



City of Milwaukee

200 E. Wells Street
Milwaukee, Wisconsin
53202

Meeting Agenda HISTORIC PRESERVATION COMMISSION

RANDY BRYANT, CHAIR

Allyson Nemeck, Vice-Chair

*Patricia Balon, Ald. Robert Bauman, Matt Jarosz, Ann Pieper
Eisenbrown and Blair Williams*

*Staff Assistant, Chris Lee, 286-2232, Fax: 286-3456,
clee@milwaukee.gov*

*HPC Planners: Carlen Hatala, 286-5722, chatal@milwaukee.gov;
Paul Jakubovich, 286-5712, pjakub@milwaukee.gov*

Monday, November 7, 2011

3:00 PM

Room 301-B, City Hall

Amended 11/3/11 -Correction to item #6 (Title Amended)

1. Review and approval of previous minutes of October 10, 2011.

2. [110819](#) Resolution relating to the permanent historic designation of the Lustron House located at 3645 S. 20th Place for the North Shore Bank.
Sponsors: THE CHAIR

3. [110945](#) Resolution relating to a Certificate of Appropriateness to install a fence at 2038 N. Bartlett Avenue for the Catholic East Elementary School - Holy Rosary Catholic Church.
Sponsors: THE CHAIR

4. [110930](#) Resolution relating to a Certificate of Appropriateness for new windows at 1230 E. Brady Street for Julilly Kohler, agent for JWK Management, LLC.
Sponsors: THE CHAIR

5. [110373](#) Resolution relating to a Certificate of Appropriateness for construction of two additions at 2134 N. Terrace Avenue for Michael and Cathy White.
Sponsors: THE CHAIR

6. [110897](#) Resolution relating to a Certificate of Appropriateness for exterior renovations at 1139 East Knapp Street for the Lynde and Harry Bradley Foundation.
Sponsors: THE CHAIR

7. Review of the nominations and selection of recipients for the Cream of the Cream City Preservation Awards.

8. Announcements and Updates.

9. The following files represent staff approved certificates of appropriateness:

- a. [110847](#) Resolution relating to a Certificate of Appropriateness to install a new iron fence at 920 N. 34th Street for Mark and Vicki Natwick.
Sponsors: THE CHAIR

- b. [110854](#) Resolution relating to a Certificate of Appropriateness for tuckpointing at 2030 E. Lafayette Place for Gilbert Petzke.
Sponsors: THE CHAIR

- c. [110889](#) Resolution relating to a Certificate of Appropriateness to install a new boiler and venting at 3041 N. Sherman Blvd. for Martha Monroe.
Sponsors: THE CHAIR

- d. [110902](#) Resolution relating to a Certificate of Appropriateness for installation of a new sign at 616 W. Historic Mitchell Street for Walid Mousa.
Sponsors: THE CHAIR

This meeting will be webcast live at www.milwaukee.gov/channel25.

Members of the Common Council and its standing committees who are not members of this committee may attend this meeting to participate or to gather information. Notice is given that this meeting may constitute a meeting of the Common Council or any of its standing committees, although they will not take any formal action at this meeting.

Upon reasonable notice, efforts will be made to accommodate the needs of persons with disabilities through sign language interpreters or auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at 286-2998, (FAX)286-3456, (TDD)286-2025 or by writing to the Coordinator at Room 205, City Hall, 200 E. Wells Street, Milwaukee, WI 53202.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in Room 205, (City Clerk's Office) or the first floor Information Booth in City Hall.

Persons engaged in lobbying as defined in s. 305-43-4 of the Milwaukee Code of Ordinances are required to register with the City Clerk's Office License Division. Registered lobbyists appearing before a Common Council committee are required to identify themselves as such. More information is available at www.milwaukee.gov/lobby.



City of Milwaukee

200 E. Wells Street
Milwaukee, Wisconsin
53202

Meeting Minutes HISTORIC PRESERVATION COMMISSION

RANDY BRYANT, CHAIR

Allyson Nemec, Vice-Chair

**Patricia Balon, Ald. Robert Bauman, Matt Jarosz, Ann Pieper
Eisenbrown and Blair Williams**

**Staff Assistant, Chris Lee, 286-2232, Fax: 286-3456,
clee@milwaukee.gov**

**HPC Planners: Carlen Hatala, 286-5722,
chatal@milwaukee.gov; Paul Jakubovich, 286-5712,
pjakub@milwaukee.gov**

Monday, October 10, 2011

3:00 PM

Room 301-A, City Hall

Meeting called to order at 3:01 p.m.

*Present: 6 - Nemec, Pieper Eisenbrown, Jarosz, Bryant, Balon, Williams
Excused: 1 - Bauman*

*Individuals also present:
Carlen Hatala, Historic Preservation Commission Planner
Paul Jakubovich, Historic Preservation Commission Planner*

1. Review and approval of previous minutes of September 19, 2011.

*Ms. Balon moved approval of the previous minutes of September 19, 2011.
Seconded by Mr. Jarosz. There were no objections.*

2. 110783

Resolution relating to a Certificate of Appropriateness for replacement of a garage at 2436 N. Grant Blvd. for Randy and Joann Crump.

Sponsors: THE CHAIR

Mr. Jakubovich gave a PowerPoint presentation (Exhibit 1) and information on the proposed demolition of the existing garage and construction of a new garage in its place. The project is in the Grant Boulevard District. The existing garage has been damaged by a fire. The replacement garage will be a two-car hip-roofed frame garage with an eight in twelve roof pitch. Individual doors will be made to look like sliding carriage barn doors and painted with the color scheme of the house. Walls will be ten feet tall.

On behalf of the HPC staff, Mr. Jakubovich recommended approval of the project.

Ms. Nemec moved approval for a Certificate of Appropriateness for demolition of the existing garage at 2436 N. Grant Blvd. for Randy and Joann Crump. Seconded by Mr. Jarosz. There were no objections.

Ms. Nemec moved approval for a Certificate of Appropriateness for construction of a new garage, as updated on 10/7/11, at 2436 N. Grant Blvd. for Randy and Joann Crump. Seconded by Ms. Balon. There were no objections.

Mr. Williams inquired on construction costs and cost differentials.

Mr. Jakubovich replied that the cost differential depends on the contractor and not necessary the materials that are added to a project.

Mr. Bryant concurred and said that there are taxation issues. He added that California has the Mills Act, which allows one to pay 35% of the assessed value of a historic home if it is maintained and improved.

A motion was made by Allyson Nemec that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 6 - Balon, Nemec, Pieper Eisenbrown, Jarosz, Bryant, and Williams

No: 0

Excused: 1 - Bauman

3. Choose date for the Cream of the Cream City Awards ceremony.

Ms. Hatala said that posting of information regarding applications and nominations will be done soon. Next meeting will be in November to choose the candidates followed by prep work prior to the awards. The awards can be held at the County Historical Society building.

Mr. Bryant said that the awards will no longer coincide with the county awards. Also, he added that all submittals should be noted. [CHRIS – PLEASE CLARIFY?]

Ms. Hatala said that there are usually seven to eight applications. Those with tax delinquencies or violations will not be considered. Only those projects that went through complicated processes or issues should be considered.

Mr. Jarosz suggested having awards also for those companies or individuals who did work as additional recognition.

Mr. Jarosz moved to set October 31, 2011, as the deadline for submittals, the HPC meeting of November 7, 2011 to review nominations, and December 7, 2011 at 5:30 p.m. as the awards reception date. Seconded by Ms. Balon. There were no objections.

4. Announcements and Updates.

Mr. Jakubovich announced that the City Hall museum project is in process. There is now an internal committee, and it is moving ahead with plans for developing a room in a space in the Legislative Reference Bureau space in the basement of City Hall. There will be a theater. A designer is engaged. Plans for fundraising are under way. Spring 2012 is the proposed date of completion.

Mr. Jarosz complimented the HPC staff regarding their submittal of information to him at his request for a workshop held recently.

Mr. Bryant announced that there is an armory that is planning to redevelop and sell a piece of land on Richard St. There is an existing house on the land, and it must be removed. The house has value and can be restored. The Historical Society supported restoration of the house. One solution is to move the house off site, which

requires payment of cash. An idea is for the house to be a shelter for battered women or be used by a nonprofit organization.

Mr. Jarosz inquired on the Lustron House designation. Mr. Jakubovich replied that the house will come back to the commission for review soon, orders were issued to secure the house from further damage, and there have been no other new developments.

5. The following files represent staff approved certificates of appropriateness:

Mr. Bryant recused himself from the staff approved certificates of appropriateness.

Mr. Jarosz moved approval of the staff approved certificates of appropriateness. Seconded by Ms. Balon. There were no objections. Abstain - Mr. Bryant

- a. 110739** Resolution relating to a Certificate of Appropriateness for installation of a new roof and to restore wood windows at 3330 W. McKinley Blvd. for Tony Hopson.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

- b. 110756** Resolution relating to a Certificate of Appropriateness for installation of a new roof at 2125 N. Lake Drive for Julie Tolan and Mark Wiesman.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

- c. 110757** Resolution relating to a Certificate of Appropriateness to install air conditioning unit at 2762 N. Sherman Blvd. for Ruby Jackson.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

- d. 110758 Resolution relating to a Certificate of Appropriateness to repair a facade at 1337 W. Forest Home Avenue for Ernesto Villarreal, agent for El Rey Enterprises.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

- e. 110759 Resolution relating to a Certificate of Appropriateness to repair a front brick porch at 2026 N. 1st Street for Laurel Canyon Properties.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

- f. 110760 Resolution relating to a Certificate of Appropriateness to install a new wood treillage fence in the rear yard at 2837 E. Park Place for Angela Loberg.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

- g. 110782 Resolution relating to a Certificate of Appropriateness for replacement of wood shutters on the east elevation at 2220 N. Terrace Avenue for Villa Terrace Decorative Art Museum.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

h. 110785

Resolution relating to a Certificate of Appropriateness for an added heat pump system condensing unit at 2734 E. Bradford Avenue for Marie Kohler, in trust.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

i. 110788

Resolution relating to a Certificate of Appropriateness for installation of a central air conditioning unit at 2348 N. Terrace Avenue for James Wegman.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

j. 110789

Resolution relating to a Certificate of Appropriateness for installation of a new awning with signage at 1017 W. Historic Mitchell Street for Darin and Dimity Grabowski.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

k. 110790 Resolution relating to a Certificate of Appropriateness for installation of a new porch deck and cedar sidewall shingles and replacement of windows at 936 N. 31st Street for Gail Sahagun.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

l. 110791 Resolution relating to a Certificate of Appropriateness for replacement of a window at 3002 W. Kilborun Avenue for Brian Janis.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

m. 110818 Resolution relating to a Certificate of Appropriateness for installation of PVC vent pipes for a new furnace at 2652 N. Grant Blvd. for Ann Klein.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

n. 110826 Resolution relating to a Certificate of Appropriateness for an added air conditioning ductless mini split at 2734 E. Bradford Avenue for Marie Kohler, in trust.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

- o. 110827** Resolution relating to a Certificate of Appropriateness for installation of half-round gutters at 2215 N. Lake Drive for Randy Bryant.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

- p. 110828** Resolution relating to a Certificate of Appropriateness for installation of a new roof and gutters at 2210-2212 N. Lake Drive for Randy Bryant.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

- q. 110835** Resolution relating to a Certificate of Appropriateness for installation of three condensing units at 800 N. Marshall Street for Bruce Better, Everett Smith Group, Ltd.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

- r. 110839** Resolution relating to a Certificate of Appropriateness for performing lead abatement on all windows at 3265 N. Sherman Blvd. for Yakini Shabaka.

Sponsors: THE CHAIR

A motion was made by Matt Jarosz that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 5 - Balon, Nemec, Pieper Eisenbrown, Jarosz, and Williams

No: 0

Excused: 1 - Bauman

Abstain: 1 - Bryant

Meeting adjourned at 3:51 p.m.
Chris Lee, Staff Assistant



Legislation Details (With Text)

File #: 110819 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 10/5/2011 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to the permanent historic designation of the Lustron House located at 3645 S. 20th Place for the North Shore Bank.
Sponsors: THE CHAIR
Indexes: HISTORIC PRESERVATION, HISTORIC STRUCTURE
Attachments: Lustron House Map, Lustron House Cover, Permanent Study Report, Certified Notice to Lustron Property Owners, Notice to Property Owners and Interested Persons, Letter of Support, Letter of Support, Hearing Notice List

Date	Ver.	Action By	Action	Result	Tally
10/5/2011	0	COMMON COUNCIL	ASSIGNED TO		
11/2/2011	0	HISTORIC PRESERVATION COMMISSION	HEARING NOTICES SENT		
11/2/2011	0	HISTORIC PRESERVATION COMMISSION	HEARING NOTICES SENT		

Number

110819

Version

ORIGINAL

Reference

110552

Sponsor

THE CHAIR

Title

Resolution relating to the permanent historic designation of the Lustron House located at 3645 S. 20th Place for the North Shore Bank.

Requestor

Drafter

CC-CC

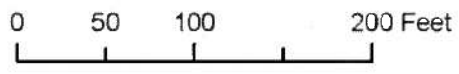
dkf

10/5/11

Lustron House – Permanent Historic Designation 3645 S. 20th Pl.



Parcel Boundary





**LUSTRON HOUSE/ZANDER HOUSE
3645 SOUTH 20TH PLACE**

**PERMANENT HISTORIC DESIGNATION
STUDY REPORT
NOVEMBER 2011**

PERMANENT HISTORIC DESIGNATION STUDY REPORT

I. NAME

Historic: Lustron House/Zander House
Common Name: Lustron House

II. LOCATION 3645 S. 20th Place

Legal Description - Tax Key No. 552-1238-000
Wilson Park Manor Add'n
IN SW ¼ 18-6-22
BLOCK 6 LOT 12

III. CLASSIFICATION Site

IV. OWNER

North Shore Bank FSB
15700 W. Bluemound Road
Brookfield, WI 53005

Ronica Pozdol
1000 S. 108th Street #A18
West Allis, WI 53214

ALDERMAN Ald. Terry Witkowski 13th Aldermanic District

NOMINATOR Catherine B. Cooper

V. YEAR BUILT 1948-1949 (Milwaukee Permit No. 40107 dated December 2, 1948)

ARCHITECT: Roy Blass and Morris Beckman prototype (NR Nomination p. 5)
Carl Koch consultant 1949-1950 (NR Nomination p. 7)
Staff of stylists many from automotive industry (NR Nomination p. 7)

CONTRACTOR: J. Salstein(Milwaukee Permit No. 40107 dated December 2, 1948)

**NOTE: MUCH OF THIS REPORT IS TAKEN FROM
THE NATIONAL REGISTER OF HISTORIC PLACES
MULTIPLE PROPERTY DOCUMENTATION FORM
LUSTRON HOUSES IN GEORGIA
PREPARED BY LISA RAFLO
NATIONAL REGISTER COORDINATOR
HISTORIC PRESERVATION DIVISION
GEORGIA DEPARTMENT OF NATURAL RESOURCES
JULY 1, 1995
AS WELL AS THE LUSTRON PRESERVATION WEBSITE
SPONSORED BY THE NATIONAL TRUST FOR HISTORIC PRESERVATION
WWW.LUSTRONPRESERVATION.ORG**

VI. PHYSICAL DESCRIPTION

The Lustron House at 3645 S. 20th Place is located on the city's south side two blocks south of W. Morgan Avenue and just a few blocks east of bustling South 27th Street. It is on a short cul-de-sac occupied by twelve single family houses. Permit records show they were all built between 1947 and 1951. Most are one or one-and-a-half story in height and vary from front gable to side gable forms. To the north of the cul-de-sac is a development containing seven apartment buildings along a curved stretch of W. Warnimont Avenue. To the east, south and west are regular blocks of modest single family houses and some duplexes. Most of the area was built up after World War II.

The house at 3645 S. 20th Place is the only known Lustron House on the south side. It occupies an irregular shaped lot measuring 144-feet by 109.35-feet by 45-feet by 147.01-feet. The house is a ranch style structure oriented east-west on the lot so that the gable ends face the neighboring dwelling units. To the east of the house and set back on the lot is a two-car garage. The garage is approached by a long concrete driveway that accesses the cul-de-sac. There is no alley behind the house due to the apartment complex as mentioned above. There is a broad lawn and foundation plantings at the front of the house along with a front concrete walk that parallels the house. This walk comes off the driveway rather the city sidewalk. There is a grassy rear yard with mature trees.

The Lustron built on S. 20th Place is the 2-bedroom Westchester model, one of three models (along with the Newport and the Meadowbrook) and several floor plans available from the manufacturer. The house measures 31-feet by 35-feet with just over a thousand square feet on one floor. There is no basement and the house sits on a concrete slab so the house appears low to the ground. The house's main entrance is located at the west end of the front façade, and is set back at the recessed corner. The overhanging roof is visually supported by a tapered metal post with scrolled detail. A similar post is located at the northeast corner of the building.

The cladding of the house walls and roof is what distinguishes the Lustron house and makes it instantly recognizable. The exterior is characterized by two foot square smooth steel panels that have an enamel glazed porcelain finish. There were seven pastel colors available: blue, yellow, gray, tan, rose-tan, aqua, and green. This particular example is clad in yellow panels with light gray trim. The roof is clad in porcelain steel panels as well, designed to look like tiles and came in a variety of colors including brown, gray, light or dark green and dark blue. In this example the roof is gray.

Two large picture windows dominate the front façade. The one at the west or left is located in a shallow projecting bay and corresponds to the living room. The one at the right or east illuminates a bedroom. Both windows consist of a large fixed center pane flanked by narrower four-light casement windows.

The east elevation features two pairs of small square windows set high in the wall. They illuminate the bedrooms.

The north or rear elevation features one large picture window, matching those on the front, as well as a small three-light window illuminating the bathroom. There is also a rear door, in this instance wood, and another window, six-light, positioned over the kitchen sink. There is a brick patio off the rear entrance and a large oil tank is placed near the wall to the right or east of the entrance.

The west elevation features one large picture window matching those on the front which lights the dinette. There is also a small square covered vent positioned high in the wall near the northwest corner of this elevation.

All surfaces are metal clad and windows are aluminum.

Permit records show that the garage was under construction in September, 1949. The garage is a one-story, side gabled structure with two individual door openings that front the driveway. The east or right opening has a 16 panel wood door without windows. The west or left opening has been converted into a cold frame/greenhouse with slanted multi-paned top and glass sides. There is a six-light casement window on the west elevation that appears to match those on the house. Another opening on this elevation has been boarded over. There are no window openings on the north or east facades. The garage is clad in plywood that is cut to mimic the grid of the house. The dark red paint is currently peeling. Lustron garages were available from the manufacturer, however, the porcelain clad steel panels were applied to a traditional wood framing rather than metal studs. There are one or two other examples of this type of "faux Lustron garage" in Milwaukee. Most Lustrons owners built traditional wood frame garages here.

Alterations/Current Condition

Before the current owner took possession, the Lustron house was in a remarkable state of preservation aside from some areas of rust at the panels. Prior owners did not enclose the porch, add vinyl siding or faux stone, replace windows or construct any addition. They did, however, alter the garage by enclosing one of the openings as indicated above but the change looks reversible. The rear patio appears to be a later addition and there may have been some form of enclosure. A portion of the patio has been disassembled so it is difficult to tell at this point. Additional metal decorative elements were added to the front porch at some point in the past but do not compromise the building.

Under the recent new ownership the house was in the process of being disassembled, without permits. The activity was stopped by the Department of Neighborhood Services. All of the roof panels have been removed from the rear slope of the roof. Approximately 34 panels have been removed from the rear and west elevations. The sill of the window on the west has been removed. The gutters remain intact. The sheathing in the gable ends remains intact.

The owner has been advertising Lustron parts on the Lustron Preservation website. These are two postings. Steve Hyland is the fiancé or associate of the new owner Ronica Pozdol and has been the person in contact with the Department of Neighborhood Services.

July 13, 2011 2:27 PM—I am considering buying a piece of land that has a two bedroom lustron [sic] home on it. I would like to sell the home to someone as a whole unit or piece it out as replacement parts. Call me at 765-470-2343 for questions. I need this worked out before I close on the land. Thanks Steve

August 8, 2011 9:52 AM—I have an esquire model that we will be disassembling here in Wisconsin in the next two weeks. I have a working pocket door and closet doors. I have one of the latches that the floor locks on to as well that I have been offered 70 dollars for it because it is original and hard to come by. I may find the other two as we disassemble it. I will part out the whole house or sell what is left if it to one person for 5K. I will need your parts or the entire house to be removed from the property asap once we get the demo permit from the city. There are some parts missing already. 16 of the outside tiles have been sold and 33 pieces of the roof have been sold as well. The existing bathroom [sic] sink is now broken due to vandals. There are still lots of original parts of this home for sale. Call for pics and I can email them to you. 765-470-2343 ask for Steve.

The activities at this house came to the attention of Alderman Witkowski, and his assistant filed the petition for interim historic designation in order to stop the disassembly and demolition of the Lustron house while alternatives are being considered.

THE ARCHITECTURE OF THE LUSTRON HOUSE

Lustron Houses were a unique architectural experiment that attempted to create, sell, and erect prefabricated metal houses based on proven technology from the assembly line. In production between 1948 and 1950 the Lustron House consisted of over 3,300 parts. "The 1 million-square-foot factory (about the size of 22 football fields) contained about 8 miles of automated conveyors, 163 presses, 11 furnaces and the largest porcelain enameling set-up in the world. Lustron parts were manufactured on an assembly line – a process developed by Henry Ford for the Model-T, and used for cars and other products to this day. At the Lustron factory, huge, specially designed truck trailers, served as the assembly line "package." As the trailer rolled along the assembly line, parts were loaded on in the inverse order that they would be removed at the site. Once all the parts were loaded, the trailer, could be stored on the factory site until delivery, obviating the need for a storage warehouse. The very same trailer that wound its way through the Lustron assembly line would be used to deliver the house to the building site. By the end of 1949, the company operated 800 trailers and 200 tractors which were "brightly colored in blue and yellow to permit ready visibility and an appearance of neatness and cleanliness, which is evident in the house." If it was necessary to ship a house by train rather than by truck, the trailers were loaded on a specially modified flatbed railcar. The homes were distributed through a network of Lustron builder-dealers franchised to erect houses within a given geographical area. At the end of 1949, Lustron had 234 dealers, located in 35 states. The dealers were responsible for selling and construction, including acquiring the land and preparing the site. (Lustron Preservation DETAILED DESCRIPTION OF LUSTRON SYSTEM)

The foundation, consisting of a concrete slab, and utilities connections were the responsibility of the local builder-dealer. All was to be ready by the time the house arrived. "The company estimated that that the typical erection took two weeks. This pace, however, assumed an experienced team; the first time through, it often took up to 1,500 hours. Lustron operated an "Erection Training School" at the factory to teach supervisors and foremen how to speed up the process. Lustron engineers hoped, with some modification to the design and an experienced crew, to reduce erection time to 130 to 140 man-hours." (Lustron Preservation DETAILED DESCRIPTION OF LUSTRON SYSTEM) The company supplied printed materials including a Master Specifications, Erection Manual and Daily House Erection Cost and Progress Form to help crew assemble the house.

THE DESIGN

Both the exterior style of the Lustron and its interior floor plan were designed to convey a sense of modernism, convenience and permanence.

In deciding what style of house would best be produced through prefabrication and yet appeal to a mass market of house-starved Americans, Lustron leaders settled on the ranch house. The ranch style was popular at the time and symbolized modernity yet without the faddishness or scary futuristic forms that were sometimes being produced by other prefabrication companies. The simple gable roof and side walls were traditional in size and shape and also easy to produce. It could blend into a more traditional neighborhood or newer suburban developments with other ranch houses.

Architects Roy Blass and Morris Beckman (Beckman and Blass, Wilmette, Illinois) were responsible for the prototype Lustron. It was named the Esquire. Company founder Carl Strandlund worked hands on with the architects and other designers to come up with the right look. Some early conceptual drawings showed that the designers were looking at flat roofs, a curved wall and very open floor plans. These more adventurous designs were set aside in favor of the ranch style house due to its popularity with the public and the fact that the ranch

could be based on the tooling already existing with the company from the war years and used on filling stations and hamburger stands and other commercial buildings. Strandlund was said to have seen the Lustron as a variation on the popular bungalow form, once considered the epitome of compact, efficient and affordable housing. Strandlund took the Beckman and Blass design and had Carl Rolan and Macomber Steel in Canton, Ohio do final design work and frame out the house. Chicago Vit, Carl Strandlund's previous employer, meanwhile finalized the gasket material needed to keep the assembly of panels "watertight, weather-tight, long-lasting, termite-proof, and fireproof." Polyvinylchloride was chosen, the material still used today in bottle cap gaskets for food products. It was said that the planning behind the Lustron took some 200,000 hours of planning. (The Lustron Home p. 18; Lustron Preservation WHAT MODEL IS IT?)

The design came to fruition as the Esquire, a prototype to demonstrate to the public and to federal agencies the feasibility of the project and to thereby secure the necessary materials and financing. The Esquire was erected in the fall of 1946 at 7210 South Madison Street in Hinsdale, Illinois on the grounds of the Hinsdale Nursery, a commercial supplier of plants, shrubs and trees. The 31-foot by 35-foot house (approx. 990 square feet of floor space) was placed in the middle of a large formal garden near the entrance to the business. Interior partition walls were of wood and plywood but designed to give viewers a sense of what the actual steel panels would look like. The demonstration house consisted of a living room, dining area, kitchen, two bedrooms, a bathroom and utility room. (The Lustron Home p. 18, 20)

Later designs in production kept pretty much to the prototype but the 2-foot offset at the rear was eliminated to make the house a simple rectangle. The later models included the Westchester, the Newport and the Meadowbrook. The Westchester was the most popular of the three and is the model under consideration for this interim historic designation.

The Westchester two-bedroom model measures 31-feet by 35-feet with a corner recess 6-feet by 12-feet that serves as an entrance porch. The three-bedroom Westchester measures 31-feet by 39-feet and does not have a recessed corner. The entrance is at the gable end. The Westchester with built-in amenities was later called the Westchester Deluxe and included a bay window, a dining room pass-through to the kitchen, and a living room bookshelf on the other side of which was a bedroom vanity. The Westchester Standard was the same size but lacked the bay window and built-ins. (NR Nomination p. 16)

The Newport was introduced in 1949. The two-bedroom version measures 23-feet by 31-feet with 713 square feet of living space. The three-bedroom version measures 31-feet square and has 916 square feet of living space. (NR Nomination p. 16)

The Meadowbrook is a larger version of the Newport. The two-bedroom model measure 25-feet by 31-feet for 775 square feet of living space. The three-bedroom measures 33-feet by 31-feet with 1,023 square feet of living space. (NR Nomination p. 16)

In addition to the choice of three models, number of bedrooms and the color, buyers could pick from a number of accessories including aluminum storms, aluminum storm door inserts, aluminum combination storm and screen doors, aluminum screen doors, ivory-colored venetian blinds, a picture hanger kit and an attic fan. By 1949 there were two garage options available, one measuring 15-feet by 23-feet and one measuring 23-feet square. The garage design matched the house with a simple gable roof. Panels were available in the same colors as the house. However, steel framing and roof trusses did not come with the package so the panels had to be attached to traditional wood framing. By 1950 breezeway, screened porches, carports and patios were available as well. (Lustron Preservation WHAT MODEL IS IT?)

PANELS AND COLOR

The panels of the Lustron house, its most obvious hallmark, were the result of advancing technology in the twentieth century both in steel production and porcelain-enameling. The 2-foot by 2-foot light weight metal panels that clad the Lustron's exterior consist of 20-gauge, structural-quality, flat, rolled automobile body carbon steel stamped into panels. The size and shape of the panels was dictated by whether the panels would clad the interior, exterior, or garage.

The liquid porcelain coating was sprayed on or applied through dipping. The enamel coating consisted of silica sand, and smaller amounts of other ingredients such as borax and feldspar. "These are ground, heated to a liquid state, and poured through chilled rollers that produce thin flakes of glass. The flakes are then ground into a fine powder known as "frit," mixed with clay and water, and tinted with ceramic pigments to create the liquid "slip" that is applied to the metal panels." Once coated, the panels are dried then fired in massive ovens at temperatures of 1,300 and 1,600 degrees Fahrenheit for three to five minutes. The result is a surface that is incredibly hard and a surface that protects the steel from corrosion. Such panels were popular as architectural cladding (filling stations, White Castle Hamburgers, movie theaters) and for bathtubs and kitchen appliances. Lustron had the largest porcelain enameling setup in the world. Innovations included firing the porcelain at lower temperatures that cut fuel costs and decreased warpage and reduced tooling. Also revolutionary advance was the application of the porcelain enamel directly to the steel without the need for a base or ground coat. (Lustron Preservation THE PANELS; NR Nomination Exhibit C p. 2-3)

The panels could be made in any color and were promoted as having a lifetime finish and for being coated on both sides. Lustron's limited selection was the result of hiring consultant Howard Ketchum, Inc., one of the country's foremost color experts. The soft colors selected included Maize Yellow, Desert Tan, Dove Gray, Surf Blue, rose-tan, aqua and green for the exterior. Roof panels simulating tile came in brown, gray, light or dark green, and dark blue. The interior color palette offered white, gray, rose, yellow, blue and tan panels. Promotional material indicated that the neutral tones would go with any décor and emphasized that they would never need painting. Interior features such as closets, vanities, interior doors and cabinets were all of enameled porcelain steel panels as well. Interior panels were typically 2 feet wide by 8 feet tall to cover the entire wall height. Four-foot panels covered the ceiling. The bath and kitchen walls had 2-foot square panels. Door jambs were steel as well. (National Register nomination p. 9, 15, Exhibit C page 1 of 6; Lustron Preservation THE PANELS)

The panels, interior and exterior, were attached to steel framing that was welded into 8-foot by 8-foot wall panels and roof trusses. The framing was "anchored to the concrete foundation through the metal sill plates, [16-gauge rolled steel] with a continuous horizontal metal spacer bar both a[t] mid-wall height and the top of the wall to provide stability to the entire structural frame. When the series of interconnected metal spacer panels is attached to the studs, it creates a taut inner and outer skin that makes the entire structure even more rigid." (Lustron Preservation THE PANELS)

The interlocking panels were attached to the framing with concealed screws and a permanent plastic sealing strip was used as a gasket compressed between panels. It was said to make the structure air and moisture proof. Because the panels interlock, they must be installed in a specific progression usually starting at the upper left hand corner of each façade and working from top to bottom and left to right. (National Register nomination Exhibit C page 1 of 6; Lustron Preservation THE PANELS)

The greatest benefit of these panels were their durability and low maintenance. The panels were promoted as never needing painting. They could be hosed down with water to clean.

ROOFS

The 2-foot by 4-foot Lustron roof panels were attached to ten steel roof trusses set at four-foot intervals. They were made to look like Spanish tile and were criticized by some as not keeping in the spirit of the modern ranch style. The embossed design, however, stiffened the panels. They had to span four feet between roof trusses and needed to sustain snow and wind loads and had to fit tightly without gaskets. For flat panels, thicker steel would have been required. This would have been more expensive, requiring heavier roof trusses and stronger vertical supports or else the additional roof trusses at added cost. The 4-inch by 4-inch porcelain enameled gutters were praised for their generous size and resistance to rusting. Surviving erection manuals give details on attaching the roof trusses to the structure, the installation of truss spacers, the location of wind bracing and wall tie-ins. Assembly consisted of placing the trusses then paneling the gable ends. The gutters were attached to the roof trusses. Roof panels started with the lowest point on the left end of each slope and worked across horizontally then returned to the left end and across horizontally for each row until they reached the ridge. The roof panels had molded edges designed to fit the edge of the adjacent panel to form a watertight seal. Ridge roll panels capped the roof. Metal panels also clad the soffits. (Lustron Preservation ROOFS AND GUTTERS; NR Nomination p. 9))

Roof trusses “were insulated with rigid laminated board comprising alternating layers of corrugated and flat sheets of asbestos paper, bonded with an inorganic adhesive. The sides and top of the plenum were continuous walls of 3/16”-thick rigid cement-asbestos board-about 85% Portland cement and 15% asbestos fiber. Six inches of fiberglass, mineral wool, or ‘insulwool’ insulation was later positioned above the plenum. Steel enamel ceiling panels served as the base of the plenum.” (Lustron Preservation DETAILED DESCRIPTION OF LUSTRON SYSTEM)

WINDOWS

There were several styles of windows on Lustron Houses. These consisted of picture windows, bottom-opening awning windows and multi-light casement windows. Most windows were flush with the façade but some, like the nominated building, had slightly projecting box bays. Airplane production during World War II ramped up the American aluminum industry which after the war, began production of aluminum building materials. Windows were an early product and seen as a lightweight, modern-looking, and lower maintenance alternative to wood and steel windows. Lustron window frames and sashes were all extruded aluminum. There were no color options on the windows; all were mill finished. Storms and venetian blinds could be purchased as accessories but interior screens were standard. Screens were made of aluminum extrusions or rolled aluminum sections. Screening was aluminum or bronze wire cloth. Glass was held in the frame with polyvinylchloride (PVC). (Lustron Preservation WINDOWS)

LUSTRON DEALERSHIPS

Since the prefabrication of the Lustron was likened to the production of an automobile, dealerships were established across the country, each having an exclusive sales territory much

like those in the auto industry. Houses were sold directly to the owner-occupant and not to middlemen. Large distributorships were set up east of the Rockies in New York, Florida, New Jersey, and Connecticut. In early 1948, the company began its promotional campaign and model homes were constructed in eastern and midwestern cities including New York, Chicago, Detroit and Milwaukee.

Dealers had to foot the expense of each house before it left the factory, pay for transportation to the site, and pay for on site assembly. The dealers had to carry the costs or find buyers with up front financing. The company also set the price limits without regard for the local market conditions so the profit margin varied regionally. Dealers were not allowed to subcontract work on the foundations and assembly.

Assembly time also did not match up with the forecasts. The company estimated that assembly could be accomplished between 150 and 350 man-hours. The inexperienced crews had to become familiar with the precise assembly required and often took more than 1,000 hours to assemble the building, closer to the 1,600 man-hours typical for a wood frame house of comparable size.

Despite problems with production that could not keep up with sales, by the spring of 1949 the network of dealerships had grown to between 140 and 230 dealers (sources vary in the exact number) in 35 states and one in Venezuela. Dealers and builders were offered training at the headquarters in Columbus, Ohio. "The Lustron Planning Guide" was also supplied to assist the dealers and customers with site planning, landscaping, and interior decoration. Lustron was promoting not just a new house but a "New Standard for Living." (NR Nomination p. 10-13, Exhibit A p.1, Exhibit C p. 3)

VII. SIGNIFICANCE

The Lustron House /Zander House at 3645 S. 20th Place is significant for a number of reasons. It is associated with important developments in post-World War II prefabricated housing. It is an excellent example of the merging of assembly line technology with the production of all metal building components in a closed system that produced a house with parts that were not interchangeable with any other than a Lustron. In the Lustron house, the individual components are as significant as the completed house. In many ways the Lustron was the ultimate machine for living since the removal of any component as the roof, the side wall panels or the windows destroys the essence of what make the house special, much like dismantling a machine. The Lustron was the most successful attempt to use technology to alleviate a housing shortage. Even though the experiment was short lived, it was instructive for later generations on the complexity of financing, production and distribution of a product as complex as a house and raises questions about the efficacy of mass production applied to the building industry. Lustron was also significant for its innovative marketing strategies were tried in the housing industry for the first time. Dealers and buyers were provided with examples of how to site the Lustron, how to landscape the property and how to care for the house through an owner's manual. The ranch house design was modern enough to appeal to buyers looking forward after World War II yet was not so risky as to be thought a fad or an oddity.

Milwaukee's and Wisconsin's role in the history of the Lustron is still being researched. Over 100 were built in the state, the fourth largest concentration in the country. That Milwaukee was chosen for a dealership was likely due to the city's size, importance to the state's economy and concentration of a skilled workforce. Even with its proximity to Chicago, Milwaukee was seen an important sales center for Lustrons and the number of houses constructed here bear this out.

The period of construction of the Lustrons was brief. The numbers of this building type are finite. Of the 2,680 or so built (sources vary) maybe 1,500 survive today. The example at 3645

S. 20th Place in Milwaukee tells us about the aspirations of the post-war population looking for a new way to live.

VII. HISTORY

PREFABRICATED HOUSING

Lustron Houses represent the culmination of decades of efforts to merge the house building process with industrialized assembly line techniques. Prefabricated building components had been used since the beginning of the Industrial Revolution. Factory-made metal houses date to the early 19th century and it is known that the first cast-iron house was built in Staffordshire, England before 1830. By “the 1840s, iron foundries in England and America were shipping metal houses in component form to the California goldfields, to pioneer settlements in Australia, and to British colonies in Africa. These metal houses provided cheap, temporary shelter.” (NR Nomination p. 2)

Such factory made housing was not considered suitable for everyday permanent housing, however and traditional building supplies and construction methods were viewed as economical. Traditional methods were also seen as a way to carry on the craft tradition and keep craftsmen employed. (NR Nomination p. 2)

Dramatic housing shortages after World War I forced builders both in England and the U.S. to reevaluate the place of prefabrication in the production of single-family homes. The housing shortage and surplus of steel in England following World War I led to the development of several factory-made models. Two steel-clad timber-frame structures in 1924 that proved popular were the Weir and the Atholl. Another was the Dorlonco, made in the 1920s that utilized a steel frame that was clad with metal panels that were sprayed with cement. The cost and the experimental nature of the houses resulted in only several thousand being produced before the housing crisis was over. (NR Nomination p. 2)

In Germany, one Bauhaus design with enameled steel wall panels and rubber gasket joints was built in 1926 and known as the Muche-Paulick steel house. In 1931 the Hirsch house was made with exterior and interior copper cladding. The Great Depression curtailed further work on these prototypes. (NR Nomination p. 2)

In America, Buckminster Fuller’s first Dymaxion House of 1927 showed that designers here were looking into alternative forms and materials. This factory-made steel podlike “livable dwelling unit” never reached full production, however. (NR Nomination p. 2)

The attitude toward prefabricated metal housing began to change by the mid 1930s. Housing starts in America had dropped 84 per cent. Seventy-nine per cent of American families could not even afford the cheapest house. In response, several American manufacturers began to seriously study the matter. The first American prototype of a house with interlocking exterior enameled steel panels was designed by Charles Bacon Rowley in 1932. American Rolling Mills Co. produced the Armco-Ferro house the same year. It was a frameless structure built of load-bearing enameled steel panels. Other companies that joined in included General Houses, Inc., American Houses Inc., and National Houses Inc. They produced variations on load bearing steel panels, steel framed asbestos-clad houses and steel frames with steel panel cladding. (NR Nomination p.3)

Prefabricated steel houses were showcased by more than a dozen firms at the 1933 Century of Progress Exposition in Chicago. By 1935 steel became the major component in the products made by twenty-one of the nation’s thirty-three prefabricated housing companies. No one business was able to overcome the problems associated with large scale manufacture, however. This type of product required major investments of cash and materials and equipment and there were still issues

involving corrosion, insulation and condensation not to mention distribution of the product. (NR Nomination p.3)

Things began to change with the advent of World War II and the need for immediate shelter for the thousands of soldiers now entering the Army. The federal government began to support prefabricated housing and public funds were made available under the Lanham Act of 1940. Some 200,000 units were produced during the war by as many as seventy companies. Several models were known to have used steel and taken advantage of standardized parts and modular designs. (NR Nomination p.3)

The Georgia Lustron National Register Multiple Property Nomination provides an excellent summary of these efforts.

When the war ended, the civilian housing crisis exploded, exacerbated by the building hiatus of the Great Depression and the war years. The government estimated that 3 million homes were needed in 1946 and another 12 million over the next decade. Faced with this crisis, Congress voted in 1946 to fund research and help subsidize production of prefabricated housing. The Veterans Emergency Housing Act of 1946 granted surplus war plants to prefab firms, allocated them scarce resources, and promised government loans through the Reconstruction Finance Corporation (RFC). Prefab housing became a peacetime priority.

Under the stimulus of government support, nearly three hundred firms entered the prefab housing industry in the late 1940s. Of these three were chosen to receive direct federal loans; two of these—General Panel Corporation (1942-1951) and the Lustron Corporation (1946-1950)—were subsidized to produce steel houses. General Panel, established in 1942, produced the Package House designed by German émigrés Walter Gropius and Konrad Wachsmann. The house used interchangeable, standardized parts that led to a variety of designs. But by 1946, despite professional acclaim and government funding, only a few Package Houses had been built. Design and production changes plagued the project. Without a return on the investment, financing dissolved and the firm was liquidated in 1951. In six years, the company built fewer than two hundred homes. (NR Nomination p.3-4)

THE LUSTRON CORPORATION 1946-1950

Industrialist/inventor Carl Strandlund (1899-1975) was the leading figure behind the Lustron Corporation. Born in Sweden, Strandlund was raised in Moline, Illinois. His grandfather and father were engineers with hundreds of patents to their names and Carl likewise took to the field. Carl worked for Minneapolis Moline Power Implement Company then the Oliver Farm Equipment Company and became a wealthy man. By the 1930s he was working for Chicago Vitreous Enamel Products Company which produced enameled steel panels that were used in a variety of products from refrigerator doors to storefronts. His innovations helped the company in its war production and he became vice president and general manager in September 1943. After the war the company geared up to handle domestic production.

In the summer of 1946 Strandlund went to Washington, D.C. to request material to produce five hundred enameled steel gas stations for Standard Oil of Indiana. His request was denied by the Civilian Production Administration since it had been determined by the government that the priority would be housing, a priority made official through the passage of the Veterans' Emergency Housing Act in May 1946. The private sector would not and had not been able to keep up with the demands for housing despite their complaints to the contrary. Census records showed that around 500,000 new families were being formed every year while only half a million non-farm houses had been built annually over the past 25 years. The federal government would help to alleviate the crisis by allocating materials, former wartime factories and providing loans through the Reconstruction Finance Corporation. Since the government had been successful in the use of prefabricated houses during the war, sponsoring prefabrication was seen to be a way to provide modern and economical housing in large quantities. The goal was to erect 250,000 prefabricated houses in

1946 and 600,000 in 1947. (NR Nomination p. 405; Lustron Preservation POST-WAR HOUSING CRISIS)

Strandlund returned to Washington three months later with plans and drawings for a house built of enameled steel panels to be constructed by Porcelain Products Company, an affiliate business to Chicago Vitreous. "The name was soon changed to Lustron Corporation, as a contraction of "luster on." Lustron was also derived from "Lusterlite," a type of frit which Chicago Vitreous manufactured and the Porcelain Products Company applied to iron." (NR Nomination p. 5; Lustron Preservation MEET CARL STRANDLUND)

Strandlund was given initial approvals for financing the manufacture of the house and for the huge wartime Dodge plant in Chicago. By 1947, however, the Dodge plant had been give to Preston Tucker (for the ill-fated Tucker automobile) and the original loan amount dwindled from \$52 million to \$15 ½ million, still the largest financial commitment made by the federal government to a housing firm. Ultimately, Lustron was able to lease the giant Curtiss-Wright aircraft plant in Columbus, Ohio at a cost of \$35,000 per month. (NR Nomination p. 5)

The first Lustron 2-bedroom prototype, the Esquire, was produced at a plant in Cicero, Illinois under the supervision of Chicago Vitreous. It was erected in Hinsdale, Illinois in 1946. Architects Roy Blass and Morris Beckman designed the prototype but not the later models.

