



# City of Milwaukee

City Hall  
200 East Wells Street  
Milwaukee, WI 53202

## Meeting Agenda ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

*ALD. JAMES WITKOWIAK, CHAIR*

*Ald. Willie Wade, Vice-Chair*

*Ald. Michael Murphy, Ald. Robert Bauman, and Ald. T. Anthony Zielinski*

*Staff Assistant, Chris Lee, 286-2232*

*Fax: 286-3456, [clee@milwaukee.gov](mailto:clee@milwaukee.gov)*

*Legislative Liaison, Jeffrey Osterman, 286-2262, [joster@milwaukee.gov](mailto:joster@milwaukee.gov)*

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Tuesday, October 25, 2011

9:00 AM

Room 301-B, City Hall

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1. [110583](#) A substitute ordinance relating to a change in zoning from Two-Family Residential to a Detailed Planned Development known as Jackson Apartments, for residential development, on land located on the east side of North Jackson Street, south of East Pleasant Street, in the 3rd Aldermanic District.  
**Sponsors:** Ald. Kovac
  
2. [110695](#) A substitute ordinance relating to landscaping requirements for heavy motor vehicle parking lots, heavy motor vehicle outdoor storage and contractors' yards.  
**Sponsors:** THE CHAIR
  
3. [110704](#) Substitute resolution relating to a minor modification to the Detailed Planned Development known as Metro Center, Phase 2, to allow for construction of a car dealership, on land located on the north side of West Metro Boulevard and west of North 107th Street, in the 5th Aldermanic District.  
**Sponsors:** THE CHAIR
  
4. [110836](#) Resolution approving Options to Purchase between the Milwaukee Board of School Directors and M. C. Preparatory School of Wisconsin, Inc. for the former 38th Street School and former Lloyd Street School, in the 15th Aldermanic District.  
**Sponsors:** THE CHAIR
  
5. [110860](#) Resolution authorizing the sale of the City-owned vacant lot at 238 West Mitchell Street to La Causa, Inc. for playground use, in the 12th Aldermanic District.  
**Sponsors:** Ald. Witkowiak
  
6. [110861](#) Substitute resolution approving conveyance of the former Garfield Elementary School by the Milwaukee Board of School Directors to the Redevelopment Authority of the City of Milwaukee for the Bronzeville Project, in the 6th Aldermanic District.  
**Sponsors:** Ald. Coggs
  
7. [110873](#) Communication from the Emerging Business Enterprise Program relating to the

quarterly report regarding Emerging Business Enterprise and Residence Preference Program participation on The Moderne Project.

Sponsors: THE CHAIR

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**Common Council members who are not members of this committee may attend this meeting to participate or to gather information. This meeting may constitute a meeting of the Common Council or any of its standing committees although no formal action will be taken at this meeting.**

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Legislation Details (With Text)

**File #:** 110583      **Version:** 1  
**Type:** Ordinance      **Status:** In Committee  
**File created:** 9/1/2011      **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE  
**On agenda:**      **Final action:**  
**Effective date:**

**Title:** A substitute ordinance relating to a change in zoning from Two-Family Residential to a Detailed Planned Development known as Jackson Apartments, for residential development, on land located on the east side of North Jackson Street, south of East Pleasant Street, in the 3rd Aldermanic District.

**Sponsors:** ALD. KOVAC

**Indexes:** PLANNED UNIT DEVELOPMENTS, ZONING, ZONING DISTRICT 03

**Attachments:** Proposed Substitute A, Exhibit A as of 10-17-11, Exhibit A Continued as of 10-17-11, Proposed Zoning Change Map, Affidavit for Zoning Change, Hearing Notice List

Date	Ver.	Action By	Action	Result	Tally
9/1/2011	0	COMMON COUNCIL	ASSIGNED TO		
9/6/2011	0	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	REFERRED TO		
10/10/2011	1	CITY CLERK	PUBLISHED		
10/18/2011	0	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	HEARING NOTICES SENT		

110583  
Version  
SUBSTITUTE 1  
Reference  
060416, 070593  
Sponsor  
ALD. KOVAC

**Title**  
A substitute ordinance relating to a change in zoning from Two-Family Residential to a Detailed Planned Development known as Jackson Apartments, for residential development, on land located on the east side of North Jackson Street, south of East Pleasant Street, in the 3rd Aldermanic District.

**Analysis**  
This zoning change will allow for the construction of 15 residential units on the site.

**Body**  
The Mayor and Common Council of the City of Milwaukee ("Common Council"), do ordain as follows:

Part 1. There is added to the Milwaukee Code of Ordinances ("Code") a new section to read as follows:

Section 295-907(2)(c).0177.

(1) In accordance with the provisions of Section 295-907 of the Code relating to the establishment of planned development districts, the Common Council approves the subject Detailed Planned Development, a copy of which is attached to this Common Council File as Exhibit A which is on file in the office of the City Clerk and made a part as though fully set forth herein.

(2) The zoning map is amended to change the zoning for the property located at 1530 North Jackson Street, Tax Key No. 392-1759-100, from Two-Family Residential (RT4) to Detailed Planned Development (DPD).

(3) The requirements set forth in said detailed plan attached to this Common Council File as Exhibit A, constitute the zoning regulations for the area contained in such planned development district described, provided further, that the effect of the approval of such detailed plan is that such plan shall limit and control construction, location, use and operation of all land and structures included within the detailed plan to all conditions and limitations set forth in such detailed plan.

Part 2. Any persons, firm, company or corporation owning, controlling or managing any building or premises wherein or whereon there shall be placed or there exists anything in violation of the terms of this ordinance; or who shall build contrary to the plans or specifications submitted to and approved by the Commissioner of the Department of City Development, or any person, firm, company or corporation who shall omit, neglect or refuse to do any act required in this ordinance shall be subject to the penalties provided in Section 200-19 of the Code.

Part 3. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions. The Common Council declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase or portion irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases or other portions be declared void or invalid.

Drafter  
DCD:VLK:kdc  
10/04/11

..Number  
110583  
..Version  
PROPOSED SUBSTITUTE A  
..Reference  
060416, 070593  
..Sponsor  
ALD. KOVAC  
..Title

A substitute ordinance relating to a change in zoning from Two-Family Residential to a Detailed Planned Development known as Jackson Apartments, for residential development, on land located on the east side of North Jackson Street, south of East Pleasant Street, in the 3rd Aldermanic District.

..Analysis  
This zoning change will allow for the construction of 14 residential units on the site.

..Body  
The Mayor and Common Council of the City of Milwaukee ("Common Council"), do ordain as follows:

Part 1. There is added to the Milwaukee Code of Ordinances ("Code") a new section to read as follows:

Section 295-907(2)(c).0177.

(1) In accordance with the provisions of Section 295-907 of the Code relating to the establishment of planned development districts, the Common Council approves the subject Detailed Planned Development, a copy of which is attached to this Common Council File as Exhibit A which is on file in the office of the City Clerk and made a part as though fully set forth herein.

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Part 2. Any persons, firm, company or corporation owning, controlling or managing any building or premises wherein or whereon there shall be placed or there exists anything in violation of the terms of this ordinance; or who shall build contrary to the plans or specifications submitted to and approved by the Commissioner of the Department of City Development, or any person, firm, company or corporation who shall omit, neglect or refuse to do any act required in this ordinance shall be subject to the penalties provided in Section 200-19 of the Code.

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validity of the remaining portions. The Common Council declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase or portion irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases or other portions be declared void or invalid.

..Drafter  
DCD:VLK:kdc  
10/19/11

**1530 North Jackson Street  
Detailed Planned Development Project Description  
Owner's Statement of Intent-File # 110583**

**Purpose: WiRED Jackson LLC (Blackwatch '68 Properties/Elan Peltz, DBA) request that the zoning for the subject property 1530 North Jackson be amended to a Detailed Planned Development (DPD) in accordance with this submittal. The development satisfies all of the RT-4 current zoning standards except for the density.**

**Project Overview**

- A. The Developer: Elan Peltz/Blackwatch' 68 Properties intends to build a residential apartment building consisting of 14 apartments and 16 surface parking spaces. The project will be located at 1530 North Jackson Street between Lyon and Pleasant in Milwaukee and will consist of 13 two bedroom apartments 1 one bedroom apartment. Peltz is a recognized neighborhood developer and was awarded the Mayors Design Award for his catalytic restoration of a 100 year old Brady Street Building (928 E. Brady (at Astor)). He is passionate about neighborhood development and specifically the East Side of Milwaukee. Website: [www.blackwatch68.com](http://www.blackwatch68.com)**

**Joel Agacki is the designer and co-founder of Striegel-Agacki Studio. The office's work is highly respected and has been written up in national design magazines for their Milwaukee projects, including a Third Ward Condo development that has appeared in Metropolitan Home, a premier national design publication. Joel has also designed one of the leading properties in Bay View overlooking the lake. He was selected for his gentle sensitive approach to small scale projects such as the 1530 Jackson Apartment Project.**

**General Contractor:**

**Matt Burrow is the General Contractor & President of Catalyst Construction. Matt runs one of the leading and fastest growing contracting businesses in the state and has been recognized extensively as one of the best in the state, having built *The Lattitude* on Kenilworth and a host of other commercial and education and health care buildings for his clients in Milwaukee.**

- B. The Property: The site is currently zoned RT4 and is located at 1530 Jackson adjacent to two duplex structures, one a condo development**

and the other a rental. WiRED Jackson LLC/Elan Peltz owns the property in a single member LLC. The site is currently zoned RT-4 and consists of 8574SF.

- C. **The Residents:** The project will target a mixed demographic but largely young professionals that want to live in a smaller boutique high quality building with only 3-4 units per floor in the heart of the east side, providing for easy access to shopping, dining, entertainment, and lake/riverfronts within blocks to Brady, Water Street, North Avenue, and Downer.
  
- I. **Uses:** The proposal is for residential use only consistent with the current uses.
  
