



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/841 N. Broadway Room B-1/Milwaukee, WI 53202/phone 414-286-5712/414-286-5722

**Property** 3319 N. LAKE DR. North Lake Drive Estates Historic District

**Description of work** Phase 1 of the project at 3319 N. Lake Dr. was approved by the HPC on May 9, 2022. Phase 1 consisted of review of new garden wall, new garage, in-ground pool and pool house and landscaping.

Phase 2 consists of the review of the revised pool enclosure, lighting plan and additional landscape. Phase 2 was approved by the HPC on July 11, 2022. The approved elements of Phase 2 are below.

**Date issued** 7/14/2022 PTS ID 115259 CC File # 220301

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The all glass pool enclosure or pool conservatory will be constructed as designed with one longer slope (4-1/2 x 12 pitch) and one shorter slope (6-1/2 x 12 pitch). There is precedence for this in a horticultural greenhouse that once was part of the property. This type of treatment was also common in the early 20th century and can be seen in garden building catalogues of the period. The glass walls are designed to slide back and open the pool to the outside.

The lighting will involve a number of different fixtures which are set to illuminate the garage and pool and adjacent areas both on the interior and exterior. There will also be some landscape lighting close to the pool. Lighting calculations show that the maximum intensity will be concentrated at the pool but not spill over to the neighbors' properties.

Additional landscaping, using serviceberry and 14-foot to 16-foot tall arborvitae, will screen the property at its northwest corner. There will also be trees along the perimeter of the property that will screen the pool enclosure from the public. A trimmed boxwood hedge will serve as a base of the glass pool enclosure at its east end and will remain green year round.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Carlen Hatala of the Historic Preservation staff as follows: Phone: (414) 286-5722 E-mail: [carlen.hatala@milwaukee.gov](mailto:carlen.hatala@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.milwaukee.gov/build](http://www.milwaukee.gov/build), or call (414) 286-8210.