1948

Actual production of Lustrons began at the Columbus plant in 1948. Lustron received additional federal funding in 1948 consisting of a loan for \$10 million. Material shortages and set-up delays had cost the company time and momentum.

The 1 million square feet of floor space at the plant (equivalent to 22 football fields), its 107 acres of land, 23 acres of presses, welding machines and furnaces seemed to have been a guarantee for success. The plant was also close to steel suppliers and the so-called "prefab belt" of the upper midwest where there appeared to be a strong market for this kind of housing. Everything was state-of-the-art. "Custom-designed trucks traveled through the factory on a conveyor belt; as each truck moved through the factory, it was loaded with the 12 ½ tons of parts that composed a single house. The parts were packed in a manner that enabled on-site workers to unload them in the proper sequential order. According to Lustron plans, a fully equipped trailer would roll through the factory doors every seven minutes. Each trailer was then trucked to a building location where it served as an on-site warehouse until the house was assembled. The complete package was composed of 3,000 parts including clips for mounting wall decorations, a front door key, and an owner's operating manual." The company fact sheet indicated that their best production record was 27 houses in a single eight-hour shift and they were able to ship forty-two houses on one day. All employees were union members. (NR Nomination p. 6, Exhibit C p.2-3)

The first enameled steel was produced at the plant in the summer of 1948 and the first house was not completed until November. By this time the company had been promoted in numerous architectural and popular periodicals, won concessions from the American Federation of Labor craft unions and there were model homes in 100 eastern and midwestern cities. By the time the factory was in full production there was a backlog of 20,000 unfilled orders. The delays had been expensive and Lustron missed the peak of the housing crisis. (NR Nomination p. 5)

1949

A third loan was awarded the company in the amount of \$7 million in 1949. Although the goal was to produce 17,000 houses a year, only 268 units were produced in July of that year.

1950

By 1950 the company was able to expand its product line and offer three bedroom models in addition to the two-bedroom units. Plans were even made for a more luxury model and there was talk of regional warehouse-assembly plants located across the country. The company also wanted to establish a market for used Lustron parts and form a system for built-in furniture. These goals were never achieved.

The concept that houses could be produced like automobiles and sold through dealer franchises proved unattainable. The company lost up to \$1 million a month and the Reconstruction Finance Corporation foreclosed on its loans. There was also a federal investigation and the Lustron corporation declared bankruptcy. It was sold at auction in June 1950. It had shipped fewer than 2,680 houses during its operation. The Cleveland manufacturing plant was still extant, having been used by an airline company in later years, but was vacant at the time the National Register nomination was prepared in 1995. (NR Nomination p. 8)

Why Did Lustron Fail?

A number of reasons contributed to the company's demise including internal business decisions and exterior market forces. The company underestimated the money and time needed for mass production. It also did not establish a distribution system that was able to handle high-volume sales. "These miscalculations were critical: by the time Lustron was producing homes on a regular basis, the housing crisis had largely passed and the house was competing in a rebounded market. Moreover, because production levels remained low, the cost of each house steadily escalated. Soon, the proposed \$6,000 house was selling for \$11,000—a price greater than that of many traditional small houses. Finally, because Lustron sold houses on an individual basis through franchised dealers, the company never achieved the sales volume that characterized the large-scale housing developments of the period like those of Levitt and Sons, Inc." Thomas T. Fetters book, The Lustron Home, documents another possible cause for the business's failure: potential investors who were thwarted at gaining control of the company. They had allies in Congress and instigated investigations and public criticism of the company. (NR Nomination p. 6-7; Fetters, pages 85-115)

The Lustron house could simply not compete in the marketplace. Escalating costs made traditional houses more affordable. Since the Lustron was a closed system, where all parts were made specifically for their house and were not interchangeable with traditional houses, buyers were locked into a limited variety of options. There were difficulties getting mortgages from lending institutions skittish about the novelty of the prefabricated house although that problem was somewhat fixed by approval from the Federal Housing Authority. Local building codes varied and some did not allow features that were part of the Lustron's innovative design. Building material suppliers and the construction trades also saw the Lustron as taking away their livelihood. (NR Nomination p. 6-8)

The National Register nomination continues: "but the collapse of Lustron should not overshadow the firm's achievements. The popular acceptance of the design challenged the notion that American buyers would never live in factory-made houses or that prefabs could succeed only as temporary solutions in crisis situations. Nor had any venture so thoroughly applied the methods of the assembly line in the construction of houses. Lustron's limited success caused some regulatory agencies to reevaluate existing housing codes. But from its failure, the housing industry learned that a successful prefabricated housing venture depended not only on a well-designed product but also on the effective manipulation of all facets of the American housing market." (NR Nomination p. 8)

Legal issues plagued Carl Strandlund and Lustron after the business closed. Strandlund had been something of a golden boy who was exceedingly successful in all of his business ventures and made a lot of money for both his employers and himself in the process. With his typical confidence, Strandlund had staked some of his own wealth to create Lustron houses and lost it all. The federal Reconstruction Finance Corporation finally dropped its suit against Strandlund and received all of his

Lustron stock in return. Strandlund went on to work as the president of a steel parts manufacturer in 1953. Strandlund and his wife Clara would leave Cleveland and went on to live in Chicago, New York and Florida, ultimately settling in the Minneapolis area in 1973. This had been Clara's birthplace and where they had met so it was an area special to the couple. Strandlund died at the age of 75 in 1974. (NR Nomination p. 8; Lustron Preservation MEET CARL STRANGLUND)

LUSTRONS IN MILWAUKEE

There were thought to be two two Lustron distributors in the state of Wisconsin, one located in Madison and one in Milwaukee. The Milwaukee location may have been a branch of the Madison dealer since the model house was constructed by Cecil E. White of Madison. Lustrons were constructed in some 34 states as well as the District of Columbia. The popularity of the Lustron varied from state to state. Only two were built in South Carolina while 307 were built in Illinois. Only seven states exceeded 100 Lustrons built and Wisconsin was among them. The tally includes: New York (103), Iowa (112), Pennsylvania (116), Wisconsin (129), Indiana (142), Ohio (275) and Illinois (307). (National Register nomination Exhibit C page 5 of 6)

The model home in Milwaukee was constructed at 3802 W. Capitol Drive in 1948. Two businesses were associated with the company here, Advance Homes Inc. and Midland Homes Association. Research on these businesses is ongoing. They do not appear in the Milwaukee city directories. At the present time there are 16 documented Lustrons in Milwaukee. Five had permits taken out in 1948 and eleven in 1949. Their locations are scattered throughout the city's west/northwest side. The Lustron at S. 20th Place appears to be the only known Lustron on the city's south side. Some of the Milwaukee Lustrons are built in more traditional and older neighborhoods of brick and Lannon stone houses while others are in neighborhoods defined by modest Cape Cods, front and side gabled cottages and small ranch houses built in the late 1930s through the early 1950s. Most of the Milwaukee Lustrons were built on corner lots affording good visibility in their respective neighborhoods. The following is a listing of known examples in Milwaukee.

ADDRESS	PERMIT DATE	COST	COLOR	BUILDER	ORIGINAL OWNER
3802 W. Capitol Drive	05/03/1948	\$7,800	Aqua, white trim/now painted and windows replaced	Cecil E. White 4137 Iroquois Madison, WI	Cecil E. White/ in 1950 Bernard F. Brainerd (Goldie) salesman
5516 W. Phillip Place	10/07/1948	\$7,800	Aqua with yellow trim	Advanced [sic] Homes Inc.	Carl Brunke* (Ottillie) machine op Allen-Bradley Ottillie is Secretary Star Dust Publishing Co.
4259 N Sercombe Road	11/18/1948	\$8,000	Aqua yellow trim/now painted tan	Advanced [sic] Homes Inc//Dan Schramka	Elizabeth M. Kerr Instructor State Teachers College
3825 W. Marion Street	11/18/1948	\$8,000	Aqua yellow trim/now painted cream with white gable	Advanced [sic]Homes Inc//Dan Schramka	Edward C. Reuter* (Vera) City tax assessor
3645 S. 20 th Place	12/02/1948	\$8,500	Maize yellow	J. Salstein	Oliver E. Zander*

					(Amanda) Draftsman WI Tel Co.
2777 N. 82 nd Street	01/05/1949 Not in CD 1949-1950	\$8,000	Vinyl sided/was aqua/ chimney still aqua	Advance Homes Inc.//Dan Schramka	Carl D. Rapps (Verna) Clerk PO
3474 N. 93 rd Street	03/31/1949	\$8,000	Vinyl sided/has rose chimney	Advance Homes Inc.//Dan Schramka	Wilbur A. Schlei (Leola M.) Serv mgr John Lubotsky Motor Sales
4276 N. 36 th Street AKA 3535 W. Marion Street	03/31/1949	\$7,800	Maize yellow now painted white/now vinyl sided	Advance Homes Inc.//Dan Schramka	Raymond B. Pahle Serv eng Blatz
2746 N. 81 st Street	07/01/1949	\$8,000	Aqua with white trim	Midland Homes Assn//R.P. Panler	Donald C. Thompson (Isabel E.) Park supr County
3014 N. 83 rd Street	07/20/1949	\$7,800	Aqua white trim	Midland Homes Assn//R.P. Panler	James Battoni* (Emily) Prod wrkr Cramer-Krasselt
4412 N. 42 nd Street	08/15/1949	\$8,000	Rose white trim/now painted tan with brown trim	Midland Homes Assn	Howard G. Beck* Teller M & I Bank
3205 N. 82 nd Street	08/25/1949	\$8,000	Aqua white trim	Midland Homes Assn//Joseph Geier	Elmer Bublitz* (Lucille C.) Prsmn Milw Journal
4964 N. 27 th Street	08/26/1949	\$7,800	Aqua	Midland Homes Assn	George Appleby Jr.*/in 1950 Vernon J. Reilly (Ruth) Art welder Falk Corp
4956 N. 27 th Street	08/26/1949	\$7,800	Rose/with matching Lustron garage	Midland Homes Assn	Walter S. Barr* (Bertha E.) S-T Independent Typesetting Co.
2971 N. 91 st Street	11/23/1949	\$7,500	Tan with white trim	Midland Homes Assn	Carl J. Hertel* (Kathryn H.) Draftsman Johnson Service
4433 N. Sherman Boulevard	12/13/1949	\$7,800	Rose with white trim	Midland Homes Assoc.	Fred W. Ebert*/ in 1950 Ottley C. Schwartz Acct City Comptroller
* denotes name actually on permit					

In the years since the initial inventory of Lustrons in Milwaukee, many have been altered with the removal of original windows, enclosure of the entry porch, painting the exterior panels and trim, and covering the original panels with vinyl siding. To date, the Lustron on S. 20th Place is the only example where the owner has begun to dismantle the building. It is the only Milwaukee Lustron where the owners are planning to demolish what they cannot sell off the house.

HISTORY OF 3645 S. 20th PLACE

The permit to construct 3645 S. 20th Place was taken out on December 2, 1948. Inspectors' notes show that no work had started yet in January 1949 but that the foundation was in and the walls were going up by February 28th. The house was completed in May. Oliver E. Zander was listed as the owner. Zander was the son of Joseph and Catherine (McLaughlin) Zander and was born September 10, 1905. City directories show his first wife as Margaret. It is not known if she died or they divorced. He later married Amanda Jelinski in 1944. Zander worked as a draftsman for Wisconsin Telephone Company. For many years he lived at 904 S. 6th Street but at the time he purchased the Lustron house he was living at 2512 W. Becher Street in one of a row of nearly matching Arts and Crafts style houses on that block. City directories continue to show Zander as a draftsman after his move into the new home. He died on June 13, 1956 and was buried at Calvary Cemetery. Widow Amanda continued living in the house into the late 1960s. She had moved to E. Knapp Street by 1970. She died on September 28, 1986 at the age of 85 and was also buried at Calvary Cemetery. (familytreemaker.genealogy.com, Oliver Zander and Amanda Jelinski; Milwaukee Permit Records; Milwaukee City Directories)

Gene M. and Charlotte Smars were the next owners of the south side Lustron. Gene was a factory worker at Miller Brewing Company. The property was put in Charlotte's name in 2002 and in 2007 she sold to Thomas Nieman. North Shore Bank acquired the property on June 16, 2010. The current owner, Ronica Pozdol, acquired the property on July 29, 2011. (Milwaukee City Directories; Milwaukee Assessor's information; Property Recording Information Department of Neighborhood Services)

THE ARCHITECTS

The Chicago area firm of Beckman and Blass were responsible for the design of the Lustron prototype. Roy Burton Blass met Carl Strandlund through projects Blass had done using porcelain enamel panels in the remodeling of several Chicago area theaters. Morris Beckman had graduated from the Massachusetts Institute of Technology and had worked as a draftsman for Skidmore, Owings and Merrill.

While Beckman and Blass worked on the Esquire prototype Lustron, other stylists, some of whom came from the auto industry, worked out the finished look of the house and the various models.

Carl Koch and Associates was hired in 1949 to design a more upscale luxury model of the Lustron. There was to be a more flexible interior plan, attached garage and even a fireplace. His plans and recommendations were never carried out as the company went into bankruptcy.

VIII. SOURCES

Familytreemaker.genealogy.com. Information about Oliver Zander.

Fetters, Thomas T. and Kohler, Vincent. The Lustron Home: The History of a Postwar Prefabricated Housing Experiment. Jefferson, N.C.: McFarland, c. 2002.

"Lustron Houses in Georgia." National Register of Historic Places Multiple Property Documentation Form. United States Department of the Interior, National Park Service. 1995.

Lustron Preservation. Website www.lustronpreservation.org

Milwaukee Assessor's Department.

Milwaukee City Building Permits.

Milwaukee City Directories.

Milwaukee Department of Neighborhood Services. Property Recording Information

IX. STAFF RECOMMENDATION

Staff recommends that the Lustron House/Zander House be given interim historic designation as a City of Milwaukee Historic Structure as a result of its fulfillment of criteria e-1, e-5, and e-7, of the Historic Preservation Ordinance, Section 320-21 of the Milwaukee Code of Ordinances.

- e-1. **Its exemplification of the development of the cultural, economic, social, or historic heritage of the City of Milwaukee, State of Wisconsin, or of the United States.**

Rationale: The Lustron house at 3645 S. 20th Place is one of a finite number of unique prefabricated houses clad in porcelain enamel steel panels. Only 2, 680 were ever erected. Produced by the Lustron Corporation of Columbus, Ohio between 1948 and 1950, they were an attempt to solve the nation's severe housing crisis following World War II by applying the materials and technology of the assembly line to the construction of houses. The Lustron house symbolizes the aspirations of the post war economy that had boundless confidence in new technologies and new ways of solving problems. The population wanted a new way to live, a lifestyle that allowed for convenience, simplicity and more leisure time to spend with the family.

- e-5 **Its embodiment of distinguishing characteristics of an architectural type or specimen**

Rationale: The Lustron house is an excellent example of the simple ranch style that was becoming popular after World War II. The Lustron married a forward looking technology (steel housing) and innovative production methods (assembly line) with a form that was acceptable to the general public. The Lustron was on the beginning curve of the ranch house's popularity. It became ubiquitous in the 1950s as federal agencies approved loans for such houses and popular periodicals espoused the benefits of living in a modern home. In many ways, the simplicity of the exterior, the compact and efficient interiors and emphasis on windows as a major design feature are natural progressions from the bungalow, itself the ubiquitous housing type of the nineteen teens and 1920s.

e-7 **Its embodiment of elements of architectural design, detail, materials, or craftsmanship which represent a significant architectural innovation.**

Rationale: Lustron Houses are instantly recognizable from the material with which they were constructed. They were a "brand" of housing before such marketing took hold in recent decades and Lustrons can be picked out no matter what state they were built in. Lustron took the pre-cut mail-order house concept (which had a history in this country) to a new level with state of the art materials, furnishings and assembly methods. Innovations by Carl Strandlund and his predecessors made the production of lighter weight porcelain enamel clad steel panels both practical and economical. Their use on the interior of the house as well as the exterior has had little precedent and even fewer followers. In many ways the Lustron house *is* the material from which it is built. Removing the cladding, the roofing, and the windows would relegate the simple ranch to the status of just another house. The Lustrons were produced as a closed system of over 3,000 parts. They were not interchangeable with any other type of dwelling. Innovations in production and the assembly line, the use of specially designed trucks to haul the components to the building site, the extensive use of prefabricated metal built-ins, the unique dishwasher-clothes washer among other things, made the Lustron appear viable as a house for the future. It was a new way to construct a traditional building type.

**X. PRESERVATION GUIDELINES FOR
THE LUSTRON HOUSE AT 3645 S. 20th PLACE**

The Lustron House is a phenomenon of mid-Twentieth century residential architecture. These guidelines are intended to preserve the physical characteristics and appearance of the metal roof, windows and sidewalls. Any exterior alteration requires a Certificate of Appropriateness from the Historic Preservation Commission. Most repairs are handled through a staff approval process meaning that approval of the full Historic Preservation commission is usually not needed. For general information on the preservation of the house, please consult the website www.lustronpreservation.org

Any existing exterior features can remain and that includes the non-original metal decorative elements added to the front porch. Any changes from the point of designation on, however, must be compatible with the original designs of the house.

The following preservation guidelines represent the principal concerns of the Historic Preservation Commission regarding this historic designation. However, the Commission reserves the right to make final decisions based upon particular design submissions. Building maintenance and restoration must follow accepted preservation practices as outlined below. The intent of the guidelines are to preserve the house as closely as possible to its original form and details.

A. Roofs

Retain the roof shape and material. The Lustron House was fitted with an enameled metal roof and this is an important feature of its design. Alterations to the pitch of the roof are not permitted. Skylights are discouraged on the front elevation, and given the difficulty of installing a skylight in this type of decorative metal roof on the Lustron House; they are generally discouraged anywhere on the roof. Repairs to the roof should be made with matching pieces of salvaged metal roofing from other Lustron houses and must match the existing color and texture.

No major changes can be made to the roof shape of the house, including dormers, which would alter the building height, roofline or pitch. Locate mechanical systems and vents on the rear slope of the roof and paint them out to minimize impact.

A satellite dish or solar panels, if installed, must be reviewed by HPC staff, and must be located on the rear half of the roof or on the back of the house as far to the rear as possible. No rooftop construction is allowed, as this would compromise the appearance of the house.

B. Materials

1. Masonry

- a. Masonry was limited to the poured concrete slab on grade foundation of the Lustron House and is not visible. Any repairs to the foundation of the Lustron house should be done in a manner that will not alter the house above grade.

2. Wood/Metal

- a. Retain original material, whenever possible. The original metal siding panels are a key part of the building's history and architecture and

should not be removed. Drilling holes into the siding material is discouraged as this can lead to deterioration of the enamel cladding and pre-mature rusting.

- b. Retain or replace deteriorated material with new material that duplicates the appearance of the old as closely as possible. The metal panels cannot be painted although repair of the metal panels where they are rusted can be done with modern epoxy materials where needed. Stopping any existing rust in the metal panels is important to preserve the house and stop further deterioration.
- c. Covering metal walls with aluminum, vinyl or wood lap siding is not permitted. The exterior walls of the Lustron House are vital to its character and history. Any replacements or substitutes for the wall panels must match the originals exactly in terms of size, finish and color.

C. Windows and Doors

1. Retain original window and door openings as they are essential to the architectural character of the house. Retain the existing configuration of panes, sash, surrounds and sills, except as necessary to restore to the original condition. Do not make additional openings or changes to existing window or door openings by making them larger or smaller to fit new stock window sash or new stock door sizes. Do not change the size or configuration of the original windowpanes or sash. Any replacement windows must match the originals in terms of material (extruded aluminum), finish and hardware.
2. Respect the building's stylistic period. If the replacement of a door or window sash is necessary, the replacement should duplicate the appearance and design, and material of the original. The installation of vinyl or fiberglass windows in the house is not permitted. In the event new windows are needed, they must match the originals in terms of material, glass size and configuration of the panes. The installation of insulating-glass windows is permitted. Any changes to doors and windows, including installation of new doors and windows, require consultation with Historic Preservation staff and a Certificate of Appropriateness.
3. Steel bar security doors should not be installed on the front elevation of the house. Although some designs may be appropriate but must be reviewed and approved by HPC staff.

D. Trim and Ornamentation

There is relatively little trim on the Lustron house, but any original trim must be preserved. There should be no changes to the existing historic trim or ornamentation except as necessary to restore the building to its original condition. Replacement features must match the original member in scale, design, color and appearance. Consultation with Historic Preservation staff is required before any changes or repairs are made to the building.

E. Additions

No additions will be permitted on the front or sides of the houses as this would destroy the character defining features of the buildings. Any other addition requires the approval of the Commission. Ideally an addition should either compliment or have a neutral effect upon the historic character of the building. Approval shall be based upon the addition's design compatibility with the building in terms of window size and placement, building height, roof configuration, scale, design, color, and materials, and the degree to which it visually intrudes upon the principal elevations or is visible from the public right of way. Additions must be smaller than the building and not obscure the historic building.

F. Exterior Lighting

The installation of any permanent exterior light fixture on the front elevation requires the approval of the HPC staff. Approval will be based on the compatibility of the proposed light with the historic and architectural character of the building. Consultation with Historic Preservation staff is encouraged to assist in the selection of exterior fixtures.

G. Site Features

New plant materials, paving, fencing, or accessory structures (garden sheds, storage sheds, and gazebos) must be compatible with the historic architectural character of the house and requires a Certificate of Appropriateness. A raised, rear deck installation requires a Certificate of Appropriateness. The existing garage and greenhouse addition can remain but their replacement will require consultation with Historic Preservation staff and a Certificate of Appropriateness.

The installation of retaining walls along the front of the property is not encouraged and generally not allowed. If replacement fencing is considered, new fencing must follow the examples in Living With History and As Good As New. The driveway may be replaced with new concrete or asphalt. Any changes to the location of the drive will require consultation with Historic Preservation staff and a Certificate of Appropriateness. A new garage may be constructed at the rear and must be generally compatible with the overall design of the house.

H. Guidelines for New Construction

It is important that new construction be designed so it is as sympathetic as possible with the character of the Lustron House. Small-scale accessory structures, like a gazebo or fountain, are generally permitted in the rear yards depending on their size, scale and form and the property's ability to accommodate such a structure.

1. Site

New construction must respect the historic site of the building. It should be done in a manner that maintains the appearance of the building from the street as a freestanding structure.

2. Scale

Overall building height and bulk, the expression of major building divisions, overhangs and window size and must be compatible to and sympathetic with the design of the original building. A secondary building such as a garage or an outbuilding must be smaller in size and shorter than or no

more than equal to the height of the Lustron House. While there are many possible designs for new garages, the Historic Preservation office has plans for new garages that are available to owners of historic houses and can also assist in the design of a new garage that would be uniquely tailored to the design of the Lustron House.

3. Form

The massing of the new construction must be compatible with the goal of maintaining the integrity of the original building as a freestanding structure.

4. Materials

The building materials which are visible from the public right-of-way should be consistent with the colors, textures, proportions, cladding materials used on the Lustron House. A garage could be clad in materials made to look like enameled panels on the house.

I. Guidelines for Demolition

Although demolition is not encouraged and is generally not permissible, there may be instances when demolition may be acceptable if approved by the Historic Preservation Commission. The following guidelines, with those found in subsection 11(h) of the ordinance, shall be taken into consideration by the Commission when reviewing demolition requests.

1. Condition

Demolition requests may be granted when it can be clearly demonstrated that the condition of a building or a portion thereof is such that it constitutes an immediate threat to health and safety and is beyond hope of repair.

2. Importance

Consideration will be given to whether or not the building is of historical or architectural significance or displays a quality of material and craftsmanship that does not exist in other structures in the area.

3. Location

In general a secondary building on the lot such as a garage can be demolished if it is beyond repair.

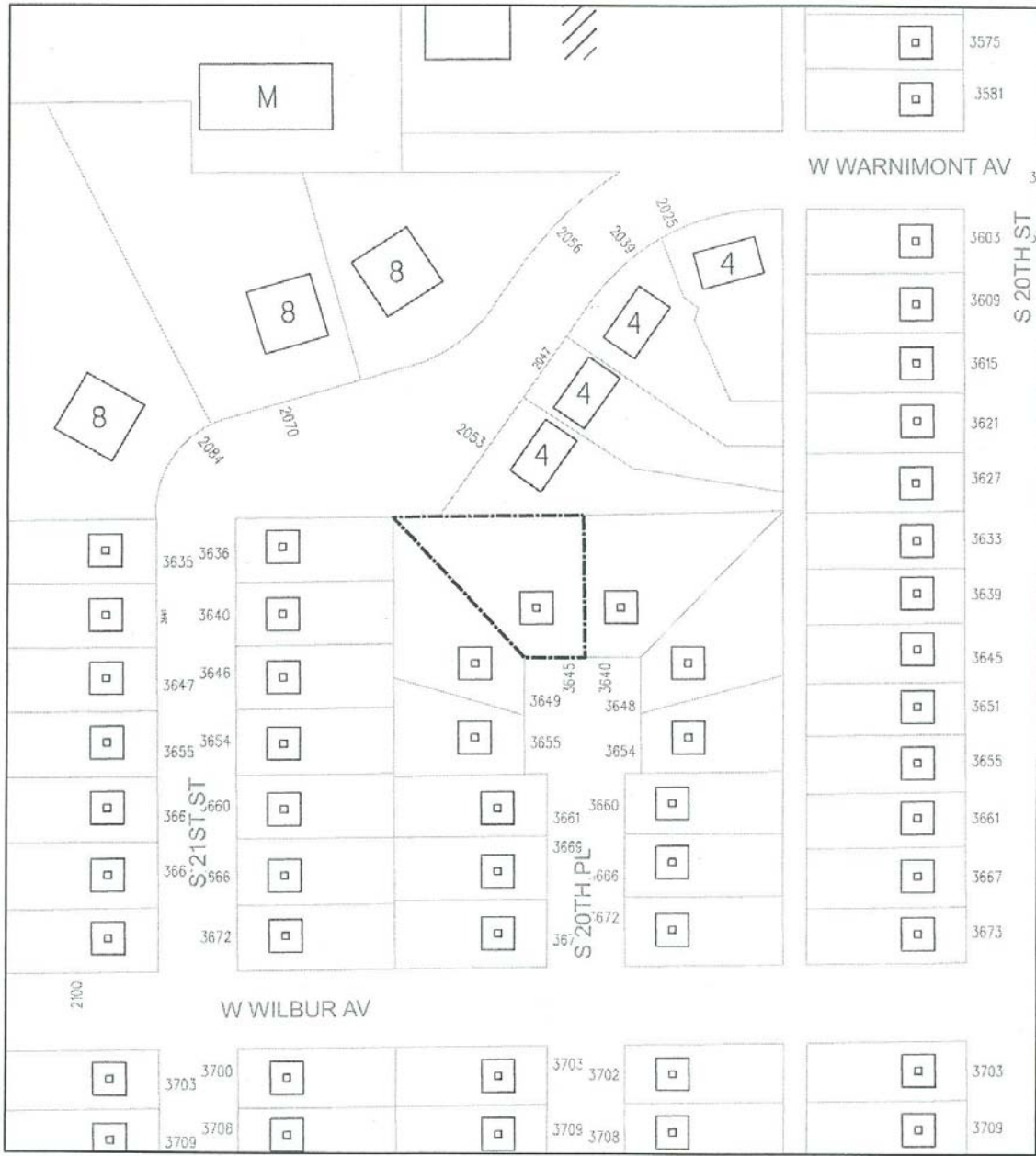
4. Potential for Restoration

Consideration will be given, on a case-by-case basis as to whether or not the building is beyond economically feasible repair.

5. Additions

Consideration will be given to whether or not the proposed demolition is a later addition that is not in keeping with the original design of the house or does not contribute to its character.

Lustron House - Interim Designation 3645 S. 20th Pl.

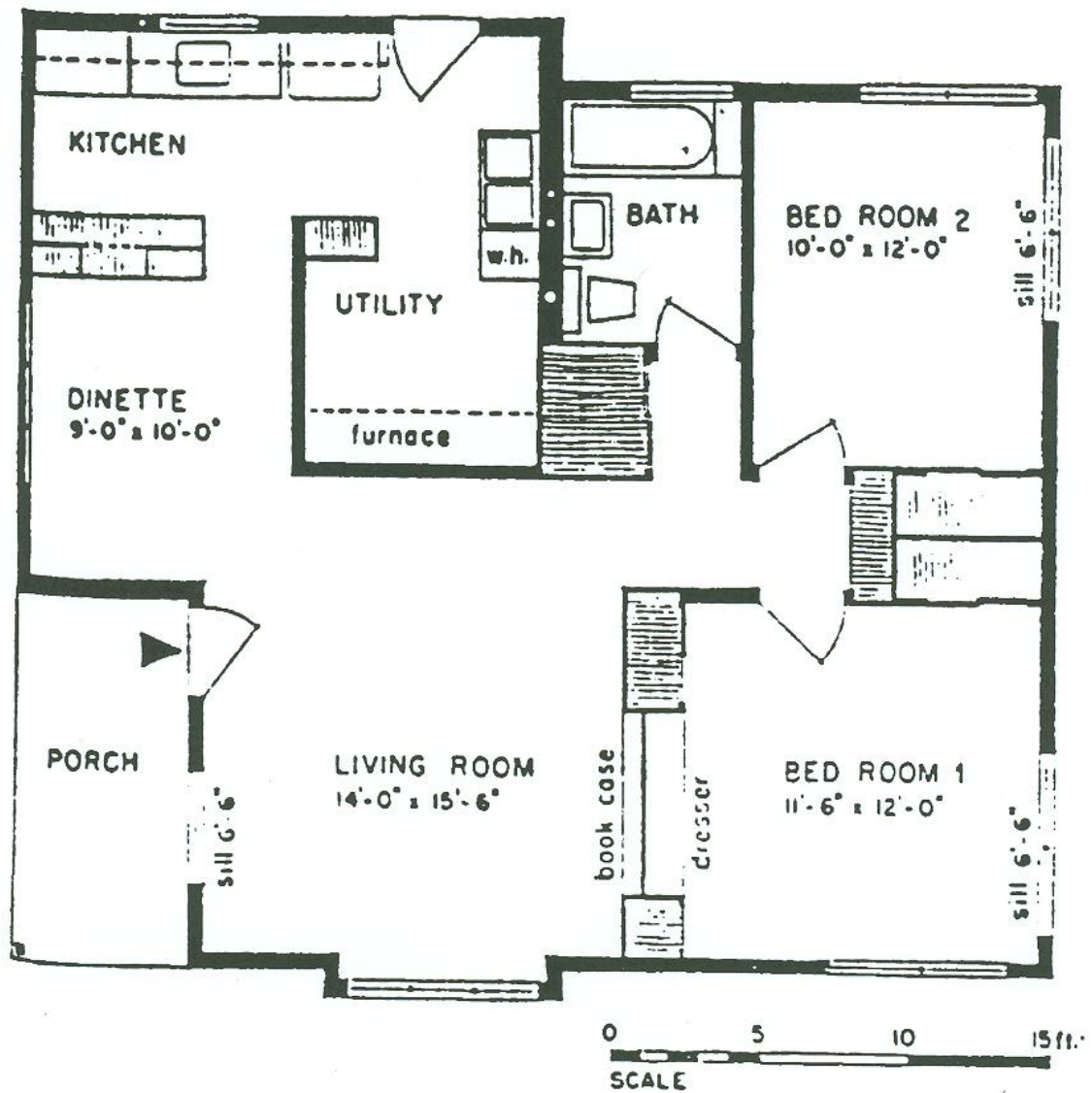


 Parcel Boundary

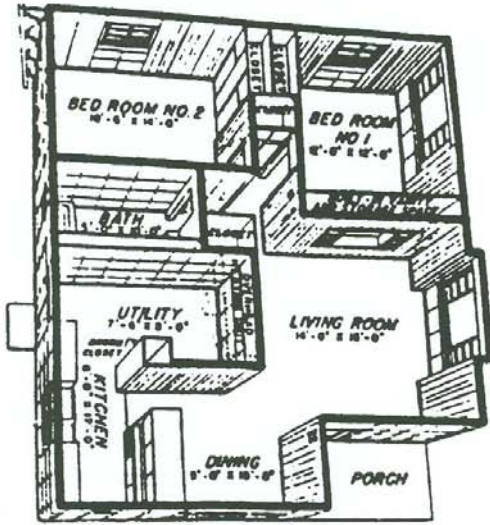
0 50 100 200 Feet



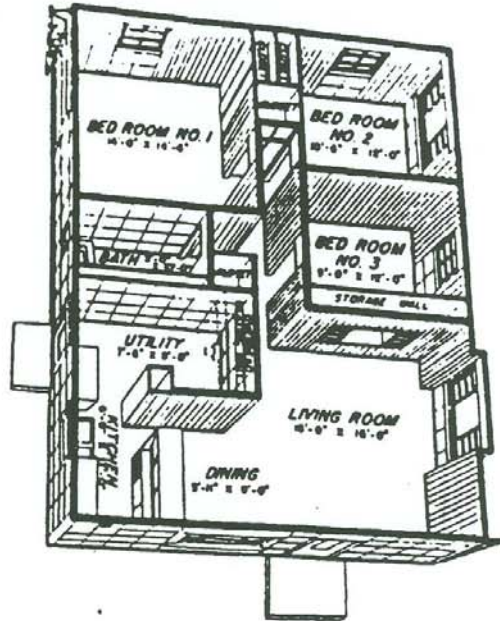
City of Milwaukee 8-19-11
133427.mxd, RTW



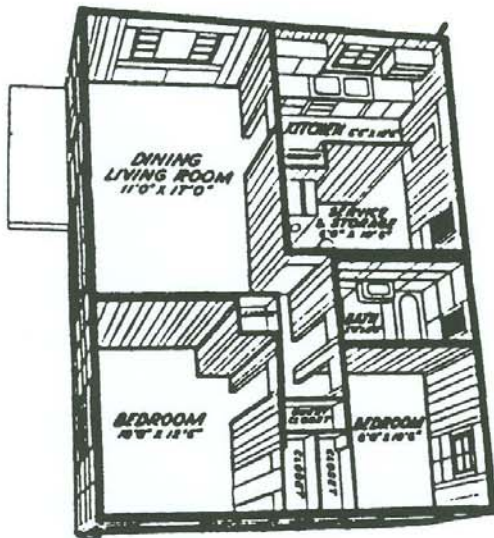
Blass & Beckman, proposed floor plan (Architectural Forum).



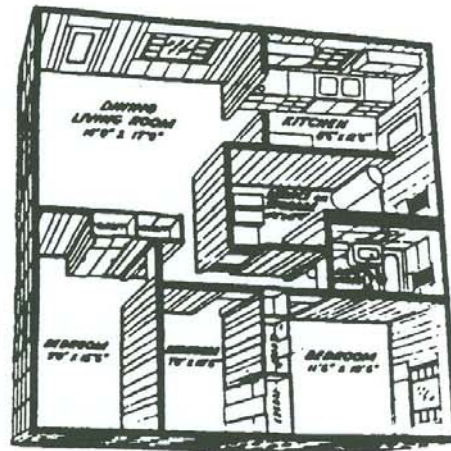
Floor plan,
Westchester two-bedroom
model.



Floor plan,
Westchester three-bedroom
model.



Floor plan,
Newport two-bedroom
model.



Floor plan,
Newport three-bedroom
model.

(Lustron Corporation Records Collection).







www.milwaukee.gov

Office of the City Clerk

Ronald D. Leonhardt
City Clerk

Jim Owczarski
Deputy City Clerk

October 10, 2011

CERTIFIED MAIL

Ronica Pozdol
1000 S. 108th St., #A18
West Allis, WI 53214

Dear Property Owner:

RE: Permanent historic designation of the Lustron House located at 3645 S. 20th Place

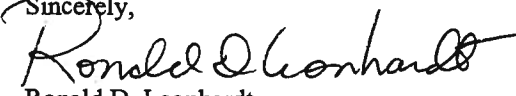
At a public hearing held on September 6, 2011, the Historic Preservation Commission voted to designate on an interim basis, the house at 3645 South 20th Place as an historic structure in accordance with the provisions of Section 320-21-13 of the Milwaukee Code of Ordinances, based on criteria of s. 320-21-3-e-1, e-5, and e-7. (See map on the back of this page).

According to Section 320-21-13-g, a public hearing shall be held within 90 days of the date of the initiation of the interim designation to consider permanent designation of the building.

A public hearing has been scheduled on Monday, November 7, 2011 at 3:00 p.m. at City Hall, 200 East Wells Street, Room 301-B to determine whether or not the proposed designation of the Lustron House located at 3645 S. 20th Pl. satisfies the criteria for historic designation in accordance with Section 320-21 of the Milwaukee Code of Ordinances.

If the Commission determines the building meets at least one criterion, a favorable recommendation for nomination can be forwarded to the Milwaukee Common Council.

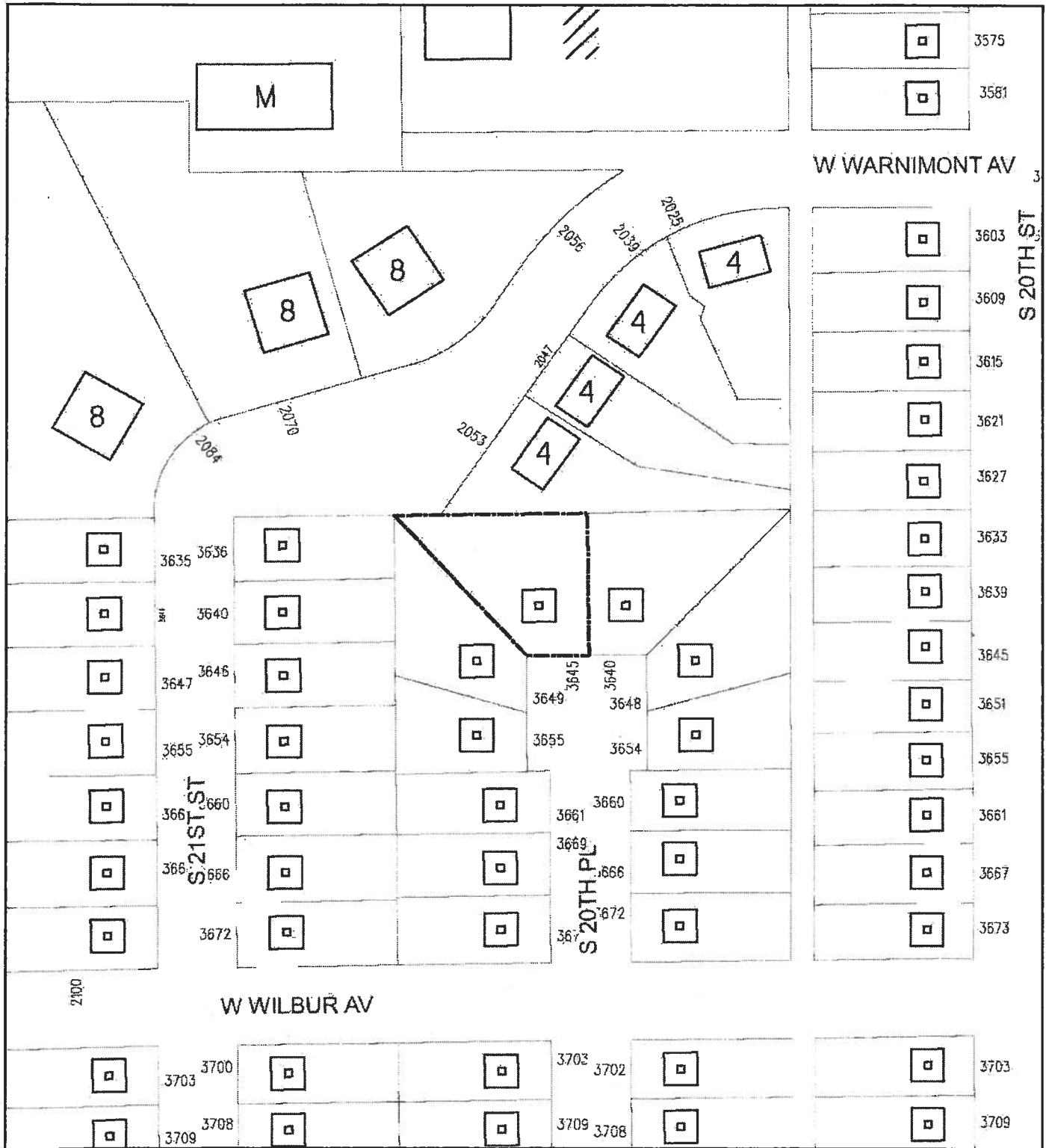
The Lustron House Study Report and information about the Historic Preservation Commission are available online at <http://milwaukee.legistar.com/legislation>. The file concerning the proposed permanent historic designation of the Lustron House at 3645 S. 20th Place is number 110819. Information regarding the interim historic designation of the Lustron House at 3645 S. 20th Place can be found under file number 110552. If you have any questions regarding the proposed designation of the Lustron House at 3645 S. 20th Place, please call Carlen Hatala of the Historic Preservation staff at (414) 286- 5722.

Sincerely,

Ronald D. Leonhardt
City Clerk

Cc: Ald. Terry Witkowski – 13th District

Lustron House – Permanent Historic Designation

3645 S. 20th Pl.



Parcel Boundary

0 50 100 200 Feet





www.milwaukee.gov

Office of the City Clerk

Ronald D. Leonhardt
City Clerk

Jim Owczarski
Deputy City Clerk

October 10, 2011

CERTIFIED MAIL

North Shore Bank FSB
15700 W. Bluemound Rd.
Brookfield, WI 53005

Dear Property Owner:

RE: Permanent historic designation of the Lustron House located at 3645 S. 20th Place


At a public hearing held on September 6, 2011, the Historic Preservation Commission voted to designate on an interim basis, the house at 3645 South 20th Place as an historic structure in accordance with the provisions of Section 320-21-13 of the Milwaukee Code of Ordinances, based on criteria of s. 320-21-3-e-1, e-5, and e-7. (See map on the back of this page).

According to Section 320-21-13-g, a public hearing shall be held within 90 days of the date of the initiation of the interim designation to consider permanent designation of the building.

A public hearing has been scheduled on Monday, November 7, 2011 at 3:00 p.m. at City Hall, 200 East Wells Street, Room 301-B to determine whether or not the proposed designation of the Lustron House located at 3645 S. 20th Pl. satisfies the criteria for historic designation in accordance with Section 320-21 of the Milwaukee Code of Ordinances.

If the Commission determines the building meets at least one criterion, a favorable recommendation for nomination can be forwarded to the Milwaukee Common Council.