- II. **Design Standards**
  - A. **Density-**14 Units, 612 SF per unit,
  - B. **Setbacks-** As noted on the site plan, the building is setback 3' on the sides, 7' feet in Front/Jackson, and 20' in the rear of the site.
  - C. **Open Spaces:** Nearly every unit has some outdoor terrace and the two first level units will even have private green space in front of their units (each, 7x16). The roof might be a further open space. The Site Plan outlines these spaces.
  - D. **Parking/Circulation:** There are 16 parking spaces as noted on the Site Plan. There is a center drive aisle providing access to parking. 8 of the 16 stalls are beneath the building (slab on grade), then 8 more stalls in the rear (NE+SE portions of the site).  
**1530 North Jackson – Parking Analysis**  
Zoning code requirements for multi-family: 10 – number of off-street parking spaces required based on 2:3 ratio for 14 units (-2) – 25% reduction based on location w/in 1,000 feet of regularly scheduled bus stop (-2) – account for the 2 on-street parking spaces immediately adjacent to site = 6 – number of off-street parking spaces required to be supplied.  
**1530 N. Jackson proposal:** 16 – number of off-street parking spaces proposed (-4) – number of spaces reserved for property to north, per agreement (-3) – number of stacked spaces that cannot be counted per code = 9 – number of off-street parking spaces provided for the 14 residential units  
**Summary:** the 9 off-street parking spaces provided on the site exceed the 6 required by code once the two exceptions are calculated into the overall number required.
  - E. **Garbage/Recycling:** will be in the Northwest half of the open parking garage and garbage trucks will pickup curbside.



- F. **Storm Water:** Per our civil engineer this site is exempt from storm water requirements.
- G. **Lighting :** All exterior lighting on the site will conform to regulations application in s. 295-409 of the Milwaukee Zoning Code.  
**Signs/Signage:** We will have construction temp signage/marketing signage at the Jackson West Elevation of the site. We intend to have temporary construction and temporary marketing signage in accord with the signage standards for interim construction. Upon completion we intend to have permanent building signage that will be fixed to the building West front elevation (ie not free standing). Both permanent signs will be high quality and will comprise of individual letters that will be backlit only, if illuminated. Both signs will not exceed 15 SF.
- H. **Building Materials :** As noted on the Exterior Elevations, the building will be clad with metal siding, wood siding, a hardi-cement painted sheet good, and CMU at the base (see Exterior Elevations and Rendering). Guardrails and balcony rails will be powder coated bar stock steel frames with steel mesh in-fill (see exhibit).

**Siding Websites:**

<http://cortenroofing.com/cortenwallpanel.htm>

[http://www.cortenroofing.com/corten\\_standing\\_seam.htm](http://www.cortenroofing.com/corten_standing_seam.htm)

- K. **Landscaping:** As noted in the Landscape Plan, there will be boxwoods bordering grass in front of the building and some taller trees in the rear. All required vegetation shall be of a quality consistent with the standards of the American association of nurserymen (ANSI 260.1). All required vegetation shall be maintained on an ongoing basis, including seasonal tree and plant replacement.
- L. **Space Between Structures:** There are two adjacent structures, one is a duplex condo and one is a duplex rental. There is a retaining wall in the rear of the structure and a building above that.
- M. **Utilities:** All required vegetation shall be of a quality consistent with the standards of the American association of nurserymen (ANSI 260.1). All required vegetation shall be maintained on an ongoing basis, including seasonal tree and plant replacement.

III. **Site Statistics**

1. Gross Land Area: 8574 SF
2. Land Covered By Principal Buildings: 5166SF, 59%
3. Land devoted to parking and drives: 4573SF, 16 parking spaces, 53%
4. Minimum land devoted to Landscaped Open Space: 1275 SF, 15%

5. Maximum Dwelling Density: 14 residential (Lot area (8574) / Units (14)=density=612 sq ft/unit.
6. Proposed Number of Buildings: 1
7. Maximum Number of Dwelling Units Per Building: 14
8. Bedrooms Per Unit: 14 residential units (1060sf 2br/2b; 690sf 1b) (plus green yard and balconies).
9. Parking Spaces Provided: 16 surface (10 required by code). See above for full explanation of parking supplied for this development.



14 OCTOBER 2011

**JACKSON APARTMENTS**

1530 North Jackson Street Milwaukee, Wisconsin 53202



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**SITE PHOTOS**

**JACKSON APARTMENTS**

1530 North Jackson Street Milwaukee, Wisconsin 53202



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**JACKSON STREET: WEST SIDE ACROSS FROM SITE**



**JACKSON STREET: EAST SIDE ADJACENT TO 1530**



**CONTEXT**

**JACKSON APARTMENTS**

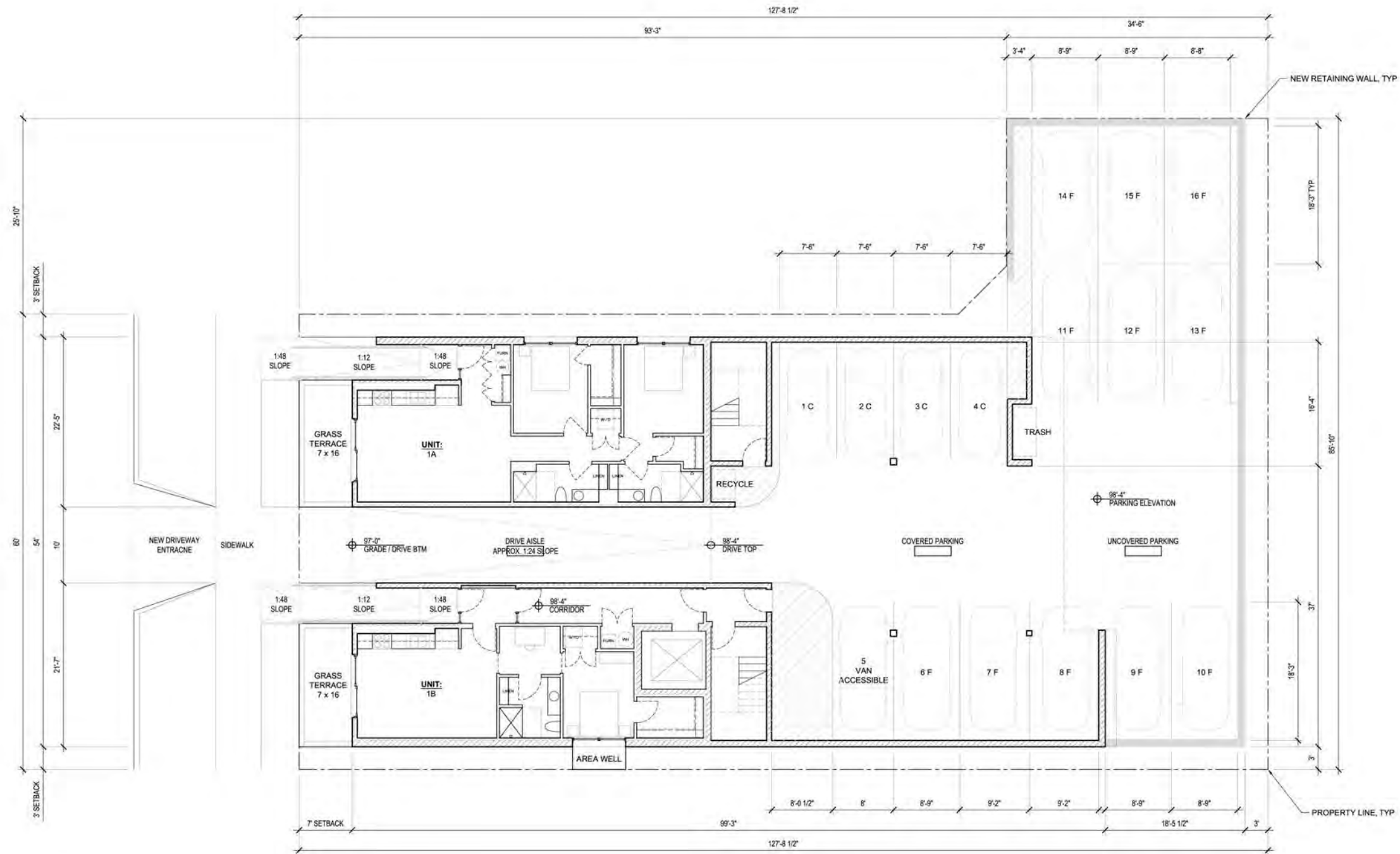
1530 North Jackson Street Milwaukee, Wisconsin 53202



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**SITE / ENTRY LEVEL PLAN** (1" = 16')

