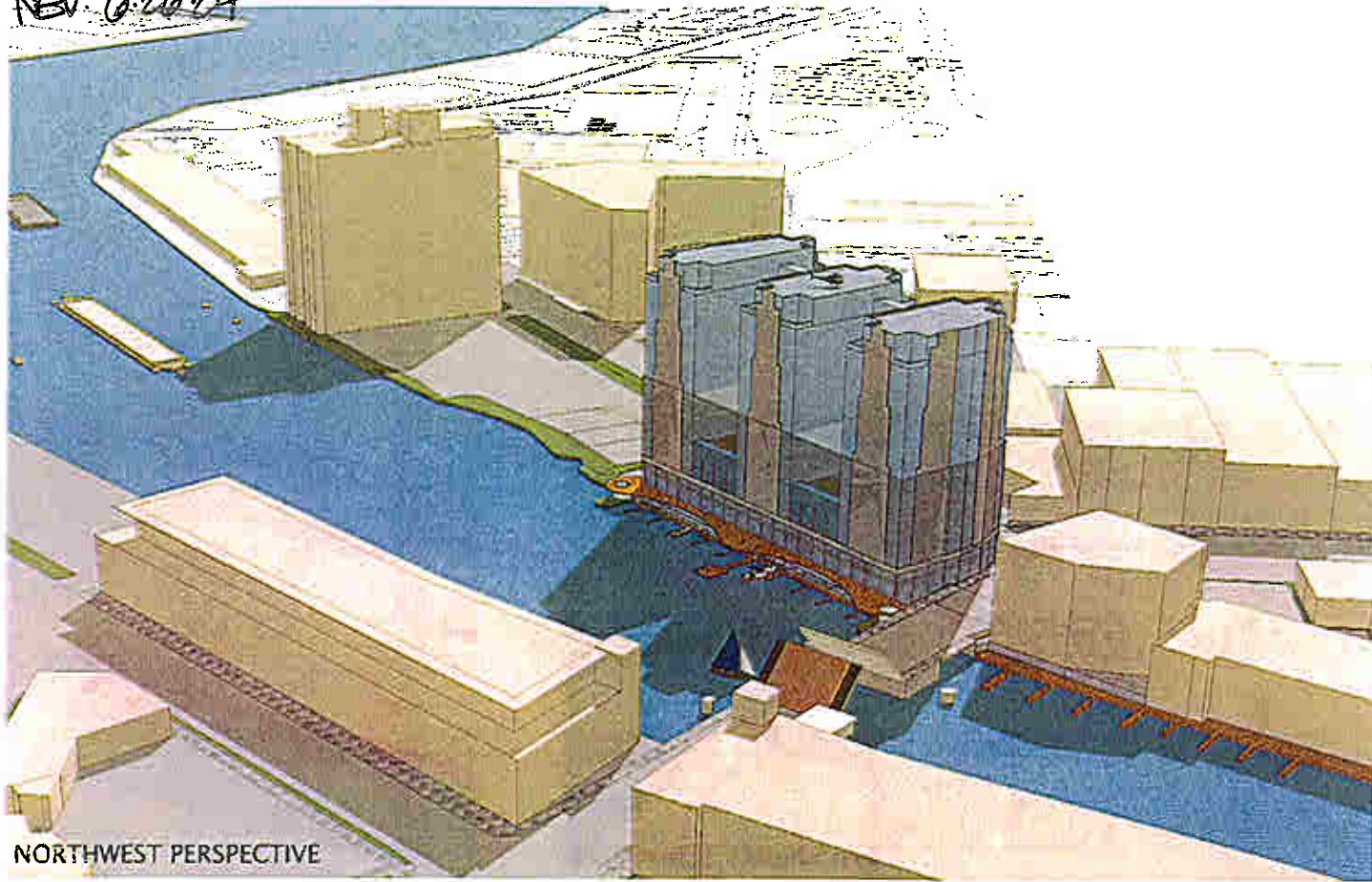
- NOTES:
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF MILWAUKEE REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
 3. * EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS BY PLUMBING CONSULTANT/CONTRACTOR.
 4. PROPOSED WATER MAIN SHALL HAVE A MINIMUM 6 FEET OF COVER.
 5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 6. ALL EXISTING CONDITIONS ARE PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-05-07.
 7. ALL ABOVE AND BELOW GROUND ELECTRICAL UTILITIES IN CONFLICT WITH PROPOSED CONDITIONS SHALL BE REMOVED AND/OR RELOCATED AT THE EXPENSE OF THE DEVELOPER AND IN COORDINATION WITH THE UTILITY COMPANY.
 8. ALL ROOF WATER SHALL BE DIRECTED AND DISCHARGED DIRECTLY TO THE RIVER. EXACT SIZE AND LOCATION OF DISCHARGE BY PLUMBING CONSULTANT/CONTRACTOR.