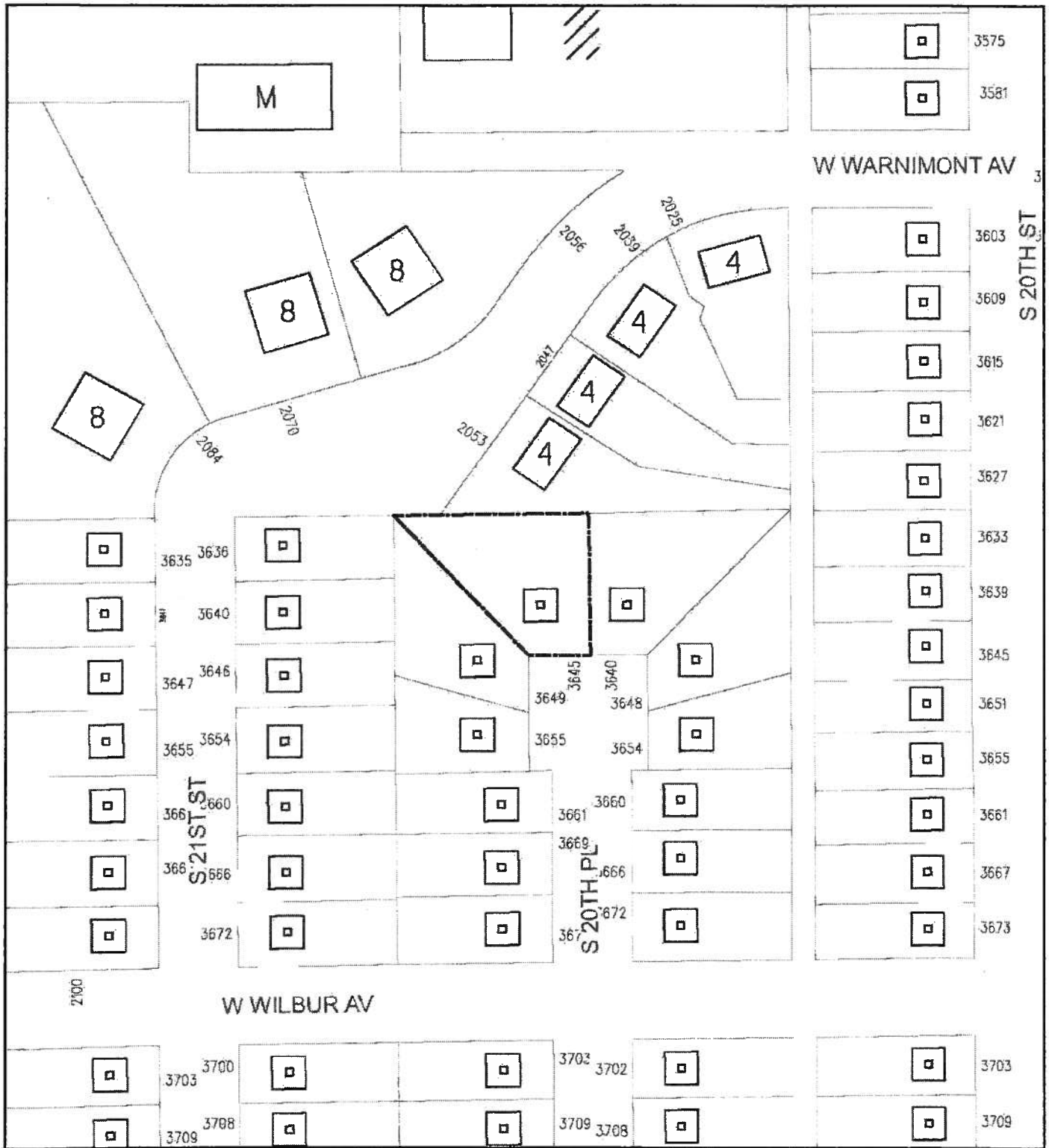
The Lustron House Study Report and information about the Historic Preservation Commission are available online at <http://milwaukee.legistar.com/legislation>. The file concerning the proposed permanent historic designation of the Lustron House at 3645 S. 20th Place is number 110819. Information regarding the interim historic designation of the Lustron House at 3645 S. 20th Place can be found under file number 110552. If you have any questions regarding the proposed designation of the Lustron House at 3645 S. 20th Place, please call Carlen Hatala of the Historic Preservation staff at (414) 286- 5722.

Sincerely,

Ronald D. Leonhardt
City Clerk

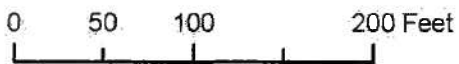
Cc: Ald. Terry Witkowski – 13th District

Lustron House – Permanent Historic Designation

3645 S. 20th Pl.



Parcel Boundary





www.milwaukee.gov

Office of the City Clerk

Ronald D. Leonhardt
City Clerk

Jim Owczarski
Deputy City Clerk

October 10, 2011

Dear Neighboring Property Owner:

RE: Permanent historic designation of the Lustron House located at 3645 S. 20th Place

At a public hearing held on September 6, 2011, the Historic Preservation Commission voted to designate on an interim basis, the house at 3645 South 20th Place as an historic structure in accordance with the provisions of Section 320-21-13 of the Milwaukee Code of Ordinances, based on criteria of s. 320-21-3-e-1, e-5, and e-7. (See map on the back of this page).

According to Section 320-21-13-g, a public hearing shall be held within 90 days of the date of the initiation of the interim designation to consider permanent designation of the building.

A public hearing has been scheduled on Monday, November 7, 2011 at 3:00 p.m. at City Hall, 200 East Wells Street, Room 301-B to determine whether or not the proposed designation of the Lustron House located at 3645 S. 20th Pl. satisfies the criteria for historic designation in accordance with Section 320-21 of the Milwaukee Code of Ordinances.

If the Commission determines the building meets at least one criterion, a favorable recommendation for nomination can be forwarded to the Milwaukee Common Council.

The Lustron House Study Report and information about the Historic Preservation Commission are available online at <http://milwaukee.legistar.com/legislation>. The file concerning the proposed permanent historic designation of the Lustron House at 3645 S. 20th Place is number 110819. Information regarding the interim historic designation of the Lustron House at 3645 S. 20th Place can be found under file number 110552. If you have any questions regarding the proposed designation of the Lustron House at 3645 S. 20th Place, please call Carlen Hatala of the Historic Preservation staff at (414) 286- 5722.

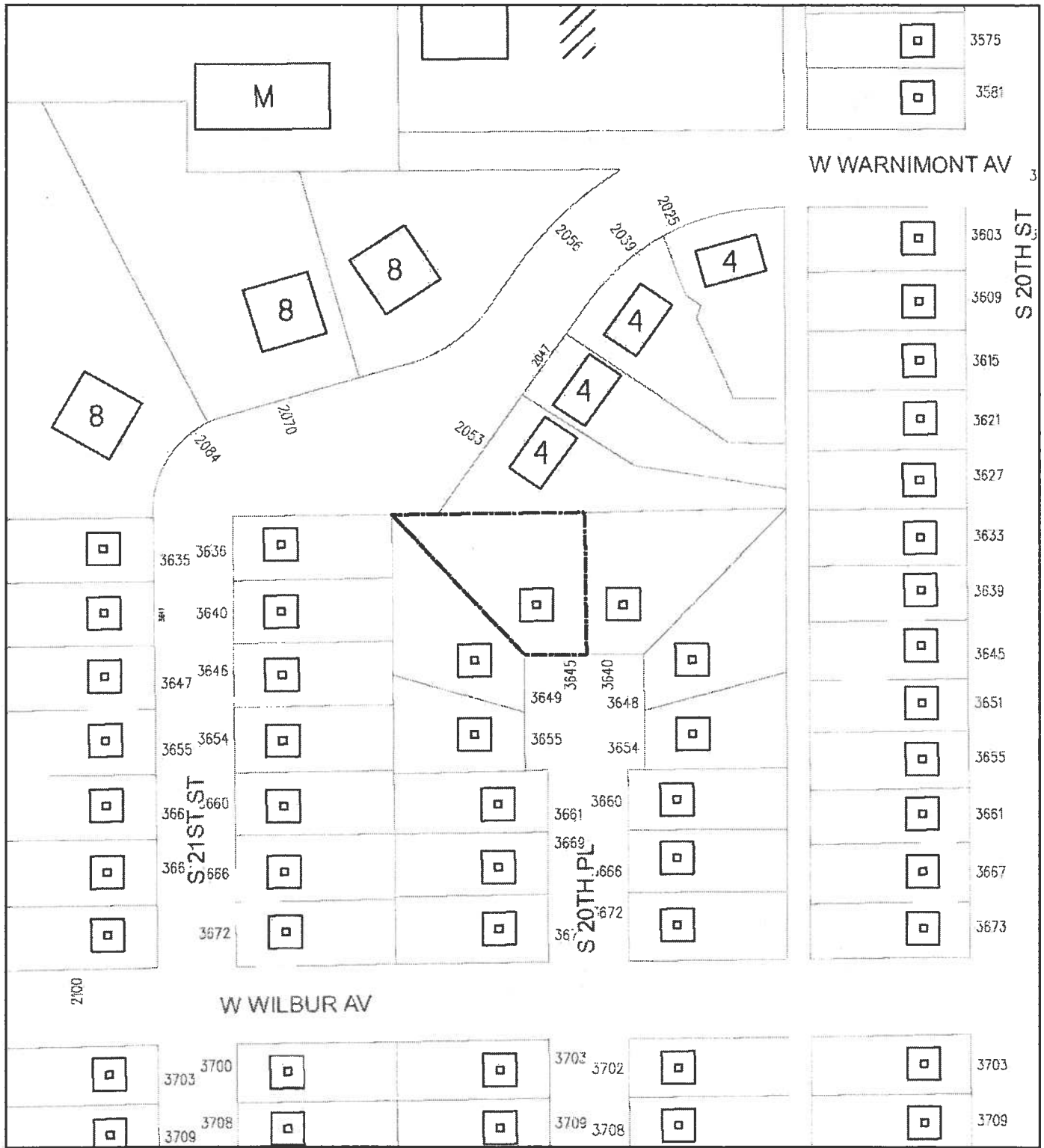
Sincerely,

Ronald D. Leonhardt
City Clerk

Cc: Ald. Terry Witkowski – 13th District

Lustron House – Permanent Historic Designation

3645 S. 20th Pl.



Parcel Boundary

0 50 100 200 Feet



AARON LESNIEWSKI
3672 S 20TH PL
MILWAUKEE WI 53221-

ALEKSANDER QYRA
2033 W WARNIMONT AV #1
MILWAUKEE WI 53221-

ANTHONY M SCHULZ
N2 W31638 SCUPPERNONG VALLEY
DELAFIELD WI 53018-

ARACELIS GARCIA
3633 S 20TH ST
MILWAUKEE WI 53221-

CARLENE STANISLAWSKI
3649 S 20TH PL
MILWAUKEE WI 53221-

DANIEL L LEISTER
MARY SUSAN LEISTER
3655 S 20TH PL
MILWAUKEE WI 53221-1517

DANIEL R ZOLO
3666 S 21ST ST
MILWAUKEE WI 53221-

DELORES N PEASLEE
3675 S 20TH PL
MILWAUKEE WI 53221-

DENNIS G DUENSING
JANICE G DUENSING
2345 W PUETZ RD
OAK CREEK WI 53154-

EDWARD STELMACHOWSKI
3654 S 21ST ST
MILWAUKEE WI 53221-

EVERARDO MARTINEZ
3666 S 20TH PL
MILWAUKEE WI 53221-

FREDERICK J PATSCH
3669 S 20TH PL
MILWAUKEE WI 53221-1517

GWEN A ZAGORSKI
3615 S 20TH ST
MILWAUKEE WI 53221-1510

JAMIE M VANCE
3640 S 21ST ST
MILWAUKEE WI 53221-

JASON C KOZLOWSKI
DOREEN V KOZLOWSKI
3627 S 20TH ST
MILWAUKEE WI 53221-

JEROME F SYNOWICZ
3150 W DRURY LN
MILWAUKEE WI 53215-

JON F BEHNCKE REVOCABLE
TRUST
3651 S 20TH ST
MILWAUKEE WI 53221-

JULIO CESAR CRUZ
3661 S 20TH ST
MILWAUKEE WI 53221-

KENNETH R GRAMS & JULIA HW
4061 S 72ND ST
MILWAUKEE WI 53220-

MARK K STACK
2053 W WARNIMONT AVE # 3
MILWAUKEE WI 53221-

MELVIN E SMERLINSKI
TRUST NO MES-1
3640 S 20TH PL
MILWAUKEE WI 53221-

NORTH SHORE BANK FSB
15700 W BLUEMOUND RD
BROOKFIELD WI 53005-

RICHARD P DANIELS
SUZANNE M DANIELS
3660 S 20TH PL
MILWAUKEE WI 53221-1518

ROBERT A JUNGBLUTH T.O.D.
3646 S 21ST ST
MILWAUKEE WI 53221-

ROBERT C WATSON
4445 N ARDMORE AVE
SHOREWOOD WI 53211-

RODNEY U VEAL
LATINA L VEAL
3654 S 20TH PL
MILWAUKEE WI 53221-

SANDRA E MEDLIN
3635 S 21 ST
MILWAUKEE WI 53221-

SARAH E F MERCADO
3621 S 20TH ST
MILWAUKEE WI 53221-

SHANE C JACKSON
3636 S 21ST ST
MILWAUKEE WI 53221-

STEVEN L HALVERSON
LYNN M HALVERSON
3660 S 21ST ST
MILWAUKEE WI 53221-1524

SUSAN K WOLTER
3661 S 20TH PL
MILWAUKEE WI 53221-

THE GARY & SHARON SZYMBORSKI
2007 REVOCABLE TRUST
18270 LA CHATEAU DR
BROOKFIELD WI 53045-

THOMAS BALLMAN & ROCHELLE
HW
3648 S 20TH PL
MILWAUKEE WI 53221-

TODD O KASULKE
3641 S 21ST ST
MILWAUKEE WI 53221-

VICKI A LOHMAN
3639 S 20TH ST
MILWAUKEE WI 53221-

WILLIAM R STOECKER
3655 S 20TH ST
MILWAUKEE WI 53221-1510

Total Records: 37

Radius: 200.0 feet and Center of Circle:
3645 S 20th PL

OWNER NAME 1	MAIL ADDRESS	CITY, STATE AND ZIP CODE
AARON LESNIEWSKI	3672 S 20TH PL	MILWAUKEE WI 53221-
ALEKSANDER QYRA	2033 W WARNIMONT AV #1	MILWAUKEE WI 53221-
ANTHONY M SCHULZ	N2 W31638 SCUPPERNONG VALLEY	DELAFIELD WI 53018-
ARACELIS GARCIA	3633 S 20TH ST	MILWAUKEE WI 53221-
CARLENE STANISLAWSKI	3649 S 20TH PL	MILWAUKEE WI 53221-
DANIEL L LEISTER	3655 S 20TH PL	MILWAUKEE WI 53221-1517
DANIEL R ZOLO	3666 S 21ST ST	MILWAUKEE WI 53221-
DELORES N PEASLEE	3675 S 20TH PL	MILWAUKEE WI 53221-
DENNIS G DUENSING	2345 W PUETZ RD	OAK CREEK WI 53154-
EDWARD STELMACHOWSKI	3654 S 21ST ST	MILWAUKEE WI 53221-
EVERARDO MARTINEZ	3666 S 20TH PL	MILWAUKEE WI 53221-
FREDERICK J PATSCH	3669 S 20TH PL	MILWAUKEE WI 53221-1517
GWEN A ZAGORSKI	3615 S 20TH ST	MILWAUKEE WI 53221-1510
JAMIE M VANCE	3640 S 21ST ST	MILWAUKEE WI 53221-
JASON C KOZLOWSKI	3627 S 20TH ST	MILWAUKEE WI 53221-
JEROME F SYNOWICZ	3150 W DRURY LN	MILWAUKEE WI 53215-
JON F BEHNCKE REVOCABLE	3651 S 20TH ST	MILWAUKEE WI 53221-
JULIO CESAR CRUZ	3661 S 20TH ST	MILWAUKEE WI 53221-
KENNETH R GRAMS & JULIA HW	4061 S 72ND ST	MILWAUKEE WI 53220-
MARK K STACK	2053 W WARNIMONT AVE # 3	MILWAUKEE WI 53221-
MELVIN E SMERLINSKI	3640 S 20TH PL	MILWAUKEE WI 53221-
NORTH SHORE BANK FSB	15700 W BLUEMOUND RD	BROOKFIELD WI 53005-
RICHARD P DANIELS	3660 S 20TH PL	MILWAUKEE WI 53221-1518
ROBERT A JUNGBLUTH T.O.D.	3646 S 21ST ST	MILWAUKEE WI 53221-
ROBERT C WATSON	4445 N ARDMORE AVE	SHOREWOOD WI 53211-
RODNEY U VEAL	3654 S 20TH PL	MILWAUKEE WI 53221-
SANDRA E MEDLIN	3635 S 21 ST	MILWAUKEE WI 53221-
SARAH E F MERCADO	3621 S 20TH ST	MILWAUKEE WI 53221-
SHANE C JACKSON	3636 S 21ST ST	MILWAUKEE WI 53221-
STEVEN L HALVERSON	3660 S 21ST ST	MILWAUKEE WI 53221-1524
SUSAN K WOLTER	3661 S 20TH PL	MILWAUKEE WI 53221-
THE GARY & SHARON SZYMBORSKI	18270 LA CHATEAU DR	BROOKFIELD WI 53045-
THOMAS BALLMAN & ROCHELLE HW	3648 S 20TH PL	MILWAUKEE WI 53221-
TODD O KASULKE	3641 S 21ST ST	MILWAUKEE WI 53221-
VICKI A LOHMAN	3639 S 20TH ST	MILWAUKEE WI 53221-

WILLIAM R STOECKER

3655 S 20TH ST

MILWAUKEE WI 53221-1510

Total Records: 37

Radius: 200.0 feet and Center of Circle: 3645 S 20th PL

Lee, Chris

From: Lee, Chris
Sent: Monday, October 10, 2011 11:45 AM
To: 'pearson91@cox.net'
Subject: Permanent historic designation of the Lustron House at 3645 S. 20th Pl.
Attachments: HPC 11-7-11 Hearing Notice.PDF

In response to your email regarding the Lustron House at 3645 S. 20th Pl., please find attached a hearing notice regarding the matter of permanent historic designation on the property at the Historic Preservation Commission meeting of Monday, November, 7, 2011.

Chris Lee
Staff Assistant
City Clerk's Office
City of Milwaukee
414-286-2232
clee@milwaukee.gov

10/10/2011



www.milwaukee.gov

Office of the City Clerk

Ronald D. Leonhardt
City Clerk

Jim Owczarski
Deputy City Clerk

October 10, 2011

Dear Interested Person:

RE: Permanent historic designation of the Lustron House located at 3645 S. 20th Place

At a public hearing held on September 6, 2011, the Historic Preservation Commission voted to designate on an interim basis, the house at 3645 South 20th Place as an historic structure in accordance with the provisions of Section 320-21-13 of the Milwaukee Code of Ordinances, based on criteria of s. 320-21-3-e-1, e-5, and e-7. (See map on the back of this page).

According to Section 320-21-13-g, a public hearing shall be held within 90 days of the date of the initiation of the interim designation to consider permanent designation of the building.

A public hearing has been scheduled on Monday, November 7, 2011 at 3:00 p.m. at City Hall, 200 East Wells Street, Room 301-B to determine whether or not the proposed designation of the Lustron House located at 3645 S. 20th Pl. satisfies the criteria for historic designation in accordance with Section 320-21 of the Milwaukee Code of Ordinances.

If the Commission determines the building meets at least one criterion, a favorable recommendation for nomination can be forwarded to the Milwaukee Common Council.

The Lustron House Study Report and information about the Historic Preservation Commission are available online at <http://milwaukee.legistar.com/legislation>. The file concerning the proposed permanent historic designation of the Lustron House at 3645 S. 20th Place is number 110819. Information regarding the interim historic designation of the Lustron House at 3645 S. 20th Place can be found under file number 110552. If you have any questions regarding the proposed designation of the Lustron House at 3645 S. 20th Place, please call Carlen Hatala of the Historic Preservation staff at (414) 286- 5722.

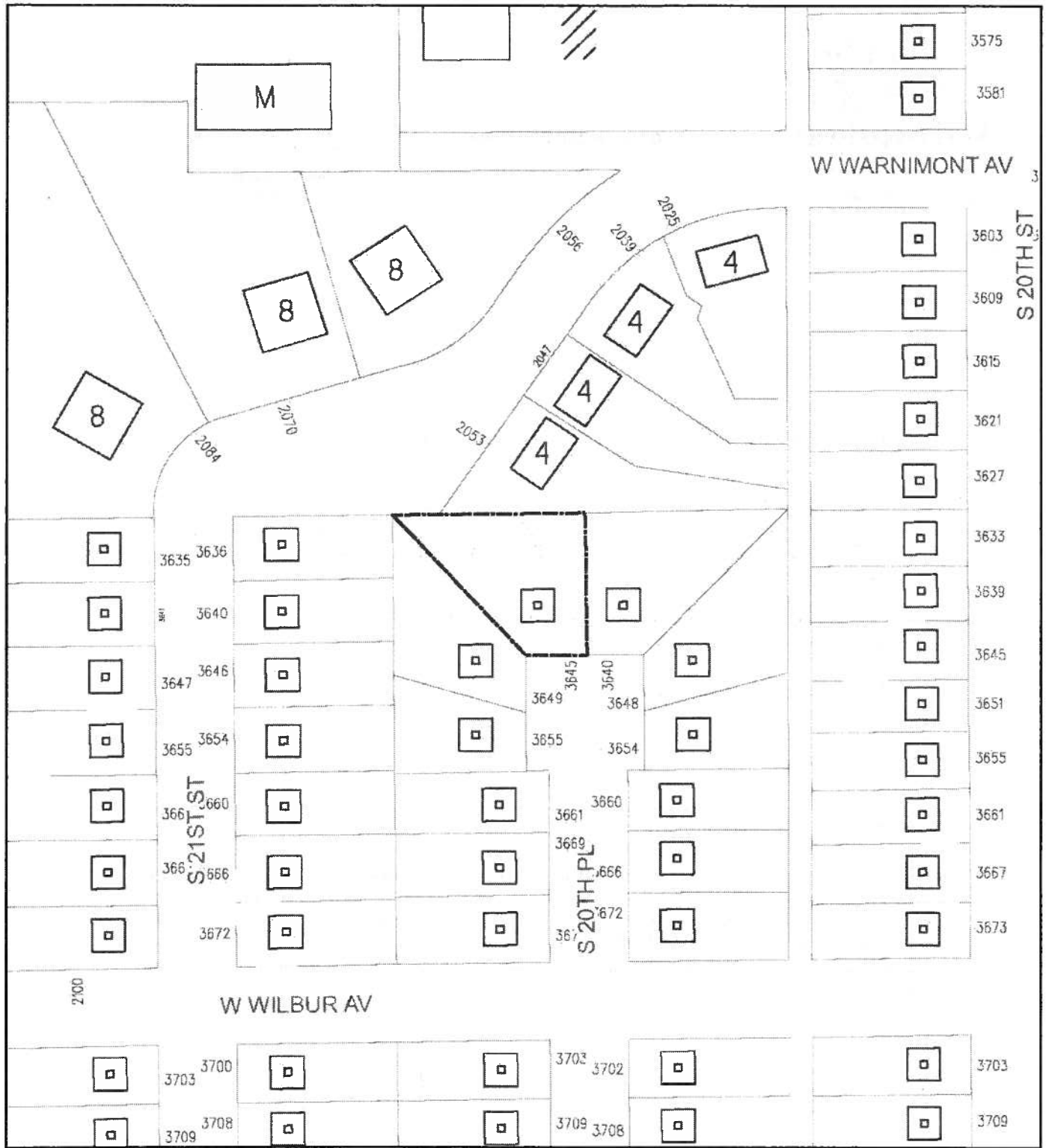
Sincerely,

Ronald D. Leonhardt
City Clerk

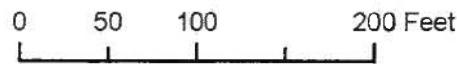
Cc: Ald. Terry Witkowski – 13th District

Lustron House – Permanent Historic Designation

3645 S. 20th Pl.



Parcel Boundary



From: Hatala, Carlen
Sent: Tuesday, October 04, 2011 1:54 PM
To: Lee, Chris
Subject: FW: Lustron Homes in Milwaukee

Please add this to the records for the Lustron House File No. 110552. The person supports the permanent designation of the house.

Carlen

-----Original Message-----
From: pearson91@cox.net [mailto:pearson91@cox.net]
Sent: Wednesday, September 21, 2011 11:05 AM
To: Mayor Tom Barrett; Witkowiak, James; Hatala, Carlen
Cc: MilwaukeePreservation@yahoo.com
Subject: Lustron Homes in Milwaukee

My family has been long time residents of Milwaukee area. I have both Lowum and Lambin/Limbine surnames on my mother's side of the family. My great uncle Fred Lowum told me that he was involved with Lustron Homes. He was proud of the effort that Lustron Homes made in an effort to supply the great need for homes after WWII. I am concerned that one of the few homes in the Milwaukee area is being looked at for demolition. It is located at 3645 S. 20th Place. Please support the nomination of this house for permanent Local Historic Designation by The Historic Preservation Commission. Thank you for your support.

Mary Jo Miller
3661 S. 21st Street

In response to the public hearing notice on the Lustron house at 3645 S. 20th Place, Ms. Miller called to support the historic preservation of the Lustron house at 3645 S. 20th place. She said Historic Preservation was doing a good job. She knew the past owners and they had always kept up the property immaculately. When their son took over the property he rented it to “bums” and the property fell into disrepair. The current buyer should not be allowed to demolish the building. It is a simple house on the South Side but nevertheless historic. Her sister lives in a similar type of house in Iowa. It does have historic significance. If all else fails, the new owner should be made to incorporate the remaining panels into the new house. The neighbors just didn’t want to see the historic house become an eyesore, not that they supported tearing it down.

Per call taken by Carlen Hatala, October 13, 2011, 3:31 PM.



Legislation Details (With Text)

File #: 110945 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 11/1/2011 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to a Certificate of Appropriateness to install a fence at 2038 N. Bartlett Avenue for the Catholic East Elementary School - Holy Rosary Catholic Church.
Sponsors: THE CHAIR
Indexes: FENCES, HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION
Attachments: Application, HPC Staff Report

Date	Ver.	Action By	Action	Result	Tally
11/1/2011	0	COMMON COUNCIL	ASSIGNED TO		

Number
110945
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness to install a fence at 2038 N. Bartlett Avenue for the Catholic East Elementary School - Holy Rosary Catholic Church.

Requestor

Drafter
CC-CC
dkf
11/1/11



ATTN: DUSTIN MELZARK

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

Catholic East Elementary School

ADDRESS OF PROPERTY:

2038 N. Bartlett Ave, Milwaukee, WI

2. NAME AND ADDRESS OF OWNER:

Name(s): Catholic East Elementary (Holy Rosary Campus) - (Principal - Gail Kraig)

Address: 2038 N. Bartlett Ave. (Gail Kraig mailing address: 2461 N. Murray Ave. Milwaukee, WI 53211)

City: Milwaukee

State: WI

ZIP 53202

Email: gailkraig@archmil.org

Telephone number (area code & number) Daytime: (414) 964-1770 x302 Evening: (920) 238-5233

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Mika Frank - Groth Design Group

Address: N58 W6181 Columbia Road

City: Cedarburg

State: WI

ZIP Code: 53012

Email: mfrank@gdg-architects.com

Telephone number (area code & number) Daytime: (262) 377-8001 Evening: N/A

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

LANDSCAPE PLAN OUTSIDE FENCE:
POWER EDGE 4 FT WIDE BED, PLANT 30,
6'-7' ARBORVITAE'S AND 6; 6'-7' UPRIGHT
JUNIPERS PER PLAN; MULCH BED WITH
4" DK. BROWN ENVIRO MULCH. ALL TREES
WILL BE PLANTED AND SPACED AS TO GIVE THEM
ROOM TO GROW

Photo No. _____ Drawing No. _____

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Install cyclone fencing per the attached drawing.

The fence will have the following features:
- Approximately 350 linear feet of black vinyl fabric and framework cyclone fencing
- 2" OD line posts
- 6'-0" high
- Owner will landscape to obscure fencing

Photo No. _____ Drawing No. _____

6. SIGNATURE OF APPLICANT:

Signature

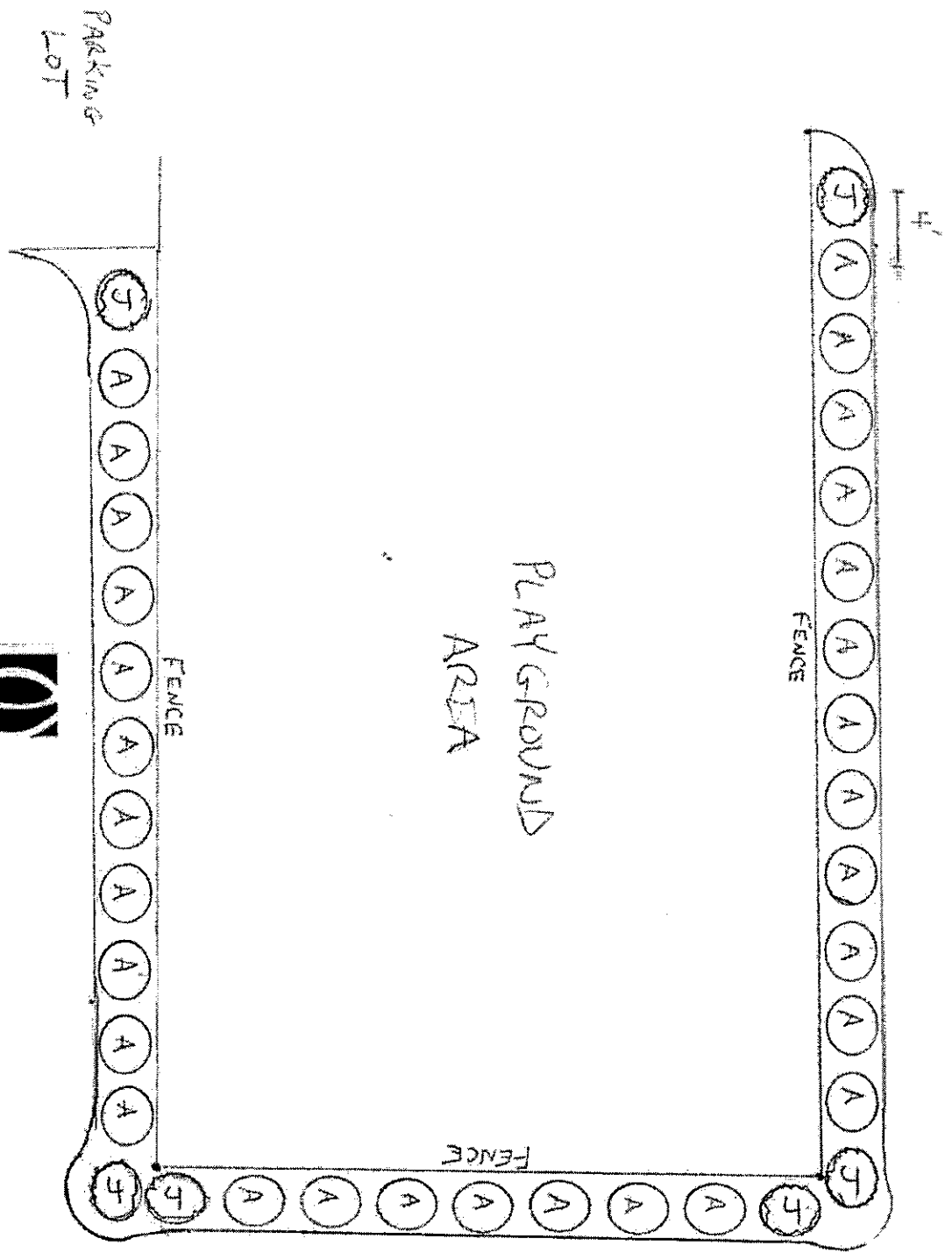
Print or type name _____ Date _____

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722 FAX: (414) 286-3004 www.milwaukee.gov/hpc

CATHOLIC EAST ELEMENTARY SCHOOL PLAYGROUNDS LANDSCAPE PROJECT:



Professional Landscape Contractor for Commercial and Residential Properties

1 inch = 20'

- (A) PYRAMIDAL ARBUTUS
- (J) UPRIGHT BLUE JUNIPER

ENVIROCON, INC.





Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

HPC meeting date: 11/7/2011
Ald. Nik Kovac District: 3
Staff reviewer: Paul Jakubovich
PTS #67982

Property 2038 N. BARTLETT AV. , **Holy Rosary Church Complex Historic District**

Owner/Applicant ALL SAINTS CATHOLIC EAST
ELEMENTARY SCHOOL INC
2038 N BARTLETT AVE
MILWAUKEE WI 53202
Groth Design Group
N58 W6181 Columbia Road
Cedarburg, WI 53012
Phone: (262) 377-8001
Fax: (262) 377-8003

Proposal Install mesh style fence around play lot, approximately 110' x 60' and landscape around perimeter.

Staff comments The play lot will be located directly to the east of the existing school building along E. Windsor Place. The proposal calls for a metal mesh style fence, 6 feet in height, with arbor vitae planted about 6 inches apart around the perimeter. Much of the fence will be obscured by the evergreens year 'round. Playground equipment will be installed inside the play lot.

The fence will be at the top of the existing bermed lawn, set back from the sidewalk about 8 feet. The overall plan does a very good job of enclosing the play lot and is compatible with the historic school building next to it, as required by the preservation guidelines.

Recommendation Recommend HPC Approval

Conditions

Previous HPC action

Previous Council action



Legislation Details (With Text)

File #: 110930 **Version:** 0

Type: Resolution **Status:** In Committee

File created: 10/31/2011 **In control:** HISTORIC PRESERVATION COMMISSION

On agenda: **Final action:**

Effective date:

Title: Resolution relating to a Certificate of Appropriateness for new windows at 1230 E. Brady Street for Julilly Kohler, agent for JWK Management, LLC.

Sponsors: THE CHAIR

Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

Attachments: Application, HPC Staff Report

Date	Ver.	Action By	Action	Result	Tally
10/31/2011	0	COMMON COUNCIL	ASSIGNED TO		

Number
110930
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for new windows at 1230 E. Brady Street for Julilly Kohler, agent for JWK Management, LLC.

Requestor

Drafter
CC-CC
dkf
10/31/11



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM
Incomplete applications will not be processed for Commission review.
Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT:** (if known)

ADDRESS OF PROPERTY:
1230 EAST BRADY STREET

2. **NAME AND ADDRESS OF OWNER:**

Name(s): JWK MANAGMENT LLC C/O JULILLY KOHLER

Address: 1168 EAST KANE PLACE

City: MILWAUKEE State: WI ZIP 53202

Email:

Telephone number (area code & number) Daytime: Evening:

3. **APPLICANT, AGENT OR CONTRACTOR:** (if different from owner)

Name(s): RUSSELL E LAFROMBOIS

Address: 229 EAST WISCONSIN AVENUE, SUITE 701

City: MILWAUKEE State: WI ZIP Code: 53202

Email: russl@ref-3.com

Telephone number (area code & number) Daytime: 414-727-1141 Evening: 414-559-4545

4. **ATTACHMENTS**

A. **REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

x Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. **NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

on the street level, small inappropriately scaled windows will be removed along with brick piers between them.

Photo No.

Drawing No.

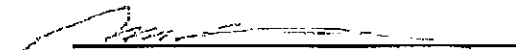
.B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

new appropriately sized windows will be installed on the street level.
note: painting and new canopy work has been completed

Photo No.

Drawing No.

6. SIGNATURE OF APPLICANT:



Signature

RUSSELL LAFROMBOIS 10-26-11
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukcc.gov/hpc

Exterior Renovations for
 1230 E. BRADY ST
 Milwaukee Wisconsin



REPAIRS AND MAINTENANCE TO
 EXTERIOR SURFACES
 DATE: 07/2017
 PROJECT: 142727-14
 DRAWN: [Name]
 CHECKED: [Name]

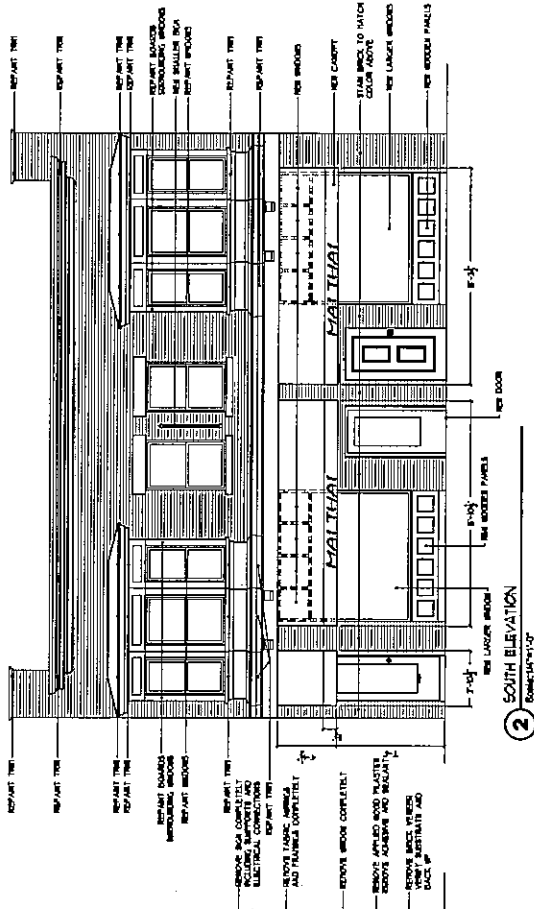
**KANE
 COMMONS**

Owner:
Kane Place LLC
 1674 North Marshall
 Milwaukee WI

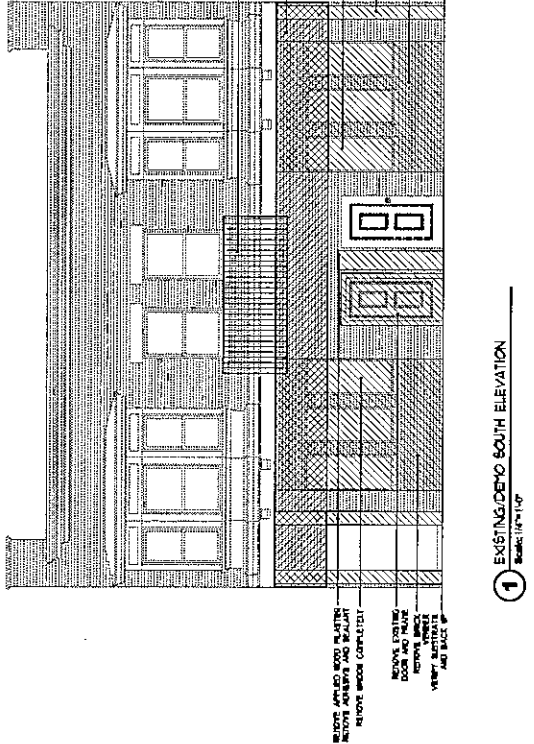
01-03-06
**Framing Bid
 Set**
 Sheet Number
FLOOR PLANS

A1

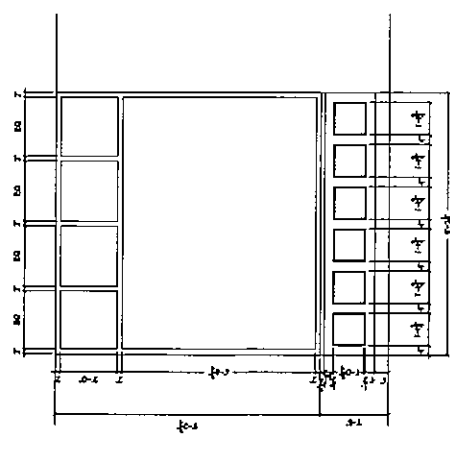
Date: 04/23/17
 Project Number: 01/01/12



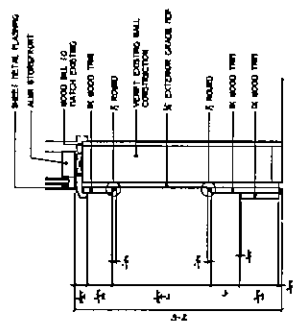
① EXISTING/DEMO SOUTH ELEVATION
 Scale: 1/8"=1'-0"



② SOUTH ELEVATION
 Scale: 1/8"=1'-0"



③ SOUTH WINDOW ELEVATION
 Scale: 1/2"=1'-0"



④ DETAIL SECTION
 Scale: 1/2"=1'-0"



Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

HPC meeting date: 11/7/2011
Ald. Nik Kovac District: 3
Staff reviewer: Paul Jakubovich
PTS #52419

Property 1230 E. BRADY ST., **Brady Street Historic District**

Owner/Applicant JWK MGMT LLC
1224 E BRADY STREET
MILWAUKEE WI 53202

Proposal Remove brick infill. Install new large storefront windows, transoms, awnings and doors.

Staff comments The commission looked at an earlier proposal for storefront remodeling on this building in 2008. At that time the commission had concerns that have generally been addressed in this new proposal. The storefront windows will be returned to their original height featuring large sheets of clear glass topped with a divided-lite transom. A wood bulkhead panel will be located beneath the storefront windows. Two new doors will be installed that are commensurate with the age and design of the building. Awnings will be installed above the storefront windows.

The existing street-level storefront, which blocked down the original sizes of the show front windows, was done in the early 1980s before Brady Street was listed on the local and national registers. The restoration of the original height of the storefront windows is a welcome change. The height of the storefront windows is vitally important to the overall character of the building. The remaining brick pilasters at the street level will be a remnant of the 1980s remodeling, but they will be stained to match the original brick on the second story.

Recommendation Recommend HPC Approval

Conditions

Previous HPC action

Previous Council action



Legislation Details (With Text)

File #: 110373 **Version:** 0

Type: Resolution **Status:** In Committee

File created: 7/5/2011 **In control:** HISTORIC PRESERVATION COMMISSION

On agenda: **Final action:**

Effective date:

Title: Resolution relating to a Certificate of Appropriateness for construction of two additions at 2134 N. Terrace Avenue for Michael and Cathy White.

Sponsors: THE CHAIR

Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

Attachments: HPC Staff Report (11-3-11), Floor Plan (updated 11-3-11), Application, Letters of Support, Staff Report, HPC Power Point (Exhibit 1), HWTN Opposition Letter (Exhibit 2), Milw Code Ord 320-21-12 (Exhibit 3), Drawings

Date	Ver.	Action By	Action	Result	Tally
7/5/2011	0	COMMON COUNCIL	ASSIGNED TO		
7/25/2011	0	HISTORIC PRESERVATION COMMISSION	HELD IN COMMITTEE	Pass	4:0

Number
110373
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for construction of two additions at 2134 N. Terrace Avenue for Michael and Cathy White.

Requestor

Drafter
CC-CC
dkf
7/5/11



Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

HPC meeting date: 11/7/2011
Ald. Nik Kovac District: 3
Staff reviewer: Paul Jakubovich
PTS #69182

Property 2134 N. TERRACE AV., **North Point South Historic District**

Owner/Applicant MICHAEL WHITE Eppstein Uhen Architects, Inc.
2134 N TERRACE AVE 333 E. Chicago St.
MILWAUKEE WI 53202 Milwaukee, WI 53202
Phone: (414) 298-2234
Fax: (414) 271-5350

Proposal Construct addition at the rear, southeast corner of the house.

Staff comments A brick addition is being proposed for the southeast corner of this 1923 Mediterranean Villa style home, designed by Milwaukee architects Brust and Philipp. This design is a substitute for an earlier plan submitted to HPC in July of this year that featured additions on all four sides of the house.