**JACKSON APARTMENTS**

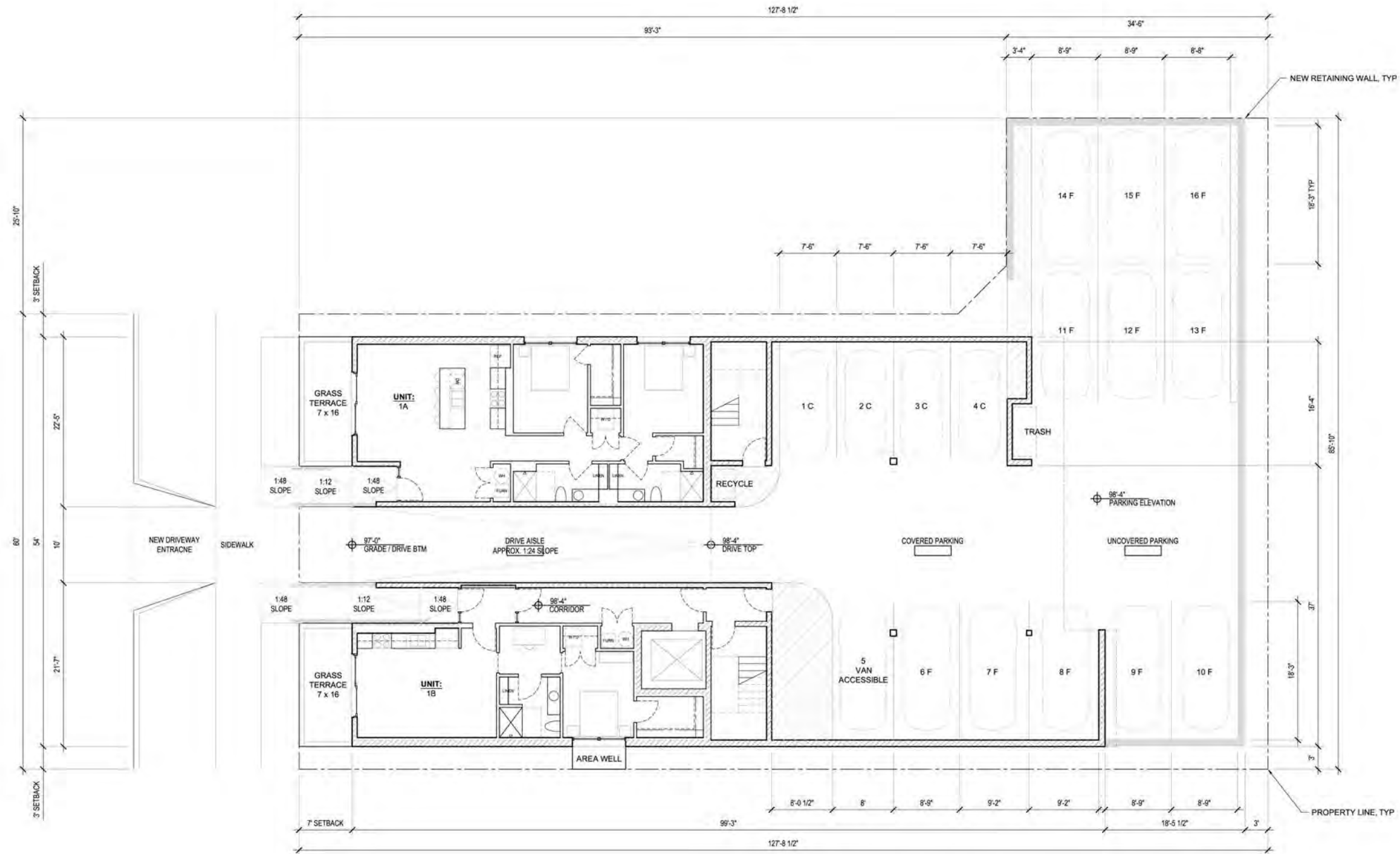
1530 North Jackson Street Milwaukee, Wisconsin 53202



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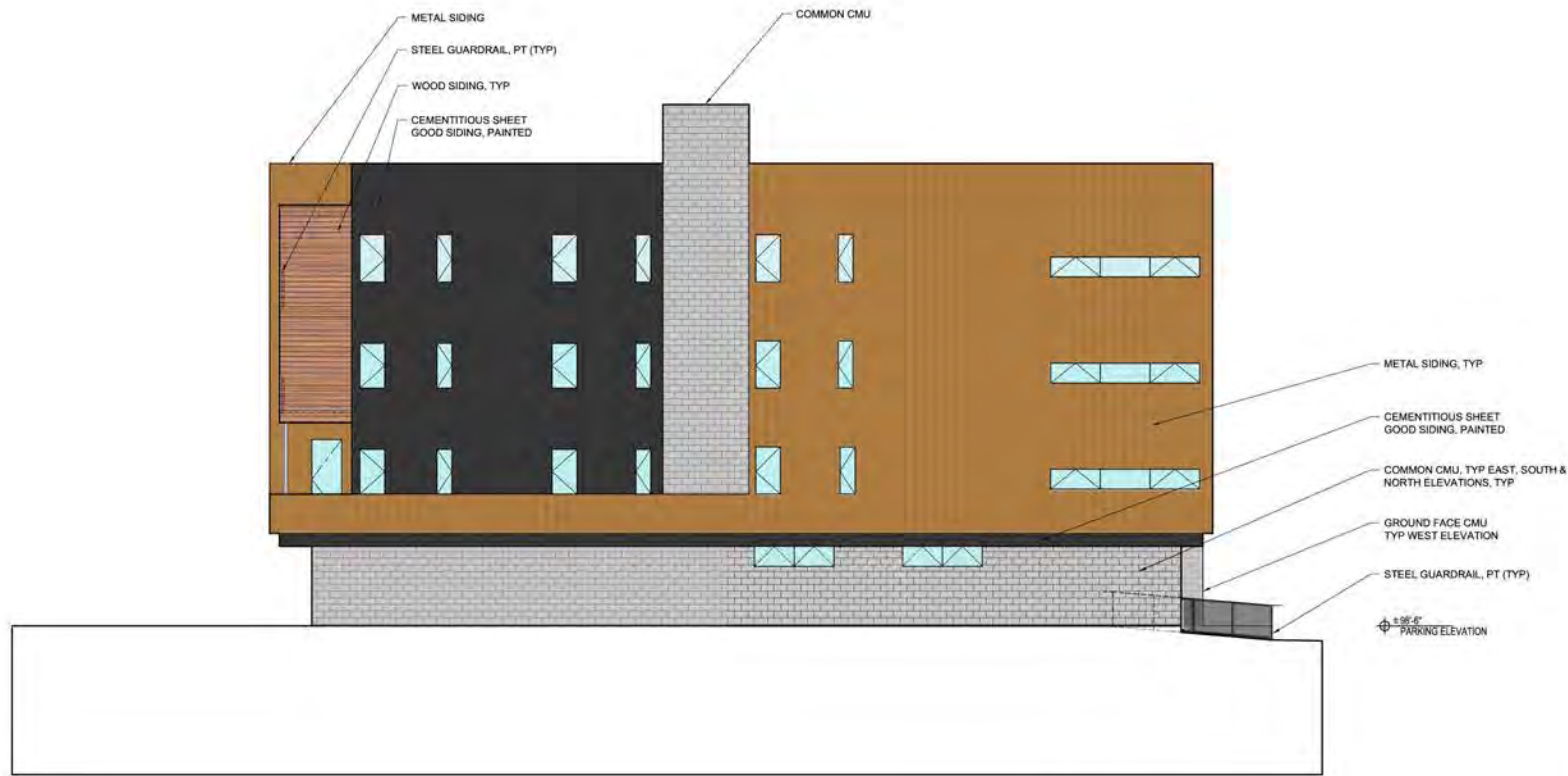
**ALT SITE / ENTRY LEVEL PLAN** (1" = 16') with alternate entry to Northwestern dwelling unit

**JACKSON APARTMENTS**

1530 North Jackson Street Milwaukee, Wisconsin 53202



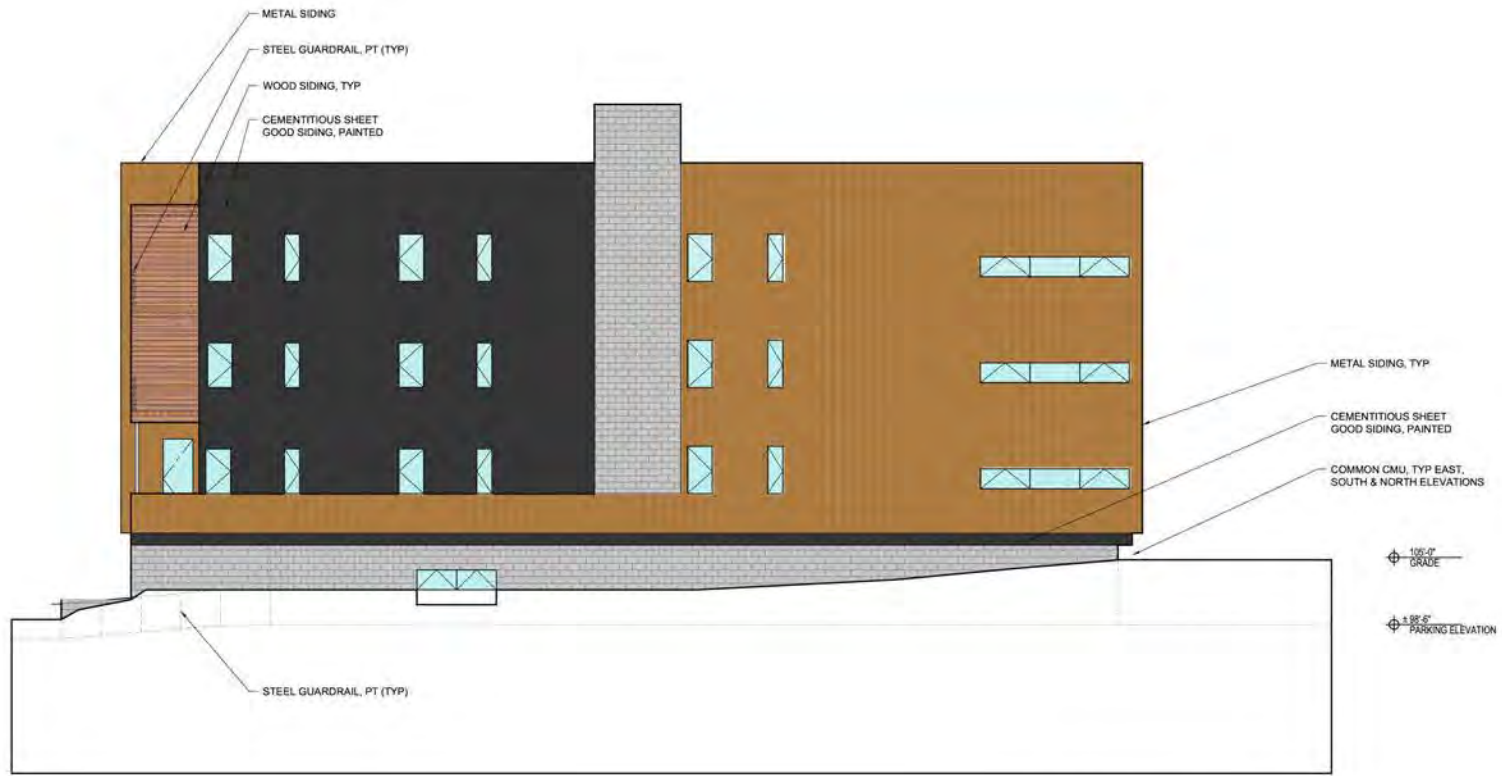
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NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