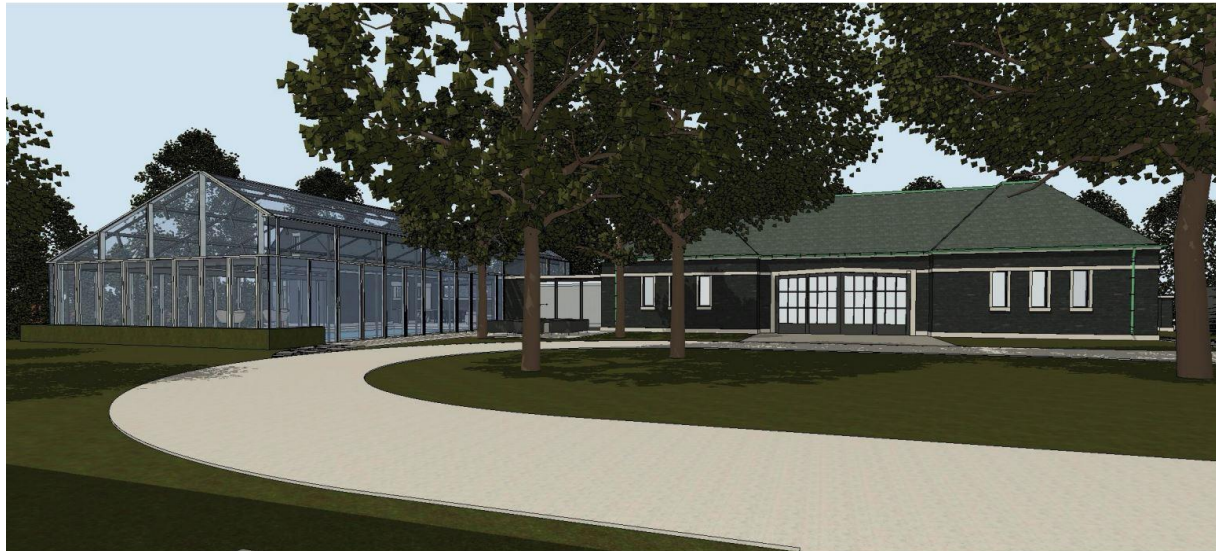
---

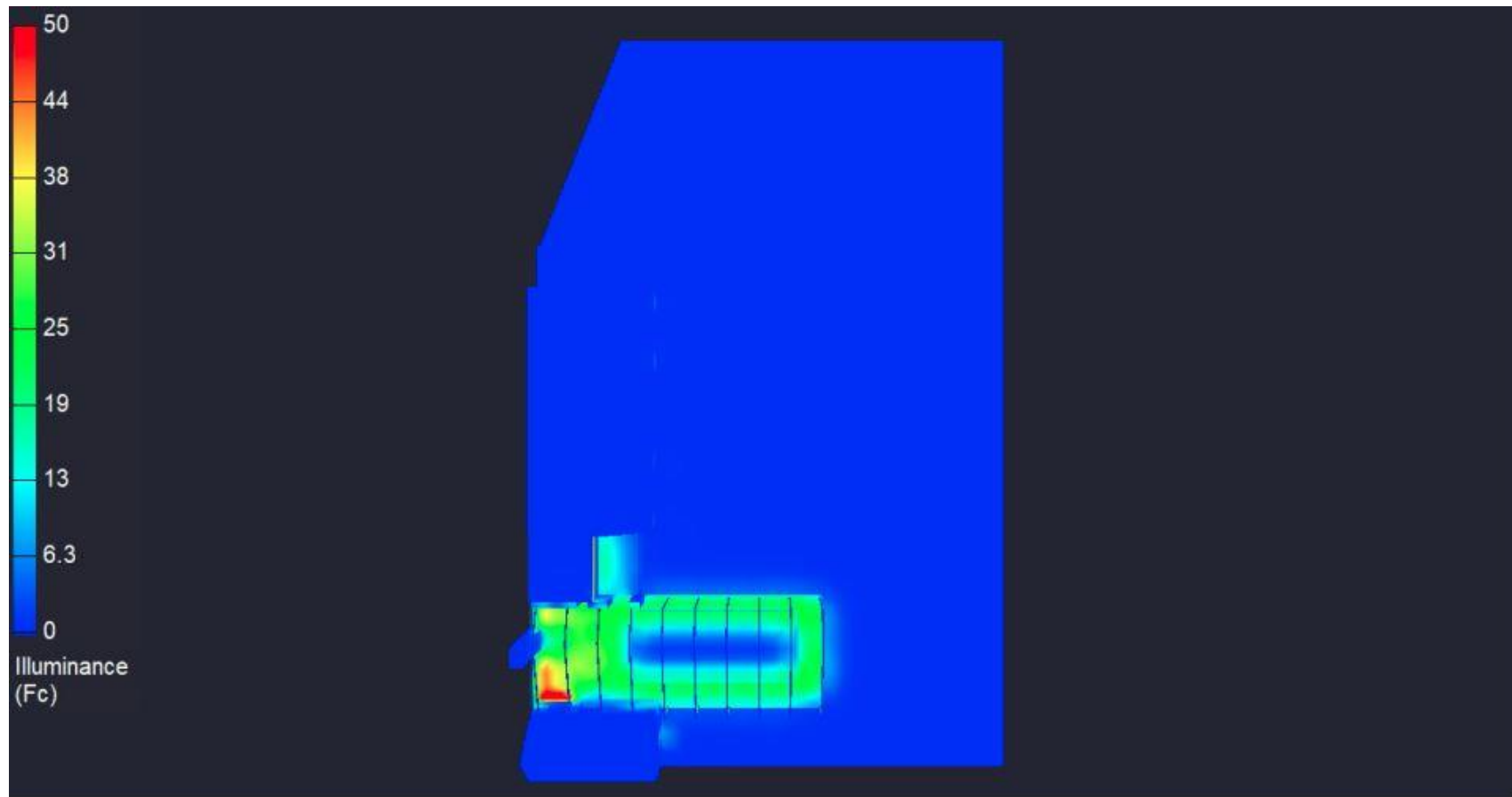
City of Milwaukee Historic Preservation Staff