LEGEND	
---	EXISTING STORM SEWER
ST---	PROPOSED STORM SEWER
---	EXISTING SANITARY SEWER
SAN---	PROPOSED SANITARY SEWER
---	EXISTING WATER MAIN
---	PROPOSED WATER MAIN

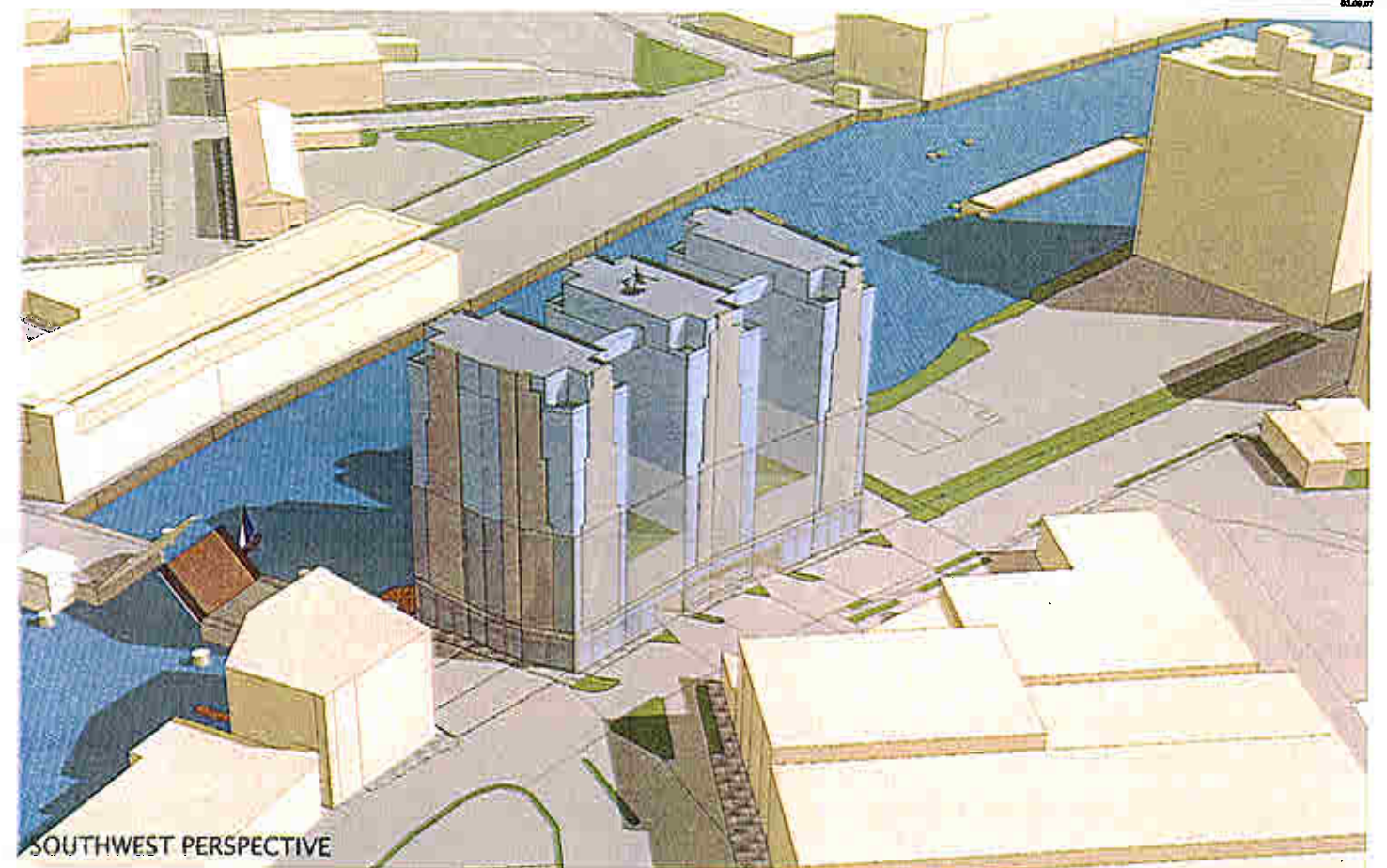
**NOTE FOR CONNECTION: CONTRACTOR SHALL LOCATE, INSPECT AND VERIFY EXISTING 8" STORM SEWER AND PROVIDE CONNECTION PER CITY OF MILWAUKEE STANDARDS. REMAINING STORM SEWER AND CATCH BASIN SHALL BE ABANDONED OR REMOVED AND DISPOSED OF OFFSITE.