**EXTERIOR ELEVATIONS**

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**METAL PANEL**

**WOOD SIDING**

**CEMENTITIOUS SHEET GOOD, PAINTED**

**STEEL GUARDRAIL, PAINTED**  
(typical all terrace locations & Western entries)

**WOOD SIDING @ TERRACE UNDERSIDE**  
(typical all wood terraces)

**COMMON CMU**

**GROUND FACE CMU**  
(typical on Western & street side exposure)

**GROUND FACE CMU RETAINING WALL**  
(typical on Western & street side exposure)

**CONCRETE RAMP, TYPICAL**

**JACKSON STREET PERSPECTIVE: 14 UNIT BUILDING**

**JACKSON APARTMENTS**

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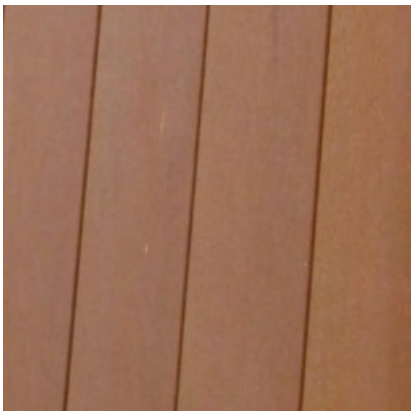
**ALT METAL SIDING (STANDING SEAM)**



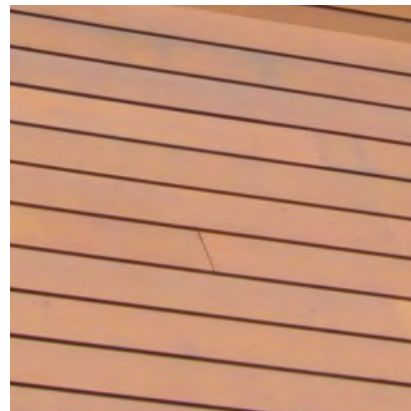
**CORNER CONDITION @ METAL SIDING**



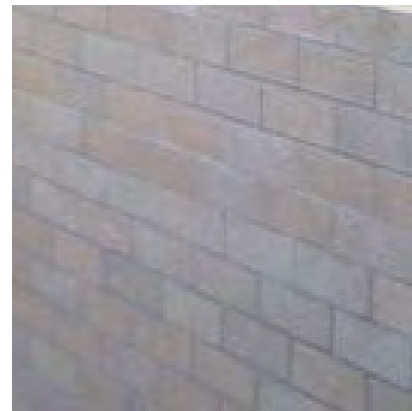
**GUARDRAILS (ALTERNATE)**



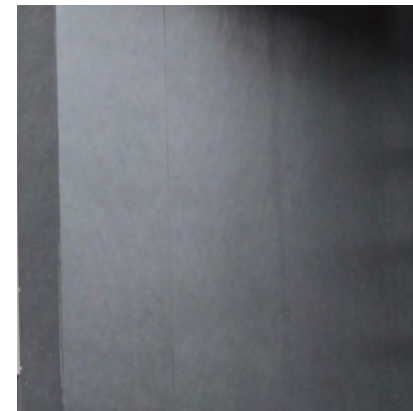
**METAL SIDING**



**WOOD SIDING**



**CONCRETE BLOCK**



**CEMENTITIOUS PANEL, PAINTED**



**GUARDRAILS**

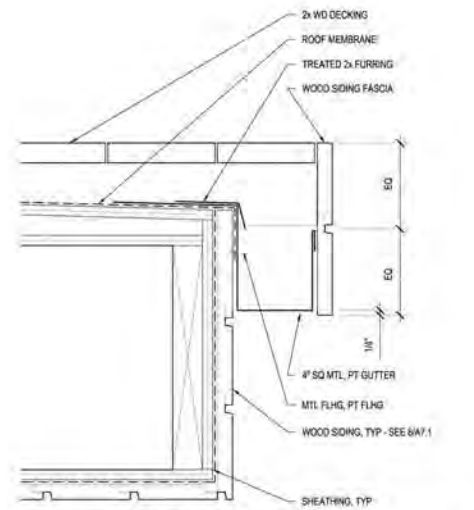
**EXTERIOR MATERIAL PALETTE**

**JACKSON APARTMENTS**

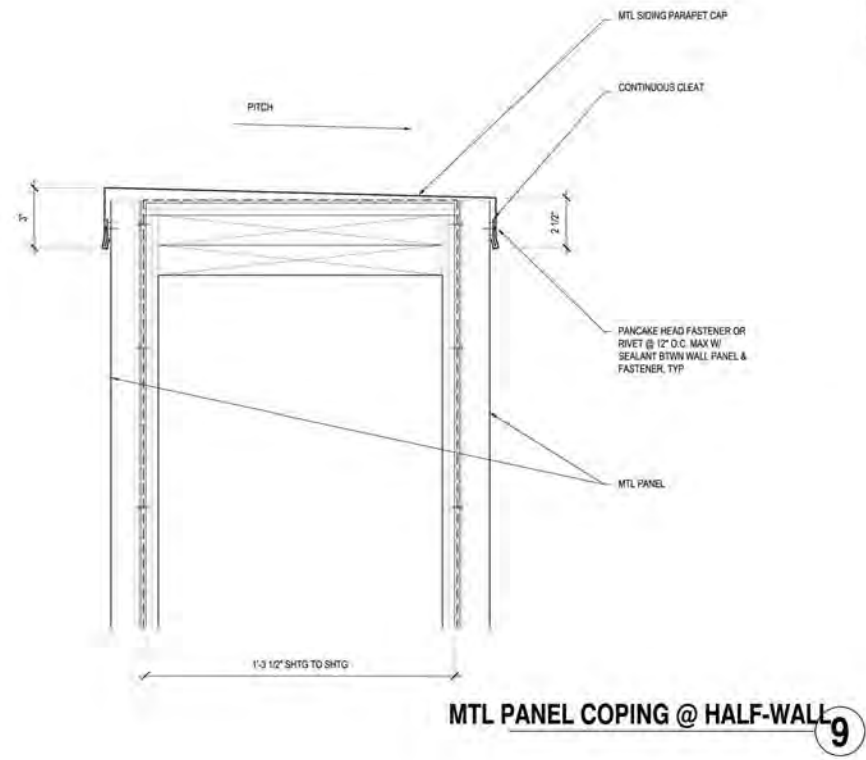
1530 North Jackson Street Milwaukee, Wisconsin 53202



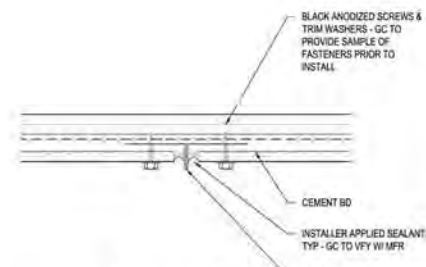
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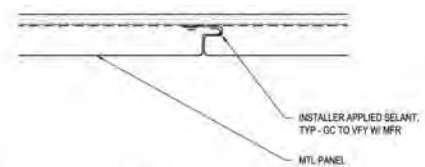
**TYP TERRACE EDGE** 20