Copies to: Development Center



Proposed glass pool conservatory in two different views



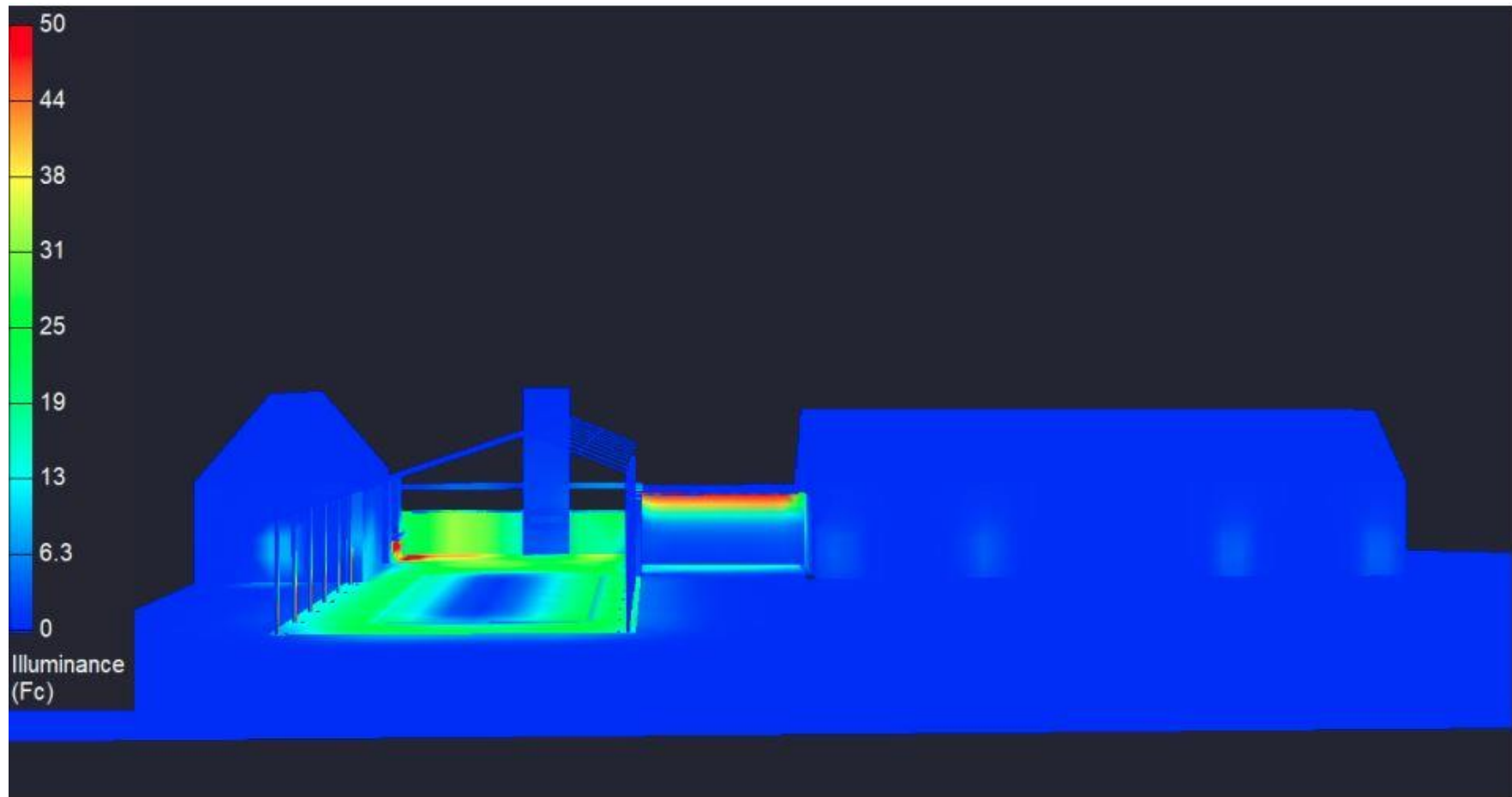


**HOILAND  
STUDIOS**  
DESIGNED LIGHTING

www.hoilandstudios.com  
info@hoilandstudios.com  
847-989-2362

MILWAUKEE POOL HOUSE - OUTBUILDING  
AGI CALCULATIONS  
SCALE: N/A  
DATE: 06/14/2022

Lighting calculation showing light diminished at northwest corner of the property