UTILITY PLAN
1" = 20'-0"

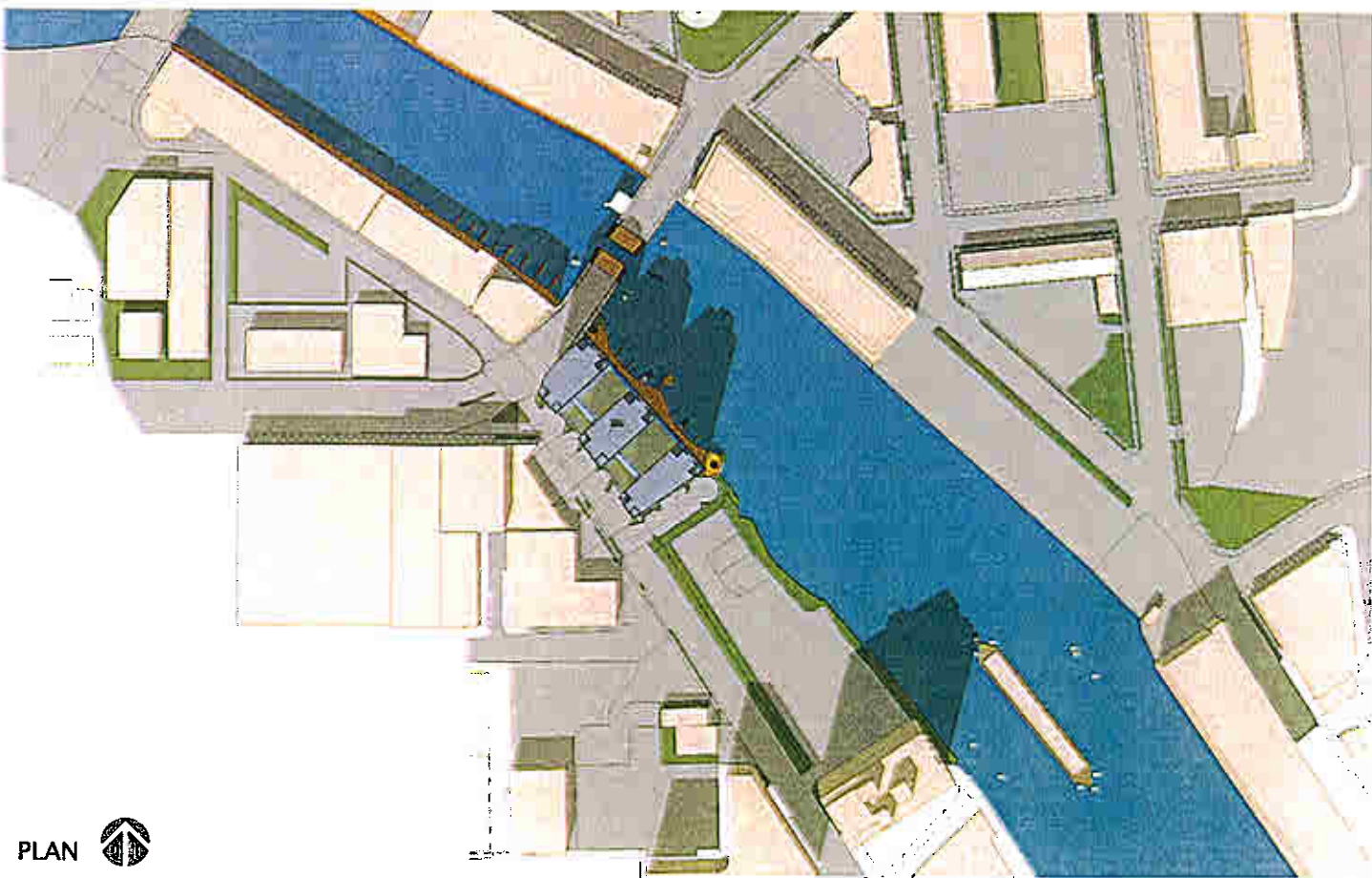
REV. 0-26-17



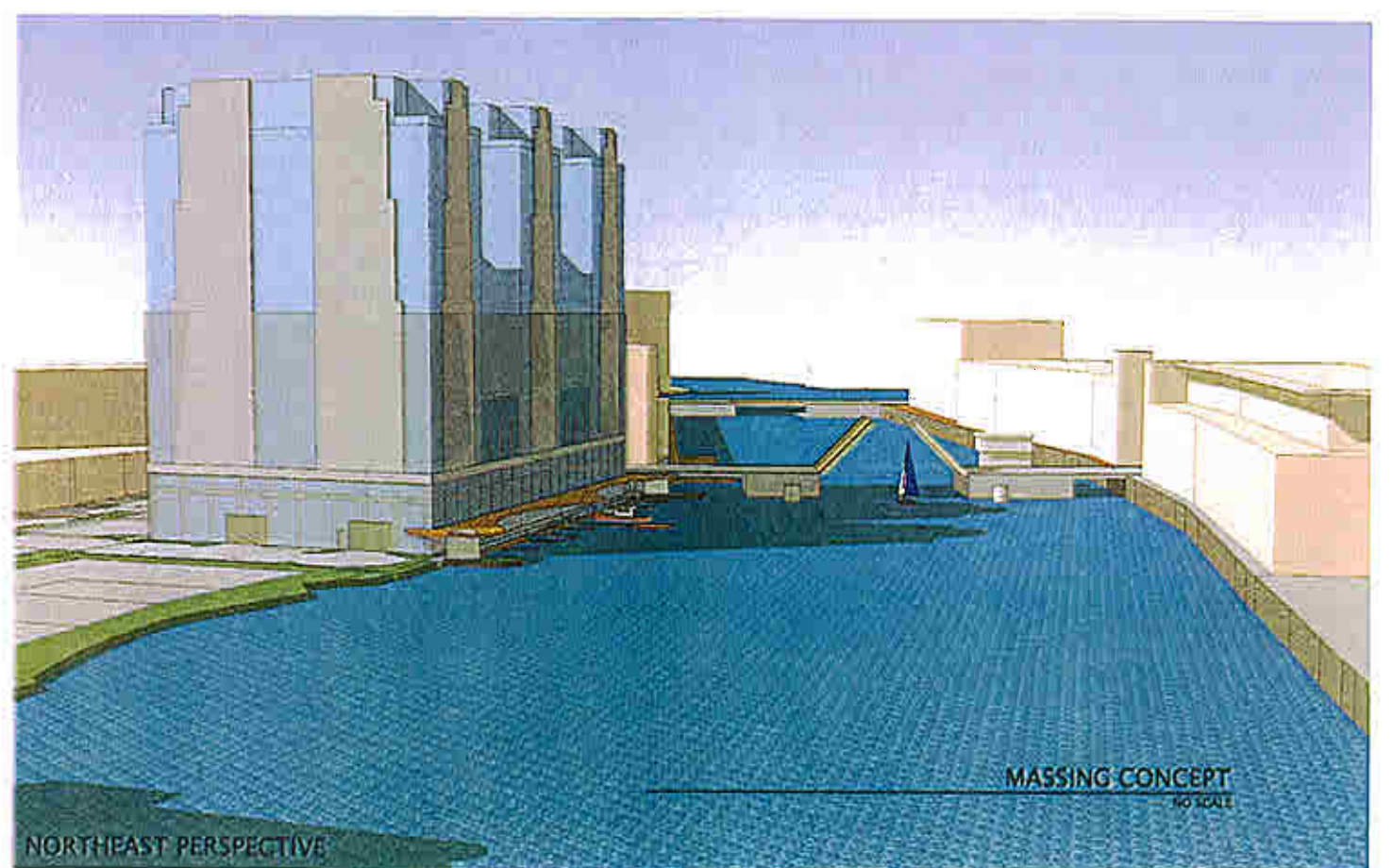
NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE



PLAN

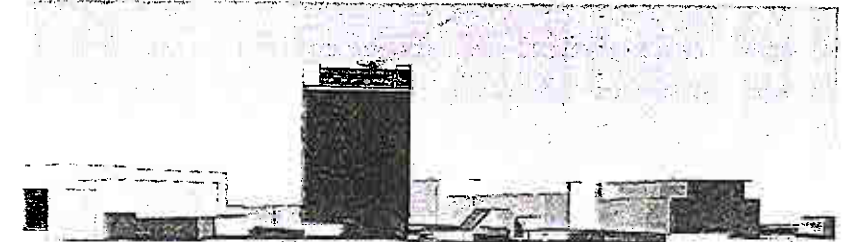
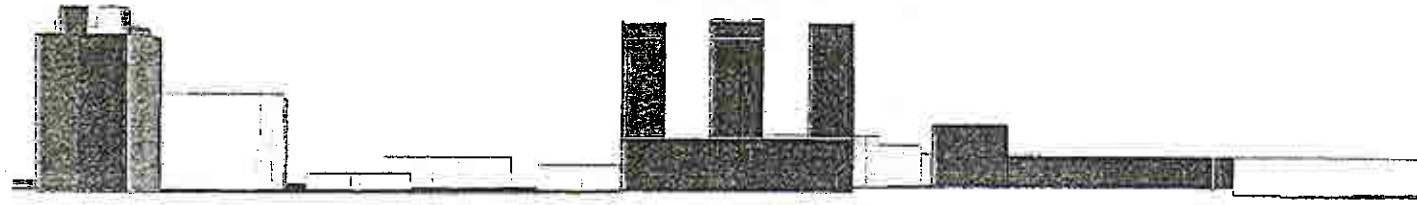