The addition displays a break with the existing house and it is also smaller in scale than the rest of the building. Both of these are requirements of the preservation guidelines for additions. The style of the new addition blends well with the original Mediterranean character of the building. Windows and doors are in proportion to the existing ones found on the building.

In terms of details, the gutters would be copper and the shed roof over the doors on the south elevation would be finished with terra cotta tiles to match the original, main roof of the house. Windows should be made of wood on the exterior to replicate the original windows on the house.

The new plans as they stand do not meet zoning codes for the south (Back Bay side) and east setbacks requirements. Therefore the project would require approval from HPC and the board of zoning appeals in order to move forward.

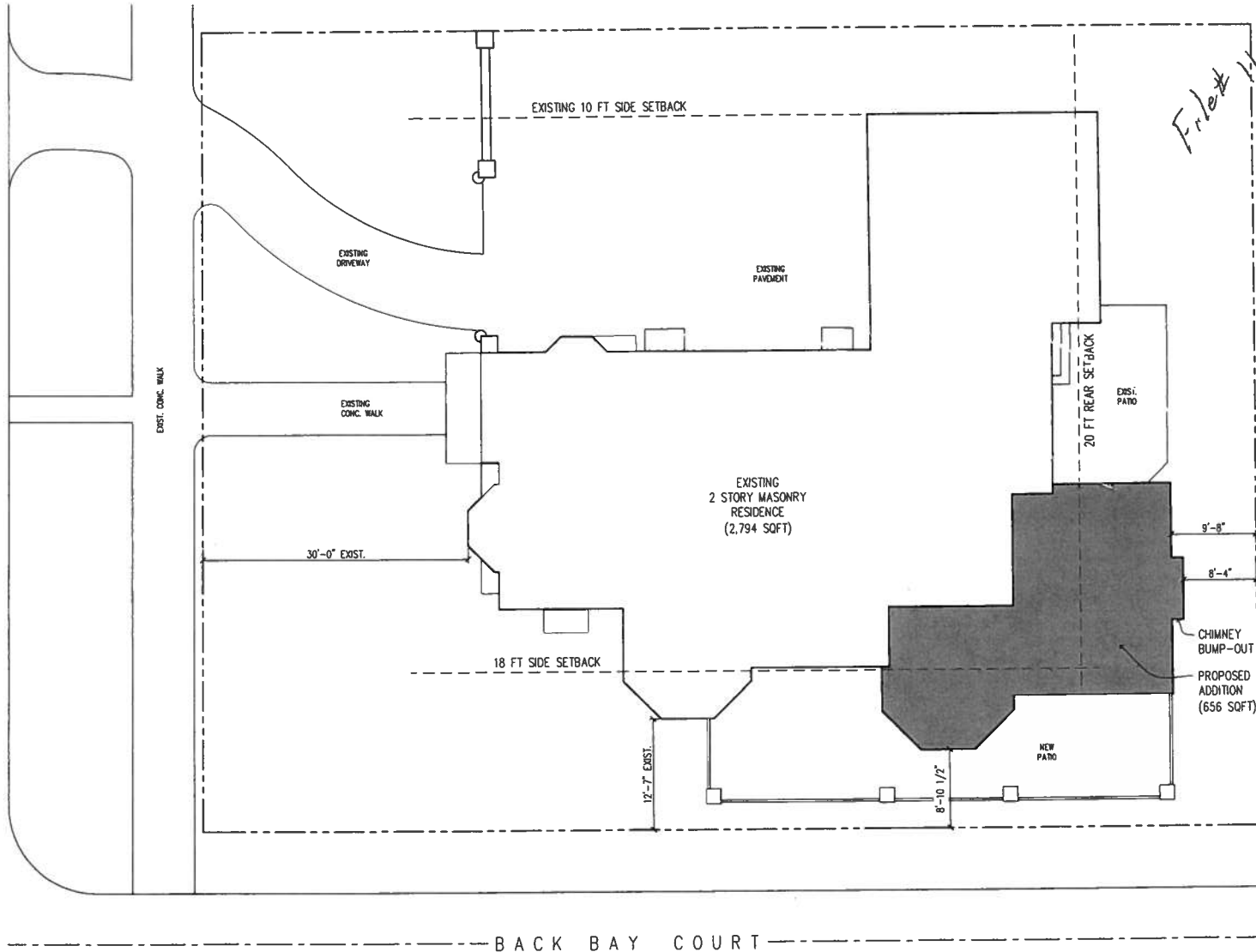
Recommendation Recommend HPC Approval

Conditions A brick sample panel will be reviewed and approved prior to general installation of the material. Windows should be made of wood in the new addition.

Previous HPC action

Previous Council action

TERRACE AVE



File # 110373
New Plan

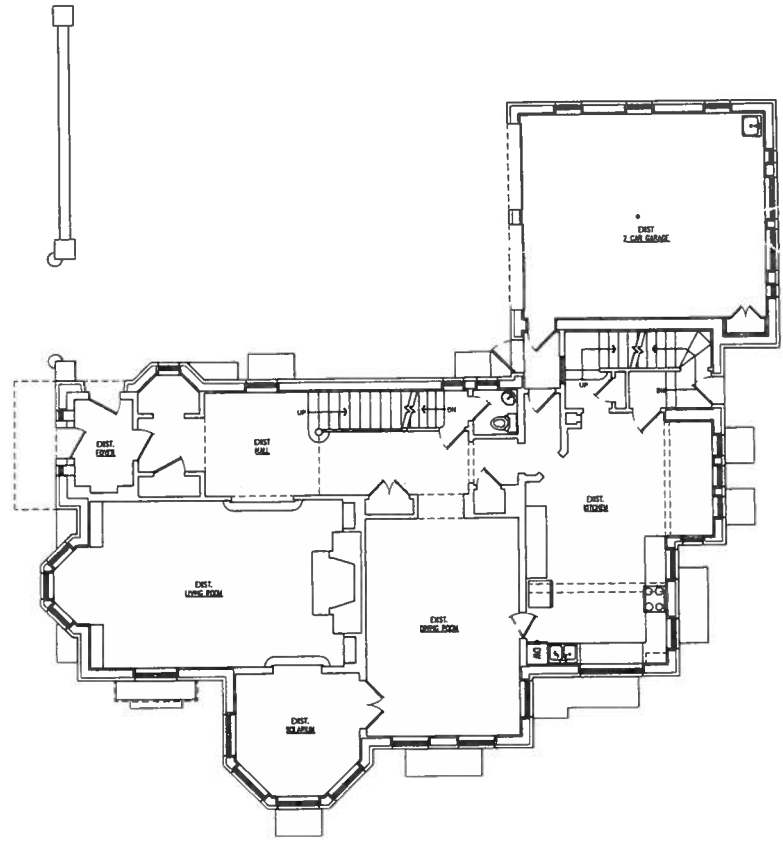
BACK BAY COURT

PROPOSED REMODELING TO
 2134 N TERRACE AVE
 MILWAUKEE, WI

SITE PLAN
 SCALE: 3/16"=1'-0"

SEPTEMBER 7, 2011

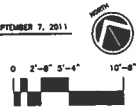


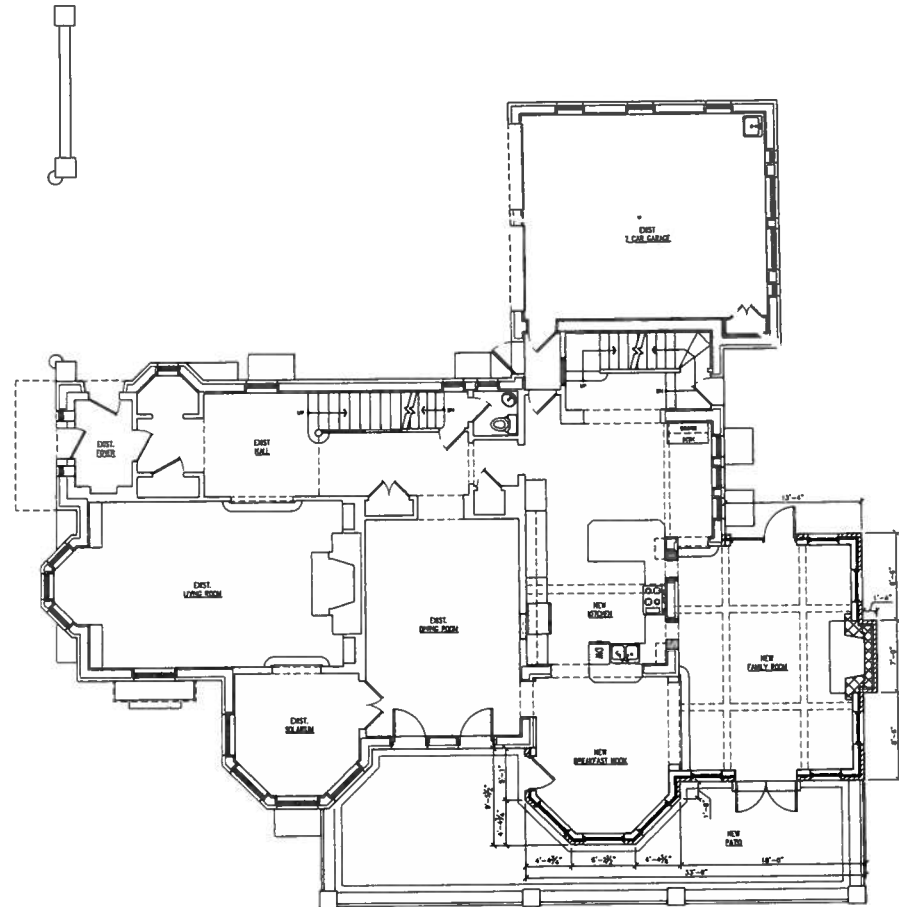


PROPOSED REMODELING TO
2134 N TERRACE AVE
MILWAUKEE, WI

EXISTING FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

SEPTEMBER 7, 2011



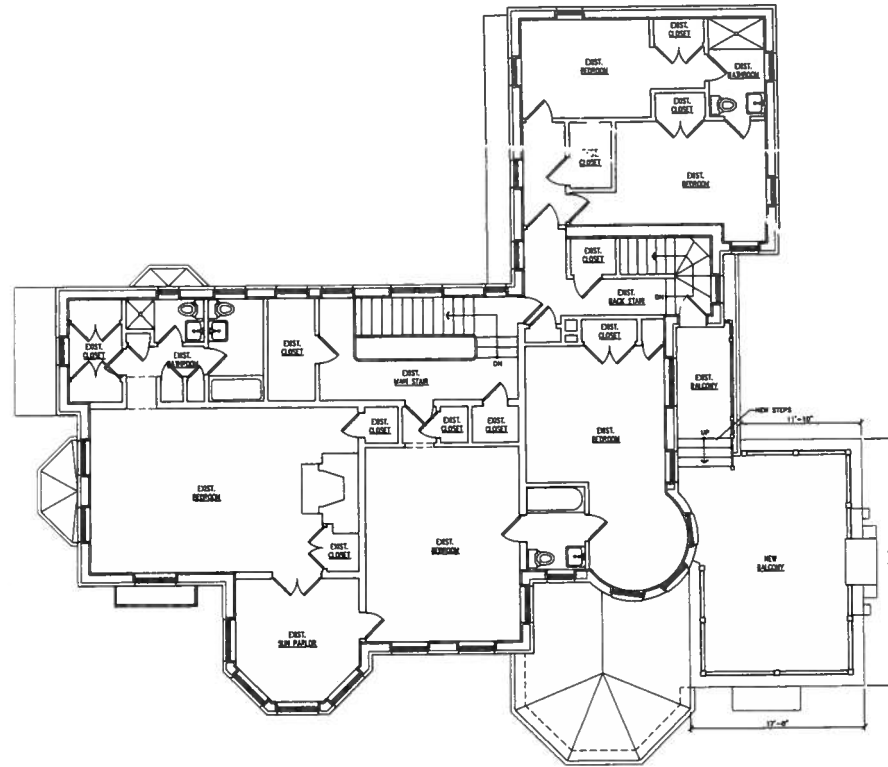


PROPOSED REMODELING TO
 2134 N TERRACE AVE
 MILWAUKEE, WI

NEW FIRST FLOOR PLAN
 SCALE 3/16"=1'-0"

SEPTEMBER 7, 2011

0 2'-0" 5'-4" 10'-8"

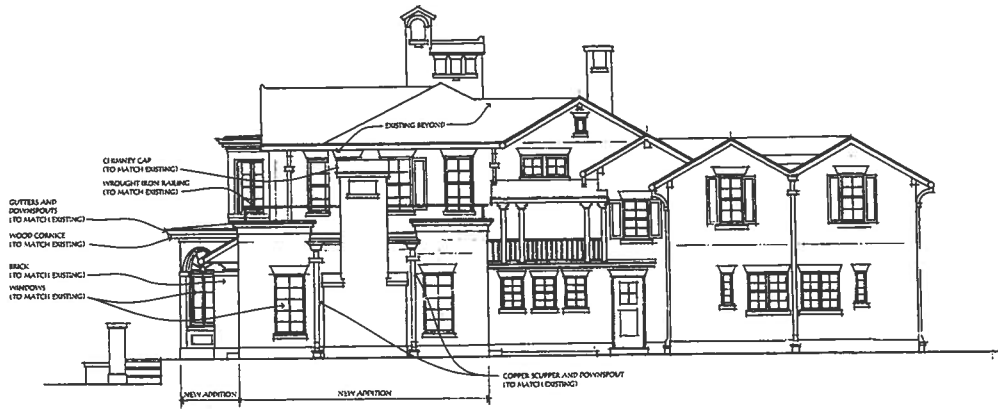


PROPOSED REMODELING TO
 2134 N TERRACE AVE
 MILWAUKEE, WI

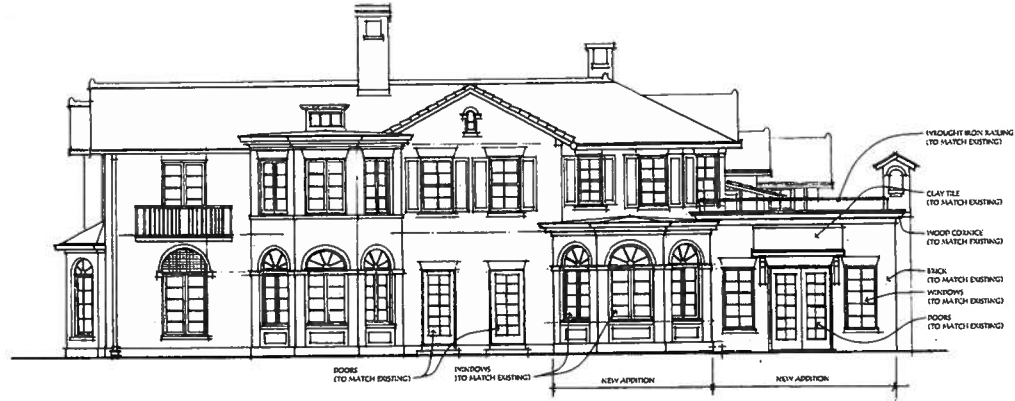
NEW SECOND FLOOR PLAN
 SCALE: 3/16"=1'-0"

SEPTEMBER 7, 2011

0 2'-0" 5'-0" 10'-0"



EAST ELEVATION
SCALE: 3/16"=1'-0"



SOUTH ELEVATION
SCALE: 3/16"=1'-0"

PROPOSED REMODELING TO
2134 N TERRACE AVE
MILWAUKEE, WI



WEST ELEVATION
SCALE: 3/16"=1'-0"



NORTH ELEVATION
SCALE: 3/16"=1'-0"

PROPOSED REMODELING TO
2134 N TERRACE AVE
MILWAUKEE, WI



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

North Point South

ADDRESS OF PROPERTY:

2134 Terrace Ave, Milwaukee WI

2. NAME AND ADDRESS OF OWNER:

Name(s): Michael and Cathy White

Address: 1150 W. Bradley Rd.

City: River Hills

State: WI

ZIP 53217

Email: mwhite@ritehite.com

Telephone number (area code & number) Daytime: 414-350-5577

Evening: 414-351-6939

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Greg Uhen, AIA

Address: 333 E. Chicago St.

City: Milwaukee

State: WI

ZIP Code: 53202

Email: gregu@eua.com

Telephone number (area code & number) Daytime: 414-291-8120

Evening: 414-406-4133

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

1. The north and west walls of the existing garage will be affected by the proposed addition in that area. All materials and details will match the existing home.
2. The south east corner of the existing home at the kitchen will be affected by the proposed addition in that area. Portions of this wall at the existing kitchen are not original and had been previously changed. A large picture window was added that will be removed as part of this project. The existing roof line and turret will not be affected by the one story addition. All materials and details will match existing. The existing back balcony will be modified to allow access to a roof terrace above the family room.
3. The existing dining room windows will be replaced by full height doors to allow access to the south patio.


Photo No. _____ Drawing No. _____

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

The project consists of two additions to the existing home. A Garage addition to the north, and a Family Room addition to the south and east.

(See Attached Sheet for detailed description)

Photo No. _____ Drawing No. _____

6. SIGNATURE OF APPLICANT:

Signature

Michael White July 5, 2011 July 5, 2011
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722 FAX: (414) 286-3004 www.milwaukee.gov/hpc

Describe all Proposed Work:

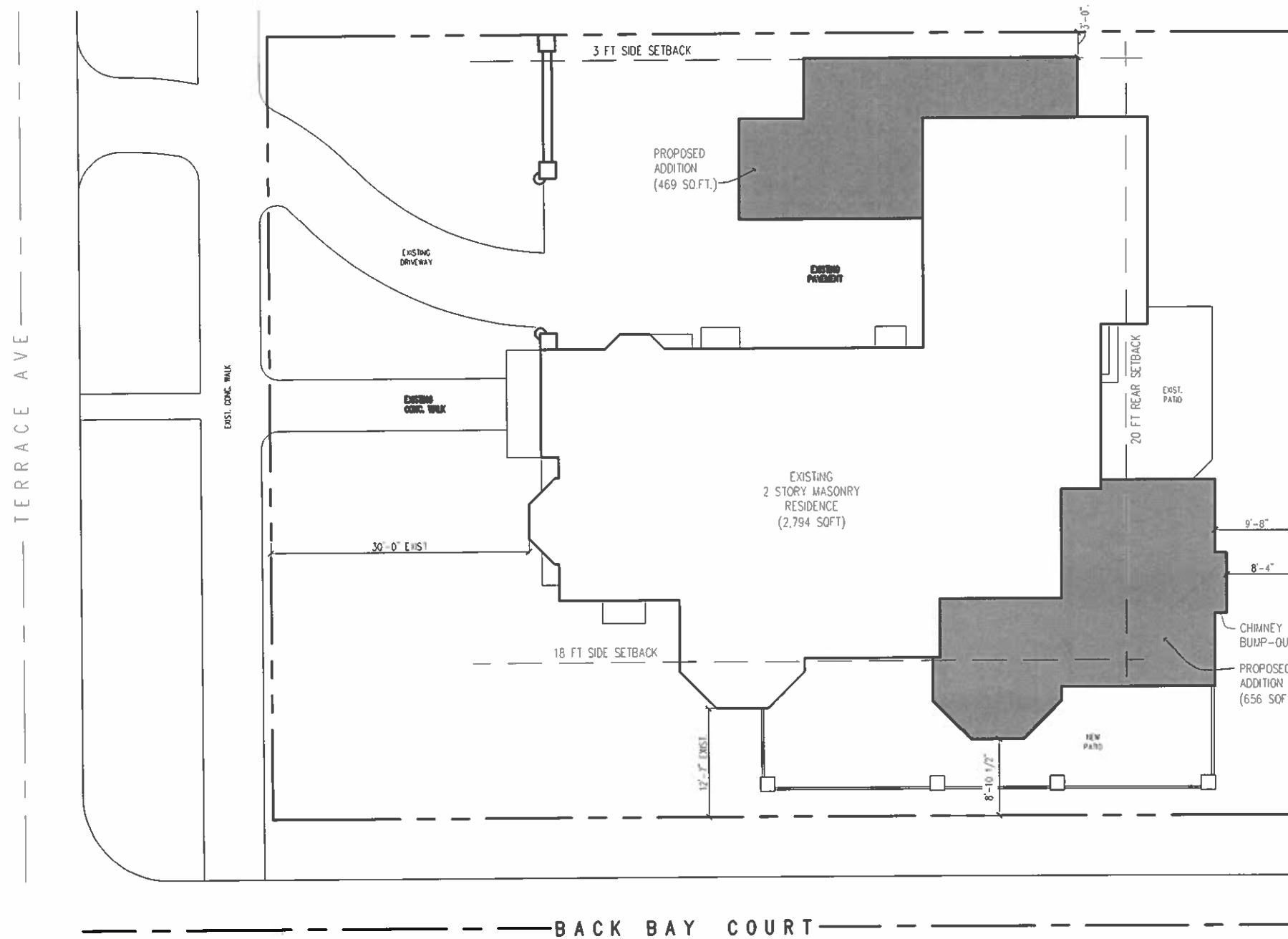
The project consists of two additions to the existing home. A Garage addition, and a Family Room addition.

The Garage addition is approximately 18 ft by 21 ft on the west side with a 7 ft projection on the north side. This addition will add one "tandem" parking space and storage to the existing two car garage. A partially covered balcony space will be accessible from the second floor of the existing home above the garage. The exterior materials will consist of; brick to match existing, clay roof tiles to match existing, windows to match existing (clad), wood soffits and details to match existing.

The Family Room addition includes a family room of approximately 18 ft by 24 ft, and a breakfast room of approximately 10 ft by 15 ft. This area would also have a low stone wall and patio that replaces the existing wood fence to the south. The breakfast room bay will match the existing home in materials and detail similar to the existing sun parlor. The family room will have a brick and stone fireplace and clad windows to match existing. The south facade of the family room will have a clay tile roof projection to match existing in details, a double French door and clad windows to match. The existing back balcony will be modified to allow access to a roof terrace above the family room. The parapet of the family room will have a cornice to match and wrought iron railing.

The profile of the existing fascia, trim, clay tile roofing, copper gutters/downspouts and cornice details will be matched to provide a seamless appearance of the proposed additions.

The new doors at the dining room will be glass and divided lights to match existing.



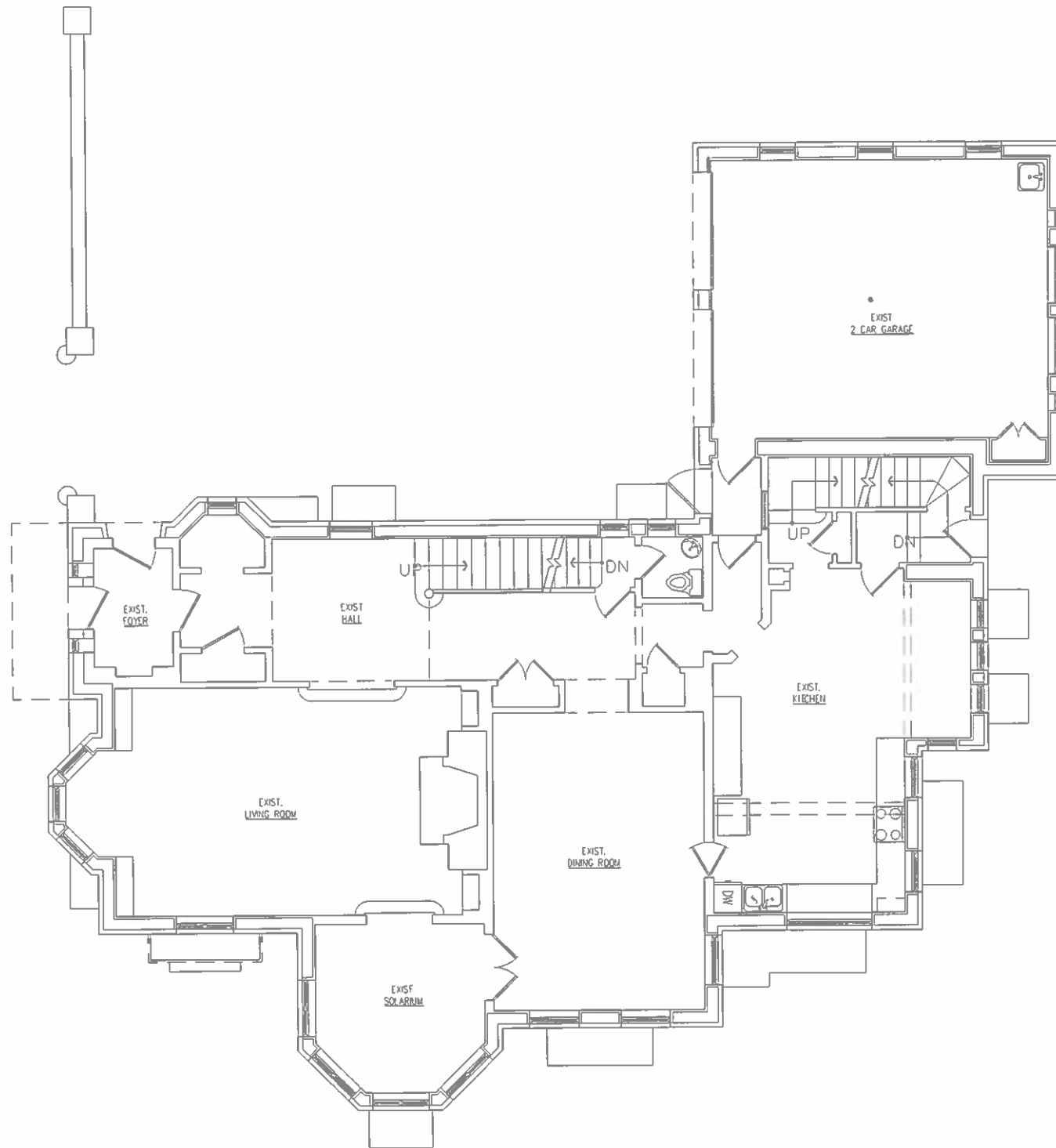
PROPOSED REMODELING TO

**2134 N TERRACE AVE
MILWAUKEE, WI**

SITE PLAN

SCALE: 1/16"=1'-0"





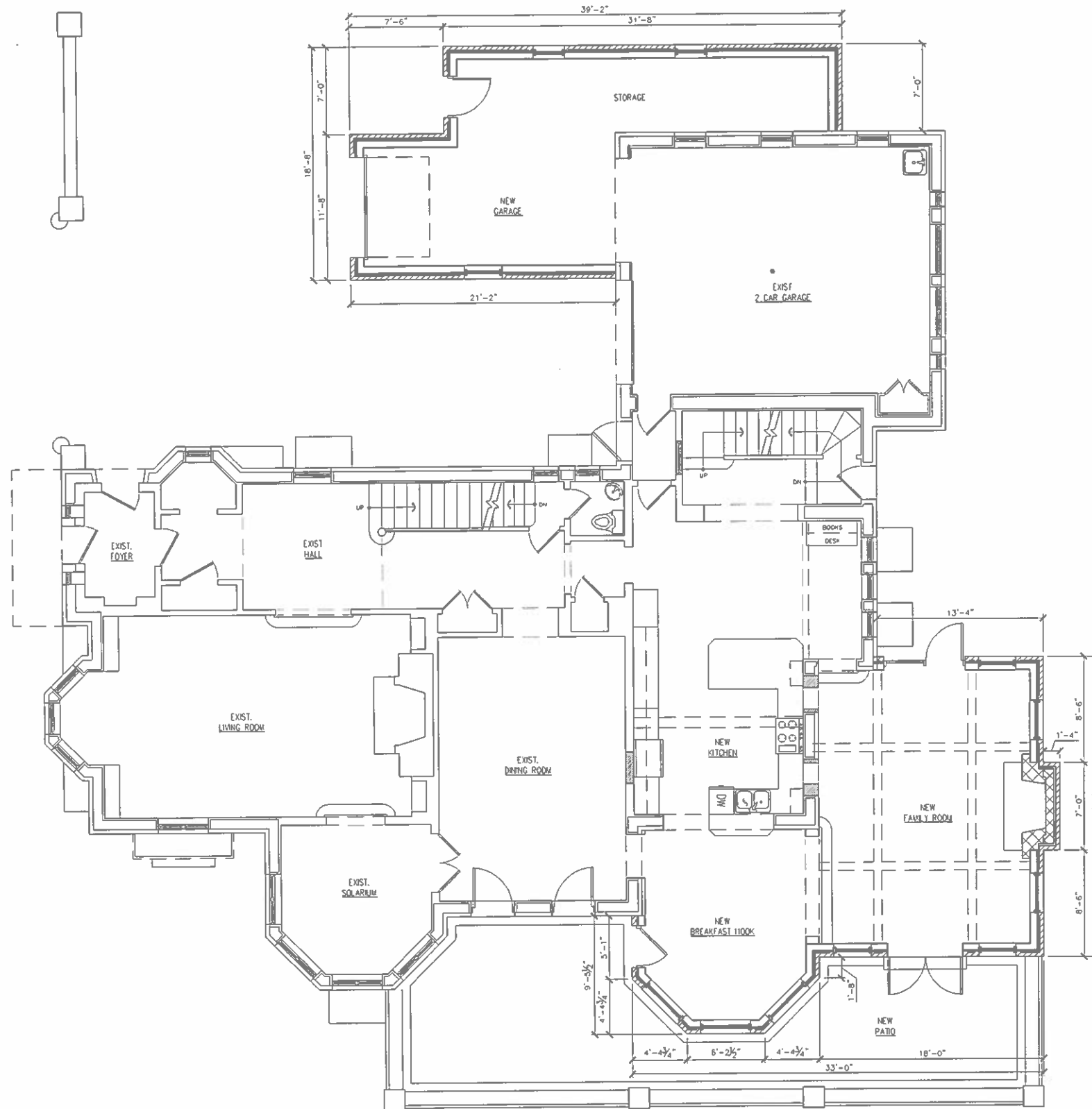
PROPOSED REMODELING TO

2134 N TERRACE AVE
MILWAUKEE, WI

EXISTING FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"





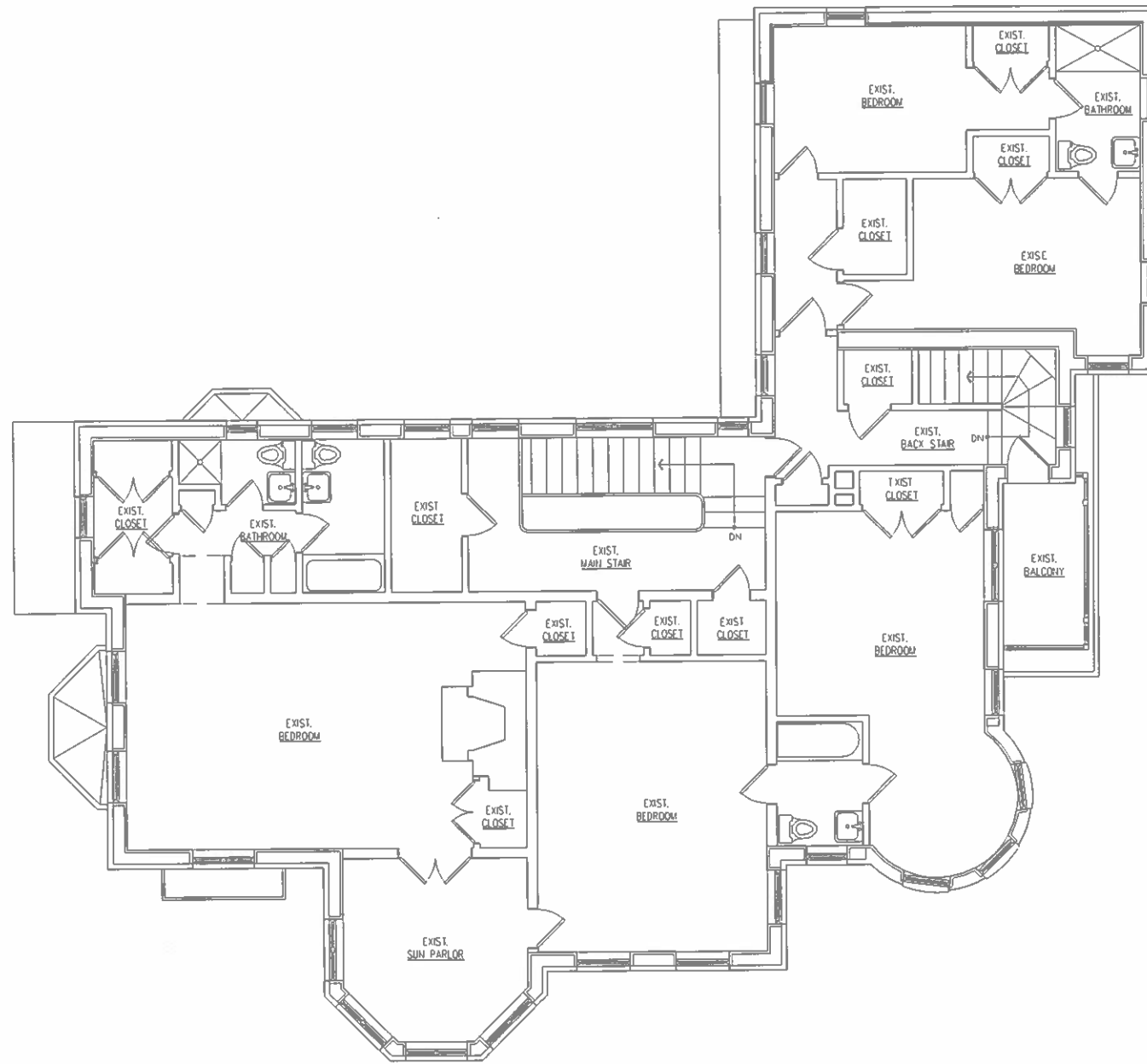
PROPOSED REMODELING TO

**2134 N TERRACE AVE
MILWAUKEE, WI**

NEW FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"





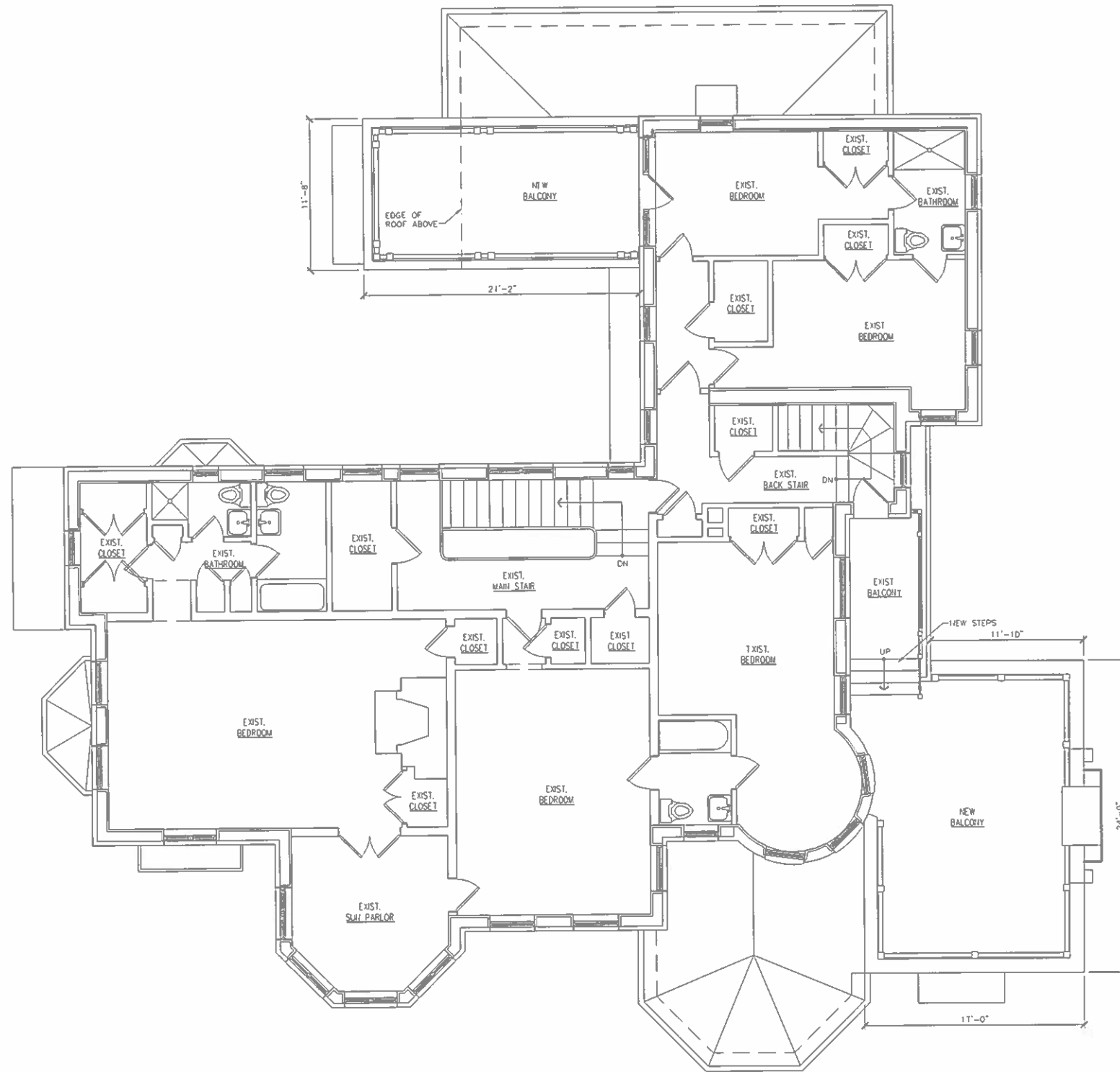
PROPOSED REMODELING TO

**2134 N TERRACE AVE
MILWAUKEE, WI**

EXISTING SECOND FLOOR PLAN

SCALE: 3/32"=1'-0"





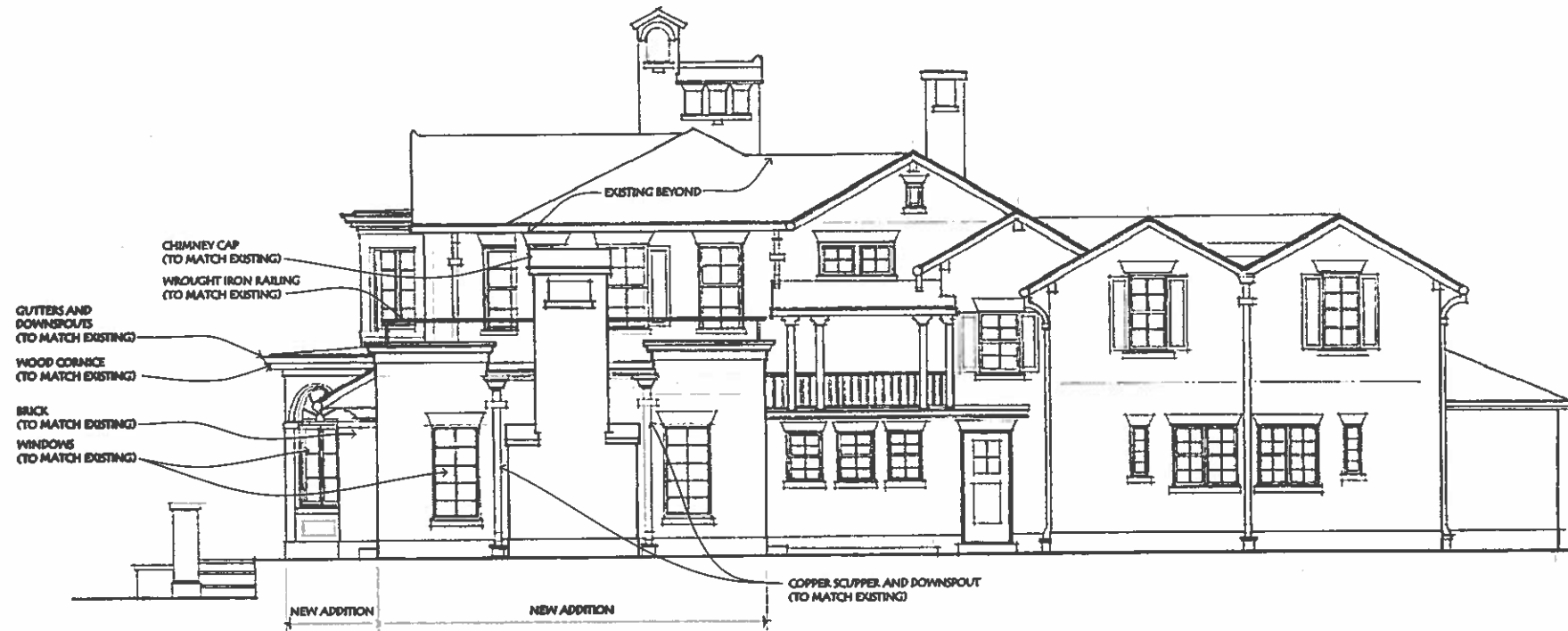
PROPOSED REMODELING TO

**2134 N TERRACE AVE
MILWAUKEE, WI**

NEW SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"





EAST ELEVATION



SOUTH ELEVATION

PROPOSED REMODELING TO

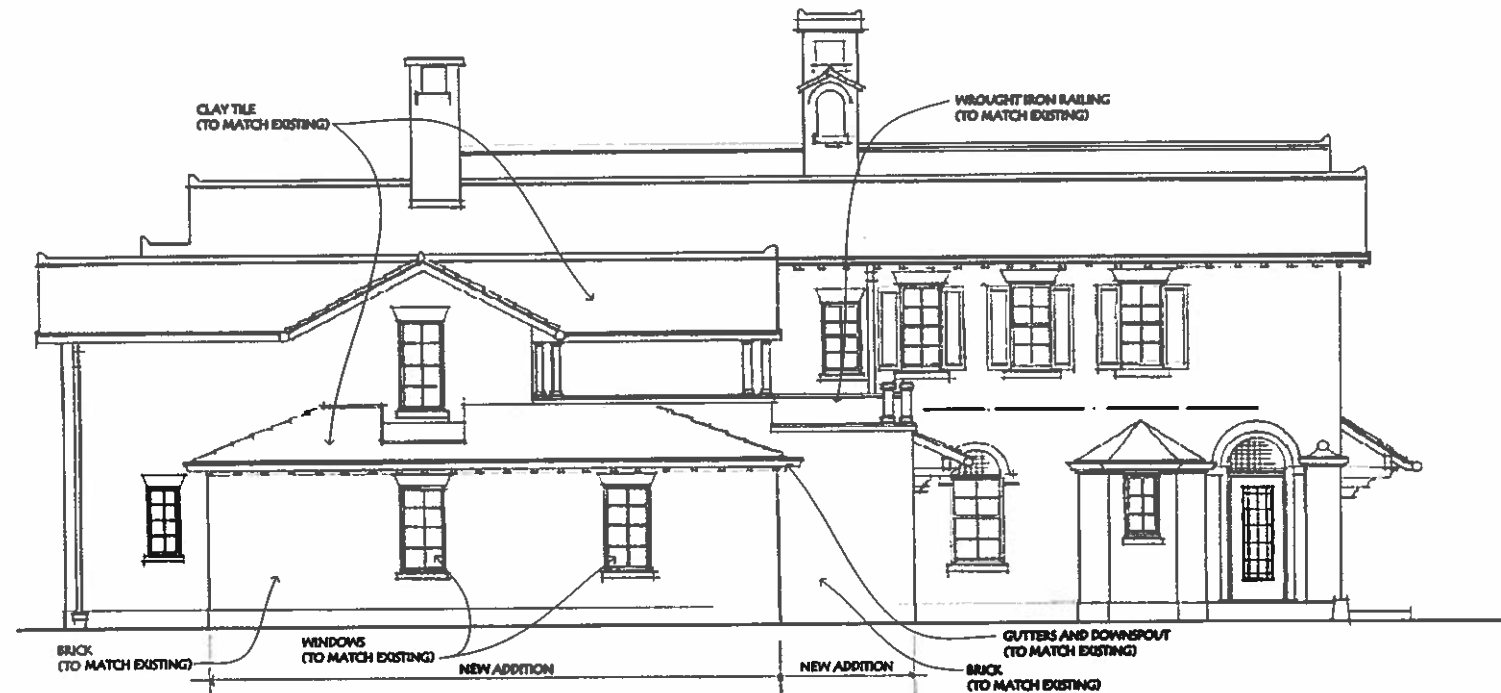
**2134 N TERRACE AVE
MILWAUKEE, WI**

ELEVATIONS

SCALE: 3/32"=1'-0"



WEST ELEVATION



NORTH ELEVATION

PROPOSED REMODELING TO

**2134 N TERRACE AVE
MILWAUKEE, WI**

ELEVATIONS

SCALE: 3/32"=1'-0"



NORTH WEST ELEVATION



WEST ELEVATION



NORTH ELEVATION



NORTH ELEVATION

PROPOSED REMODELING TO

EXISTING PHOTOS

**2134 N TERRACE AVE
MILWAUKEE, WI**



SOUTH ELEVATION



SOUTH ELEVATION



SOUTH EAST ELEVATION



EAST ELEVATION

PROPOSED REMODELING TO

EXISTING PHOTOS

**2134 N TERRACE AVE
MILWAUKEE, WI**

June 16th, 2011

To Whom It May Concern:

As the owner of 2214 N Terrace Ave, I would like to say that I have seen and am in support of the proposed plans for the remodeling of 2134 N Terrace Ave. Further, I am in favor of the setback variance that accompanies these plans.