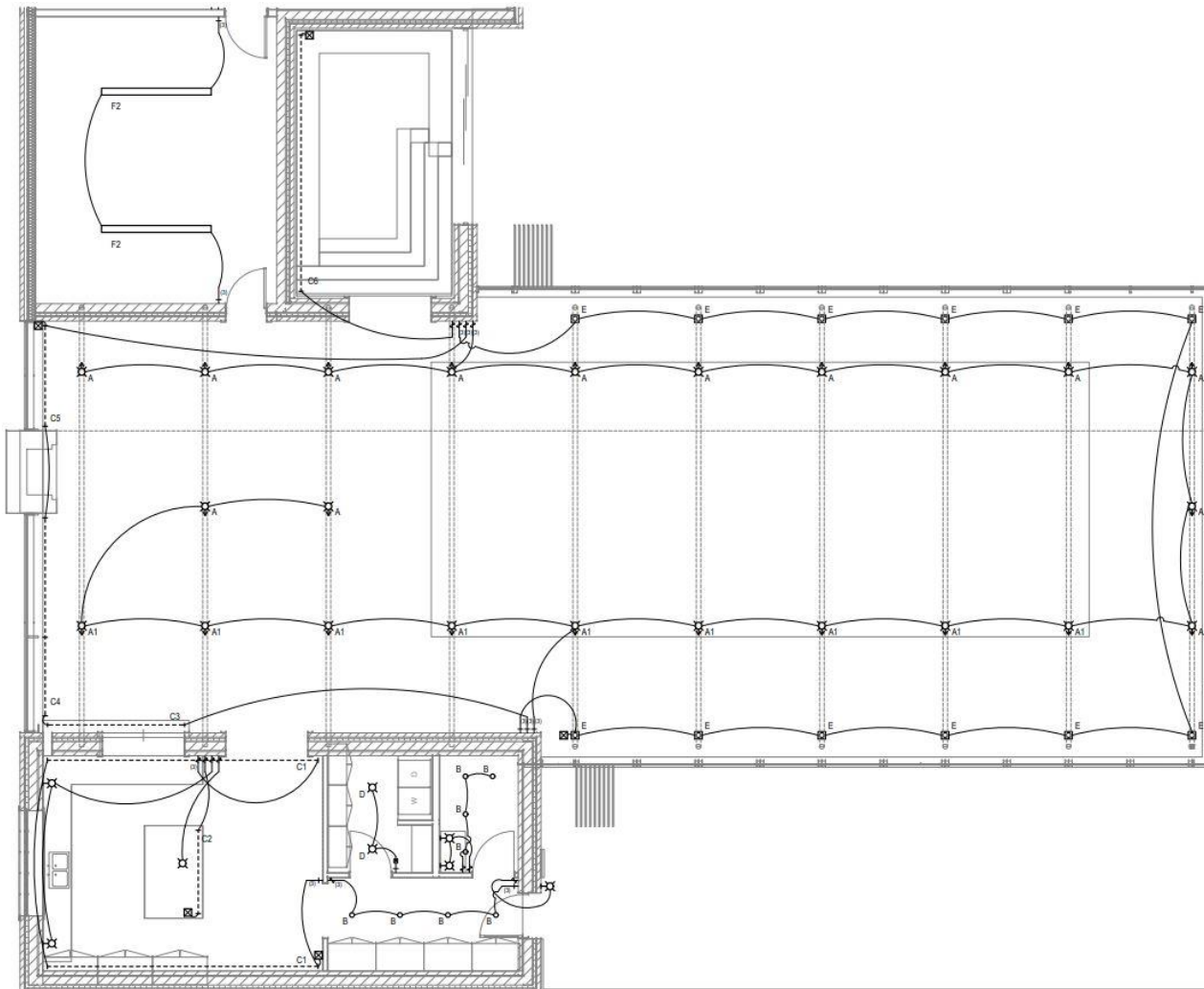


**HOILAND  
STUDIOS**  
DESIGNED LIGHTING

www.hoilandstudios.com  
info@hoilandstudios.com  
847-989-2362

MILWAUKEE POOL HOUSE - OUTBUILDING  
AGI CALCULATIONS  
SCALE: N/A  
DATE: 06/14/2022

Lighting calculation showing how light diminishes as one goes west from the pool



**SYMBOLS KEY:**

- RECESSED DOWNLIGHT FIXTURE
- RECESSED ADJUSTABLE FIXTURE
- SURFACE MOUNTED PENDANT OR CHANDELLIER
- SURFACE MOUNTED WALL SCONCE
- LINEAR LINE VOLTAGE FIXTURE
- LINEAR LOW VOLTAGE FIXTURE
- VERTICALLY MOUNTED LINEAR LOW VOLTAGE FIXTURE
- RECESSED CEILING LINEAR LIGHT FIXTURE
- RECESSED WALL MOUNTED FIXTURE
- CEILING MOUNTED MONOPOINT
- WALL OR BEAM MOUNTED MONOPOINT

- ⊠ IN-GRADE UPLIGHT
- ⊠ LANDSCAPE ACCENT
- ⊠ TREE-STANDING LAMP
- ⊠ FAN / MOTOR
- ⊠ TRANSFORMER - 120V/12V OR 120V/24V
- ⊠ SWITCHED CLOCK RECEPTACLE
- ⊠ DUPLEX RECEPTACLE (WP) WEATHER PROOF
- ⊠ CEILING FAN

- ⊠ WALL BOX DIMMER (D) DIMMY
- ⊠ RELAY ELECTRONIC LOW VOLTAGE BALLAST/MAGNETIC LOW VOLTAGE
- ⊠ SINGLE POLE SWITCH (S) 3-WAY (S) 4-WAY (S) JAMB
- ⊠ MOTION SENSOR SWITCH
- ⊠ SMART DIMMER ON LIGHTING SYSTEM
- ⊠ SMART SWITCH ON LIGHTING SYSTEM
- ⊠ LIGHTING CONTROL KEYPAD
- ⊠ CONTROL SYSTEM LOAD ID NUMBER