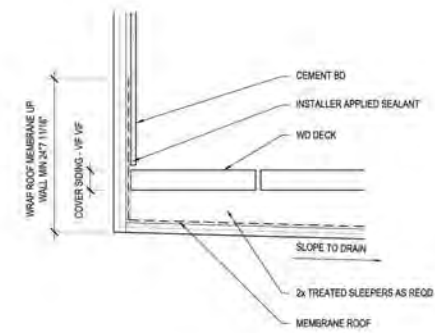
**MTL PANEL COPING @ HALF-WALL** 9



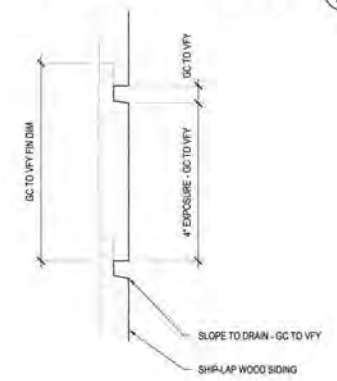
**CEMENT BD PANEL JNT** 5



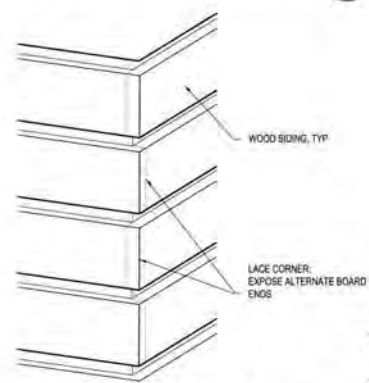
**MTL PANEL HORIZ JNT** 4



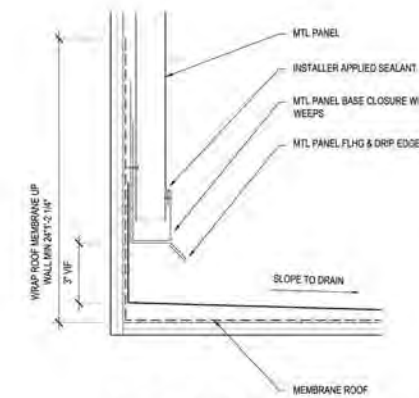
**CEMENT BD @ WD DECK** 13



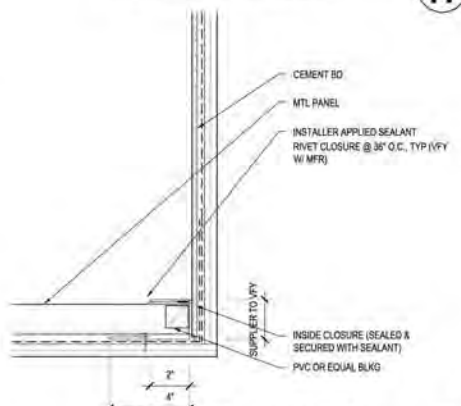
**WD SIDING PROFILE** 8



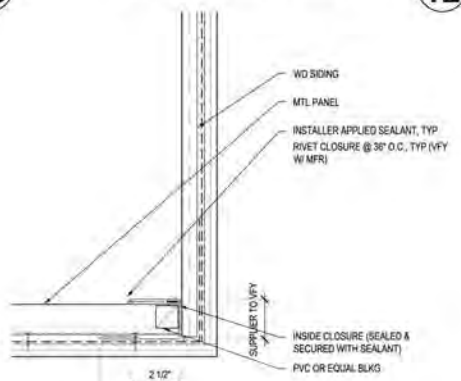
**WD SIDING OUTSIDE CORNER** 3



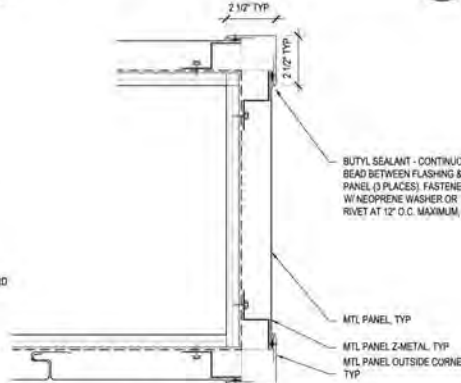
**MTL PANEL @ ROOF** 17



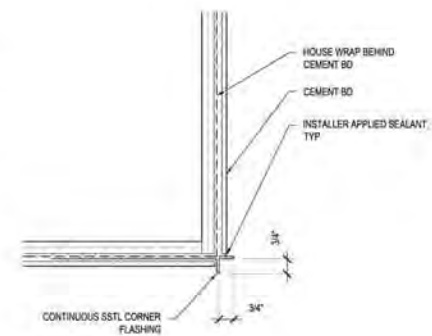
**MTL PANEL TO CMT BD** 12



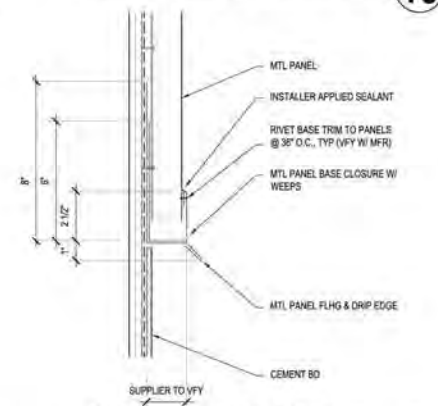
**MTL PANEL TO WD SIDING** 7



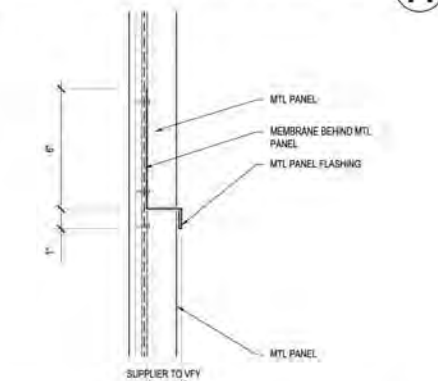
**MTL PANEL OUTSIDE CRNR** 2



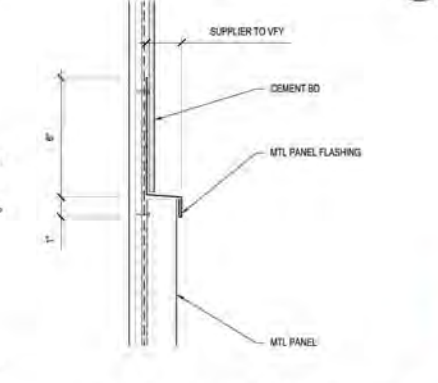
**CEMENT BD OUTSIDE CRNR** 16



**MTL PANEL TO CMT BD** 11



**HORIZ JNT @ MTL PANEL** 6



**CMT BD SIDING TO MTL PNL** 1

**EXTERIOR DETAILS**

**JACKSON APARTMENTS**

1530 North Jackson Street Milwaukee, Wisconsin 53202



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# PROPOSED JACKSON APARTMENTS

1530 N. JACKSON STREET  
CITY OF MILWAUKEE, WI

## LEGEND

—ST—	EXISTING STORM SEWER	⚡	POWER POLE
—SAN—	EXISTING SANITARY	←	GUY WIRE
—W—	EXISTING WATER	●	IRON PIPE FOUND
—G—	EXISTING GAS	□	SIGN
—FM—	EXISTING FORCEMAIN	⊠	TRANSFORMER
—T—	EXISTING TELEPHONE	⊞	ELECTRICAL PEDESTAL
—E—	EXISTING ELECTRIC	⊞	TELEPHONE PEDESTAL
—OW—OW—	OVERHEAD WIRE	⊞	CABLE TV PEDESTAL
—X—X—	EXISTING FENCE	⊞	GAS VALVE
—	PROPOSED STORM	△	AT&T MARKER
—	PROPOSED 8" SANITARY	▽	EXISTING HYDRANT
—	PROPOSED 8" WATER	○	EXISTING SANITARY MANHOLE
→	PROPOSED DRAINAGE FLOW	⊕	PROPOSED GATE VALVE
⊕	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	⊕	PROPOSED HYDRANT
—839—	PROPOSED CONTOUR	○	PROPOSED SANITARY MANHOLE
—827—	EXISTING CONTOUR	⊕	PROPOSED ROUND STORM INLET (OR MANHOLE WHERE INDICATED)
×61.77	EXISTING SPOT GRADE	⊕	PROPOSED CURB INLET
—	EXTERIOR PROPERTY LINE		

## PROJECT NOTES

### EXISTING CONDITIONS AND DEMOLITION NOTES:

- CONTRACTOR TO FIELD VERIFY EXISTING SITE PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, RELOCATE, REPLACE OR DEMOLISH ANY OTHER ITEMS AS DIRECTED BY THE CONSTRUCTION MANAGER.

### SITE NOTES:

- THE PROPOSED CIVIL PLANS ILLUSTRATE SITE IMPROVEMENTS ASSOCIATED WITH THE NEW BUILDING CONSTRUCTION. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL CONSTRUCTION INFORMATION.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.

### GRADING AND EROSION CONTROL NOTES:

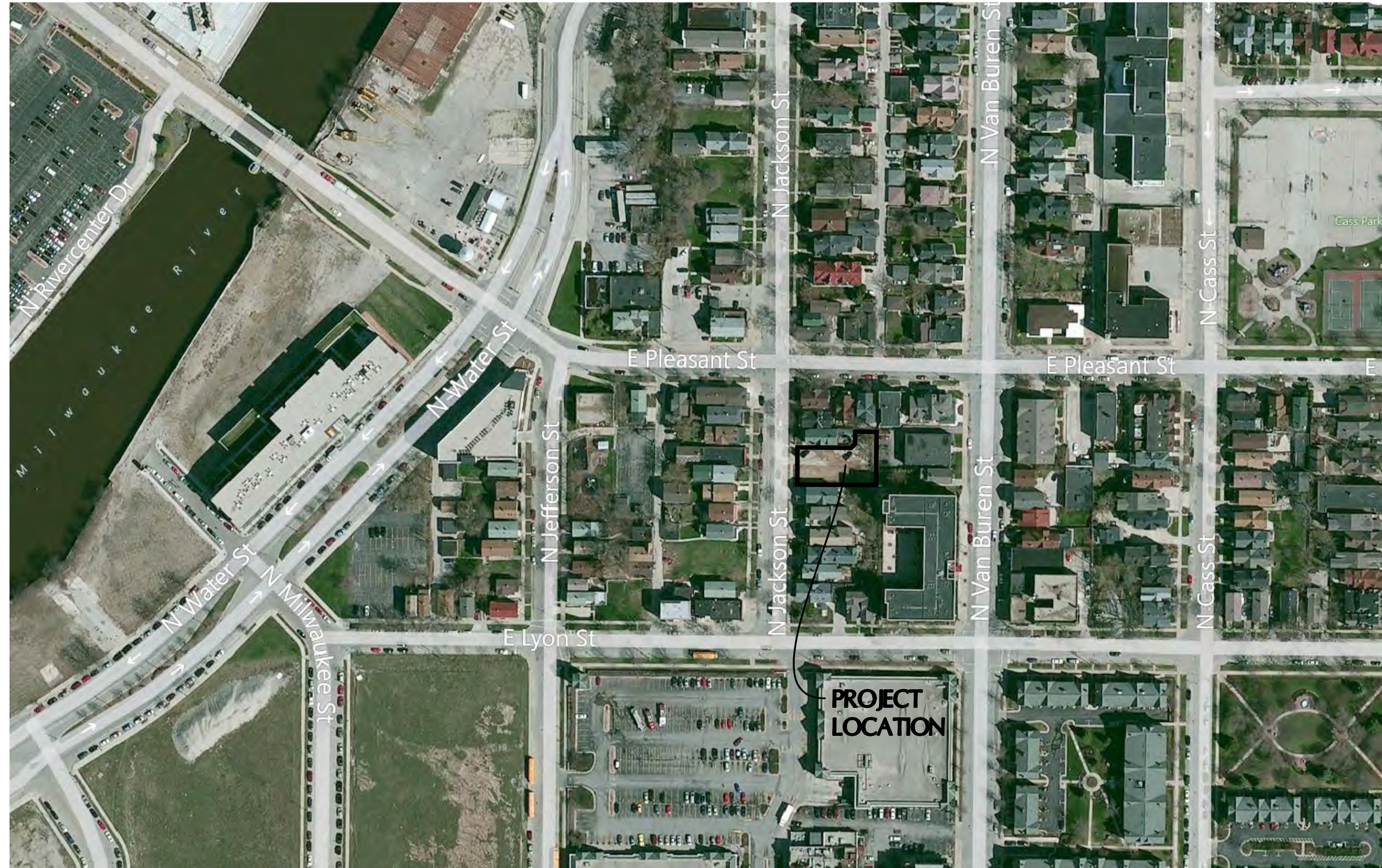
- SEE PLANS FOR EROSION CONTROL DETAILS & CONSTRUCTION SEQUENCE.
- THE PROPOSED BUILDING PROJECT WILL DISTURB APPROXIMATELY 0.2 ACRES OF LAND; THEREFORE, WDNR NR 151 AND NR 216 PERMITTING REQUIREMENTS ARE NOT APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY CONSTRUCTION SITE AND/OR EROSION CONTROL PERMITS FROM THE CITY OF MILWAUKEE.