Sincerely,

A handwritten signature in cursive script, appearing to read "Virginia Little".

Virginia Little

Owner(2214 N Terrace Ave)

PATRICIA W. VAN ALYEA
1422 EAST ALBION STREET
MILWAUKEE, WISCONSIN 53202

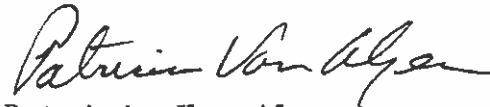
June 13, 2011

Re: 2134 North Terrace Avenue

To Whom It May Concern:

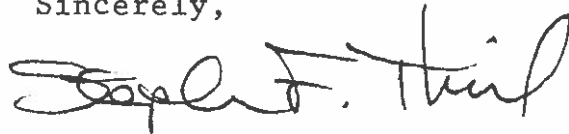
As the owner of 2137 North Terrace Avenue (directly across the street from 2134 N. Terrace) and of 2330 East Back Bay and 2344 East Back Bay I would like to go on record in favor of the setback variance and of the plans that we have been shown.

Sincerely,


Patricia Van Alyea

As the owner of 2328 East Back Bay (directly to the east of 2134 North Terrace) I am also in favor of the setback variance and of the plans that have been shown to me by Maggey & Dave Oplinger and Cathy and Mike White.

Sincerely,



Steve Thiel

June 15th, 2011

To Whom It May Concern:

As the owner of 2121 N Terrace Ave, I would like to say that I have seen and am in support of the proposed plans for the remodeling of 2134 N Terrace Ave. Further, I am in favor of the setback variance that accompanies these plans.

Sincerely,

A handwritten signature in black ink, appearing to read "L William Teweles". The signature is written in a cursive style with a large initial "L" and "W".

L William Teweles

Owner(2121 N Terrace Ave)



Susan Miller

I have seen the plans of
Maggey + Dave Splinger for their
home & I approve of what they
want to do. I also approve of
the setback variance.

I feel the plans they have
shown me maintain the
integrity of the architecture of
their home.


Susan Miller
2228 East Woodstock Pl.

June 16th, 2011

To Whom It May Concern:

As the owner of 2202 N Terrace Ave, I would like to say that I have seen and am in support of the proposed plans for the remodeling of 2134 N Terrace Ave. Further, I am in favor of the setback variance that accompanies these plans.

Sincerely,

A handwritten signature in black ink that reads "Ulrich T Blaschke". The signature is written in a cursive style with a large, prominent "U" and "B".

Ulrich T Blaschke

Owner(2202 N Terrace Ave)

Maggie and David Oplinger
2134 No. Terrace Ave
Milwaukee, WI 53202

June 15, 2011

Dear Maggie and David

This letter is to confirm that as a neighbor, I have received and reviewed the plans for your additions to your property at the above address. After our phone conversation, I am fine with the plans.

Best wishes

A handwritten signature in cursive script that reads "Camille Burke". The signature is written in black ink and is positioned above the printed name and address.

Camille Burke (owner)
2107 N. Terrace Ave
Milwaukee



Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

HPC meeting date: 7/25/2011
Ald. Nik Kovac District: 3
Staff reviewer: Paul Jakubovich
PTS #69182

Property 2134 N. TERRACE AV., North Point South Historic District

Owner/Applicant MICHAEL WHITE
2134 N TERRACE AVE
MILWAUKEE WI 53202

Greg Uhen
Eppstein Uhen Architects, Inc.
333 E. Chicago St.
Milwaukee, WI 53202
Phone: (414) 298-2234
Fax: (414) 271-5350

Proposal Construct additions on the north, south, east and west elevations.

Staff comments This 1923 Mediterranean Villa style home, designed by architects Brust and Philipp, was recently cleaned of its paint to reveal the original golden cream brick. The applicants are now seeking to add additions to each of the four elevations of the house. They have met with HPC staff and have done considerable redesign of the proposal to make it a better fit with the house. Located on a corner, the two principal street-facing elevations would be changed, although the garage addition on the front of the house and the small hip roofed addition on the north elevation would be relatively difficult to see given the presence of a tall garden wall at the front of the property. The applicant also would extend the garden wall further to the south to help conceal the front addition.

The plans as they stand do not meet zoning codes for the south and east setbacks. Therefore the project would require approval from HPC and the board of zoning appeals in order to move forward. The last project that HPC approved that also required subsequent approval by the Board of Zoning Appeals, was later rejected by BOZA and had to be redesigned to meet the zoning code.

The commission must also consider a fundamental policy issue here on whether significant alterations and additions should be made to street-facing elevations in the district. To date, the commission has allowed only very minor alterations to street-facing elevations such as the extension of a terrace or a minor alteration to a window opening.

According to the local district guidelines, additions should be "Located so as not to [be] visible from the public right-of-way, if at all possible." Neither the State Historical Preservation office (SHPO) nor the National Parks Service is in favor of additions that are on the principal elevations of a historic building. According to federal and state guidelines, any new additions must not be highly visible from the public right of way. Additions to the front and street facing elevations are not allowed. Additions on all four sides of the building would render it a non-contributing building in the district, according to state historical society staff. If multiple houses in the district were to be altered in a similar manner, it could remove the district's National Register historic status, according to state staff.

Recommendation Because this proposal has the potential to set precedent for future new construction and additions in the district, it is vital to carefully consider all ramifications to guidelines, and potential impact to national register status.

Conditions

Previous HPC action

Previous Council action

2134 N. Terrace

Additions

**North Point South
Historic District**



2134











SOUTH ELEVATION



SOUTH ELEVATION





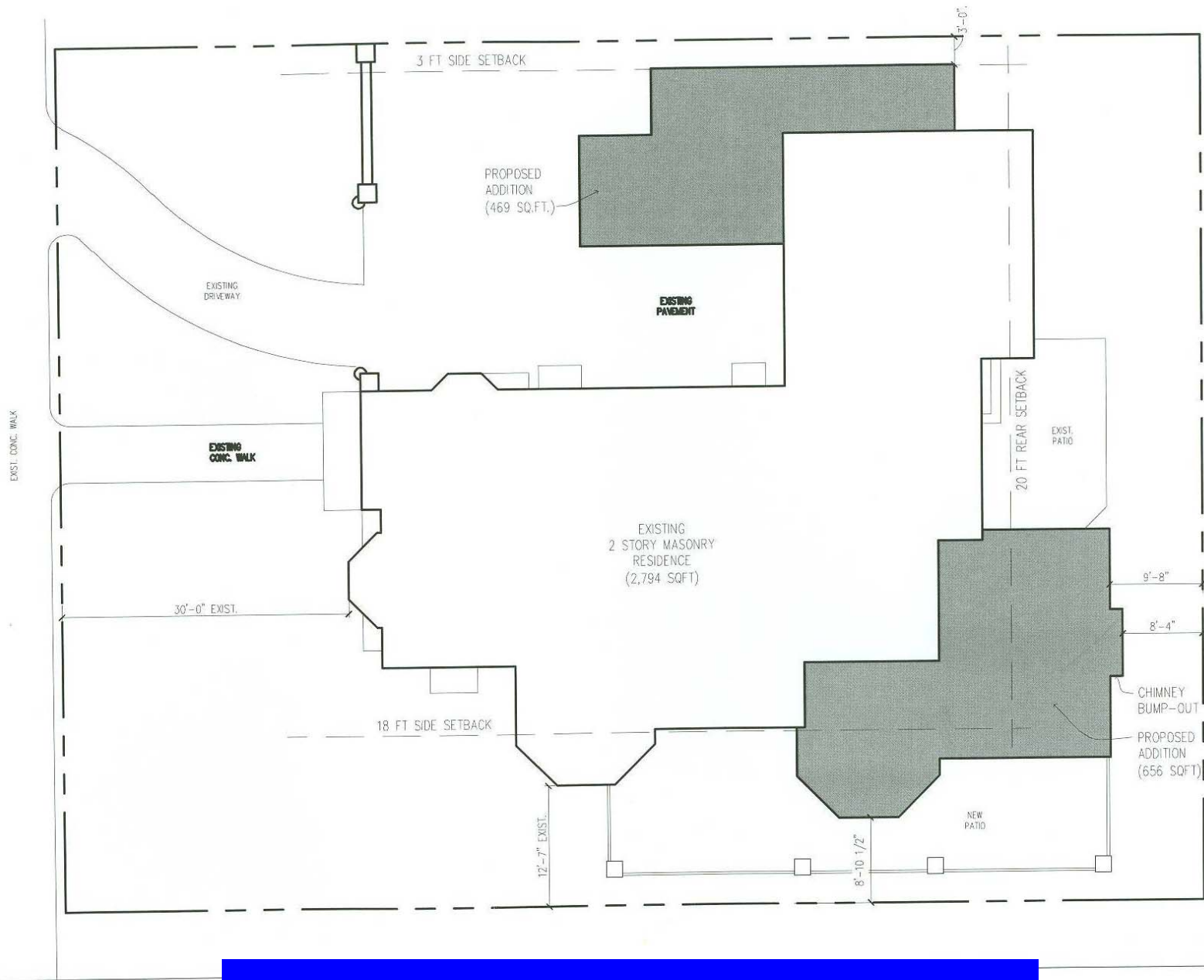
NORTH WEST ELEVATION



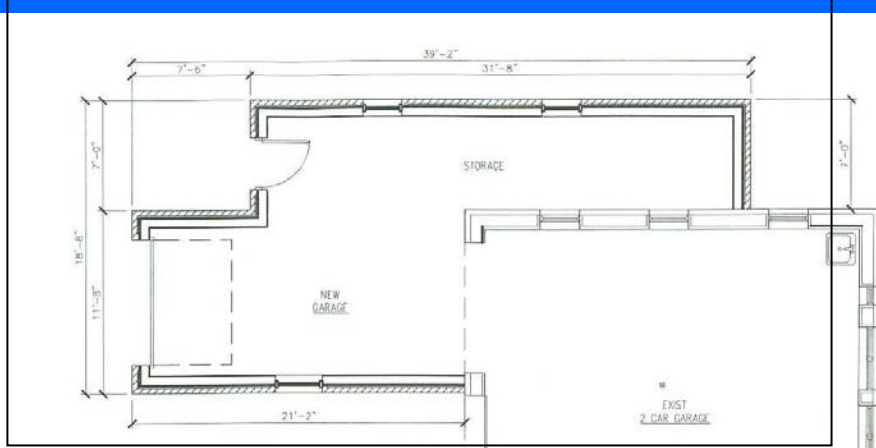
WEST ELEVATION



N. Terrace

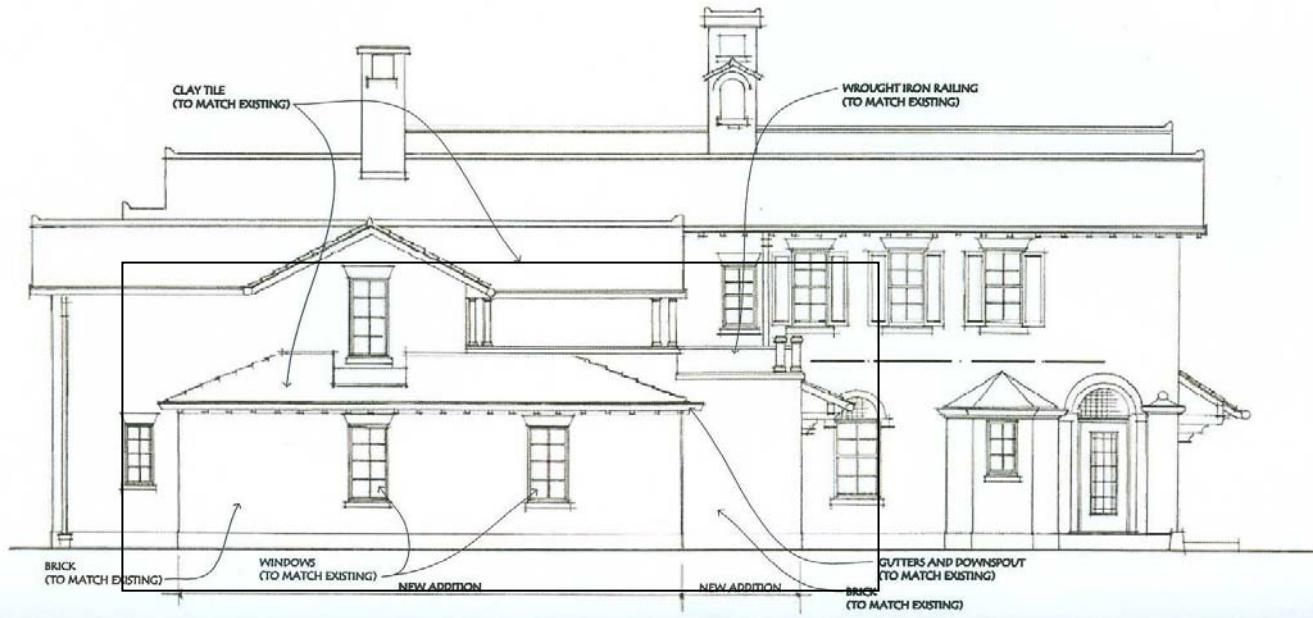


E. Back Bay



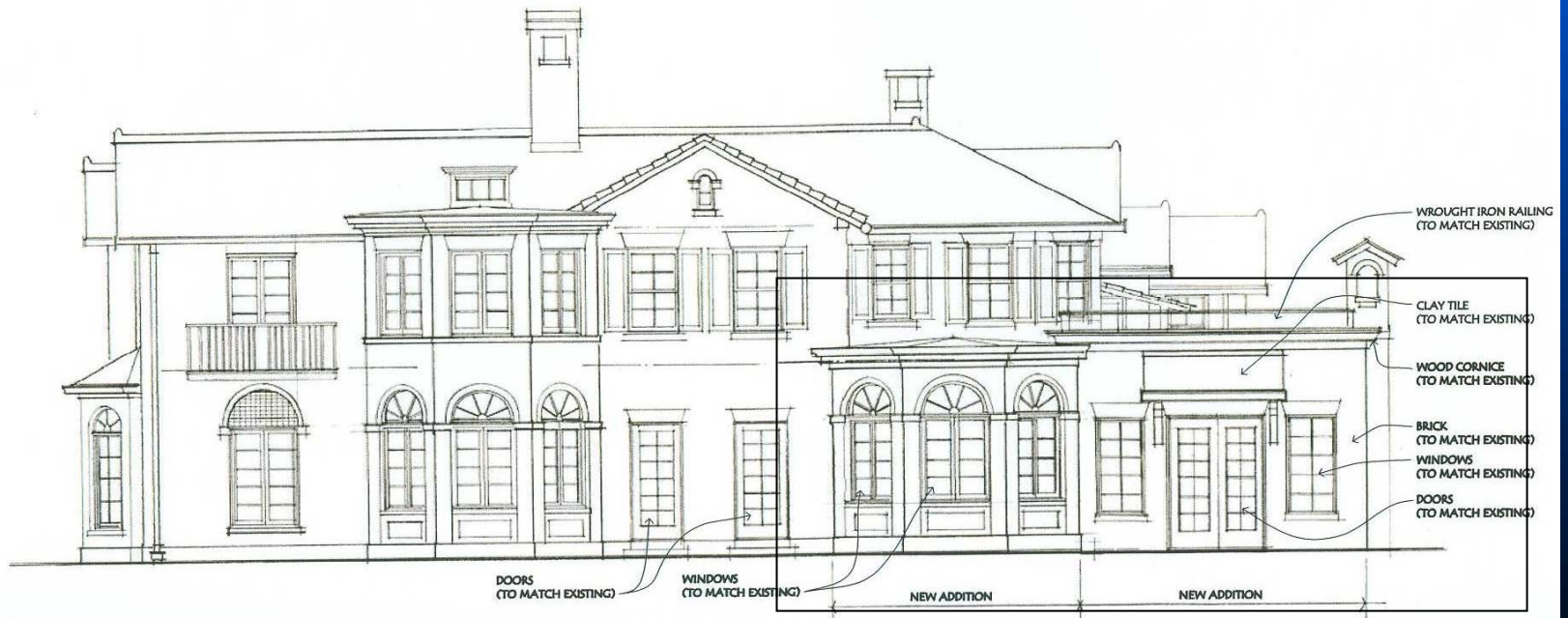


WEST ELEVATION





EAST ELEVATION



Historic Water Tower Neighborhood

July 20, 2011

OFFICERS

President
Dawn McCarthy

President Elect
Lloyd Dickinson

Treasurer
Adrienne Houck

VP Events
Sandra McSweeney

Secretary
Diane Bacha

VP Membership
Thea Kovac

Past President
Jeff Bentoff

TRUSTEES

Area 1
(LaFayette Pl. to North Ave.)
Mary Beth Geraci
Joe Libnoch
Larry Presberg
Lise Sadagopan

Area 2
(North Ave. to Newberry Blvd.)
Diane Bacha
Michael Barna
Jeff Bentoff
David Brust
Lloyd Dickinson
Barbara Elsner
Angela Jacobi
Thea Kovac
Dawn McCarthy
Bunkie Miller
Sally Peltz

Area 3
(Newberry Blvd. to Edgewood Ave.)
Camilla Avery
Mark Falci
Adrienne Houck
Sandra McSweeney
Eric Waldron

Historic Preservation Commission
City of Milwaukee
Room 301-B, City Hall
Milwaukee, WI 53202

Re: File #110373

Honorable Commissioners,

We are writing to oppose the request for a Certificate of Appropriateness for construction of two additions at 2134 N. Terrace Avenue

Historic Water Tower Neighborhood (HWTN) organized in 1973 to promote historic preservation in our neighborhood for the enhancement of our unique residential character. Our association still works to support historic preservation and neighborhood improvement and our opposition to this COA is in keeping with our mission. The construction plans do not even meet zoning code and on April 6th, 2011, the HWTN Board of Trustees voted to oppose a BOZA variance that exceeds the minimum side street setback by 12 feet and exceeds the minimum rear setback by 10.5 feet.

A variance of this degree, in a protected district (North Point South), sets a bad precedent. The North Point South guidelines encourage the following:

- Make additions that harmonize with the existing building architecturally and are located so as not visible from the public right-of-way, if possible.
- Avoid making additions that are unsympathetic to the original structure and visually intrude upon the principal elevations.

The excessive size of the additions contradicts the streetscape guidelines. The streetscapes in North Point South are visually cohesive and the guidelines suggest that traditional setbacks and density of the block be maintained.

Approval of the COA for 2134 N. Terrace has the potential to set a precedent that would endanger North Point South historic district, and therefore has potential to affect the National Historic Register status. National Historic Register tax credits are widely used by neighborhood homeowners for upkeep and restoration of homes.

The Historic Water Tower Neighborhood supports the guidelines for North Point South historic district and supports that the local designation contributes to the stability of the neighborhood and the preservation of property values. We respectfully request that the Commissioners deny the COA.

Sincerely,
Dawn McCarthy
President
Historic Water Tower Neighborhood

320-21-12 Boards, Commissions and Committees

h-5. Whether retention of the building or structure would promote the general welfare of the people of the city and the state by encouraging study of American history, architecture and design, or by developing an understanding of American culture and heritage.

h-6. Whether the building or structure is in such a deteriorated condition that it is not structurally or economically feasible to preserve or restore or use it, provided that any hardship or difficulty claimed by the owner which is self-created or which is the result of any failure to maintain the property in good repair cannot qualify as a basis for the issuance of a certificate of appropriateness.

h-7. Whether any new structure proposed to be constructed, or change in use proposed to be made, is compatible with the buildings and character of the district in which the subject property is located.

i. Enforcement and Penalties.

i-1. Any violation of this section shall be subject to the enforcement provisions of ss. 200-11-3 and 200-12-1 and the penalty provisions of s. 200-19. The commissioner of neighborhood services shall be responsible for enforcement of this section.

i-2. The historic preservation commission is authorized to hear appeals of orders issued pursuant to this section that require owners to restore their properties to their original condition, to apply for certificates of appropriateness or to comply with the terms of a previously granted certificate of appropriateness. Appeals shall be by a written request filed with the commission within 20 days of the date of the service of the order. If service of the order is made by mail, any appeal of the order shall be made in writing within 30 days of the date of the order. The commission may reverse or revise, in whole or in part, any order which a 2/3 majority of its members find an unreasonable hardship on a property owner. No hardship created by an order shall serve as a basis for reversing or revising an order. The commission shall notify the owner of its decision within 15 days.

j. Compliance. Insofar as they are applicable to a historic structure, historic site, or improvements in a historic district designated under this section, any provision of the building code shall apply, unless waived by the appropriate state or city officials. The commission may support or propose such waivers before the appropriate state or city appeals bodies.

12. GUIDELINES FOR REHABILITATION. In determining whether to issue a certificate of appropriateness for rehabilitation, the commission shall consider and may give decisive weight to any or all of the following:

a. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the exterior of a building, structure or site and its environment.

b. The distinguishing original qualities or character of a building, structure or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

c. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.

d. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

e. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be treated with sensitivity.

f. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different elements from other buildings or structures.

g. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken without a certificate of appropriateness.

h. Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to, any project.

i. Contemporary design for alterations and additions to existing properties shall not be discouraged when the alterations and additions do not destroy significant historical, architectural or cultural material, and the design is compatible with the size, scale, color, material and character of the property, neighborhood, or environment.

j. Wherever possible, new additions or alterations to structures shall be done in such a manner that if the additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

13. INTERIM DESIGNATION.

a. Public Hearing. Prior to nomination or final designation of a structure as a historic structure, the commission must, after it is petitioned in accordance with par. b, hold a public hearing on the question of whether or not a structure should be designated, on an interim basis, not to exceed 180 days, either as a historic structure or as a nonsignificant structure not qualifying as a historic structure. Notice of the time, place and purpose of the hearing shall be sent by certified letter at least 7 days prior to the hearing to the owner or owners of the subject structure, and notice shall also be sent by first class mail or other comparable means to the common council member in whose district the structure is located and to the department of neighborhood services. The decision on interim designation shall be made within 5 days after the close of the public hearing, and shall be forwarded by certified letter to the owner or owners of the subject structure and also be sent by first class mail or other comparable means to the common council member in whose district the structure is located and to the department of neighborhood services.

b. Procedure. b-1. The hearing described in par. a shall, in cases where a demolition permit on the subject structure has been applied for under s. 200-26-1, be held within 15 days after receipt by the commission of a duly signed and acknowledged petition from any city resident.

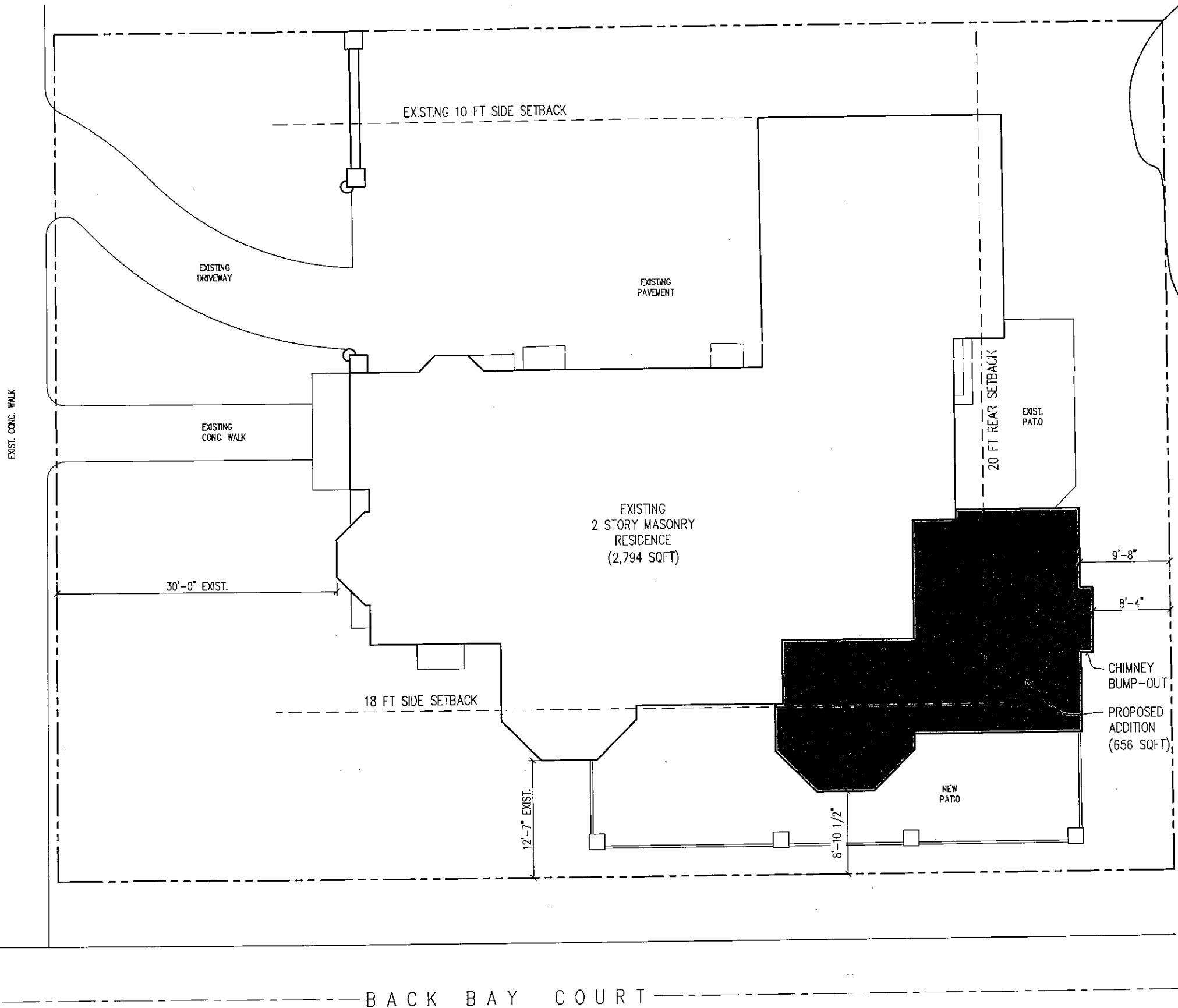
b-2. The hearing described in par. a shall in cases where no demolition permit has been applied for under s. 200-26-1, be held within 45 days after receipt by the commission of a duly signed and acknowledged petition from either a city resident, the owner or owners of the subject structure or any city department, board, commission or official.

b-3. Petitions filed under this paragraph shall be filed on forms approved by the commission and available at the commission office. The commission will not consider more than one such petition on a particular structure in a 180-day period or as provided in par. f.

c. Demolition Permit Withheld. The commissioner of city development shall not issue a permit for the demolition of the subject structure until the conclusion of the hearing and the entry of the interim designation decision provided for in par. a and the exhaustion of either the appeal to the common council described in par. d, or the expiration of the time for taking an appeal. The commissioner of city development's issuance of a permit for demolition of the structure may be further delayed or otherwise affected by the commission's and common council's decision regarding interim and final historic designation.

d. Appeal Petition. If, after holding the hearing set forth in par. a, the commission determines not to designate, on an interim basis, the subject structure, any resident of the city may, within 5 days of the commission's decision, file a duly signed and acknowledged appeal petition with the city clerk for review of the commission's decision by the common council. The appeal petition shall be accompanied with a bond in the form set forth in par. e. The city clerk shall immediately notify the department of neighborhood services and the department of city development of the appeal petition. The common council shall review the commission's decision within 45 days after receipt by the city clerk of the appeal petition. The common council may then, after balancing the interest of the public in preserving the affected structure and the interest of the owner or owners in using the property for his or her own purposes, reverse or affirm the commission's decision on interim designation. If the common council reverses the commission's decision on interim designation, the subject structure shall be deemed designated as a historic structure on an interim basis for a period not exceeding 180 days. The city clerk shall immediately notify the department of neighborhood services and the department of city development of the common council's appeal decision.

TERRACE AVE



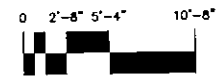
*Recd.
11:11am
10/19/11
P.D.*

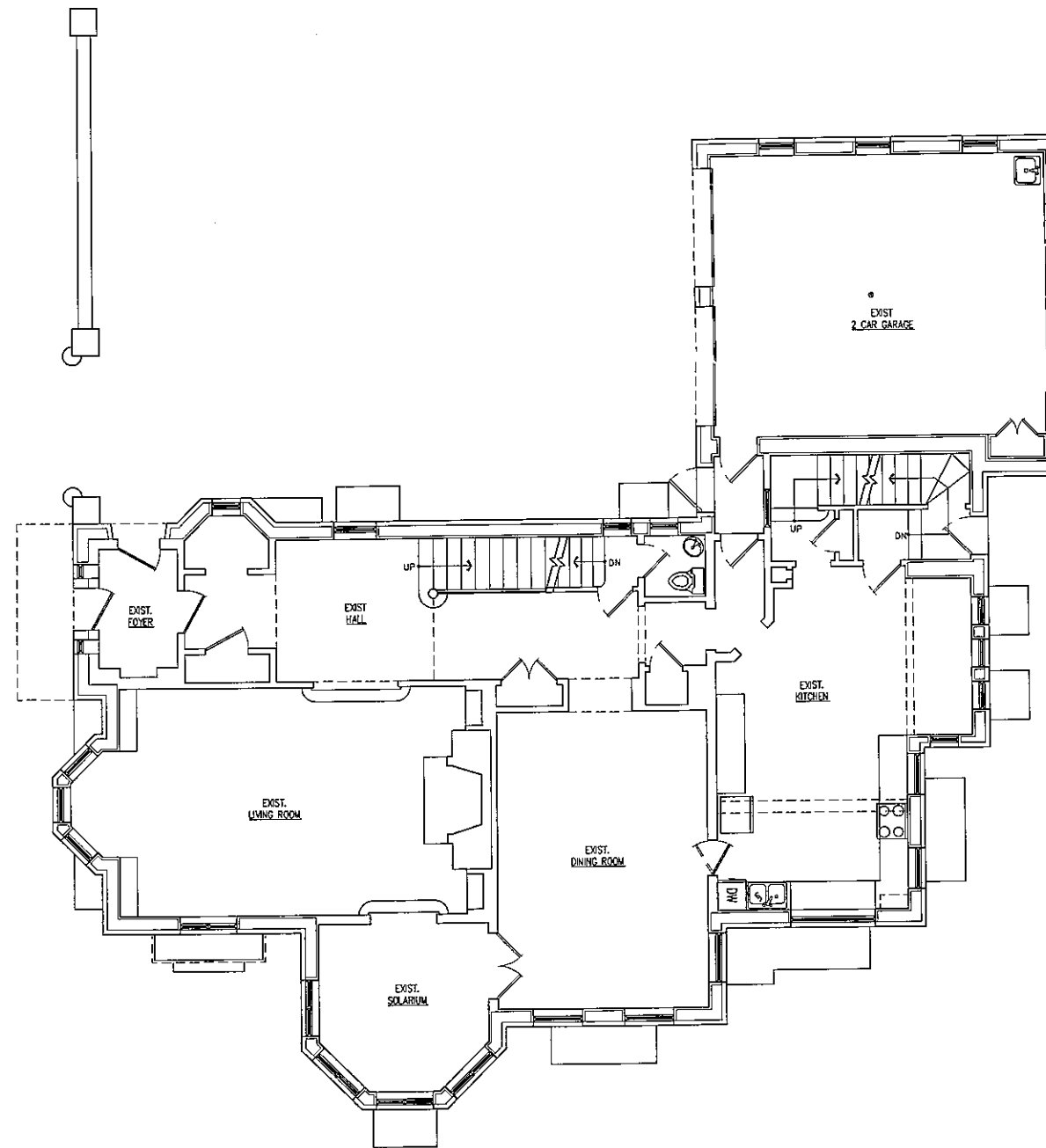
PROPOSED REMODELING TO

2134 N TERRACE AVE
MILWAUKEE, WI

SITE PLAN
SCALE: 3/16"=1'-0"

SEPTEMBER 7, 2011

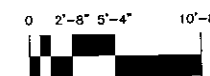


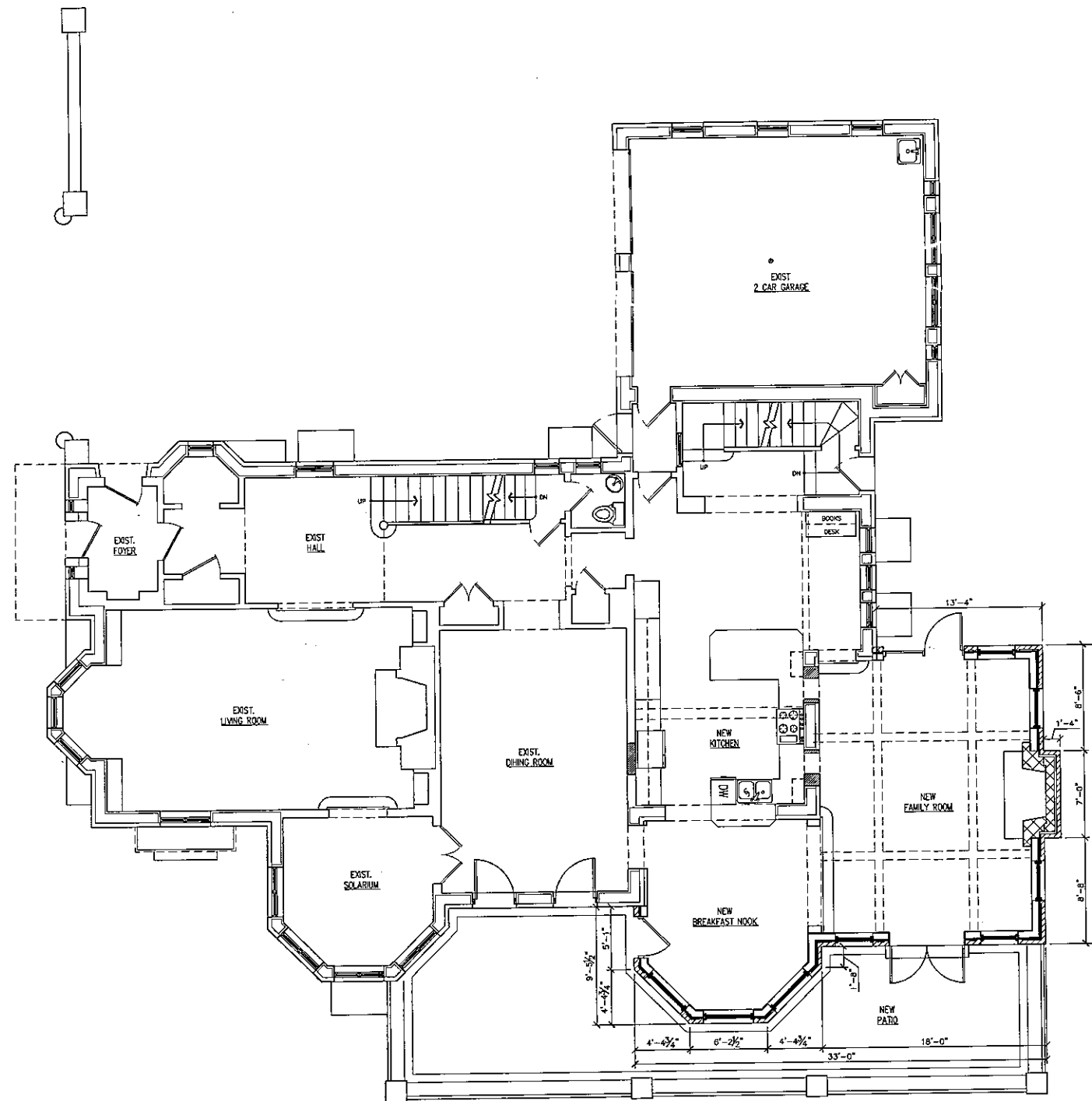


PROPOSED REMODELING TO
 2134 N TERRACE AVE
 MILWAUKEE, WI

EXISTING FIRST FLOOR PLAN
 SCALE: 3/16"=1'-0"

SEPTEMBER 7, 2011





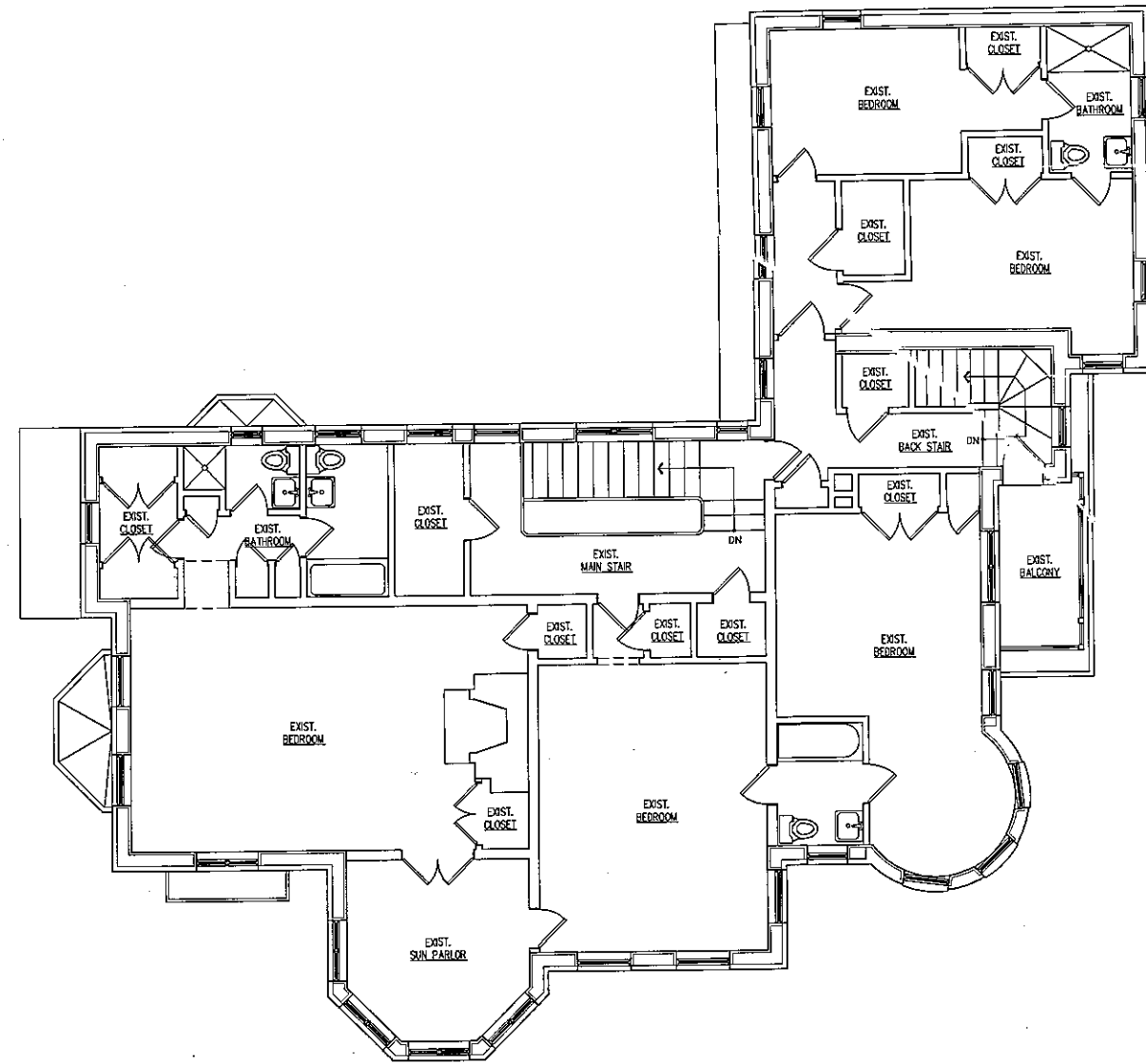
PROPOSED REMODELING TO
 2134 N TERRACE AVE
 MILWAUKEE, WI

NEW FIRST FLOOR PLAN
 SCALE: 3/16"=1'-0"

SEPTEMBER 7, 2011

0 2'-8" 5'-4" 10'-8"