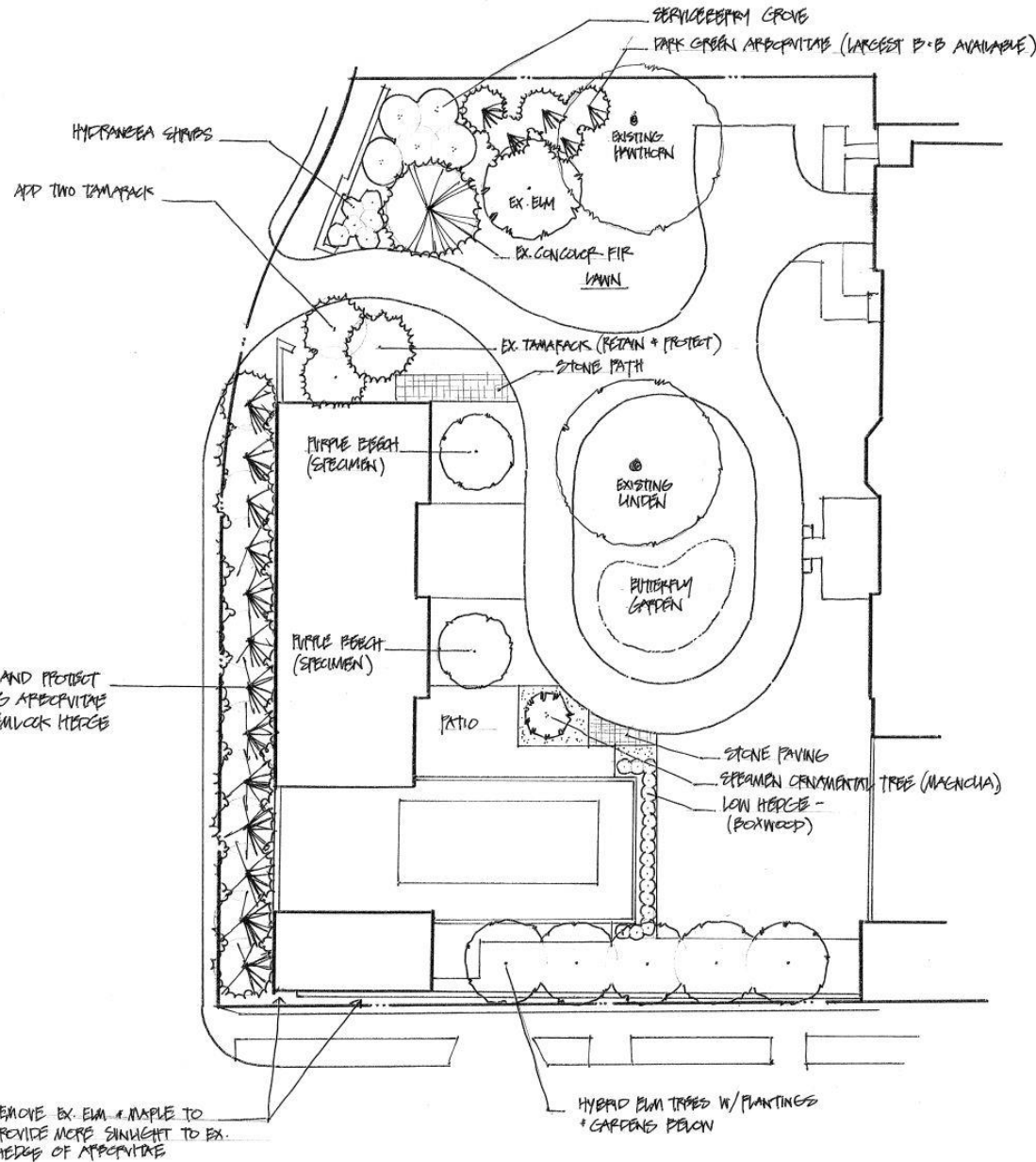
**GENERAL NOTES:**

1. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ADDITIONAL LIGHTING INFORMATION.