NORTHEAST PERSPECTIVE

MASSING CONCEPT
NO SCALE



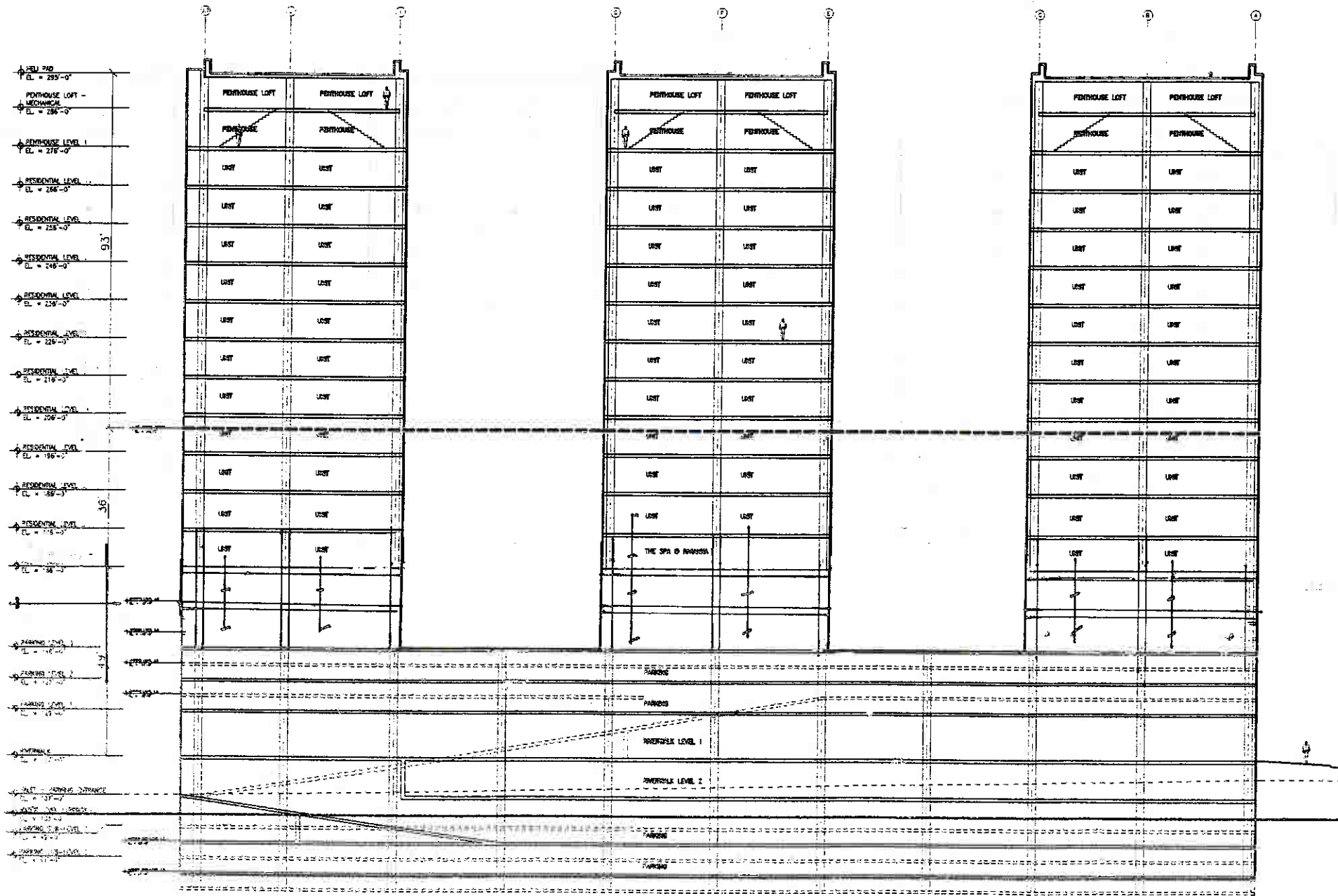
REV. 6.26.07



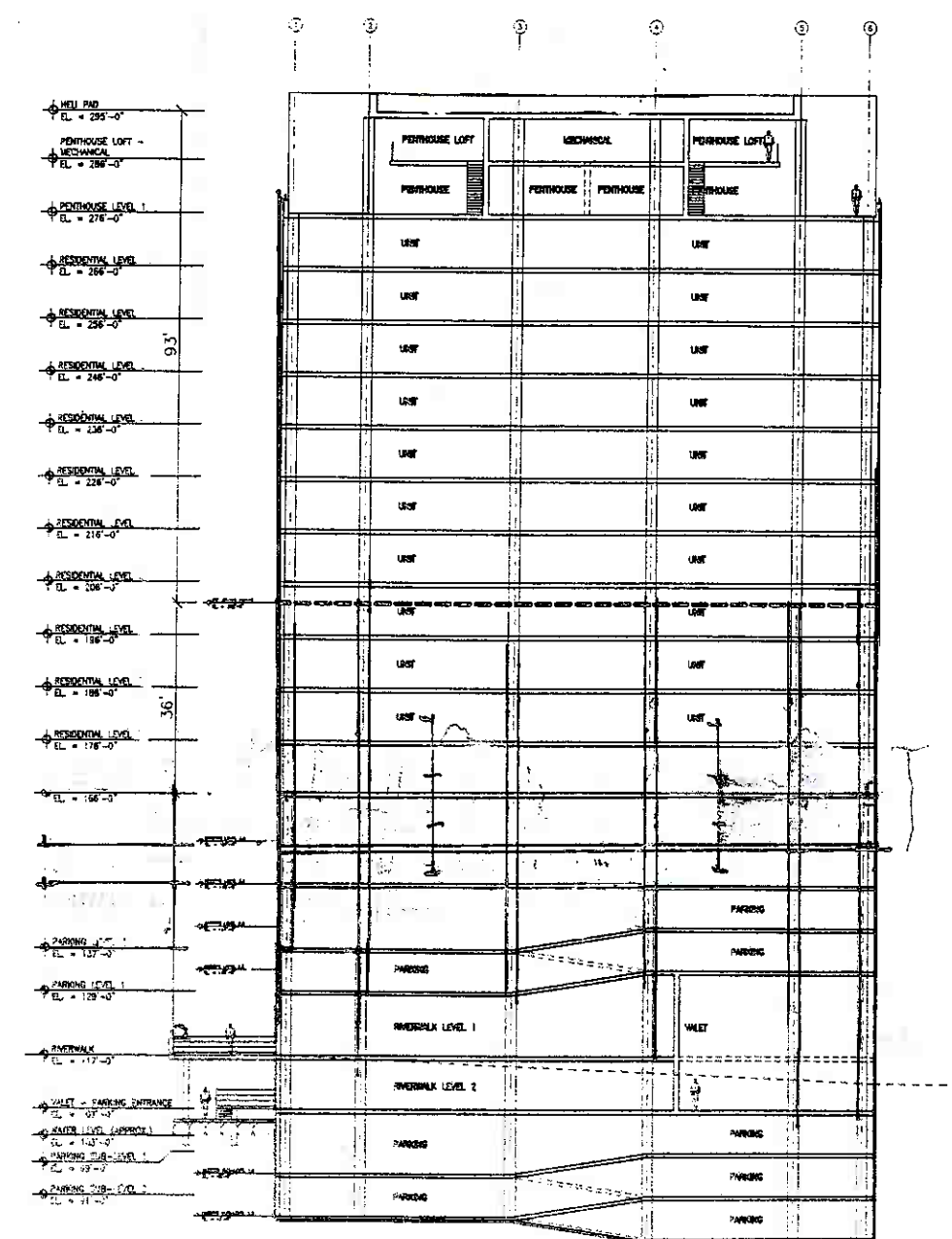