### UTILITY NOTES:

- CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTE IS CLEAR (TO CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- CONTRACTOR SHALL PROVIDE NOTIFICATION TO UTILITY OWNERS (INCLUDING SEWER AND WATER) AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- ALL PROPOSED SANITARY SEWER SHALL BE SDR-35 PVC. ALL PROPOSED WATERMAIN PIPE SHALL BE C900 PVC FOR PIPE DIAMETERS OF 6" OR GREATER UNLESS OTHERWISE NOTED.
- ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR DRAIN PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
- SEE PLANS FOR ADDITIONAL UTILITY SPECIFICATIONS AND DETAILS.
- SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM 5 FEET FROM THE EXTERIOR WALL OF FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISH FLOOR ELEVATION (OR AS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER).

### LANDSCAPE NOTES:

- CONTRACTOR SHALL SEED, FERTILIZE AND MULCH LAWN AREAS AND DISTURBED AREAS AFTER COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL PRESERVE THE EXISTING STREET TREE FOR LATER RELOCATION UNLESS OWNER AUTHORIZES REMOVAL. OWNER AND/OR CONSTRUCTION MANAGER SHALL DIRECT CONTRACTOR ON THE EXTENT OF PERIMETER VEGETATION TO BE REMOVED AS PART OF THIS PROJECT.



## LOCALITY MAP

FRACTIONAL WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 22 EAST, OR GAMMON FLOAT, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN



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17700 W. CAPITOL DRIVE  
BROOKFIELD, WI 53045  
PHONE: (262) 790-1480  
FAX: (262) 790-1481  
EMAIL: jpudelko@trioengineering.com



**PROJECT:**  
**JACKSON APARTMENTS**  
N. 1530 JACKSON STREET  
Milwaukee, Wisconsin

**PLAN DATE:**  
**OCTOBER 13, 2011**

**JOB NUMBER:**  
**11023**

**DESCRIPTION:**  
**COVER SHEET**

**SHEET**

**T1**

## CIVIL PLAN SHEET LIST

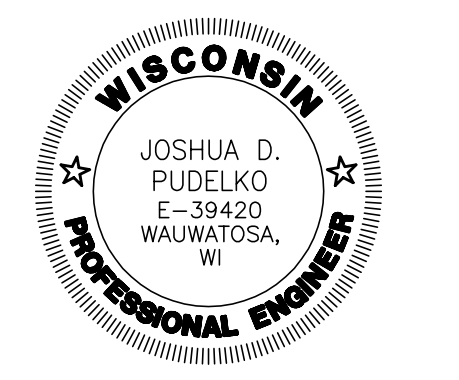
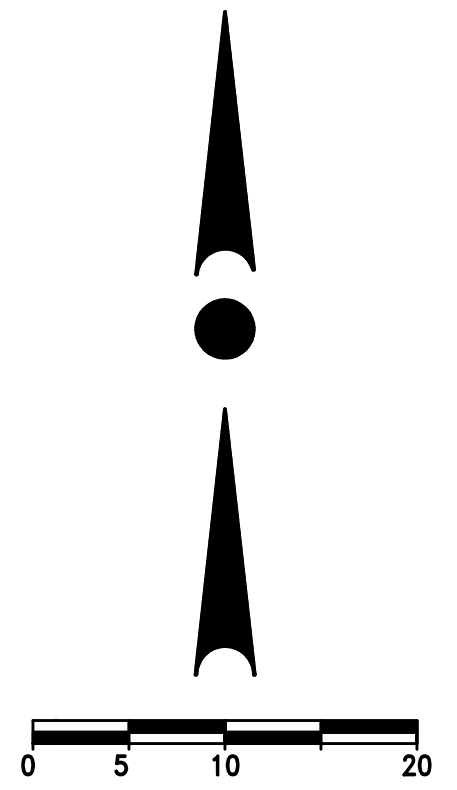
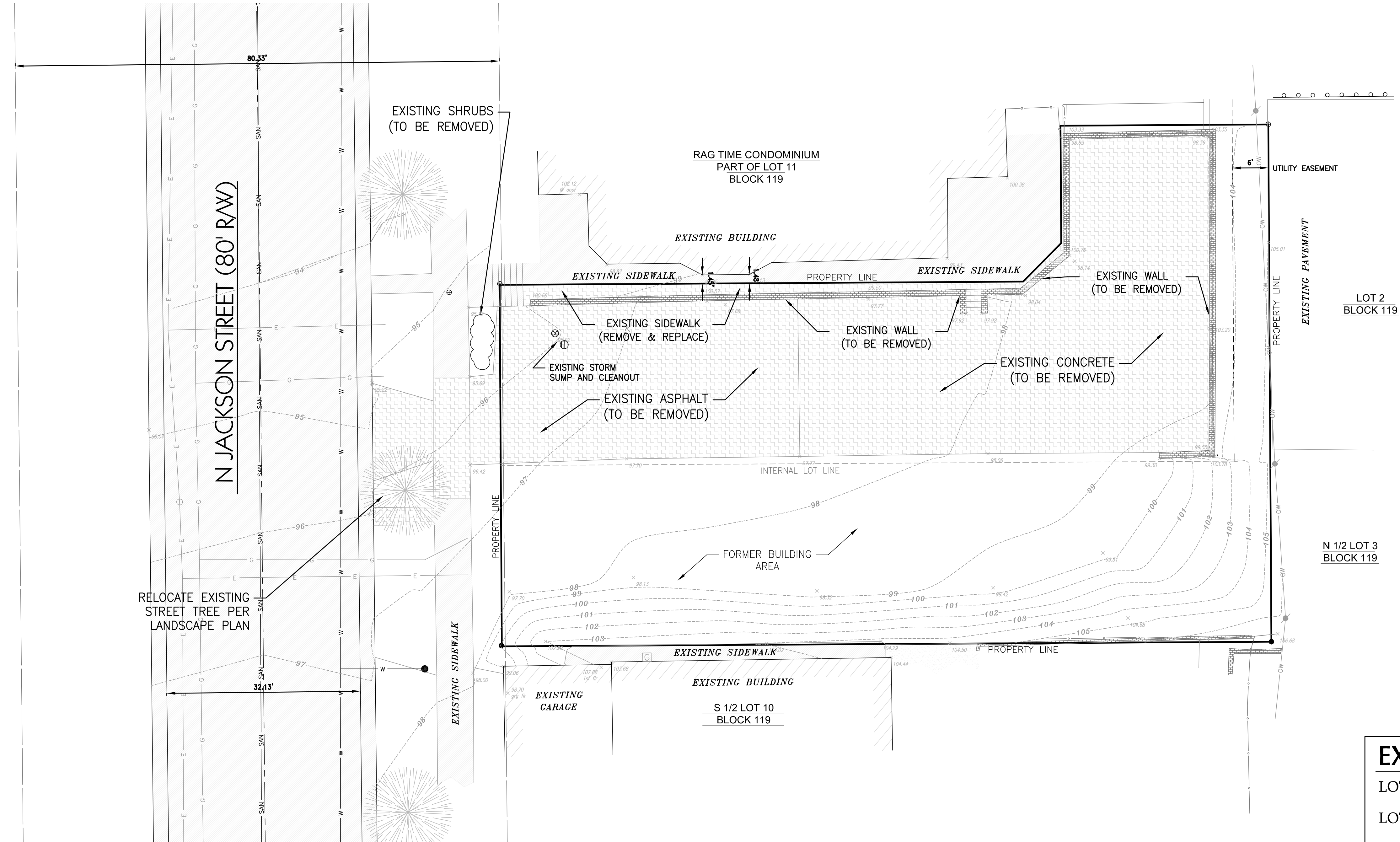
C1.0	-	EXISTING SITE PLAN
C1.1	-	PROPOSED SITE PLAN
C1.2	-	MASTER GRADING & EROSION CONTROL PLAN
C1.3	-	UTILITIES PLAN

# EXISTING SITE PLAN

TITLE COMMITMENT DESCRIPTION OF LANDS PER TITLE COMMITMENT NO. 1212563 PREPARED BY CHICAGO TITLE COMMITMENT COMPANY

Parcel A:  
 Tax Key No. 392-1757-100-x Address: 1532-1534 N Jackson Street  
 All that part of Lot 11, in Block 119, in the Map of the Fractional West 1/2 of the Southwest 1/4 of Section 21, Town 7 North, Range 22 East, or Gammon Float, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, bounded and described as follows:  
 Commencing at the Southwest corner of Lot 11 aforesaid; thence North along the West line of Lot 11 aforesaid, 30 feet to a point; thence East on a line parallel with the South line of Lot 11 aforesaid, 86.87 feet to a point; thence Northeast on a line at an angle of 45° with the last above described line, 9 feet to a point; thence North on a line parallel with the West line of Lot 11 aforesaid, 19.47 feet to a point; thence East on a line which is 4.17 feet south of and parallel with the North line of Lot 11 aforesaid, 34.48 feet to a point in the East line of said Lot; thence South along the East line of Lot 11 aforesaid, 55.83 feet to the Southeast corner of Lot 11 aforesaid; thence West along the South line of Lot 11 aforesaid, 127.71 feet to the place of commencement.

Parcel B:  
 Tax Key No. 392-1756-0 Address: 1530 N Jackson Street  
 The North 1/2 of Lot 10, in Block 119, in the Map of the Fractional West 1/2 of the Southwest 1/4 of Section 21 Town 7 North, Range 22 East, or Gammon Float, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.