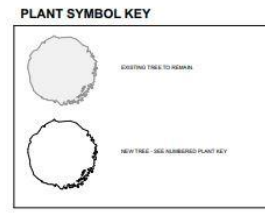
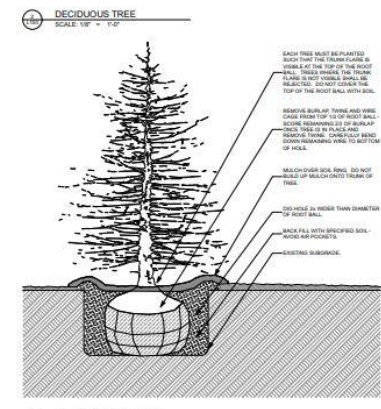
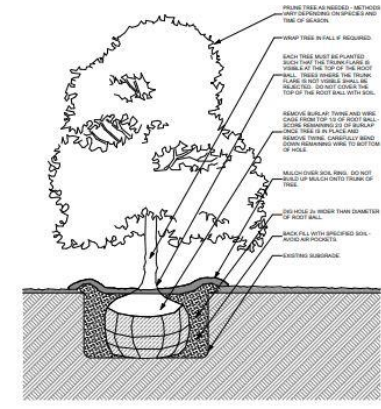
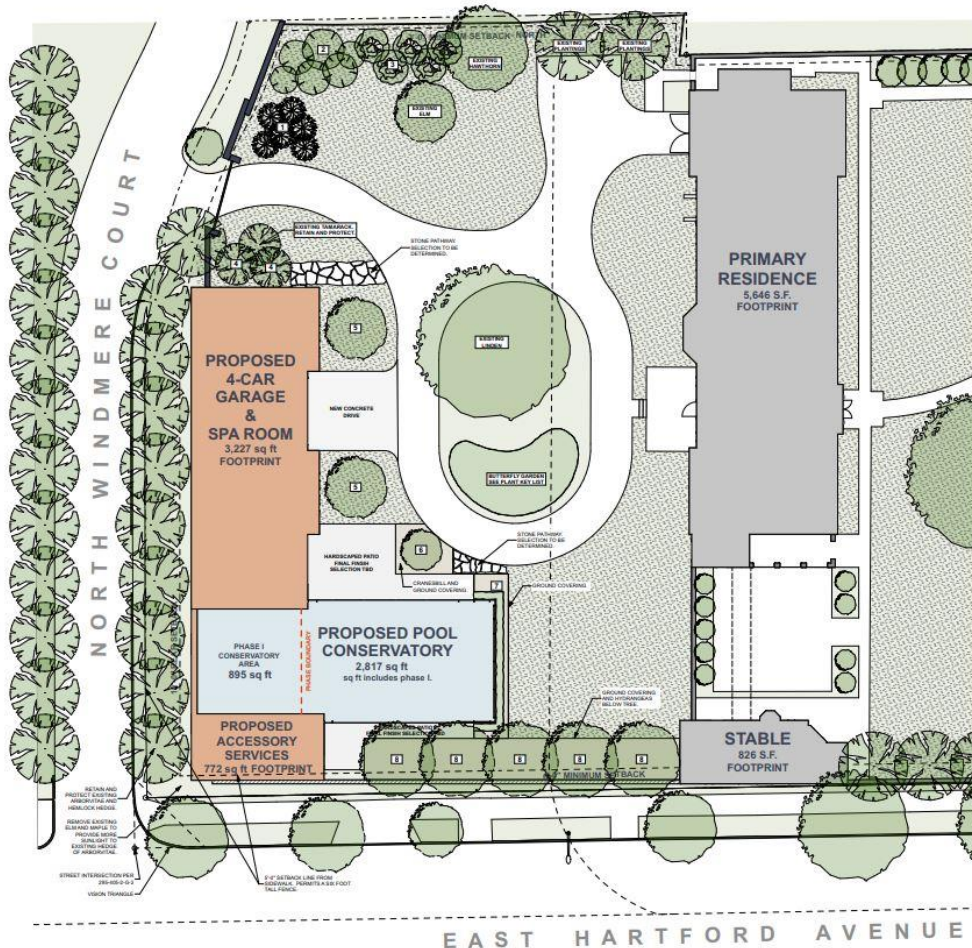
**KEY NOTES:**