SITE SECTION B-B
NO SCALE

AREA MAP
NO SCALE

SITE SECTION A-A
NO SCALE

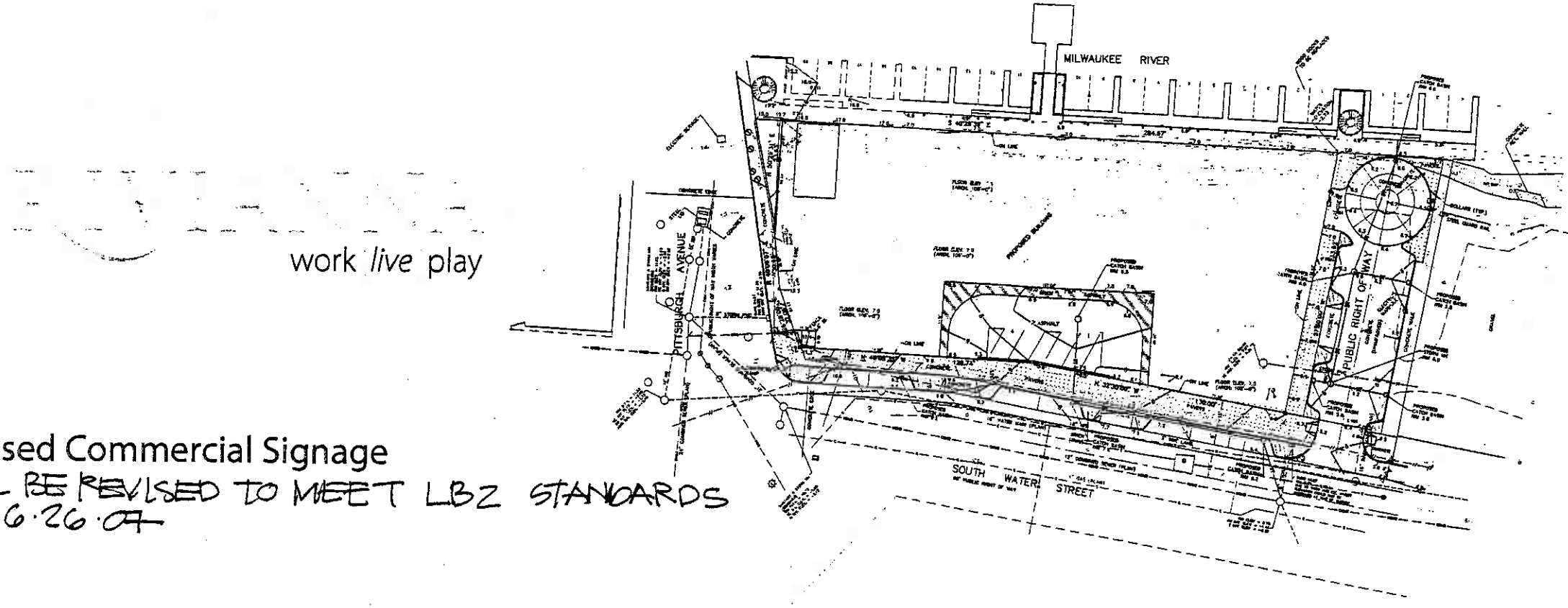


SECTION B-B
1/16" = 1'-0"