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17700 W. CAPITOL DRIVE  
 BROOKFIELD, WI 53045  
 PHONE: (262) 790-1480  
 FAX: (262) 790-1481  
 EMAIL: jpudelko@trioengineering.com



**PROJECT:**  
**JACKSON APARTMENTS**  
 N. 1530 JACKSON STREET  
 Milwaukee, Wisconsin



**PLAN DATE:**  
**OCTOBER 13, 2011**


**JOB NUMBER:**  
**1023**

**DESCRIPTION:**  
**EXISTING SITE PLAN**

**SHEET**

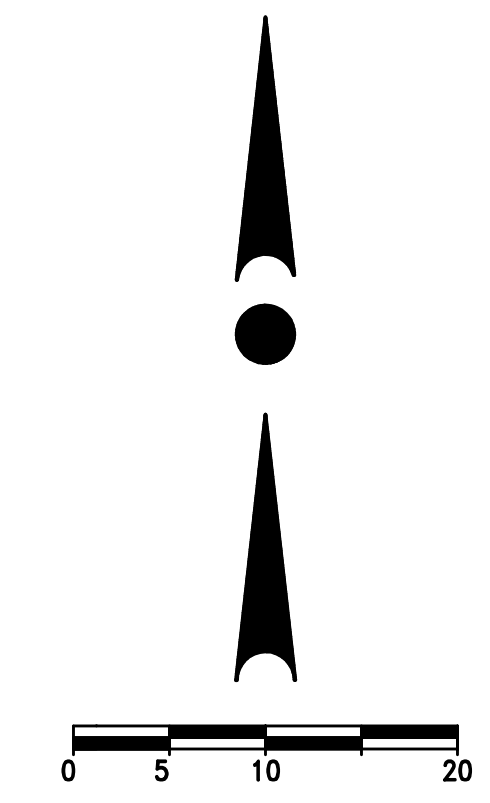
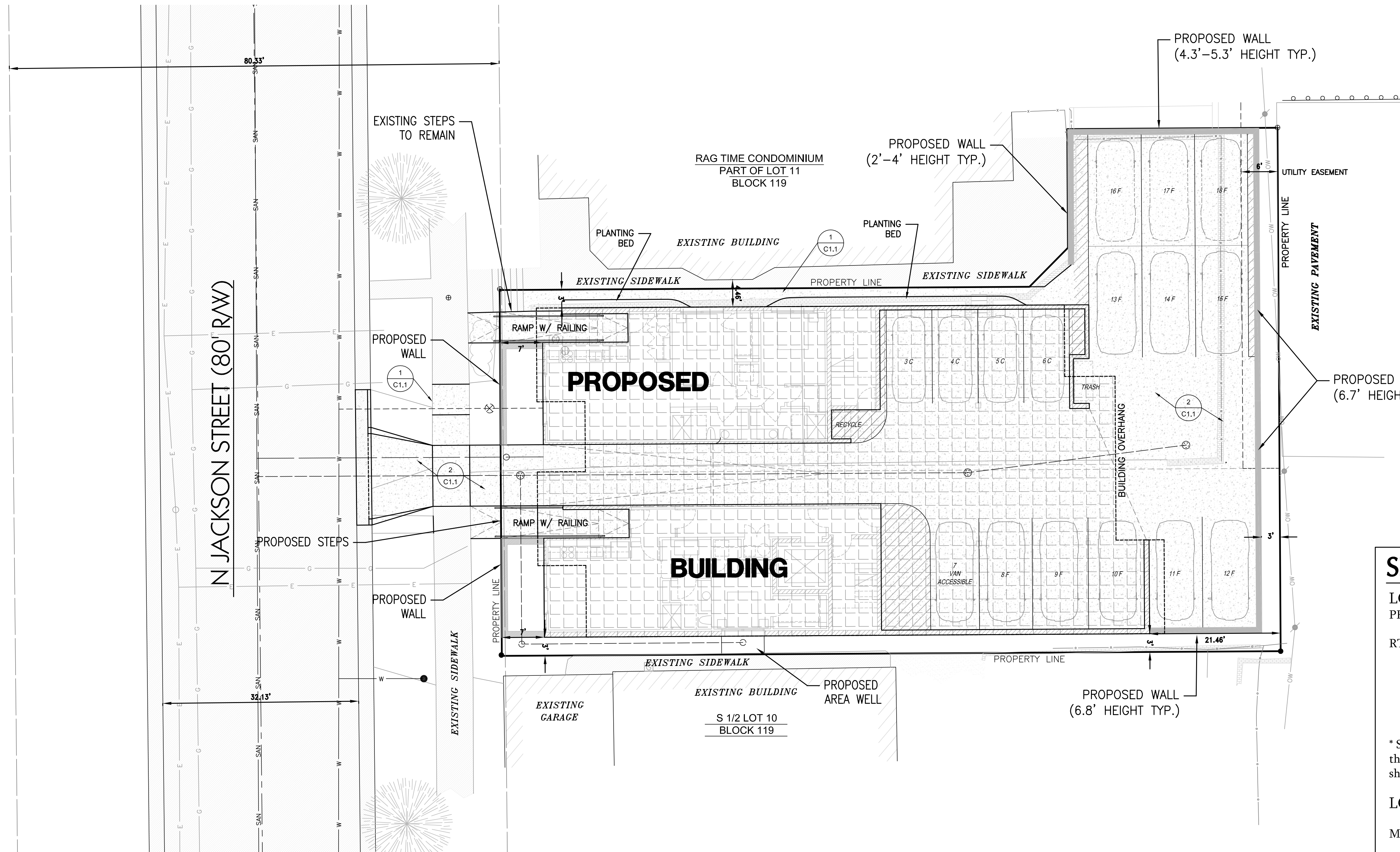
**C1.0**

EXISTING SITE DATA	
LOT ZONED:	RT4 District
LOT AREA:	8,573.34 S.F. (0.197 Acres)
EXISTING PAVEMENT & SIDEWALK	3,863 S.F. (0.0887 Acres) [45.1% of site]
FORMER BUILDING & SIDEWALK	±1,430 S.F. (0.0328 Acres)
TOTAL IMPERVIOUS AREA:	±5,293 S.F. (0.122 Acres) [61.7% of Site]
TOTAL OPEN SPACE:	3,280.34 S.F. (0.0753 AC.) [38.3% of Site]

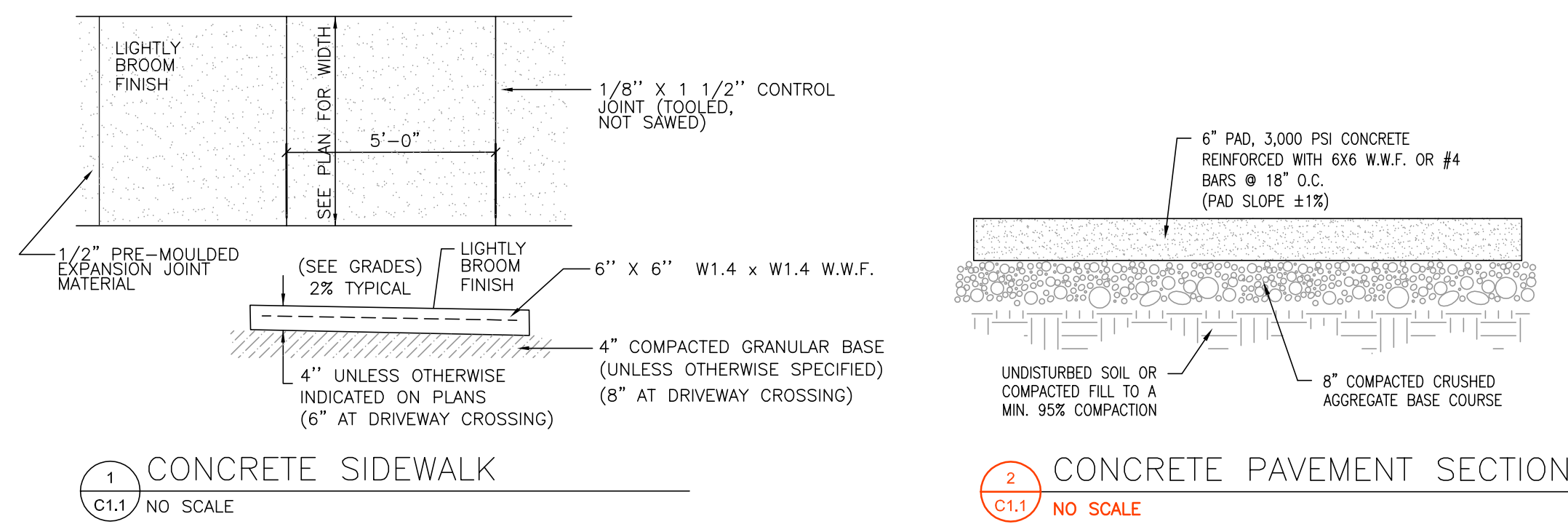
 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. **CALL DIGGERS HOTLINE 1-800-242-8511**

**NOTE:** EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

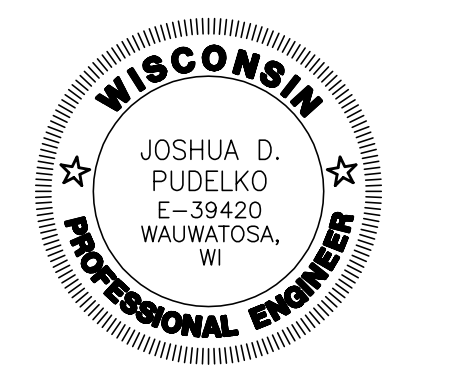
# PROPOSED SITE PLAN



SITE DATA	
LOT ZONED:	RT4 District
PROPOSED ZONING:	RT4 District with PUD Overlay
RT4 ZONING REQUIREMENTS:	Building Height (maximum) = 48' Lot Coverage (interior lot) = 70%* Front Setback (minimum) = average North or west side setback = 1.5' South or east side setback = 3.5' Combined side setback = 5' Rear Building setback = 15'
* Sec 295-05-2-i: The lot coverage standards set forth in table 295-05-2 relate to the proportion of a lot occupied by principal buildings. Accessory structures shall not be included when determining principal building lot coverage	
LOT AREA:	8,573.34 S.F. (0.197 Acres)
MAXIMUM BUILDING FOOTPRINT:	5,092.9 S.F. (0.117 Acres) [59.4% LOT COVERAGE*]
PROPOSED PAVEMENT & SIDEWALK:	
- OUTSIDE BUILDING:	2,350 S.F. (0.054 Acres) [27.4% of area]
- UNDER BUILDING (EXCLUDED):	2,590 S.F. (0.049 Acres)
TOTAL IMPERVIOUS AREA:	7,442.9 S.F. (0.171 Acres) [86.81% of Lot]
TOTAL OPEN SPACE:	1,130.44 S.F. (0.0260 AC.) [13.19% of Lot]
PARKING SPACES:	16 SPACES ON SITE