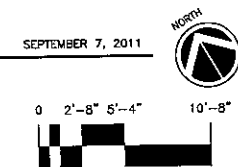
NORTH

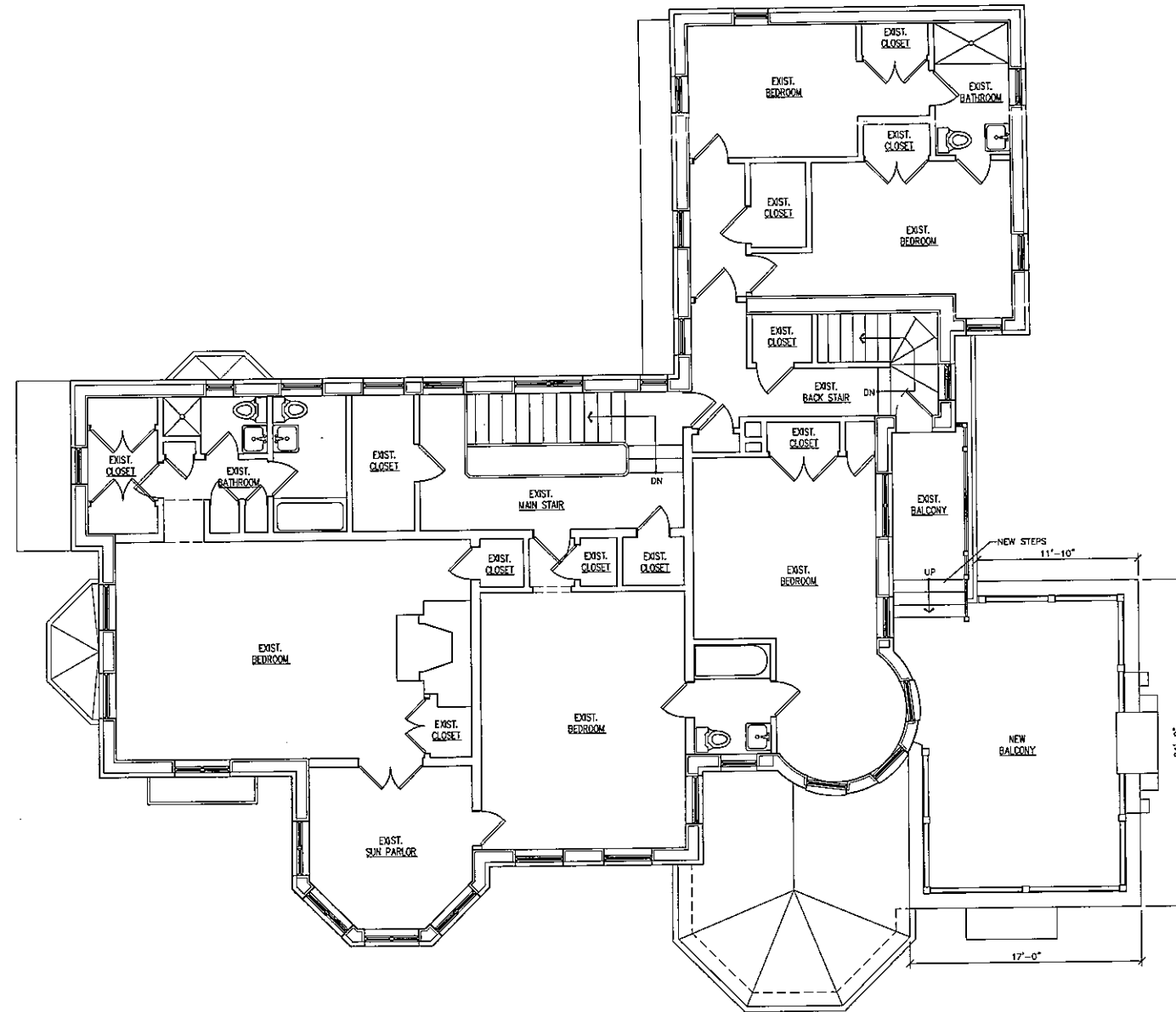


PROPOSED REMODELING TO
 2134 N TERRACE AVE
 MILWAUKEE, WI

EXISTING SECOND FLOOR PLAN
 SCALE: 3/16"=1'-0"

SEPTEMBER 7, 2011





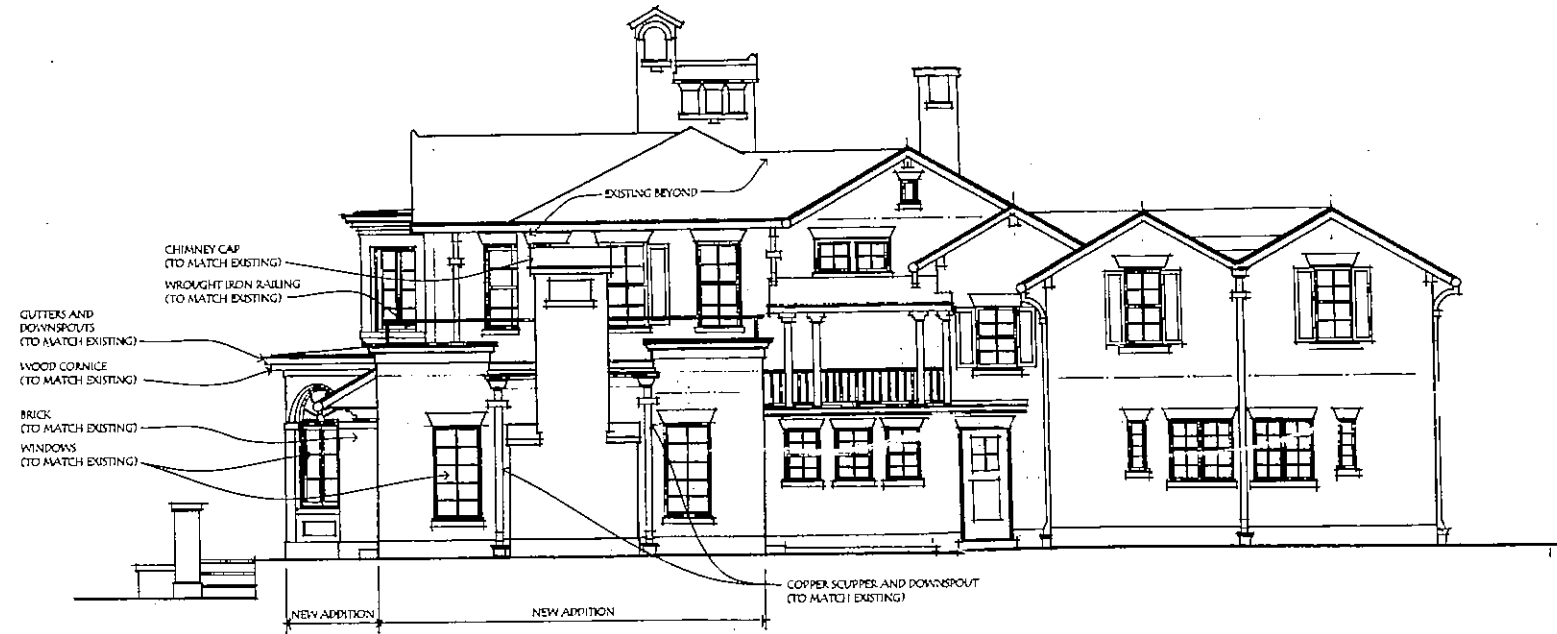
PROPOSED REMODELING TO
 2134 N TERRACE AVE
 MILWAUKEE, WI

NEW SECOND FLOOR PLAN
 SCALE: 3/16"=1'-0"

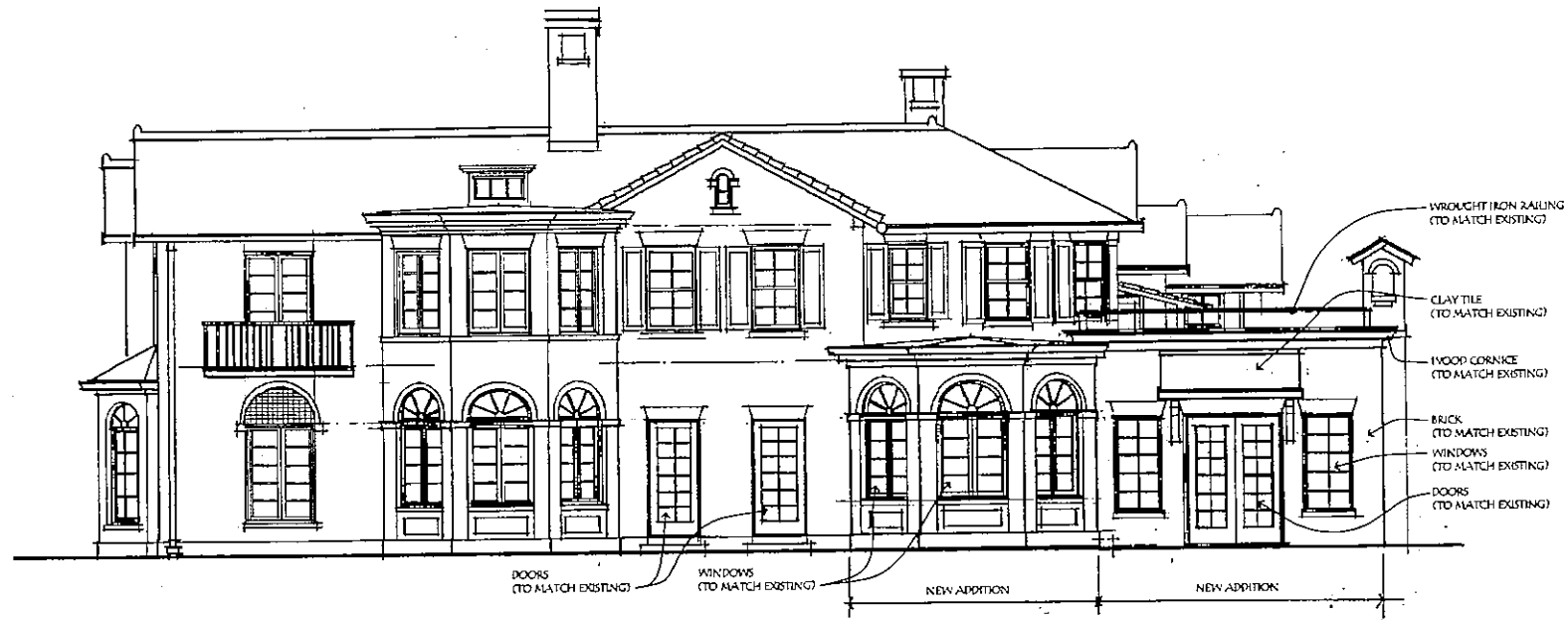
SEPTEMBER 7, 2011

0 2'-8" 5'-4" 10'-8"

NORTH



EAST ELEVATION
SCALE: 3/16"=1'-0"



SOUTH ELEVATION
SCALE: 3/16"=1'-0"

PROPOSED REMODELING TO
2134 N TERRACE AVE
MILWAUKEE, WI



WEST ELEVATION
SCALE: 3/16"=1'-0"



NORTH ELEVATION
SCALE: 3/16"=1'-0"

PROPOSED REMODELING TO
2134 N TERRACE AVE
MILWAUKEE, WI



Legislation Details (With Text)

File #: 110897 **Version:** 0

Type: Resolution **Status:** In Committee

File created: 10/21/2011 **In control:** HISTORIC PRESERVATION COMMISSION

On agenda: **Final action:**

Effective date:

Title: Resolution relating to a Certificate of Appropriateness for exterior renovations at 1139 East Knapp Street for the Lynde and Harry Bradley Foundation.

Sponsors: THE CHAIR

Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

Attachments: Application (corrected address as of 11-02-11), HPC Staff Report, Application

Date	Ver.	Action By	Action	Result	Tally
10/21/2011	0	COMMON COUNCIL	ASSIGNED TO		

Number
110897
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for exterior renovations at 1139 East Knapp Street for the Lynde and Harry Bradley Foundation.

Requestor

Drafter
CC-CC
dkf
10/21/11



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

Bloodgood Residence; First Ward Triangle

ADDRESS OF PROPERTY:

1139 East Knapp Street

2. NAME AND ADDRESS OF OWNER:

Name(s): Lynde and Harry Bradley Foundation

Address: 1241 North Franklin Place

City: Milwaukee

State: WI

ZIP 53202

Email: _____

Telephone number (area code & number) Daytime: _____

Evening: _____

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Steve Wellenstein, AIA Uihlein/Wilson Architects

Address: 322 E. Michigan Street Suite 400

City: Milwaukee

State: WI

ZIP Code: 53202

Email: stevew@uihlein-wilson.com

Telephone number (area code & number) Daytime: (414) 271-8899

Evening: _____

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Existing features affected by proposed work, per elevation:
EAST At the second-floor level of the brick veneer, a mid-span settling of the structural framing is verified. The wood sills of the two attic-level dormers are visibly affected. Photos 1, 1a.
NORTH The garden-level entrance will be removed so as to return to the historic window configuration. At the entrance porch the full-glass window will be returned to historic condition. All infill materials at the garden level windows will be removed. Photo 2.
The clapboard and aluminum-framed glazed windows forming the enclosed porch at the first and second-levels will be removed. The site's existing brick retaining wall with its decorative iron-gate will be retained. Photo 3.
WEST The three-floor tower, recessed from the street line, will be reworked into the new addition. The single dormer will be removed and rebuilt into the north facade of the addition. All existing brick will be retained for re-use. Photos 4, 4a, 5 and 5a.
SOUTH The historic Bloodgood Residence shares a party wall with its sister-residence, the Hawley

Photo No. 1 through 7 Drawing No. na

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

The project involves the exterior restoration of the 4-story building (footprint of approx. 1,900 sq. ft.) and an interior/exterior renovation to include an addition of approx. 115 sq. ft. per floor, at all levels. This West-end addition allows an IBC-compliant exit stair and elevator designed to serve all levels.
EAST The second-story's structural framework will be replaced, restoring the brick veneer facade to its historic appearance at time of construction (late 1890's). All original brick will be removed, cleaned and re-used.
NORTH The existing garden-level door opening returns to the historic condition of an arched masonry opening for a wood framed, glazed window with mullions. The porch entry door will be refinished and the adjacent window replaced with a window corresponding to the historic condition. The insertion of a glazed curtain wall (65 sq. ft.) extending from the first-floor line to the roof line, transitions the existing facade to the west-end addition. The addition's unglazed brick veneer facade corresponds to the historic brick veneer in color, size and course banding. The renovation provides a semi-enclosed porch and an accessible entry to the enclosed stair and elevator. This porch is composed of elliptical brick

Photo No. na Drawing No. AA001; AA100; A2

6. SIGNATURE OF APPLICANT:


Signature

Steve Wellenstein October 20, 2011
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722 FAX: (414) 286-3004 www.milwaukee.gov/hpc

Existing features affected by proposed work, per elevation:

EAST At the second-floor level of the brick veneer, a mid-span settling of the structural framing is verified. The wood sills of the two attic-level dormers are visibly affected. *Photos 1, 1a.*

NORTH The garden-level entrance will be removed so as to return to the historic window configuration. At the entrance porch the full-glass window will be returned to historic condition. All infill materials at the garden level windows will be removed. *Photo 2.* The clapboard and aluminum-framed glazed windows forming the enclosed porch at the first and second-levels will be removed. The site's existing brick retaining wall with its decorative iron-gate will be retained. *Photo 3.*

WEST The three-floor tower, recessed from the street line, will be reworked into the new addition. The single dormer will be removed and rebuilt into the north facade of the addition. All existing brick will be retained for re-use. *Photos 4, 4a, 5 and 5a.*

SOUTH The historic Bloodgood Residence shares a party wall with its sister-residence, the Hawley House of comparative square footage.

OVERALL The existing wood, double-hung muntin-glazed windows at the garden and first floor levels will be removed and replaced to match historic profiles. Likewise, second and attic-level windows will be removed and replaced. *Photos 6, 6a.* The aluminum combination storm and screens will be removed throughout. The existing roof drainage system of metal gutters and downspouts will be replaced to correspond to historic conditions. *Photo 7.*

ROOF The existing dimensional shingle system will be replaced to correspond to historic conditions.

Proposed work:

The project involves the exterior restoration of the 4-story building (footprint of approx. 1,900 sq. ft.) and an interior/exterior renovation to include an addition of approx. 115 sq. ft. per floor (all levels). This West-end addition allows an IBC-compliant exit stair and elevator designed to serve all levels.

EAST The second-story's structural framework will be replaced, restoring the brick veneer facade to its historic appearance at time of construction (late 1890's). All original brick will be removed, cleaned and re-used.

NORTH The existing garden-level door opening returns to the historic condition of an arched masonry opening for a wood framed, glazed window with mullions. The porch entry door will be refinished and the adjacent window replaced with a window corresponding to the historic condition. The insertion of a glazed curtain wall (65 sq. ft.) extending from the first-floor line to the roof line, transitions the existing facade to the west-end addition. The addition's unglazed brick veneer facade corresponds to the historic brick veneer in color, size and course banding. The renovation provides a semi-enclosed porch and an accessible entry to the enclosed stair and elevator. This porch is composed of elliptical brick arches bearing on brick pilasters to a stone masonry half-wall. The porch half-wall is in direct relation to the first-floor line of the adjacent, original facade. The north facade renovation includes architectural

terra cotta elements and a round window. New cut-stone lintels and stone masonry will match historic conditions.

Windows throughout the building will be of wood frame and sash with profiles and proportions to match historic conditions. Glazing will be with insulated glass. New stone headers and sills will correspond to historic profiles.

WEST The glazed curtain wall is composed of three glazed areas with two areas of 54 sq. ft. and one section of 165 sq. ft. (See Elevations A200)

The roof will be entirely replaced, restoring the building's original splendor of a textural clay tile roof.

All decorative crowning elements (croquets, ridge elements) at the roof line and at the dormers will be restored, replacing all degraded elements. All sheet metal at gutters, downspouts, collectors, valleys, copings, ridge caps and flashings will match existing profiles and stampings. Exposed metal roofing accessories will be zinc-covered copper with paint finish to be determined upon further investigation.

Roof drainage will be restored with specifically restored valleys, ridge caps, eaves, collectors, downspouts with hangers.

OVERALL The veneer brick will be tuckpointed where appropriate.

SITE The Work scope includes the rebuilding of the existing brick retaining wall, with its decorative iron gate. An entry ramp is provided completing the new accessible entrance.

* * *



BLOODGOOD RESIDENCE - East elevation detail

Second-story's structural framework and brick veneer to be restored.

Existing metal gutters and downspouts to be removed and replaced.



PHOTO NO. 1a

BLOODGOOD RESIDENCE - Interior
Historic photo of main entry window tracery

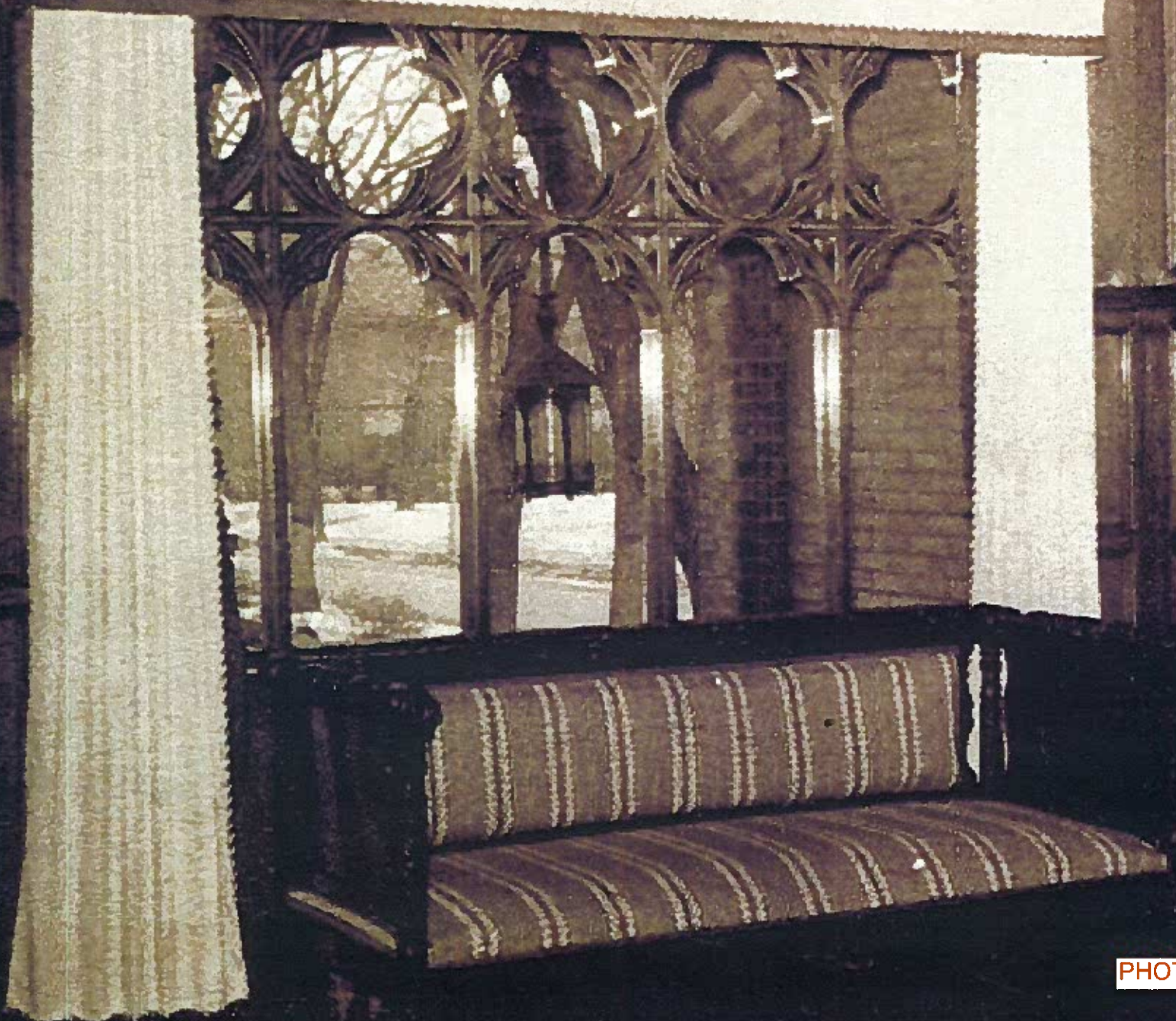


PHOTO NO. 1b

BLOODGOOD RESIDENCE - North elevation

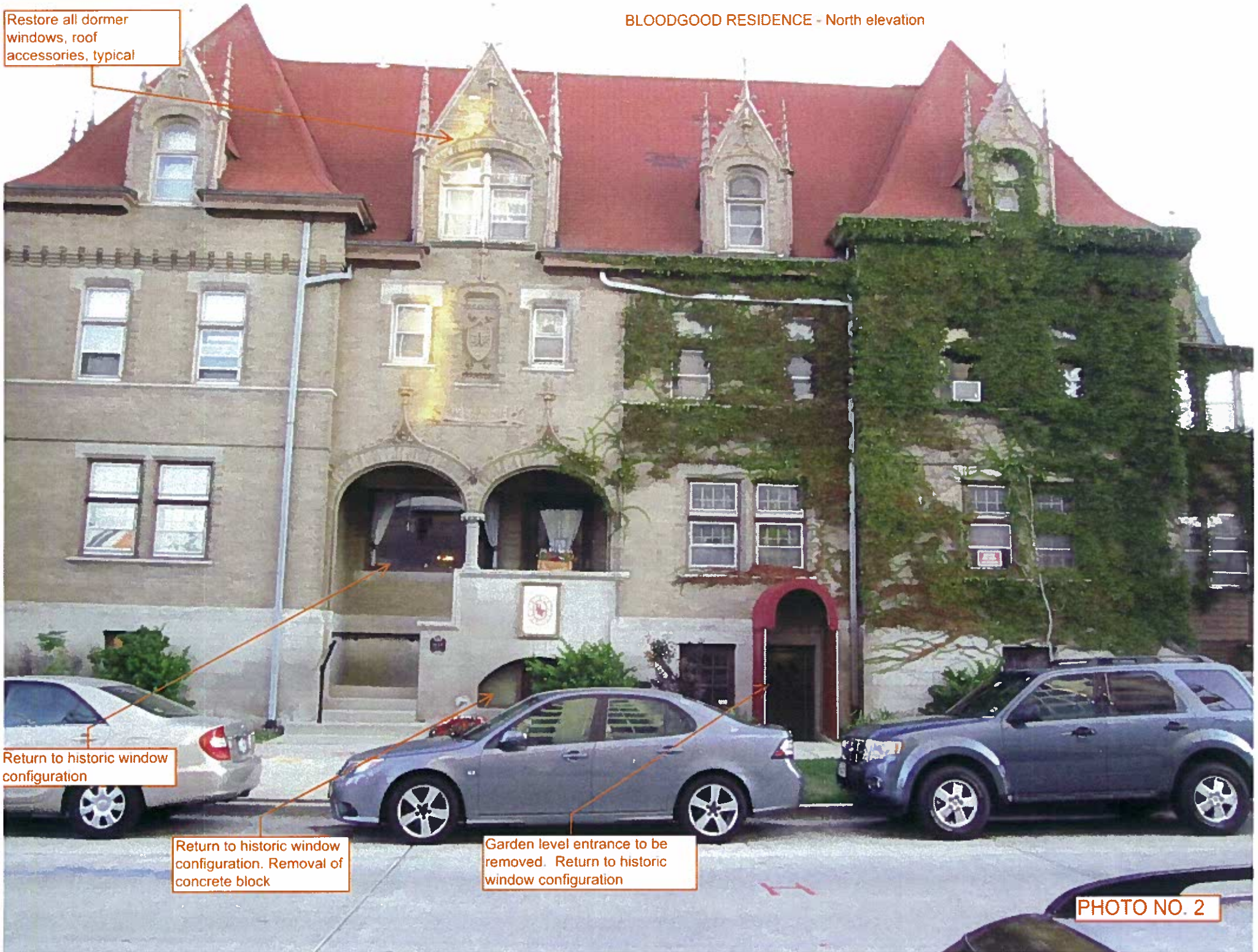
Restore all dormer windows, roof accessories, typical

Return to historic window configuration

Return to historic window configuration. Removal of concrete block

Garden level entrance to be removed. Return to historic window configuration

PHOTO NO. 2





Enclosed porch to be removed.

Brick retaining wall to be retained in renovation

BLOODGOOD RESIDENCE - West end tower detail

Dormer window and decorative elements to be dismantled, restored and rebuilt at addition in North elevation

3-floor tower to be reworked into the proposed renovation and addition



PHOTO NO. 4

BLOODGOOD RESIDENCE - West elevation
Garden level of enclosed porch and 3-level tower.



PHOTO NO. 4a

Typical condition of decorative metal elements at dormers. West dormer to be reconstructed to the North facade in renovation.



BLOODGOOD RESIDENCE - West elevation
Roof line, dormer condition. Dormer to be re-built in new North elevation



PHOTO NO. 5a

BLOODGOOD RESIDENCE - North elevation
Typical condition of dormer windows and decorative elements



PHOTO NO. 6

BLOODGOOD RESIDENCE - North elevation detail at dormer window and roof drainage system.



PHOTO NO. 6a

BLOODGOOD RESIDENCE - North elevation
Roof edge condition detail between dormers.

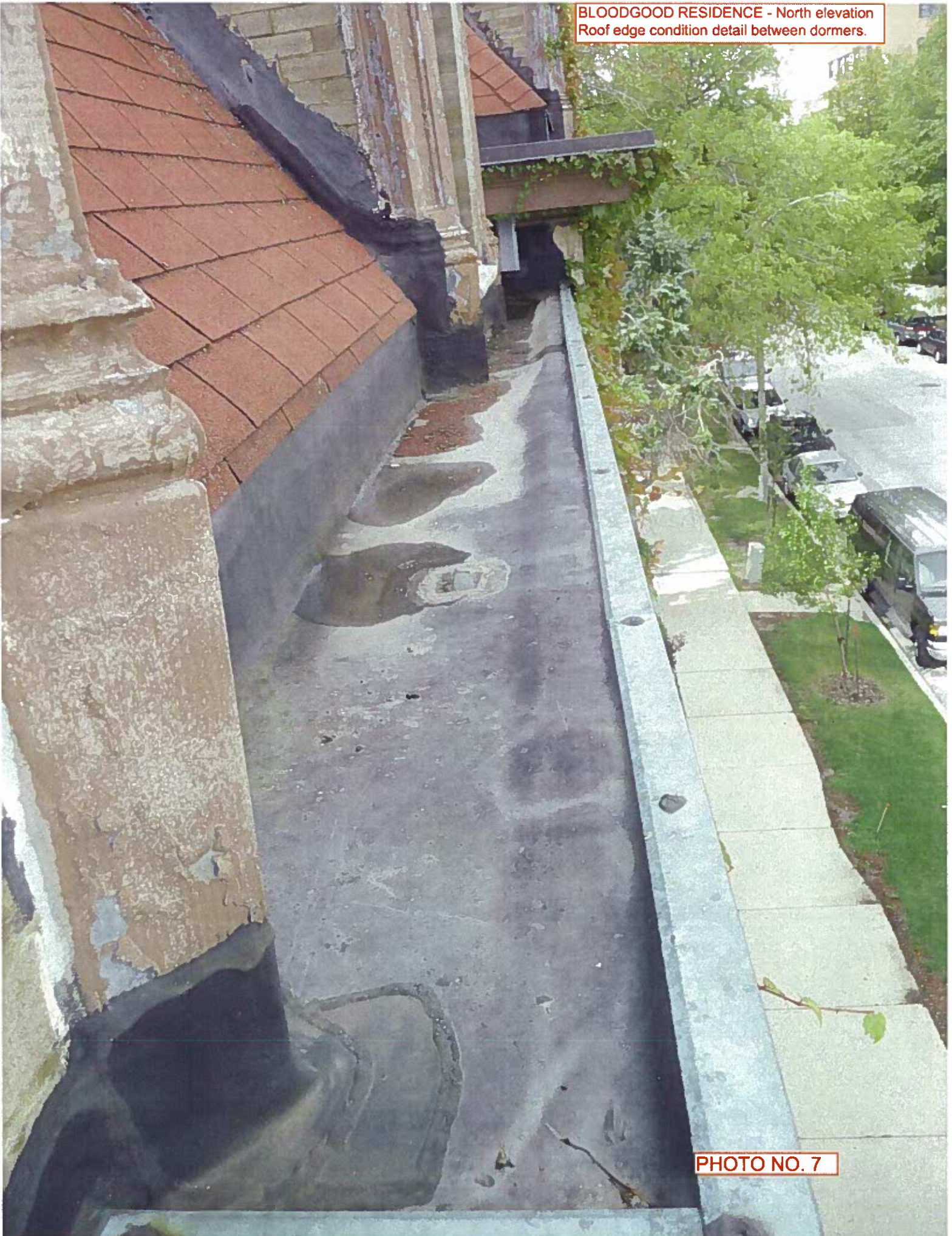
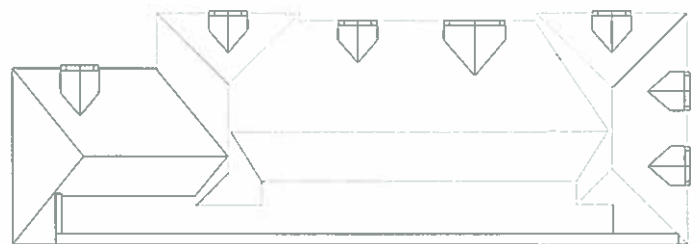
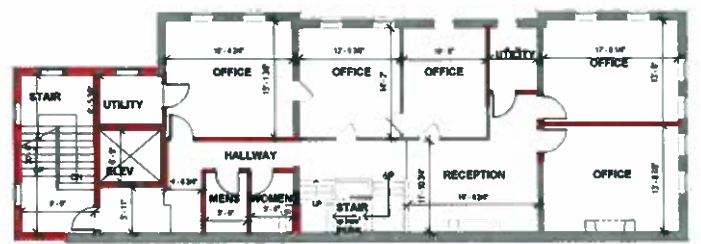


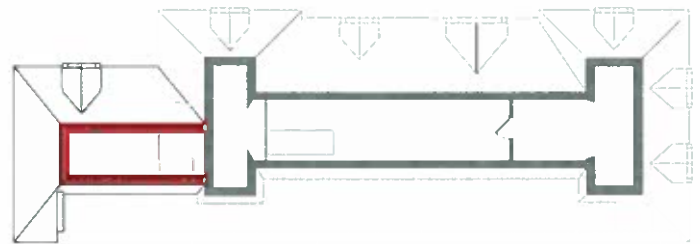
PHOTO NO. 7



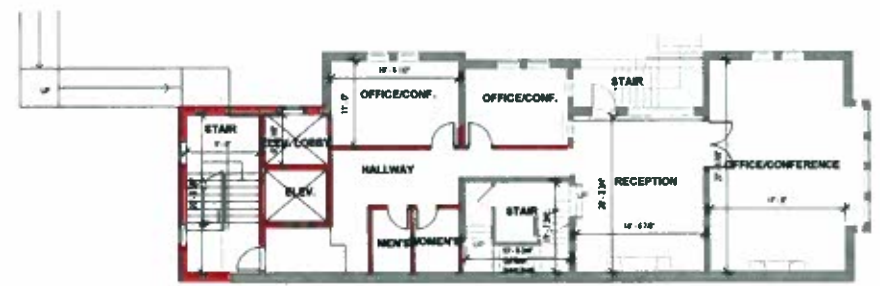
Roof
1/8" = 1'-0"



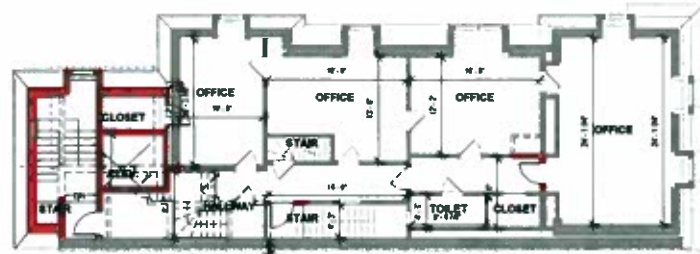
2 Second level - New
1/8" = 1'-0"



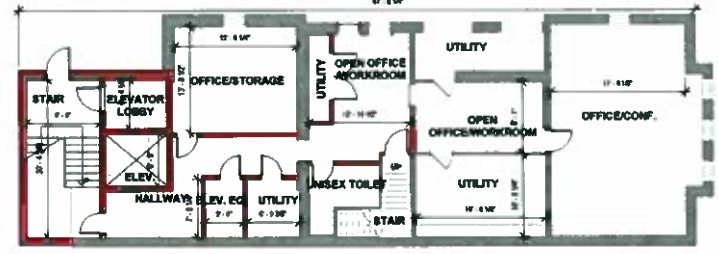
1st Floor
1/8" = 1'-0"



1 First Floor - New
1/8" = 1'-0"



3 Third level - New
1/8" = 1'-0"



0 Garden level - New
1/8" = 1'-0"



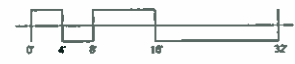
**UIHLEIN
WILSON**
ARCHITECTS

322 East Michigan Street
Milwaukee, WI 53202
telephone | 414.271.8899
facsimile | 414.271.8942
email | office@uihlein-wilson.com

© UIHLEIN WILSON ARCHITECTS, INC. ALL RIGHTS RESERVED.
OWNER'S USE ONLY. This document is the property of Uihlein Wilson Architects, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Uihlein Wilson Architects, Inc.

REVISIONS

No.	Date	Description



PROJECT
**Bloodgood
Residence
Renovation
1139 East
Knapp Street**

SHEET
**PLANS - ALL LEVELS,
ROOF**

DATE
October 20, 2011

PROJECT NO.
11-118

SHEET NO.
AA100



C:\Users\Local [Admin] \11-118 Bloodgood - 2012\Woodgood Dba.mxd 10/20/2011 8:27:55 AM



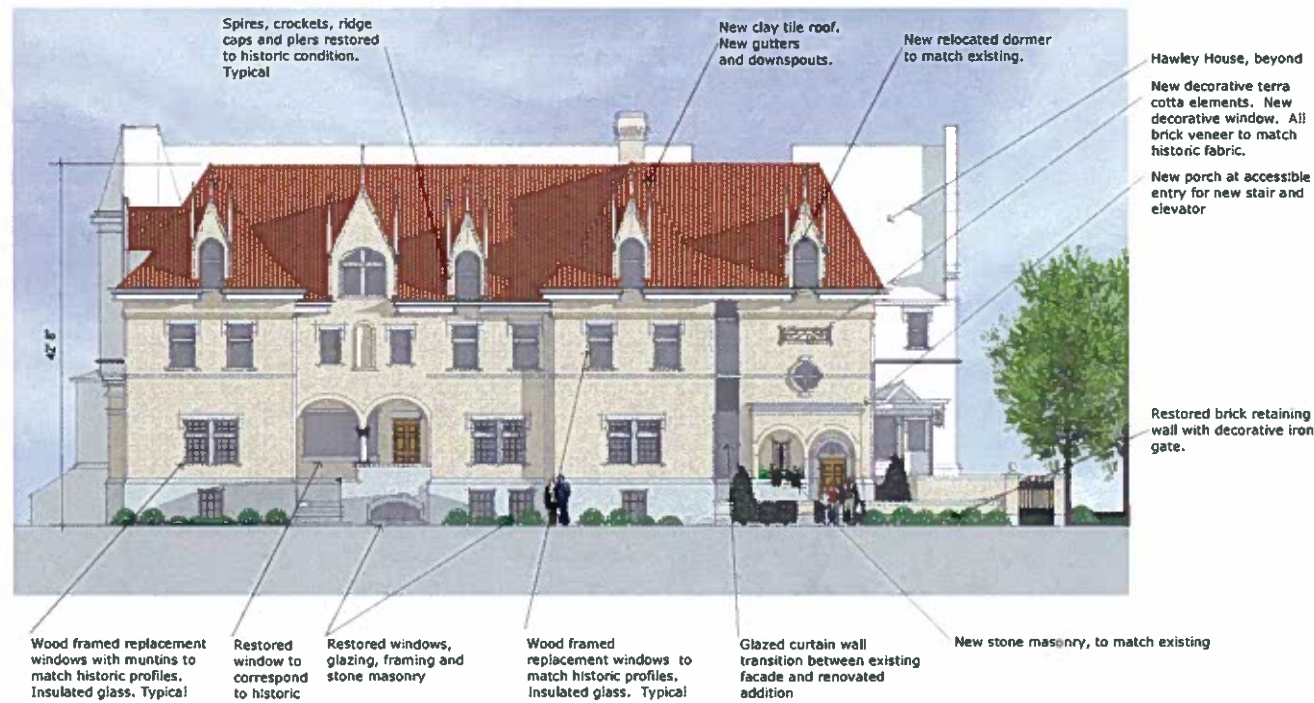
UIHLEIN WILSON ARCHITECTS

322 East Michigan Street
Milwaukee, WI 53202

telephone | 414.271.8809
fax/mobile | 414.271.8942
email | office@uihleinwilson.com

PROJECT: BLOODGOOD RESIDENCE RENOVATION
DATE: 10/20/11
SHEET: ELEVATIONS

No.	Dist.	Description



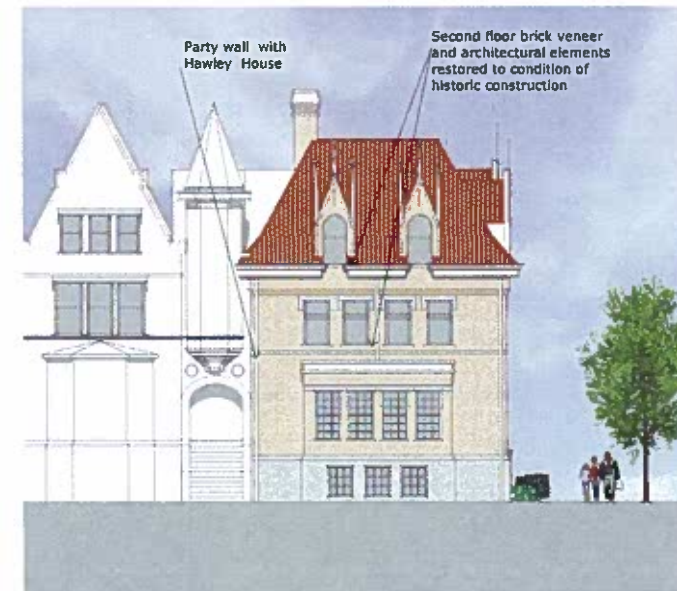
1 North Elevation
Scale: 1/8"=1'-0"



2 West Elevation
Scale: 1/8"=1'-0"



4 North Elevation Perspective
No Scale



3 East Elevation
Scale: 1/8"=1'-0"

Bloodgood Residence Renovation 1139 East Knapp Street

SHEET
Elevations

DATE:
October 20, 2011

PROJECT NO:
11-118

SHEET NO:

A200



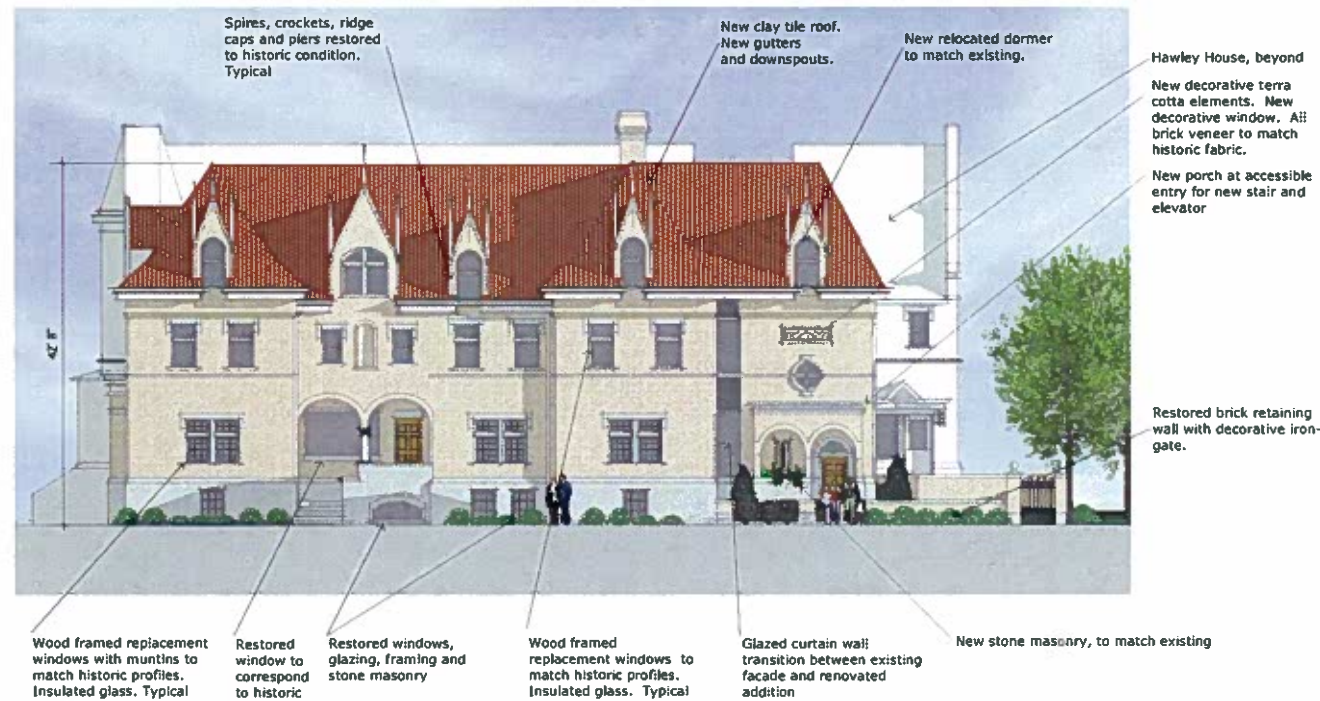
UIHLEIN WILSON ARCHITECTS

322 East Michigan Street
Milwaukee, WI 53202

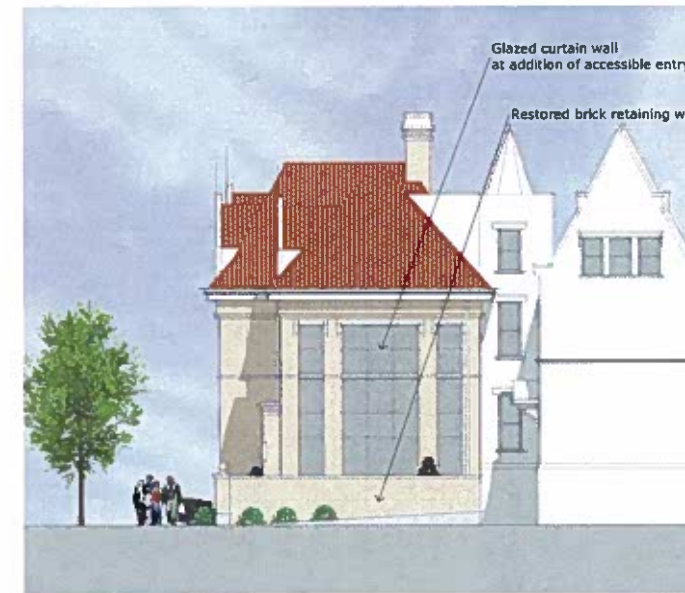
Telephone | 414.271.8891
Facsimile | 414.271.8942
email | office@uihleinwilson.com

UIHLEIN WILSON ARCHITECTS, INC. is an Equal Opportunity Employer. Minorities and women are encouraged to apply. UIHLEIN WILSON ARCHITECTS, INC. is an Equal Opportunity Employer. Minorities and women are encouraged to apply.