- TBD
- TBD

Light fixtures



Landscape Plan



**LANDSCAPE PLAN - GENERAL NOTES**

- 1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL PUBLIC AND PRIVATE AGENCIES FOR ALL NECESSARY PERMITS AND APPROVALS PRIOR TO ANY WORKING ON EARTHWORK.
- 2. ANY AREAS NOT REFERRED BY CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION.
- 3. TOP SOIL SHALL BE PLACED TO THE TOP OF THE EXISTING FINISH GRADE BY THE ORIGINAL CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING FINISH GRADE, AS WELL AS THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES AND PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO ALL UTILITIES AND STRUCTURES.
- 4. ALL PLANTING SHALL BE DONE WITH THE FOLLOWING CONDITIONS: ALL PLANTS SHALL BE PLANTED WITHIN THE ROOT BALL. ALL PLANTS SHALL BE PLANTED WITHIN THE ROOT BALL. ALL PLANTS SHALL BE PLANTED WITHIN THE ROOT BALL. ALL PLANTS SHALL BE PLANTED WITHIN THE ROOT BALL.
- 5. ALL PLANTING SHALL BE DONE WITHIN THE FOLLOWING CONDITIONS: ALL PLANTS SHALL BE PLANTED WITHIN THE ROOT BALL. ALL PLANTS SHALL BE PLANTED WITHIN THE ROOT BALL. ALL PLANTS SHALL BE PLANTED WITHIN THE ROOT BALL. ALL PLANTS SHALL BE PLANTED WITHIN THE ROOT BALL.

**LANDSCAPE PLAN**  
SCALE: 1/8" = 1'-0"  
**PLANT SCHEDULE**

<b>1</b> HYDRANGEA SHRUBS	<b>2</b> BERRY-CRANBERRY-GROVES	<b>3</b> 1 1/2" TO 2" TALL DARK GREEN-NEROPHYTIC (LARGEST SIZE AND SHAPES AVAILABLE)	<b>4</b> TAMARACK	<b>5</b> PURPLE BEECH (SPREADER)	<b>6</b> BROWN CORKBARK TREE (SMALLER)	<b>7</b> LOW-HEDGE BOKHOOD	<b>8</b> HORNED-LEM TREE	<b>9</b> BUTTERFLY GARDEN

Landscaper plan in color