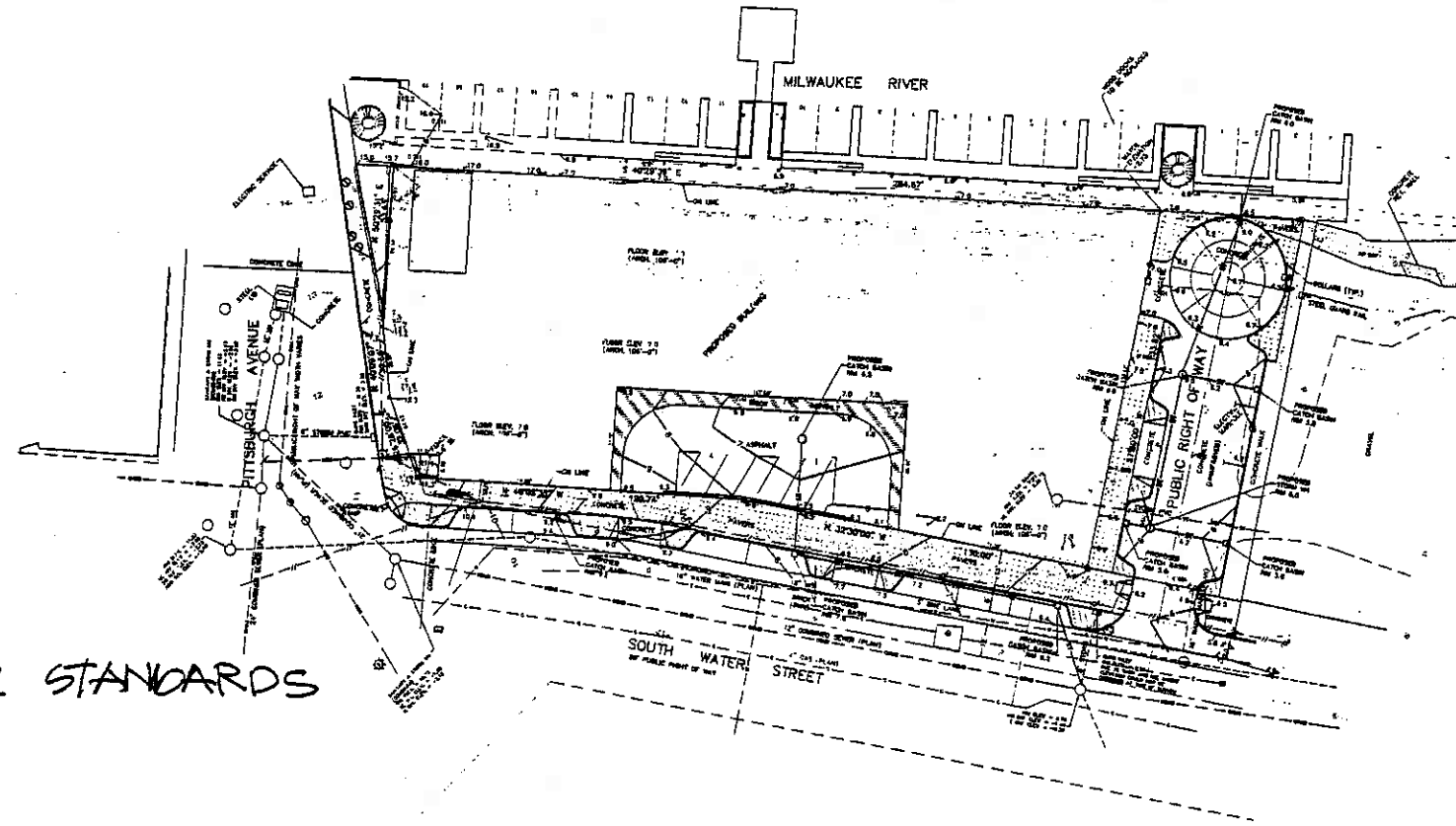
SECTION A-A
1/16" = 1'-0"