No.	Date	Description



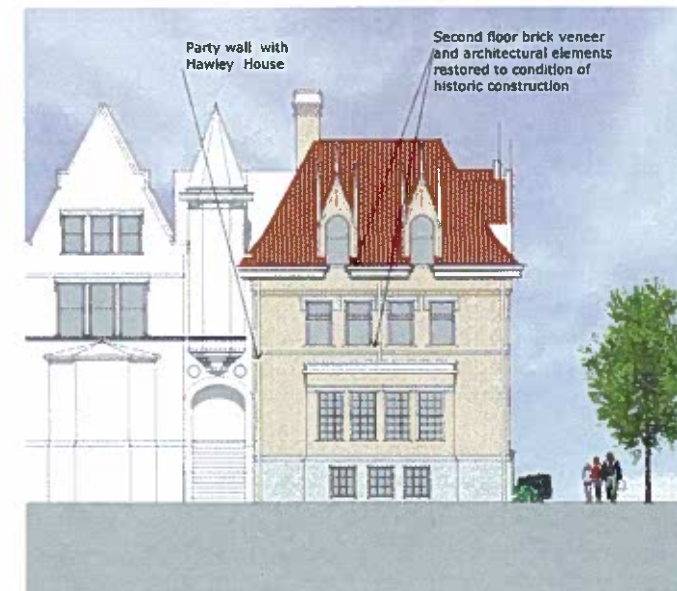
1 North Elevation
A200 Scale: 1/8"=1'-0"



2 West Elevation
A200 Scale: 1/8"=1'-0"



4 North Elevation Perspective
A200 No Scale



3 East Elevation
A200 Scale: 1/8"=1'-0"

Bloodgood Residence Renovation 1139 East Knapp Street

NO. 01
Elevations

DATE:
October 20, 2011

PROJECT NO:
11-118

SHEET NO:

A200



Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

HPC meeting date: 11/7/2011
Ald. Nik Kovac District: 3
Staff reviewer: Paul Jakubovich
PTS #76386

Property	1139 E. KNAPP ST. First Ward Triangle Historic District	
Owner/Applicant	Lynde and Harry Bradley Foundation 1241 N. Franklin Place Milwaukee, WI 53202	UIHLEIN/WILSON ARCHITECTS 322 E MICHIGAN ST SUITE 400 MILWAUKEE, WI 53202 Phone: (414) 271-8899 Fax: (414) 271-8942
Proposal	Construct new brick addition on west elevation. Restore original building.	

Staff comments

This ambitious project involves restoring the Bloodgood house and constructing an addition to its west end. It's a fine, Chateausque Revival style house built in 1896 according to the designs of Milwaukee architect Howland Russel. Architecturally it recalls the elegant French Chateau of the late Renaissance. It's a key building in a unique collection of mid to late nineteenth century houses known as the First Ward Triangle national and local historic district. Relatively little has changed on the exterior of the house since it was built, but missing or altered features will be restored to original condition. The house is actually the north half of a side-by-side double house collectively known as the Bloodgood-Hawley house.

The addition is being constructed to accommodate a new elevator, stairs and lobby in order to convert the house into offices for the Bradley Foundation which already occupies the Hawley House next door. The Foundation has done a fine job over the years of converting and restoring the neighboring houses to the south including the eye-catching "Lion House" which was built in 1855.

The addition to the Bloodgood House is set back from the main facade of the building along E. Knapp Street and separated from the main block of the house by means of a ribbon of glass curtain wall. An original terra cotta dormer, salvaged from the existing west elevation will be installed atop the addition on the Knapp Street side of the building. The roof of the original house and the addition will be finished with new terra cotta tiles to match the originals that are visible in the historic photo of the house. Windows in the addition will be made of wood to match the original profiles.

New brick for the addition will match as closely as possible to the existing, pressed brick. The addition is relatively small in scale compared with the original portion of the house. The addition also reflects the materials, massing, and general proportions of the existing building, yet it is physically offset from the main block of the house. These are important factors in meeting the guidelines for additions in historic districts.

Extensive restoration of the main block of the house includes reconstruction of a magnificent oriel window topped with a spire that had been removed years ago from the east elevation. All deteriorated sheet metal and gutters will be replaced to the original designs, profiles and sizes.

In summary, the project will restore one of the few Chateausque style houses in the city and the addition will allow a sensitive, adaptive reuse of the building.

Recommendation

Recommend HPC Approval

Conditions

Masonry test panels must be reviewed and approved by HPC staff for the tuckpointing of the historic house and installation of the new brick on the addition prior to general installation of the materials.

Previous HPC action**Previous Council action**



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

Bloodgood Residence; First Ward Triangle

ADDRESS OF PROPERTY:

1249 North Franklin Place

2. NAME AND ADDRESS OF OWNER:

Name(s): Lynde and Harry Bradley Foundation

Address: 1241 North Franklin Place

City: Milwaukee

State: WI

ZIP 53202

Email: _____

Telephone number (area code & number) Daytime: _____

Evening: _____

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Steve Wellenstein, AIA Uihlein/Wilson Architects

Address: 322 E. Michigan Street Suite 400

City: Milwaukee

State: WI

ZIP Code: 53202

Email: stevew@uihlein-wilson.com

Telephone number (area code & number) Daytime: (414) 271-8899

Evening: _____

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Existing features affected by proposed work, per elevation:
EAST At the second-floor level of the brick veneer, a mid-span settling of the structural framing is verified. The wood sills of the two attic-level dormers are visibly affected. Photos 1, 1a.
NORTH The garden-level entrance will be removed so as to return to the historic window configuration. At the entrance porch the full-glass window will be returned to historic condition. All infill materials at the garden level windows will be removed. Photo 2.
The clapboard and aluminum-framed glazed windows forming the enclosed porch at the first and second-levels will be removed. The site's existing brick retaining wall with its decorative iron-gate will be retained. Photo 3.
WEST The three-floor tower, recessed from the street line, will be reworked into the new addition. The single dormer will be removed and rebuilt into the north facade of the addition. All existing brick will be retained for re-use. Photos 4, 4a, 5 and 5a.
SOUTH The historic Bloodgood Residence shares a party wall with its sister-residence, the Hawley

Photo No. 1 through 7 Drawing No. na

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

The project involves the exterior restoration of the 4-story building (footprint of approx. 1,900 sq. ft.) and an interior/exterior renovation to include an addition of approx. 115 sq. ft. per floor, at all levels. This West-end addition allows an IBC-compliant exit stair and elevator designed to serve all levels.
EAST The second-story's structural framework will be replaced, restoring the brick veneer facade to its historic appearance at time of construction (late 1890's). All original brick will be removed, cleaned and re-used.
NORTH The existing garden-level door opening returns to the historic condition of an arched masonry opening for a wood framed, glazed window with mullions. The porch entry door will be refinished and the adjacent window replaced with a window corresponding to the historic condition. The insertion of a glazed curtain wall (65 sq. ft.) extending from the first-floor line to the roof line, transitions the existing facade to the west-end addition. The addition's unglazed brick veneer facade corresponds to the historic brick veneer in color, size and course banding. The renovation provides a semi-enclosed porch and an accessible entry to the enclosed stair and elevator. This porch is composed of elliptical brick

Photo No. na Drawing No. AA001; AA100; A2

6. SIGNATURE OF APPLICANT:

Handwritten signature in blue ink over a horizontal line.

Signature

Steve Wellenstein
Print or type name Date

October 20, 2011

This form and all supporting documentation MUST arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722 FAX: (414) 286-3004 www.milwaukee.gov/hpc

Existing features affected by proposed work, per elevation:

EAST At the second-floor level of the brick veneer, a mid-span settling of the structural framing is verified. The wood sills of the two attic-level dormers are visibly affected. *Photos 1, 1a.*

NORTH The garden-level entrance will be removed so as to return to the historic window configuration. At the entrance porch the full-glass window will be returned to historic condition. All infill materials at the garden level windows will be removed. *Photo 2.* The clapboard and aluminum-framed glazed windows forming the enclosed porch at the first and second-levels will be removed. The site's existing brick retaining wall with its decorative iron-gate will be retained. *Photo 3.*

WEST The three-floor tower, recessed from the street line, will be reworked into the new addition. The single dormer will be removed and rebuilt into the north facade of the addition. All existing brick will be retained for re-use. *Photos 4, 4a, 5 and 5a.*

SOUTH The historic Bloodgood Residence shares a party wall with its sister-residence, the Hawley House of comparative square footage.

OVERALL The existing wood, double-hung muntin-glazed windows at the garden and first floor levels will be removed and replaced to match historic profiles. Likewise, second and attic-level windows will be removed and replaced. *Photos 6, 6a.* The aluminum combination storm and screens will be removed throughout. The existing roof drainage system of metal gutters and downspouts will be replaced to correspond to historic conditions. *Photo 7.*

ROOF The existing dimensional shingle system will be replaced to correspond to historic conditions.

Proposed work:

The project involves the exterior restoration of the 4-story building (footprint of approx. 1,900 sq. ft.) and an interior/exterior renovation to include an addition of approx. 115 sq. ft. per floor (all levels). This West-end addition allows an IBC-compliant exit stair and elevator designed to serve all levels.

EAST The second-story's structural framework will be replaced, restoring the brick veneer facade to its historic appearance at time of construction (late 1890's). All original brick will be removed, cleaned and re-used.

NORTH The existing garden-level door opening returns to the historic condition of an arched masonry opening for a wood framed, glazed window with mullions. The porch entry door will be refinished and the adjacent window replaced with a window corresponding to the historic condition. The insertion of a glazed curtain wall (65 sq. ft.) extending from the first-floor line to the roof line, transitions the existing facade to the west-end addition. The addition's unglazed brick veneer facade corresponds to the historic brick veneer in color, size and course banding. The renovation provides a semi-enclosed porch and an accessible entry to the enclosed stair and elevator. This porch is composed of elliptical brick arches bearing on brick pilasters to a stone masonry half-wall. The porch half-wall is in direct relation to the first-floor line of the adjacent, original facade. The north facade renovation includes architectural

terra cotta elements and a round window. New cut-stone lintels and stone masonry will match historic conditions.

Windows throughout the building will be of wood frame and sash with profiles and proportions to match historic conditions. Glazing will be with insulated glass. New stone headers and sills will correspond to historic profiles.

WEST The glazed curtain wall is composed of three glazed areas with two areas of 54 sq. ft. and one section of 165 sq. ft. (See Elevations A200)

The roof will be entirely replaced, restoring the building's original splendor of a textural clay tile roof.

All decorative crowning elements (croquets, ridge elements) at the roof line and at the dormers will be restored, replacing all degraded elements. All sheet metal at gutters, downspouts, collectors, valleys, copings, ridge caps and flashings will match existing profiles and stampings. Exposed metal roofing accessories will be zinc-covered copper with paint finish to be determined upon further investigation.

Roof drainage will be restored with specifically restored valleys, ridge caps, eaves, collectors, downspouts with hangers.

OVERALL The veneer brick will be tuckpointed where appropriate.

SITE The Work scope includes the rebuilding of the existing brick retaining wall, with its decorative iron gate. An entry ramp is provided completing the new accessible entrance.

* * *



BLOODGOOD RESIDENCE - East elevation detail

Second-story's structural framework and brick veneer to be restored.

Existing metal gutters and downspouts to be removed and replaced.

PHOTO NO. 1a



BLOODGOOD RESIDENCE - Interior
Historic photo of main entry window tracery.

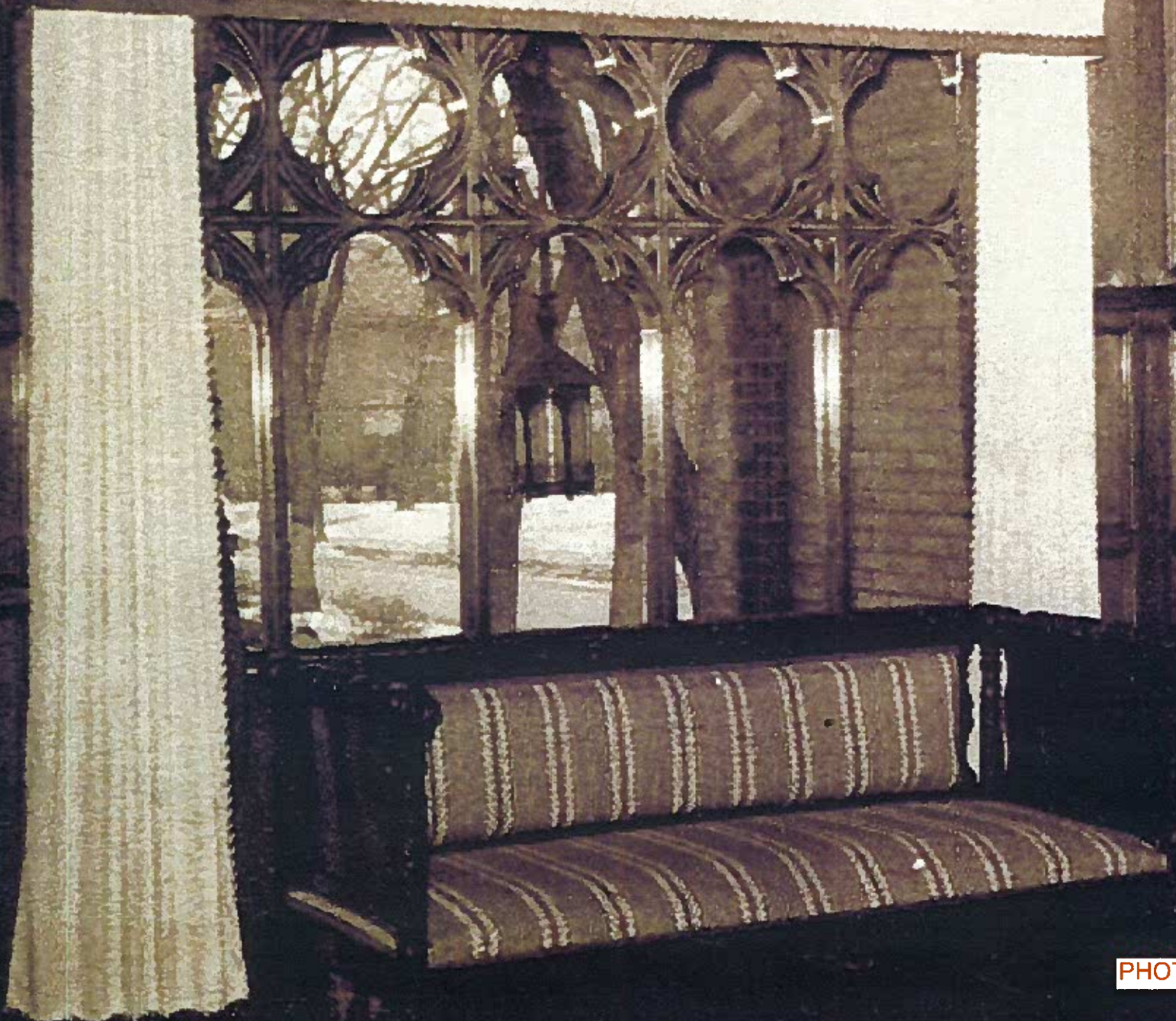


PHOTO NO. 1b

BLOODGOOD RESIDENCE - North elevation

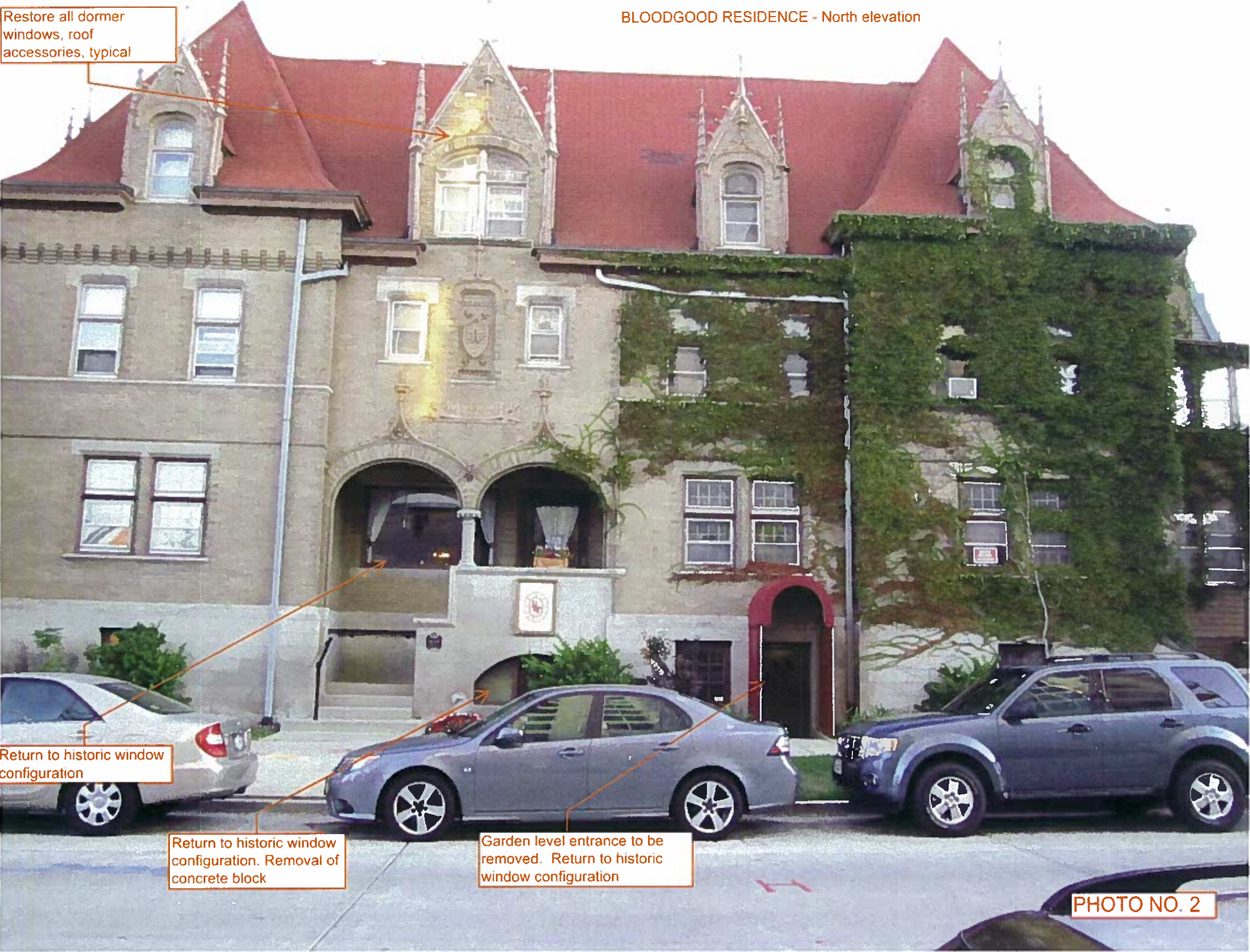
Restore all dormer windows, roof accessories, typical

Return to historic window configuration

Return to historic window configuration. Removal of concrete block

Garden level entrance to be removed. Return to historic window configuration

PHOTO NO. 2





Enclosed porch to be removed.

Brick retaining wall to be retained in renovation

BLOODGOOD RESIDENCE - West end tower detail

Dormer window and decorative elements to be dismantled, restored and rebuilt at addition in North elevation

3-floor tower to be reworked into the proposed renovation and addition



PHOTO NO. 4

BLOODGOOD RESIDENCE - West elevation
Garden level of enclosed porch and 3-level tower.



PHOTO NO. 4a

Typical condition of decorative metal elements at dormers. West dormer to be reconstructed to the North facade in renovation.



BLOODGOOD RESIDENCE - West elevation
Roof line, dormer condition. Dormer to be re-built in new North elevation

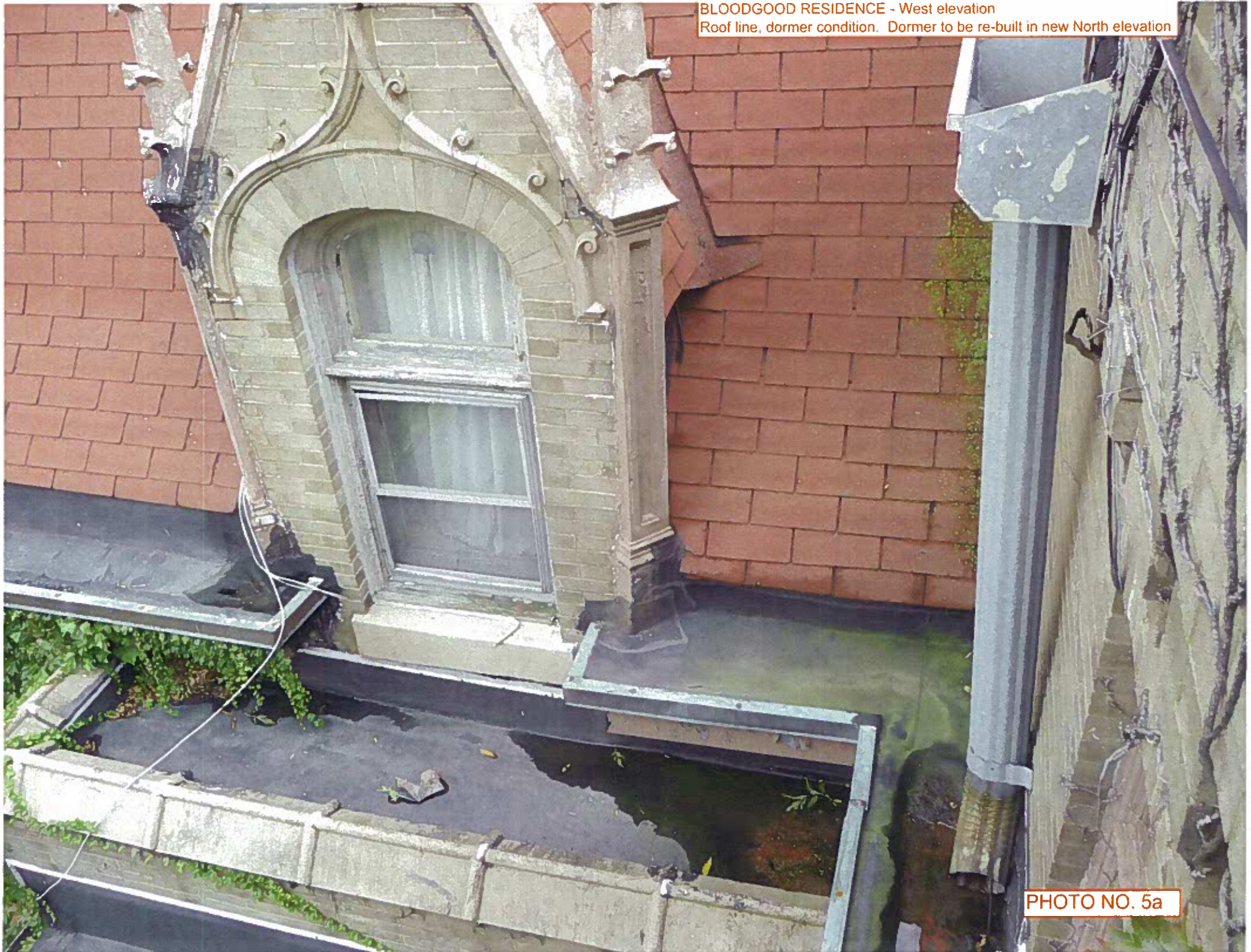


PHOTO NO. 5a

BLOODGOOD RESIDENCE - North elevation
Typical condition of dormer windows and decorative elements



PHOTO NO. 6

BLOODGOOD RESIDENCE - North elevation detail at dormer window and roof drainage system.



PHOTO NO. 6a

BLOODGOOD RESIDENCE - North elevation
Roof edge condition detail between dormers.

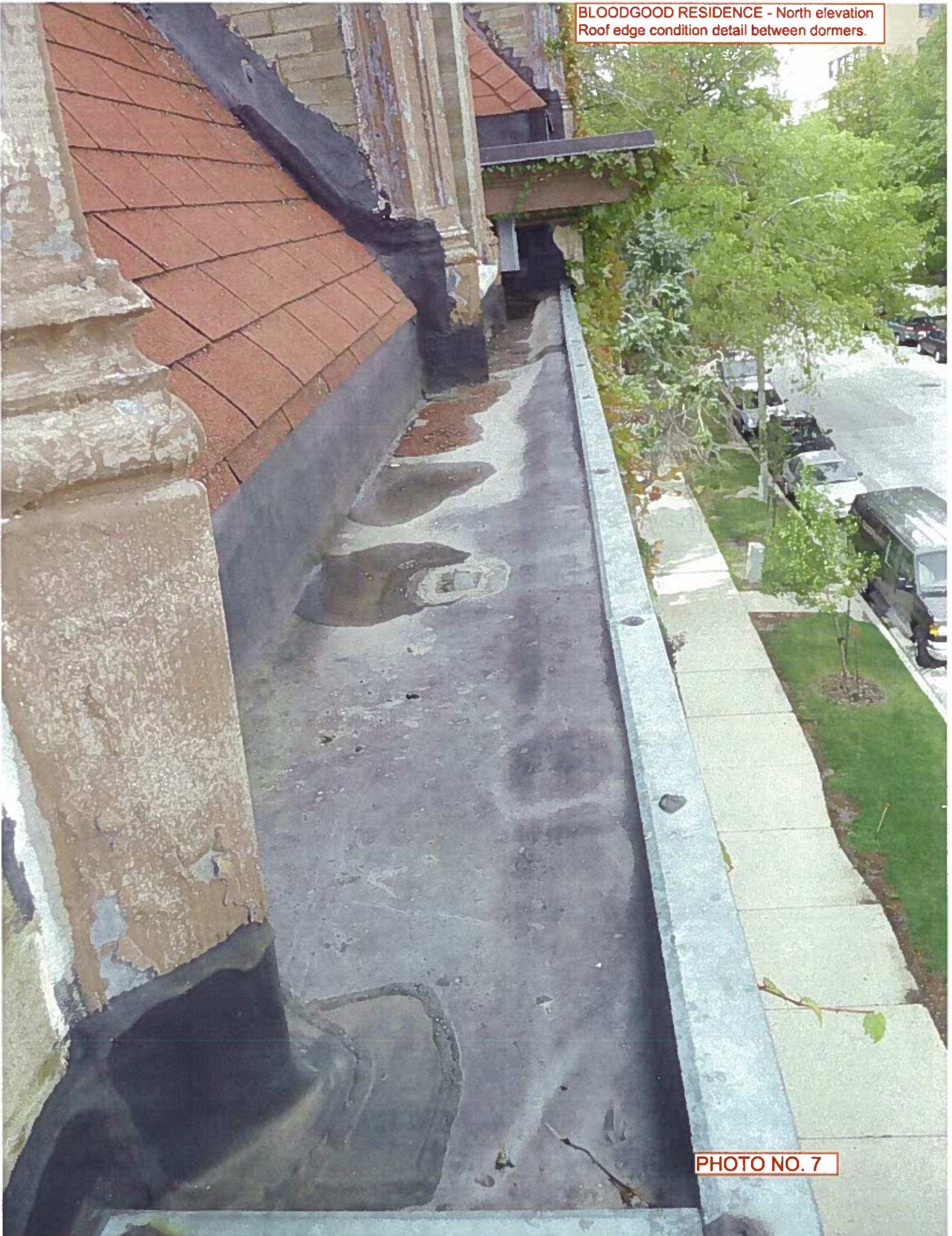
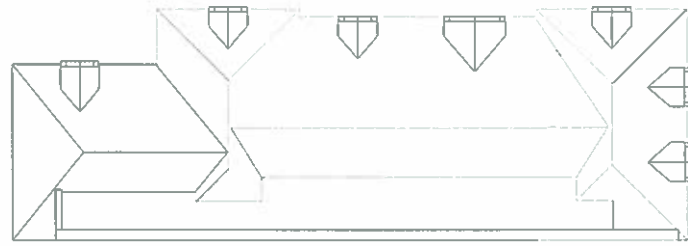
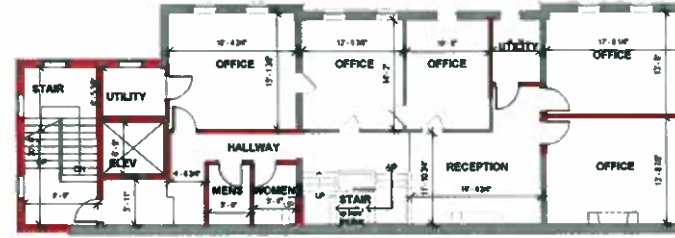


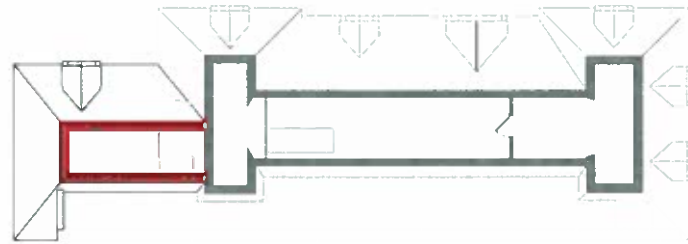
PHOTO NO. 7



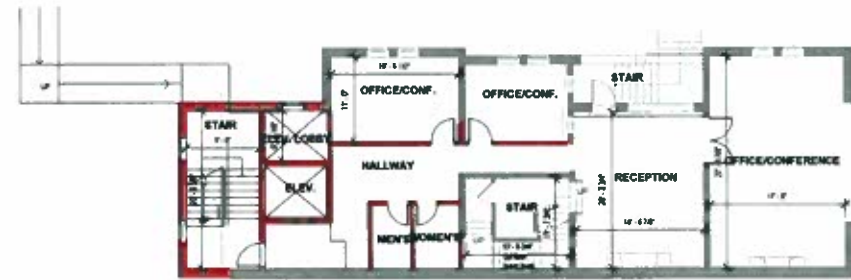
Roof
1/8" = 1'-0"



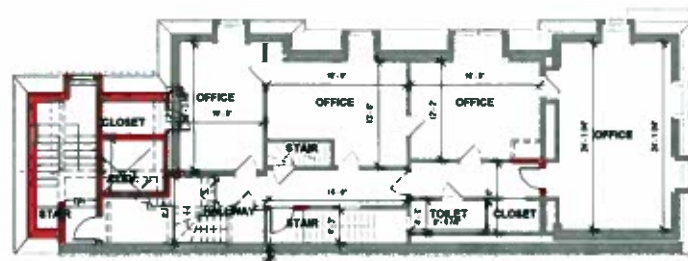
2 Second level - New
1/8" = 1'-0"



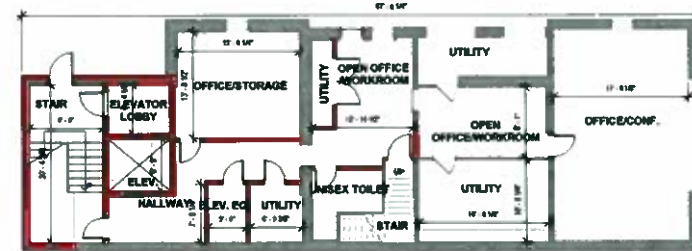
1st Floor
1/8" = 1'-0"



1 First Floor - New
1/8" = 1'-0"



3 Third level - New
1/8" = 1'-0"



0 Garden level - New
1/8" = 1'-0"



**UIHLEIN
WILSON**
ARCHITECTS

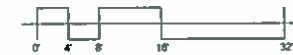
322 East Michigan Street
Milwaukee, WI 53202

telephone | 414.271.8899
facsimile | 414.271.8942
email | office@uihlein-wilson.com

© UIHLEIN WILSON ARCHITECTS, INC. ALL RIGHTS RESERVED.

OWNER'S OF DOCUMENTS
The architect and/or other design professionals are not responsible for the construction of the project. It is the responsibility of the owner to ensure that the project is constructed in accordance with the approved plans and specifications.

REVISIONS		
No.	Date	Description



PROJECT
**Bloodgood
Residence
Renovation
1139 East
Knapp Street**

SHEET
**PLANS - ALL LEVELS,
ROOF**

DATE
October 20, 2011

PROJECT NO.
11-118

SHEET NO.
AA100





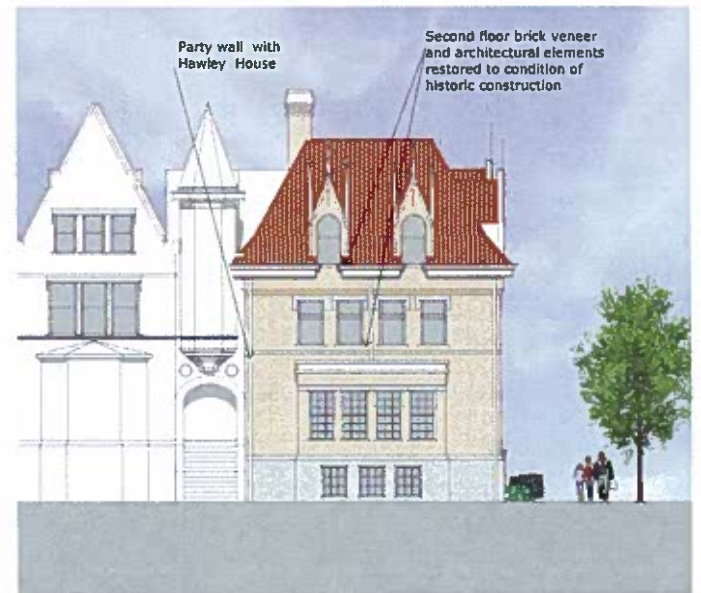
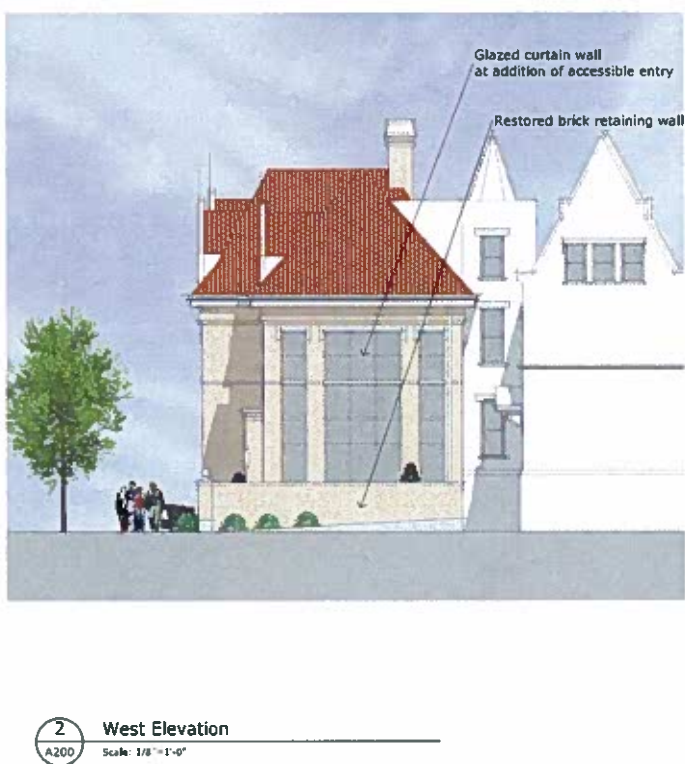
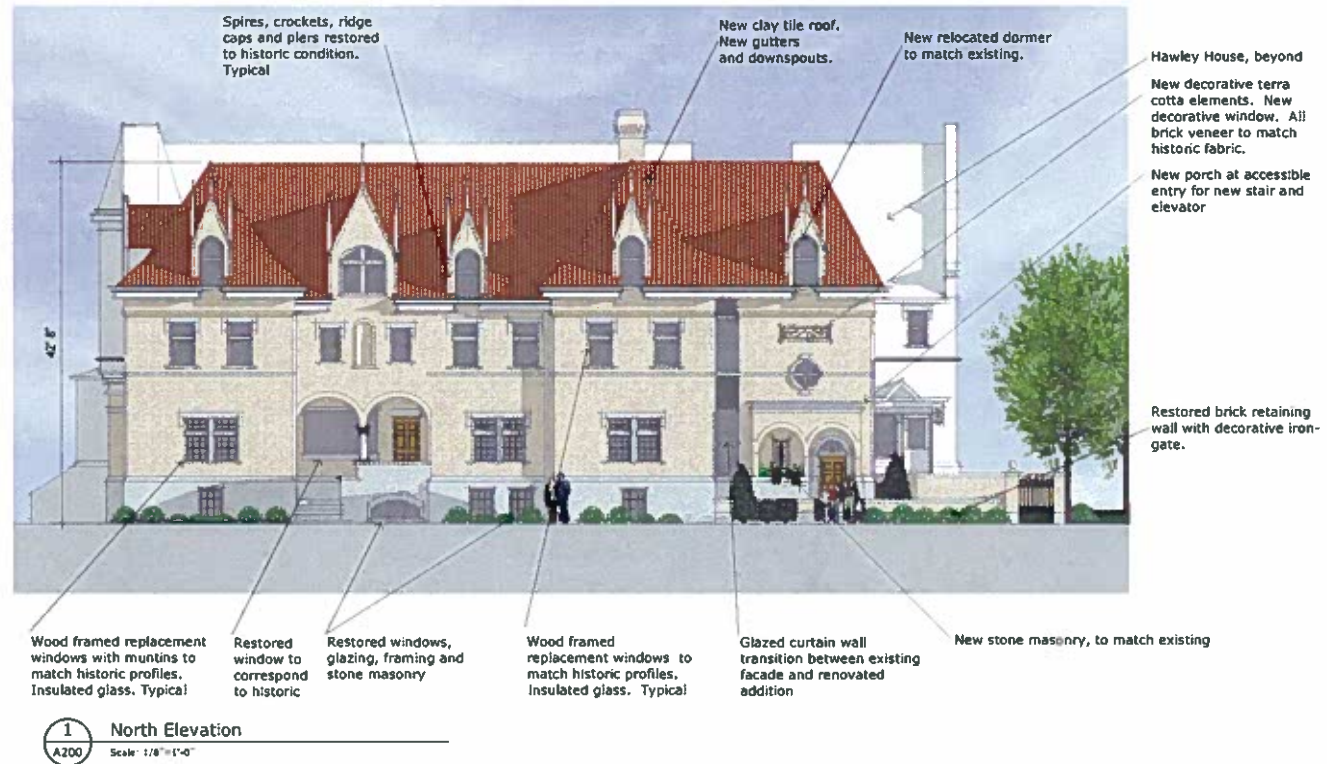
UIHLEIN WILSON ARCHITECTS

322 East Michigan Street
Milwaukee, WI 53202

telephone | 414.271.8809
fax/mobile | 414.271.8942
email | office@uihleinwilson.com

PROJECT: BLOODGOOD RESIDENCE RENOVATION
DATE: OCTOBER 20, 2011
SHEET: ELEVATIONS

NO.	DATE	DESCRIPTION



Bloodgood Residence Renovation 1139 East Knapp Street

SHEET
Elevations

DATE:
October 20, 2011

PROJECT NO:
11-118

SHEET NO:

A200



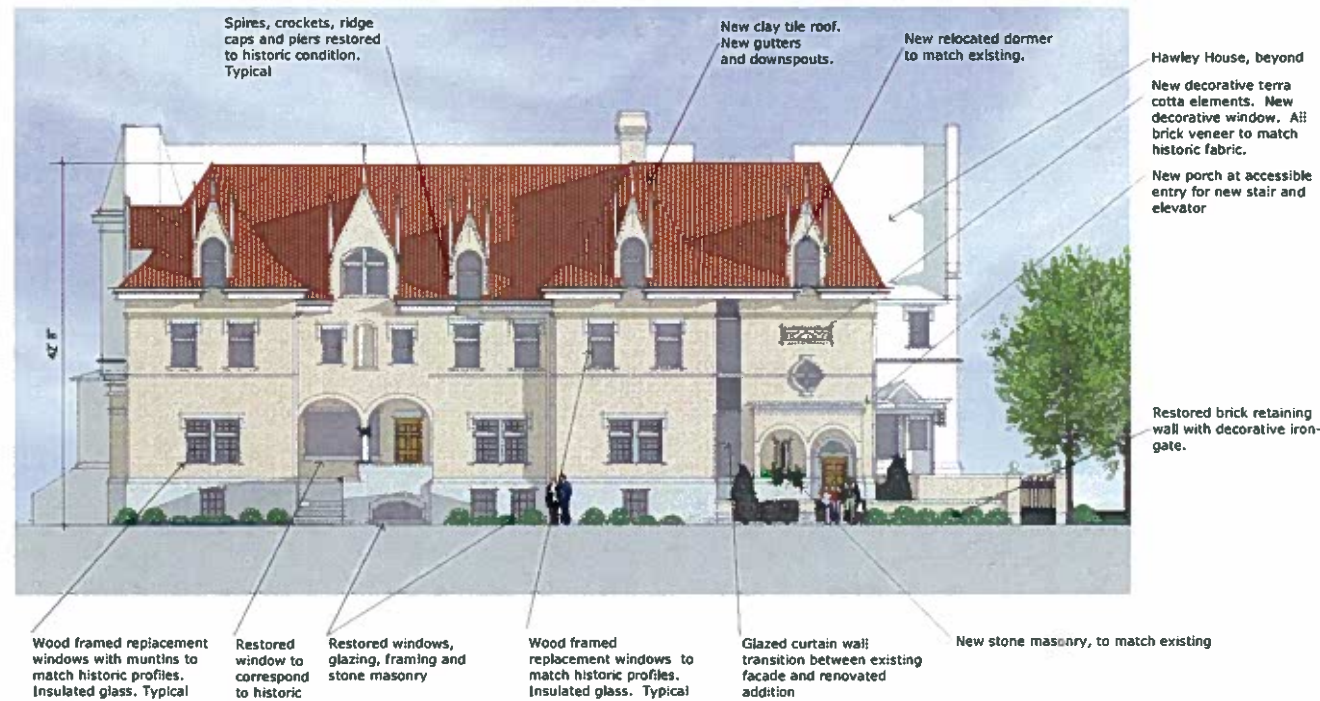
**UIHLEIN
WILSON
ARCHITECTS**

322 East Michigan Street
Milwaukee, WI 53202

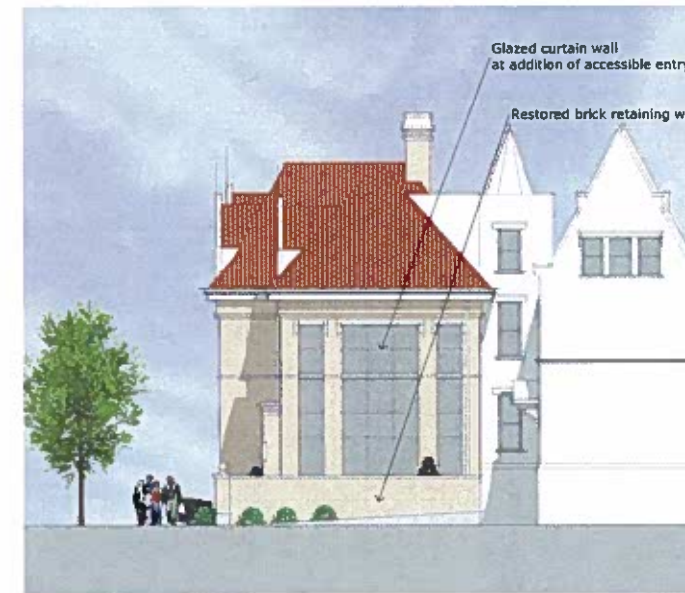
Telephone | 414.271.8891
Facsimile | 414.271.8942
email | office@uihleinwilson.com

UIHLEIN WILSON ARCHITECTS is a registered professional architectural firm in the State of Wisconsin. The firm is a member of the American Institute of Architects (AIA) and the Wisconsin Institute of Professional Architecture (WIPA). The firm is also a member of the National Association of Green Building Professionals (NAGBP) and the National Green Building Conference (NGBConf). The firm is committed to sustainable design and construction practices.

No.	Date	Description



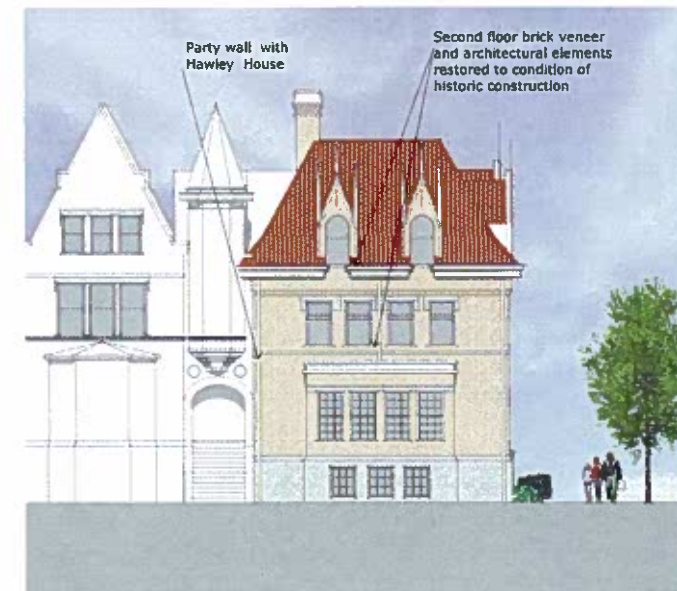
1 North Elevation
A200 Scale: 1/8"=1'-0"



2 West Elevation
A200 Scale: 1/8"=1'-0"



4 North Elevation Perspective
A200 No Scale



3 East Elevation
A200 Scale: 1/8"=1'-0"

**Bloodgood
Residence
Renovation
1139 East
Knapp Street**

Elevations

DATE:
October 20, 2011

PROJECT NO:
11-118

SHEET NO:

A200



UIHLEIN WILSON ARCHITECTS

522 East Michigan Street
Milwaukee, WI 53202

telephone | 414.271.8999
facsimile | 414.271.8942
email | office@uihlein-wilson.com

PROPOSED SITE PLAN AND ADDITION

10/20/2011 8:53:40 AM
C:\Users\jacob\Documents\2012\Bloodgood\Drawings

NO.	DATE	DESCRIPTION



PROJECT
**Bloodgood
Residence
Renovation
1139 East
Knapp Street**

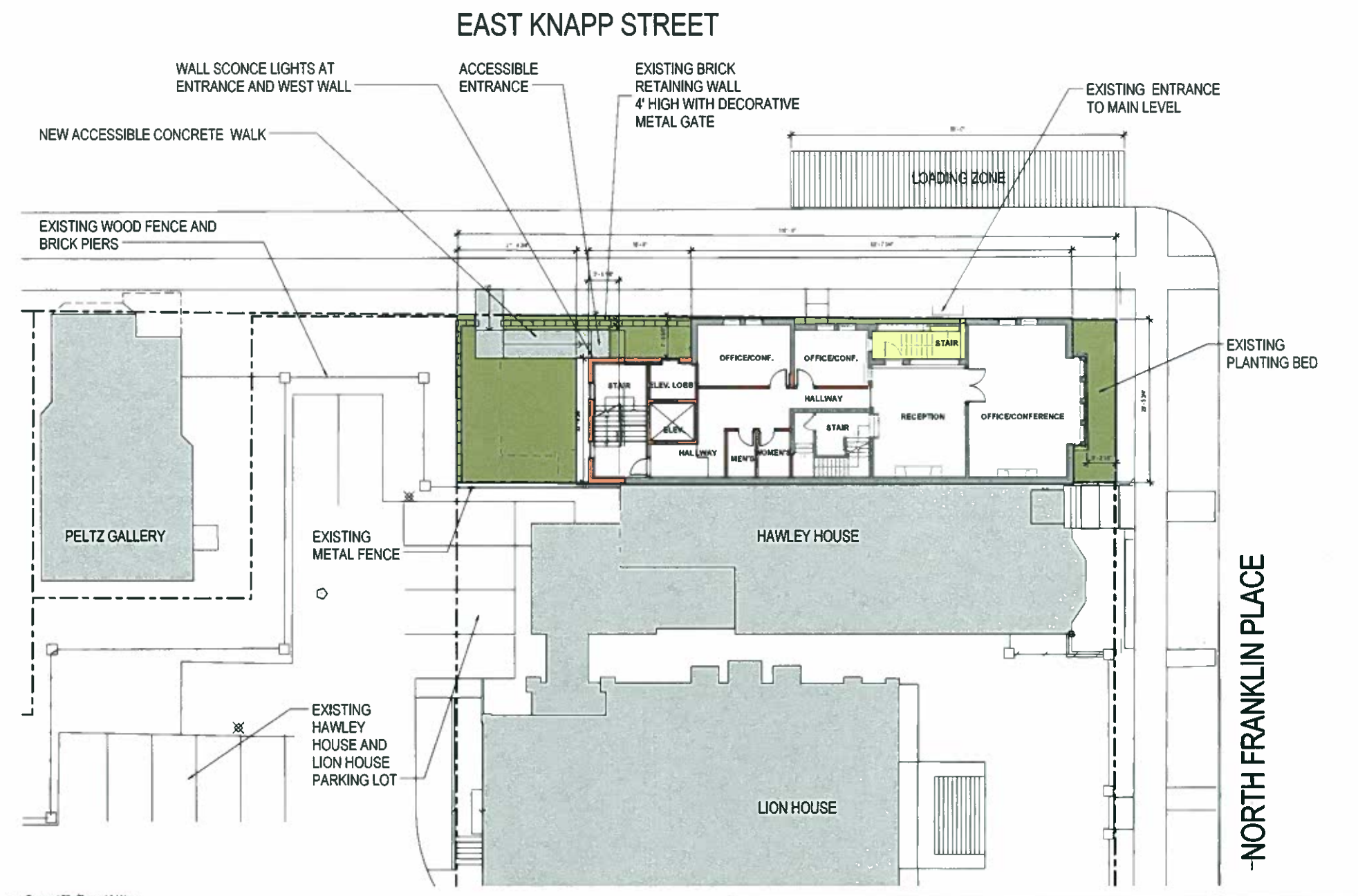
PROPOSED SITE
PLAN AND
ADDITION

DATE
October 20, 2011

PROJECT NO.
11-118

SHEET NO.

AA001



1 Proposed Site Plan and Addition
1/8" = 1'-0"

CREAM OF THE CREAM CITY HISTORIC PRESERVATION AWARDS RECIPIENTS

SUMMARY OF AWARDS

2009 Awards

1. 2714 W. Burnham Street – Frank Lloyd Wright Am System Built House
2. North Lion Bridge – Lake Park
3. 1250 N. 11th Street – Adaptive Use Pabst Building # 14 Cardinal Stritch University
4. 2655 N. Lake Drive – New carriage house
5. 828 W. Historic Mitchell Street – Façade restoration
6. 1015 N. 9th Street – St. Benedict the Moor front steps reconstruction

2008 Awards

1. 928-932 E. Brady St. - Wiskocil Building restoration
2. 1849 N. Palmer Street – Vernacular Greek Revival cottage renovation
3. 1918 N. 2nd Street – New carriage house
4. 1934 N. 2nd Street – Restore to single family
5. 934 N. 34th Street – New carriage house
6. 1130 E. Hamilton Street – Restoration after fire
7. 2607 N. Wahl Avenue – Rebuilt front terrace
8. 1243 N. 10th Street – Pabst Boiler House Building #10 rehab/restoration
9. 221 S. 2nd Street – Stamm Building restoration
10. 2002-2004 N. MLKing Drive – Storefront restoration

2007 Awards

1. 2865 N. Hackett Ave. – Sensitive Renovation & New Porch
2. St. Hedwig Church – Preservation Stewardship
3. 500 N. Water St. - Button Block – Restoration/Replacement of corner column
4. 1033 N. Old World 3rd St. – Restoration
5. 1122-24 N. Astor Street - James Brown Double House Restoration

2006 Awards

1. 340 W. Reservoir Ave. - Dornauf Saloon – Preservation Stewardship
2. 2308 W. Wisconsin Ave. - Ambassador Hotel – Restoration & Community Revitalization
3. 1237 E. Brady St. - Sonnenberg Duplex – Conversion to Commercial
4. 2623 N. Wahl Ave. – New Carriage House – Sympathetic New Construction in HD
5. 2518 N. Terrace Ave. – Sympathetic Addition
6. 2008 N. 2nd St. – Renovation and New Porch
7. 2025 A N. Palmer St. / 1821 N. 2nd St. - Field/Volkert Cottage – Back from the Brink

2005 Awards

1. Doug Quigley – Preservation activism
2. 1202 S. Layton Blvd. - Jeremy Gramling and Matthew Gramling – Bringing the Manegold/Gramling House back from the brink
3. 226-228 W. Mineral St. - Elizabeth (Libby) Wick – Bringing a small cottage and storefront back from the brink
4. 1701 N. Lincoln Memorial Dr. - Alterra at the Lake – Adaptive use of the Flushing Tunnel Station
5. 1705 S. 9th St. - St. Anthony Roman Catholic Church – Preservation stewardship-interior restoration
6. 700 W. Madison St. - Iglesia Evangelica Bautista – preservation stewardship-stained glass windows
7. Enterprise Art Glass – Generations of preservation craftsmanship

2004 Awards

1. 331 W. Wisconsin Ave. - Boston Store Building - Restoration by Wispark LLC
2. 3112 W. Highland Blvd. - Frederick Pabst Jr. Coachhouse - Adaptive use by Cream City Properties
3. Randy Bryant – Preservation activism
4. Gail Fitch – Preservation activism and education
5. 333 E. Chicago St. - A. W. Rich Shoe Co. Building - Restoration/adaptive use by Eppstein Uhen Architects

2003 AWARDS

1. Richard Stefanik – preservation advocacy
2. 2494 N. Bartlett Ave. - Takis Kinis – restoration & renovation
3. 4924 W. Roosevelt Dr. - Sherman Perk LLC – restoration of Copeland Filling Station and conversion into coffee shop
4. Miller Brewing Company – cleaning 19th century cream brick buildings in Miller Valley
5. Milwaukee Fire Department – restoring Engine House No 31 at 2400 S. 8th St. and Engine House No. 21 at 2050 N. Palmer St.
6. Greater Mitchell Street Association/Business Improvement District # 4/Mitchell Street Development Opportunities Corporation – preservation education with merchants and building owners

2002 Awards

1. 223 N. Water St. - George Ziegler Candy Co. Bldg. - restoration & renovation
2. 756 N. Milwaukee St. - Stephenson Bldg. (Monroe Bldg.) – storefront renovation
3. E. Ivanhoe Place and N. Summit Ave. - Tim Hiller & Steve Clavette – Summit Square new condo construction
4. Donna Schlieman – preservation activist
5. 2710 W. State St. - Mark G. Lipscomb III – renovation/rehab of Yates House
6. 2838 W. Kilbourn Ave. - Michael Davis – renovation/rehab
7. Select Milwaukee & Harley Davidson, Inc. – moving house at 1115 N. 27th St. to vacant lot in Cold Spring Park Historic District.

2001 Awards

1. 1584 N. Prospect Ave. - Wisconsin Conservatory of Music (Joyce Altman) restoration & renovation
2. 1304 N. 19th St. - Robert Machek House (Bernard & Cheryl Kallman & Don & Diane Nasgowitz) – restoration
3. 1249 N. Franklin Pl. - Hawley House (The Bradley Foundation) rear addition, restoration of front oriel window
4. 601 W. Lincoln Ave. - Basilica of St. Josaphat – addition
5. 1853 N. Palmer St. - Alberta Hodgson – restoration or original wood siding
6. Wisconsin Preservation Fund, Inc. – efforts in preservation

2000 Awards

1. Historic Layton Boulevard Association (Patricia Lovejoy) – prevention of widening of Layton Blvd.
2. 3112 W. Highland Blvd. - Lorie Morrison (Fred Pabst, Jr. House)
3. Prof. Paul Sprague – UWM Art History Department & preservation education
4. Prof. Douglas Ryhn – UWM School of Architecture & Urban Planning/preservation education
5. 2118 E. Kenilworth Pl. - Christopher Adams – Restoration

1999 Awards

No award program

1998 Awards

1. 1740-1750 N. MLK Dr. - Y.W. Housing, Inc. – for the Housman-Schweer Project
2. St. Benedict the Moor Community Alumni Association
3. 231 W. Michigan St. - Wisconsin Electric Power Company – restoration of the Public Service Building
4. 1701 N. Lincoln Memorial Dr. - Restoration of the Milwaukee River Flushing Tunnel Station - MMSD
5. Historic Third Ward Association
6. 1744 N. Palmer St. - McWilliams Burgener Architecture – moving and restoration /renovation of the Morris Michelstetter House

1997 Awards

1. 3533 W. Lisbon Ave. - Paul Martinka – preservation of Kehr's Candy Kitchen
2. Eleanor Bell – pioneer preservationist in Milwaukee
3. Mr. and Mrs. David Arena – restoration of Frank Lloyd Wright's System Built House on Burnham Street
4. Prof. Frederick Olson – decades of preservation activity
5. Mary Tooley – service to Milwaukee Landmarks Commission & Historic Preservation Commission

1996 Awards

1. 1241 N. Franklin Pl. - Bradley Foundation – restoration of the Lion House
2. John Angelos & Marilyn Johnson – Lyle Oberwise slide collection

1995 Awards

1. Dawn & George Schuman – lifelong dedication to preservation
2. James Roever – continued interest in preservation
3. Geoffrey Grohowski – spearheading designation on Sherman Boulevard
4. Barbara Elsner – Frank Lloyd Wright Wisconsin Heritage Program
5. Lake Park Centennial Committee – commemorating Lake Park
6. 4504 W. Fond du Lac Ave. - James Piechura – preserving Diehnelt House (founder Honey Acres Honey)
7. 611 W. National Ave. - Richard Oulahan – Esperanza Unida's restoration of the Kroeger Building

1994 Awards

1. Julilly Kohler – revitalization of Brady Street
2. 408-410 S. 3rd St. - Gregory & James Pogerele – restoration of Abel Decker Doublehouse
3. Sandy Ackerman – Historic Milwaukee, Inc.
4. 601 W. Lincoln Ave. - Rev. Michael Rozewicz – restoration of St. Josaphat’s Basilica

1993 Awards

1. Keith Schultz – Calvary Cemetery Chapel preservation
2. 144 E. Wells St. - Philip Proctor – revitalization of Pabst Theater
3. 2036 N. Dr. Martin Luther King, Jr. Dr. - James Fetzer – building rehabilitation
4. 1731 N. 32nd St. - Stuart Dempsey – restoration of F. Koenig House
5. Steve Bialk – revitalization of Brewer’s Hill
6. 400-408 E. Wisconsin Ave. - Charles Trainer – rehabilitation of Curry-Pierce Building
7. George L.N. Meyer, Jr. – Wisconsin Trust for Historic Preservation
8. 273 E. Erie St. - Terrance Coffman – adaptive reuse of the MIAD Building
9. 1122-1138 W. Historic Mitchell St. - Stuart W. Johnson – revitalization of Modjeska Theater
10. 311 E. Chicago St. - Thomas Wamser – renovation Beck Carton Building



Legislation Details (With Text)

File #: 110847 **Version:** 0

Type: Resolution **Status:** In Committee

File created: 10/7/2011 **In control:** HISTORIC PRESERVATION COMMISSION

On agenda: **Final action:**

Effective date:

Title: Resolution relating to a Certificate of Appropriateness to install a new iron fence at 920 N. 34th Street for Mark and Vicki Natwick.

Sponsors: THE CHAIR

Indexes: FENCES, HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
10/7/2011	0	COMMON COUNCIL	ASSIGNED TO		

Number
110847
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness to install a new iron fence at 920 N. 34th Street for Mark and Vicki Natwick.

Requestor

Drafter
CC-CC
dkf
10/7/11



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.
Please print legibly.

*sent @ mp
10/6/11*

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT:** (if known)
Concordia Historic District

ADDRESS OF PROPERTY:
920 North 34th Street, Milwaukee, WI. 53208

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Mark & Vicki Natwick

Address: 920 North 34th Street

City: Milwaukee State: Wisconsin ZIP 53208

Email: mnatwick@wi.rr.com

Telephone number (area code & number) Daytime: 414-690-4595 Evening: 414-690-4595

3. **APPLICANT, AGENT OR CONTRACTOR:** (if different from owner)

Name(s): N/A

Address:

City: State: ZIP Code:

Email:

Telephone number (area code & number) Daytime: Evening:

4. **ATTACHMENTS**

A. **REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)
sent via email
 Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. **NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences *sent via email*

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Side and back yard will be fenced in by four foot wrought iron ornamental fencing.
Fence will be installed from south west corner of garage extending along south side of house terminating back to house at south west corner.

Photo No. _____

Drawing No. _____

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Install ornamental wrought iron four foot fence along side & back yard.
Dig post holes every 8' for 2" square iron posts, set in concrete a min of 36" in ground. weld iron tabs at correct heights to secure fence sections

Photo No. _____

Drawing No. _____

6. SIGNATURE OF APPLICANT:


Signature

Mark S. Netwick 10-5-11
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

Google

Address ⁹²⁰928 North 34th Street
Address is approximate


Save trees. Go green!
Download Google Maps on your phone at google.com/gmm



Google

920
Address North 34th Street
Address is approximate

Save trees. Go green!
Download Google Maps on your phone at google.com/gmm





LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 920 N. 34TH ST. **Concordia Historic District**
Description of work Install iron picket fence along south lot line next to alley between house and garage. Return fence to side of house at southwest corner.
Date issued 10/6/2011 PTS ID 75861 COA, iron fence

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached specifications and photos. Fence must be painted upon completion.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Willie Hines, Inspector Joel Walloch (286-8160)



Sample of fence to be installed on south lot line. Sections to be eight feet in length and held in place with square iron posts.

920 N. 34th St.



Legislation Details (With Text)

File #: 110854 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 10/10/2011 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**

Effective date:

Title: Resolution relating to a Certificate of Appropriateness for tuckpointing at 2030 E. Lafayette Place for Gilbert Petzke.

Sponsors: THE CHAIR

Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
10/10/2011	0	COMMON COUNCIL	ASSIGNED TO		

Number
110854
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for tuckpointing at 2030 E. Lafayette Place for Gilbert Petzke.

Requestor

Drafter
CC-CC
dkf
10/10/11



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)
NORTH POINT SOUTH JOHN P. MURPHY HOME
- ADDRESS OF PROPERTY:
2030 E LAFAYETTE PL MILWAUKEE WI 53202
2. NAME AND ADDRESS OF OWNER:
- Name(s): GILBERT C. PETZKE
Address: 2030 E LAFAYETTE PL
City: MILWAUKEE State: WI ZIP 53202
Email: GIBNALDEN@WI.BR.COM
- Telephone number (area code & number) Daytime: Evening:
414.224.1644

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)
- Name(s):
Address:
City: State: ZIP Code:
Email:
Telephone number (area code & number) Daytime: Evening:

4. ATTACHMENTS

- A. REQUIRED FOR ALL PROJECTS:
- Photographs of affected areas & all sides of the building (annotated photos recommended)
Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")
 - Material and Design Specifications (see next page)
- B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:
- Floor Plans (1 full size and 1 reduced to 11" x 17")
 - Site Plan showing location of project and adjoining structures and fences
 - Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

- TUCK POINT 3 CHIMNEYS
- REMOVE + REPLACE EXISTING CAPS - RE. MORTAR

Photo No.

Drawing No.

- B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Please see attached proposal from our selected contractor

Photo No.

Drawing No.

6. SIGNATURE OF APPLICANT:

Signature

GILBERT C. PETZICE

Print or type name

Date

6/5/11

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

October 5, 2011

Historic Preservation Commission
City Clerk's Office
200 E Wells St. Room B-4
Milwaukee WI 53202

*Rec'd @ HP
10/7/11*

Dear Sir,

Per my phone conversation with Paul J. I am enclosing my application for a Certificate of Appropriateness regarding the tuck pointing and general repair of the three chimneys on my residence located at 2030 E Lafayette Place, Milwaukee WI 53202.

My home is known as the John P Murphy Residence and is located in the North Point South Historic District.

Please find attached a detailed proposal for the work to be completed from my contractor: JJB Home Improvements, LLC. I have used them in the past and know personally others who have used JJB for various construction and remodeling needs.

In my several phone conversations with Paul he mentioned to me the importance of using the proper mortar mix and I have passed this information on to my contractor. I am also aware that to insure that the proper color of mortar is achieved is to have the contractor do a trial section and let it dry for at least five days. JJB is also aware of this procedure.

I have also discussed with JJB the proper size of grinding blades to be used so that no actual brick surface is removed while grinding the mortar joints.

Please feel free to contact me with any questions or concerns you may have.

 Thank you,

Gilbert (Gib) Petzke
2030 E Lafayette Place
Milwaukee WI 53202-1370
414-224-6442
Email: gibnalden@wi.rr.com

John P. Murphy
 2030 East LaFayette Place (464)
 Alexander C. Eschweiler
 1899

Architecture: The wide, simple veranda across the front of the house, a belt course separating the face brick of the first two stories and the stucco of the half story, widely overhanging eaves, and the lack of historical detail give this house a Prairie School feeling. Only the simple eave brackets and the fleur-de-lis panels in the belt course hint at stylistic precedent.

Mason: Henry Schmidt **Carpenter:** James J. Quinn

History: John P. Murphy (1850-1909) was vice president of Milwaukee National Bank, organized in 1892. The bank merged with First National Bank (1919) to become the First Wisconsin National Bank.

Murphy began his banking career with the First National Bank in 1874, and was variously associated with the Plankinton and Marine National Banks before joining Milwaukee National in 1894.

He married Catherine Shea (1875) and they had six children: Harry, Frank, Fred, Elizabeth, Alice and Ruth.

The next owners (1919-1953) were Margaret (Bouer) and Herbert P. Brumder, president of American Grinder Manufacturing Company and secretary of *The Milwaukee Herald*, a German language newspaper representing a merger of numerous newspaper enterprises (see 2105 E. LaFayette Place). The next owners were Abe Zetley 1953-1959 and Wisconsin Realty 1959-1976.



Fitzgerald-Herzfeld House
 2022 East LaFayette Place (462)
 Ferry & Clas
 1901

Architecture: "Neo-Classical in concept but distinctly Georgian in feeling."
 Richard W. E. Perrin

The house is constructed of red brick laid Flemish bond with a Doric porch across the front, a smaller enclosed porch above. Ornamental details include sidelights around the central door, flat arches composed of flared bricks with keystones, corner quoins and a modillioned cornice.

Mason: Paul Riesen **Carpenter:** Henry Ferge

History: William E. Fitzgerald (1860-1901) was president of the Milwaukee Dry Dock Company, later owned by the Cleveland based American Shipbuilding Company. His father John Fitzgerald, was a captain of sailing vessels and owner of a number of ships called the Green Boats hauling coal and other bulk cargoes (see 2405 E. Wyoming Place).

This house was never completed by Fitzgerald for he was killed in a gas explosion in his country home on Lake Nagawicka. An interim owner completed the house, added a stable and sold the property to Carl Herzfeld, one of the founders of the Boston Store.

In 1889, Carl Herzfeld (1866-1930) came to Milwaukee and worked for Edward Schuster & Company for fourteen years before organizing the Herzfeld-Phillipson Company in 1902. Together with the Stones they bought out Julius Simon's dry goods store at 4th and Grand Avenue (Wisconsin) which had various departments leased to different specialists and founded what is now known as the Boston Store. The original officers were N. Stone and A. L. Stone of Chicago and Nathan Stone, Carl Herzfeld and Richard Phillipson of Milwaukee.



JJB HOME IMPROVEMENTS, LLC
1949 W. Mill Road Glendale, WI 53209
Office (414) 247-0793 Fax (414) 247-1093
jjbhi@sbcglobal.net

Date: September 20, 2011

PROPOSAL SUBMITTED TO

Gib Petzke
2030 E. Lafayette Place
Milwaukee, WI 53202
(414) 248-1248
(414) 224-6442
gibnalden@wi.rr.com

WORK TO BE PERFORMED AT

Same

We hereby propose to furnish the materials and perform the labor necessary for the completion of:

A. Tuck Pointing Price: \$6,300.00

1. Grind out all mortar joints on three chimneys.
2. Clean out joints.
3. Re-point with fresh mortar.
4. Flashing and roof will be protected using drop cloths.
5. Clean up and remove all debris from project site.

B. Chimney Liner Price: \$850.00

1. Install a 6" aluminum chimney liner to water heater and boiler in basement.
2. Liner will be flashed on cap of chimney.
3. Seal off any holes in chimney. Clean up and remove all debris .
4. Work to be done along with tuck pointing proposal.

House, grounds and plants will be protected during work. All debris will be removed from project site. JJB Home Improvements, LLC is licensed and insured and will obtain any necessary permit(s). Homeowner to pay for permit(s).

Note: Any additional carpentry repair/replacement of wood or insulation installed would be performed, with owners' approval at our "time & materials" rate of \$65.00 per work hour, plus the cost of materials. This charge is calculated separately and is additional to, and not included in, any contract price(s).

We guarantee use of the above-specified materials and that the work will be performed in accordance with the specifications submitted for above work, and completed in a substantial workmanlike manner for the sum of: (see specified price(s) above)

With payments to be made as follows: 50% down, 50% due upon completion of work

Respectfully submitted: September 20, 2011 per Jeffrey J. Bartelt

Any alteration or deviation from, or addition to, above specifications involving additional costs will be executed only upon written order and will become an extra charge over and above the estimate. Performance of such will be contingent upon previously scheduled work. Note- This proposal may be withdrawn by us if not accepted in 90 days.

ACCEPTANCE OF PROPOSAL

The above specifications, prices and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

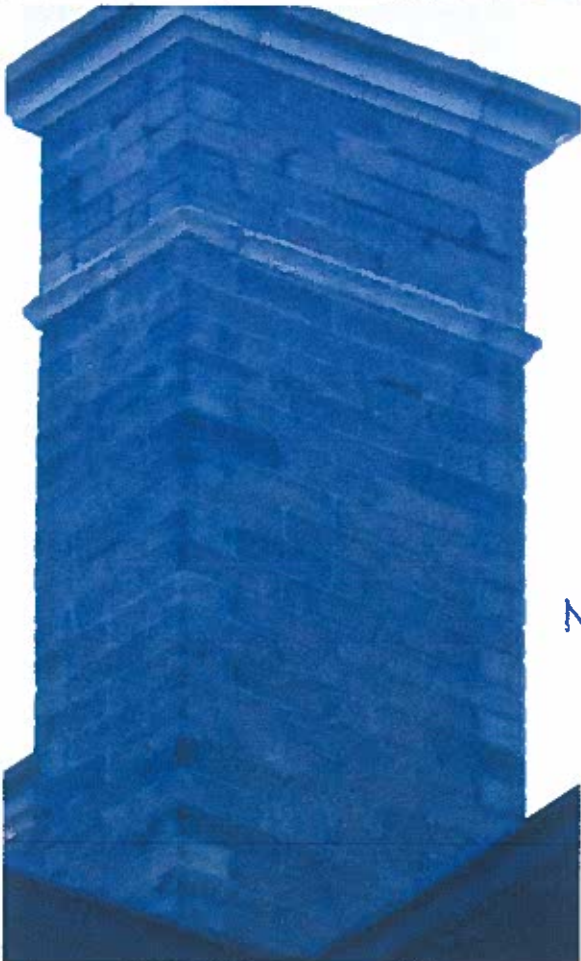
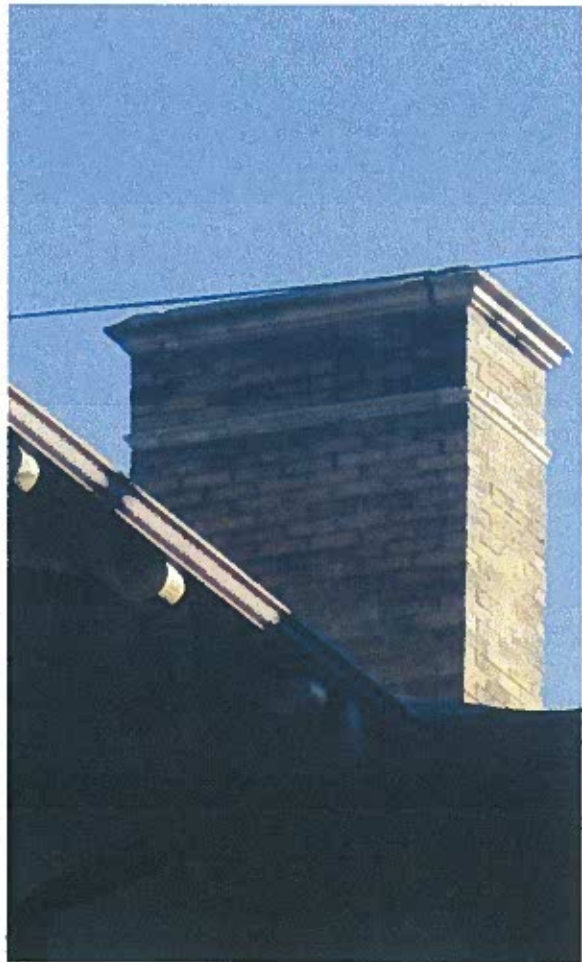
Signature _____ Date _____

Signature _____ Date _____

EAST
chimney



WEST
chimney



GILBERT PETZIG
2030 E. LAFAYETTE PL
MKE 53202

North Chimney

~~was used to~~



New mortar

old mortar

2030 Σ. ΛΑΑΥΕΤΤΕ
PL

ΡΕΤΖΚΩ



MILWAUKEE
HISTORIC
PRESERVATION
COMMISSION

LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 2030 E. LAFAYETTE PL. **North Point South Historic District**
Description of work Tuckpoint all three chimneys.
Date issued 10/10/2011 **PTS ID 66523 COA, tuckpointing**

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photos and specifications. New mortar must match the old mortar in terms of joint width, color, texture, finish and hardness. Removal of existing mortar must not result in making the joints wider than the originals. Please see the masonry chapter in As Good As New for an explanation of why mortar that is too hard is prone to premature failure.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

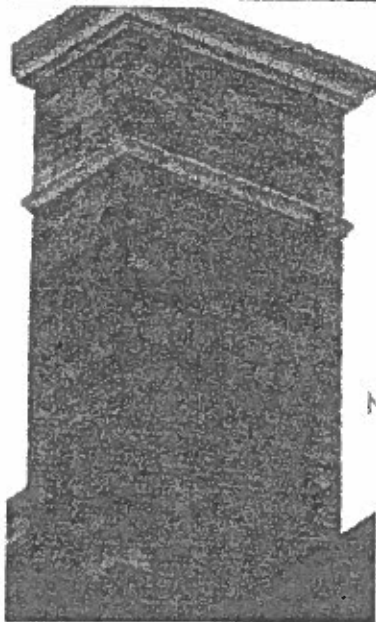
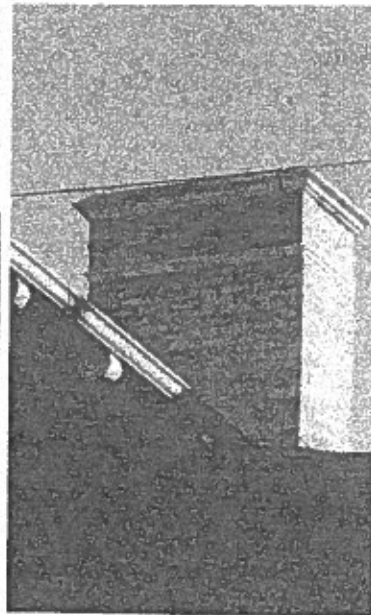
Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Inspector Jim Friedrichs (286-5982)

EAST
Chimney



WEST
Chimney



North Chimney

~~Worst of the worst~~

GILBERT PETZKE
2030 E. LA SALLE PL.
MKE 53202

Three chimneys to be
tuckpointed



Sample of new mortar that will match the old in terms of joint color, texture, hardness, joint width and joint finish.

2030 S. LAASSET
r

PSTREK



Legislation Details (With Text)

File #: 110889 **Version:** 0

Type: Resolution **Status:** In Committee

File created: 10/17/2011 **In control:** HISTORIC PRESERVATION COMMISSION

On agenda: **Final action:**

Effective date:

Title: Resolution relating to a Certificate of Appropriateness to install a new boiler and venting at 3041 N. Sherman Blvd. for Martha Monroe.

Sponsors: THE CHAIR

Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

Attachments: Certificate of Appropriateness, Application

Date	Ver.	Action By	Action	Result	Tally
10/17/2011	0	COMMON COUNCIL	ASSIGNED TO		

Number
110889
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness to install a new boiler and venting at 3041 N. Sherman Blvd. for Martha Monroe.

Requestor

Drafter
CC-CC
dkf
10/17/11



MILWAUKEE
HISTORIC
PRESERVATION
COMMISSION

LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property	3041 N. SHERMAN BL.	Sherman Boulevard Historic District
Description of work	Replaced existing boiler with a new boiler. Added a 3 inch hole to allow venting.	
Date issued	10/14/2011	PTS ID 76010 COA, Repair/Replace

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

New sidewall PVC vent pipe must be on the side or back of the building and painted out to blend with the color of the surrounding building materials.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Willie Wade, Contractor DMJ SERVICES LLC, Inspector Tim Temperly (286-2590)



E-PERMITS CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

1

ADDRESS OF PROPERTY: 3041 N SHERMAN BL

2. NAME AND ADDRESS OF OWNER:

Name(s): MARTHA MONROE

Address: 3039 N SHERMAN BLVD

City: MILWAUKEE WI State: WI ZIP Code: 53210

Telephone number (area code & number): unlisted

Fax:

Email Address:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): DMJ SERVICES LLC

Address: 1418 W SAINT PAUL AVENUE

City: MILWAUKEE State: WI ZIP Code: 53233

Telephone number (area code & number): 4142915400

Fax: 4142915393

Email Address: Omar.Beckom@actionwi.com

4. DESCRIPTION OF PROJECT:

A. Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached) Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Replaced existing boiler with a new boiler. Added a 3 inch hole to allow venting.

5. ELECTRONIC SIGNATURE:

DMJ SERVICES LLC 1/1/0001

Name Date

PHONE: (414) 286-5712 FAX: (414) 286-0232



Legislation Details (With Text)

File #: 110902 **Version:** 0

Type: Resolution **Status:** In Committee

File created: 10/25/2011 **In control:** HISTORIC PRESERVATION COMMISSION

On agenda: **Final action:**

Effective date:

Title: Resolution relating to a Certificate of Appropriateness for installation of a new sign at 616 W. Historic Mitchell Street for Walid Mousa.

Sponsors: THE CHAIR

Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION, SIGNS

Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
10/25/2011	0	COMMON COUNCIL	ASSIGNED TO		

Number
110902
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for installation of a new sign at 616 W. Historic Mitchell Street for Walid Mousa.

Requestor

Drafter
CC-CC
dkf
10/25/11

Recd
10/28/11

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM
Incomplete applications will not be processed for Commission review. Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)
BUSINESS IMPROVEMENT DISTRICT #4

ADDRESS OF PROPERTY: 616 W. HISTORIC MITCHELL STREET

2. NAME AND ADDRESS OF OWNER:

Name(s): Walid Mousa

Address: 1570 W. Denis Street

City: Milwaukee State: WI ZIP 53221

Email: _____

Telephone number (area code & number) Daytime: 414-588-4255 Evening: (SAME)

3. **APPLICANT, AGENT OR CONTRACTOR:** (if different from owner)

Name(s): Jose + Marcela Lechuga

Address: 616 W. HISTORIC MITCHELL STREET

City: Milwaukee State: WI ZIP Code: 53204

Email: _____

Telephone number (area code & number) Daytime: 414-647-8081 Evening: 414-460-6745

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

____ Material and Design Specifications (see reverse side)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES: N/A

____ Floor Plans (1 full size and 1 reduced to 11" x 17")

____ Site Plan showing location of project and adjoining structures and fences

____ Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH SIDES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Replace EXISTING EXTERIOR SIGN.

Photo No. _____

Drawing No. _____

A. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

New 40" x 120" x 5" Cloud-shape sign for exterior of the building, with flat face, per attached design & photo. Illuminated, with digital print/laminated over entire face of sign.

Photo No. _____

Drawing No. _____

6. SIGNATURE OF APPLICANT:

Jose Lechuga / JB.
Signature

Jose Lechuga
Print or type name

10-17-11
Date

This form and all supporting documentation MUST arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver Form to:
Historic Preservation Division
Department of City Development
809 North Broadway - 2nd Floor
Milwaukee, WI

or

Mail Form to:
Historic Preservation Division
Department of City Development
P. O. Box 324
Milwaukee, WI 53201-0324

PHONE: 414.286-5705

FAX: 414. 286-0730



Classic Signs

#6 Valentinos Sign - RMR

RMR CLASSIC SIGNS. 09-28-2011. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF RMR CLASSIC SIGNS.



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 616 W. HISTORIC MITCHELL ST. Mitchell Street Historic District
Description of work Install new individual letter sign on storefront
Date issued 10/24/2011 PTS ID 56512 COA, new sign

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photos and illustrations.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

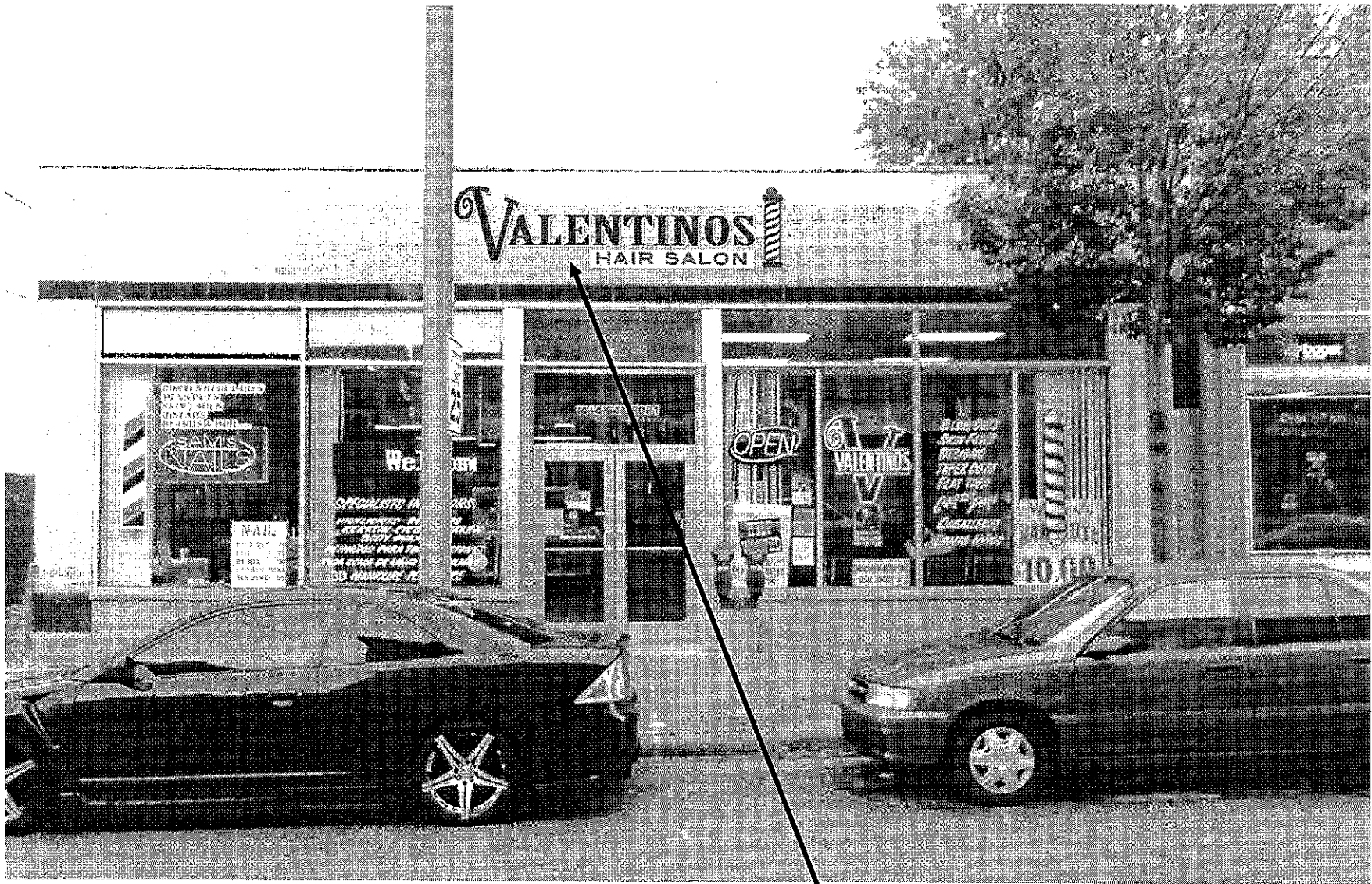
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Jim Witkowiak, Contractor Classic Signs, Inspector Bill Richter (286-2518)



Dimensions and design for new individual letter, internally illuminated sign at 616 W. Historic Mitchell St.



New individual letter, internally illuminated sign to be installed as shown