work live play

Proposed Commercial Signage
SHALL BE REVISED TO MEET LBZ STANDARDS
REV. 6.26.07



work live play

Proposed Commercial Signage
SHALL BE REVISED TO MEET LBZ STANDARDS
REV. 6.26.07

REV. 6-26-07

3/9/07



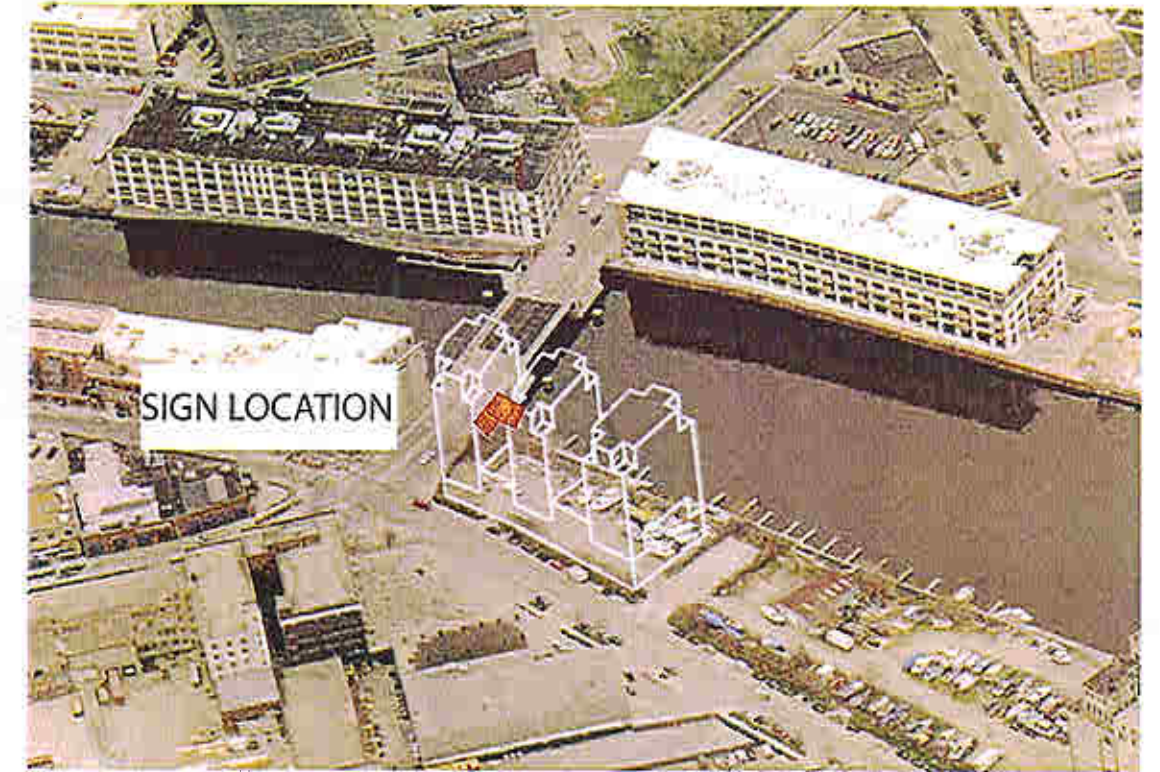
PO BOX 4571
TUALATIN, OR 97062

(503) 814-8279

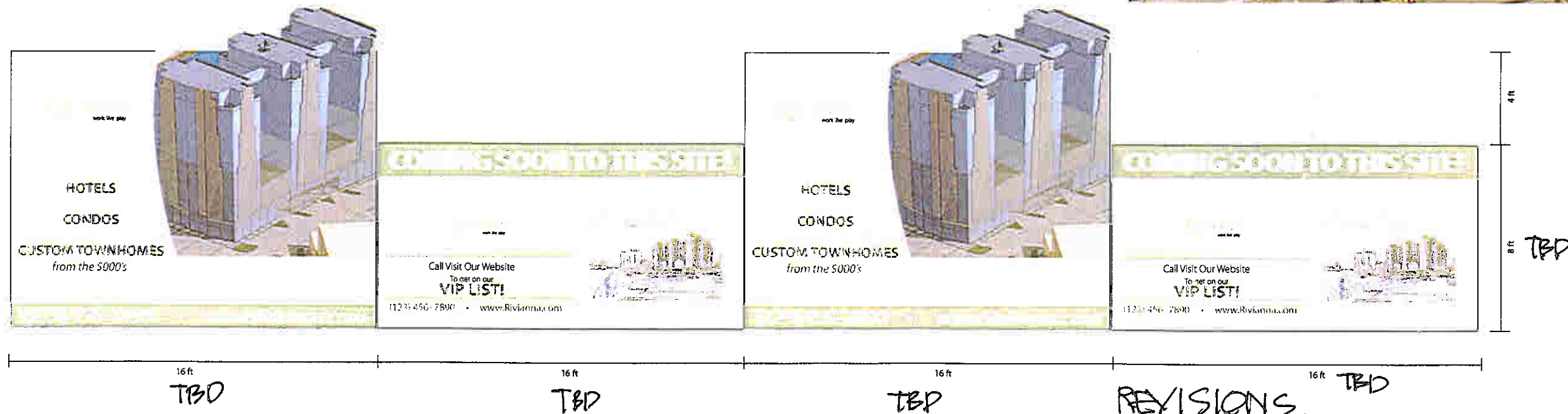
www.Duke-Graphix.com

info@duke-graphix.com

RIVIANNA
work live play



Temporary Development Signage



- REVISIONS.
1. CONSTRUCTION SIGNAGE SHALL CONFORM W/ DOWNTOWN STANDARDS
 2. LEASE/SALE SIGNAGE SHALL CONFORM W/ TEMPORARY BANNER REQ'S.