H:\C800\879\11023-01\CONSTRUCTION PLANS\CIVIL-1530 JACKSON STREET.DWG.C1.1 BY JOSH ON 10/17/2011 @ 11:39:54 AM



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17700 W. CAPITOL DRIVE  
BROOKFIELD, WI 53045  
PHONE: (262) 790-1480  
FAX: (262) 790-1481  
EMAIL: jpudelko@trioengineering.com



**PROJECT:**  
**JACKSON APARTMENTS**  
N. 1530 JACKSON STREET  
Milwaukee, Wisconsin

**PLAN DATE:**  
**OCTOBER 13, 2011**

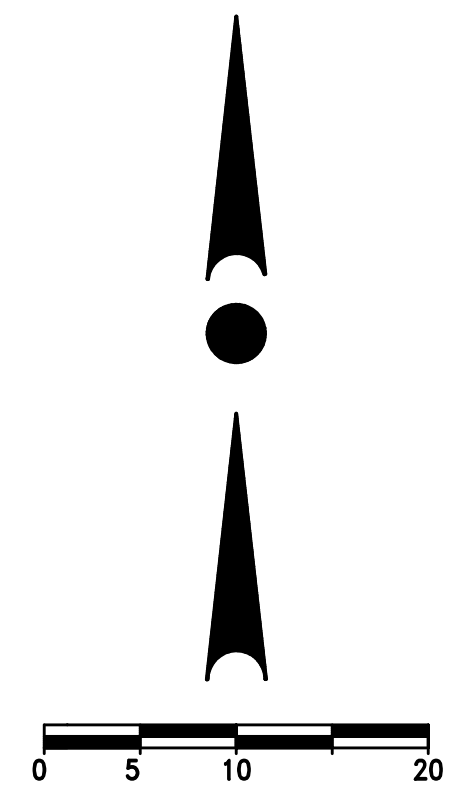
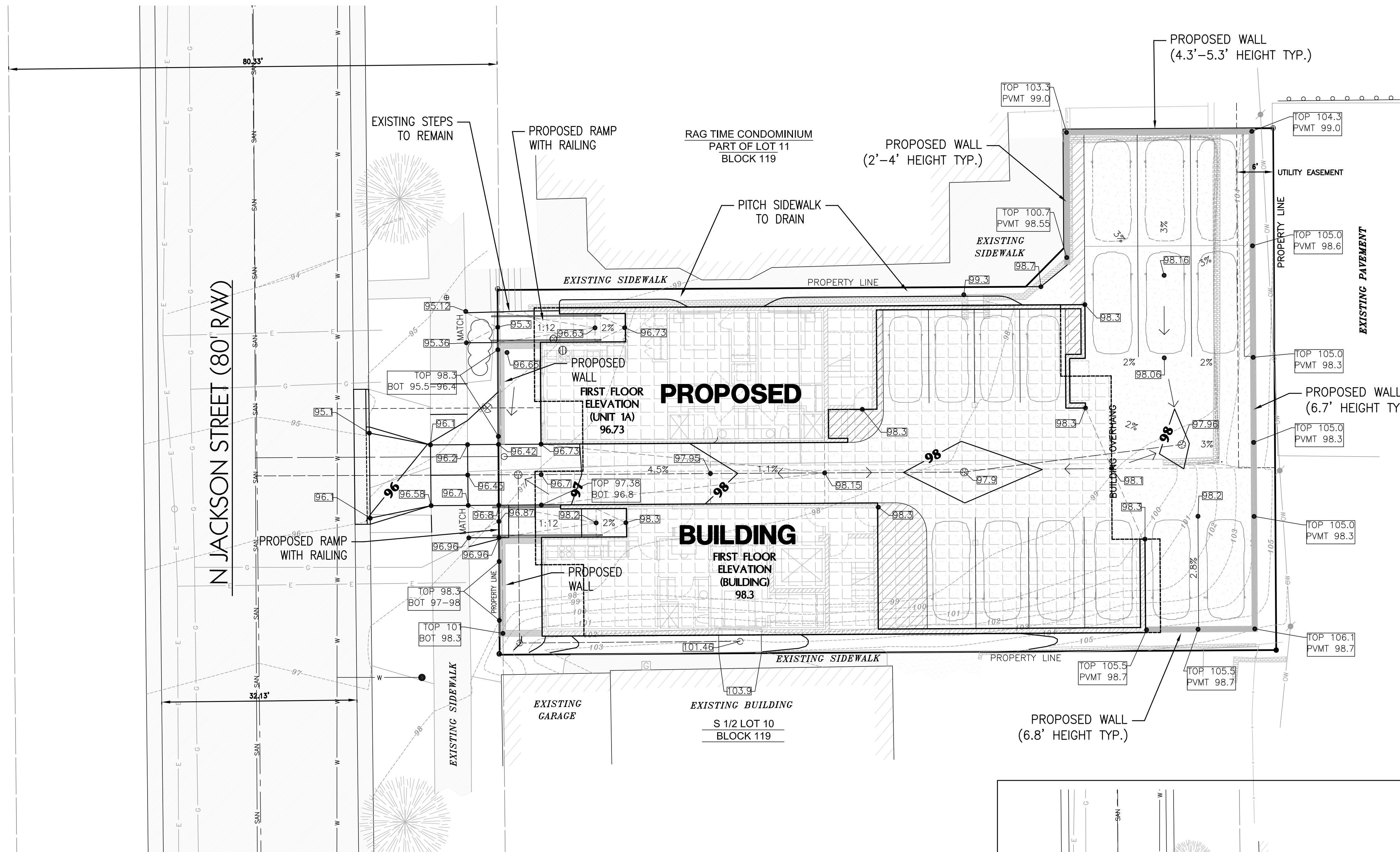
**JOB NUMBER:**  
**1023**

**DESCRIPTION:**  
**PROPOSED SITE PLAN**

**SHEET**

**C1.1**

# MASTER GRADING & EROSION CONTROL PLAN

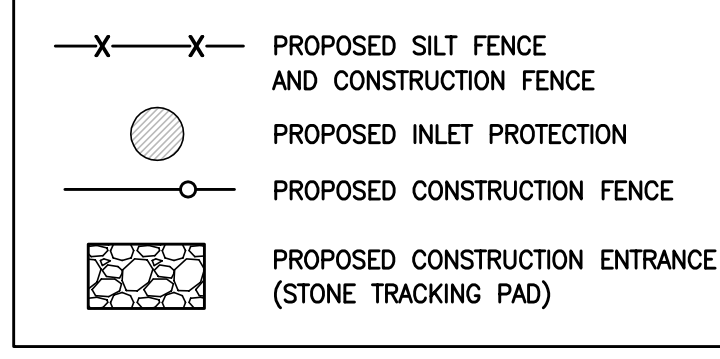


- CONSTRUCTION SEQUENCE PLAN**
1. INSTALL SILT FENCE, CONSTRUCTION FENCE AND TRACKING PAD.
  2. CLEAR AND GRUB PERIMETER VEGETATION AS REQUIRED FOR SITE CONSTRUCTION.
  3. REMOVE EXISTING ONSITE PAVEMENT AND WALLS AS NEEDED FOR BUILDING CONSTRUCTION.
  4. ROUGH GRADE SITE; IMPORTING FILL AS NEEDED. TOPSOIL, IF ENCOUNTERED, MAY BE STOCKPILED ON SITE AT CONTRACTOR'S PREFERRED LOCATION.
  5. INSTALL STORM SEWER (THRU BUILDING LIMITS, MINIMUM).
  6. CONSTRUCT BUILDING.
  7. INSTALL SANITARY SEWER AND WATER LATERALS. CONNECT STORM SEWER TO PUBLIC UTILITY. CONTACT CITY AND/OR MMSD PRIOR TO CONNECTING TO THE EXISTING SYSTEMS.
  8. INSTALL NEW GAS/ELECTRIC/TELEPHONE UTILITIES PER PLANS BY OTHERS.
  9. REMOVE EXISTING DRIVEWAY AND SIDEWALK SECTIONS
  10. CONSTRUCT LANDSCAPE/RETAINING WALLS PER PLAN.
  11. INSTALL STONE BASE, PAVEMENT AND SIDEWALK PER PLAN.
  12. SPREAD TOPSOIL, SEED, MULCH AND STABILIZE DISTURBED AREAS.
  13. INSTALL LANDSCAPING PER PLAN.
  14. REMOVE ANY REMAINING SILT FENCE AND CONSTRUCTION FENCE.
- NOTE THAT CONSTRUCTION MANAGER MAY MODIFY THIS SEQUENCE PLAN TO BEST SUIT THE NEEDS OF THE PROJECT.

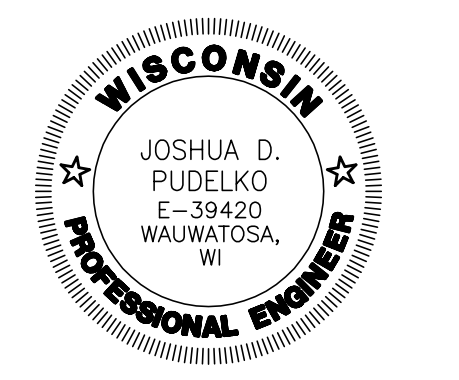
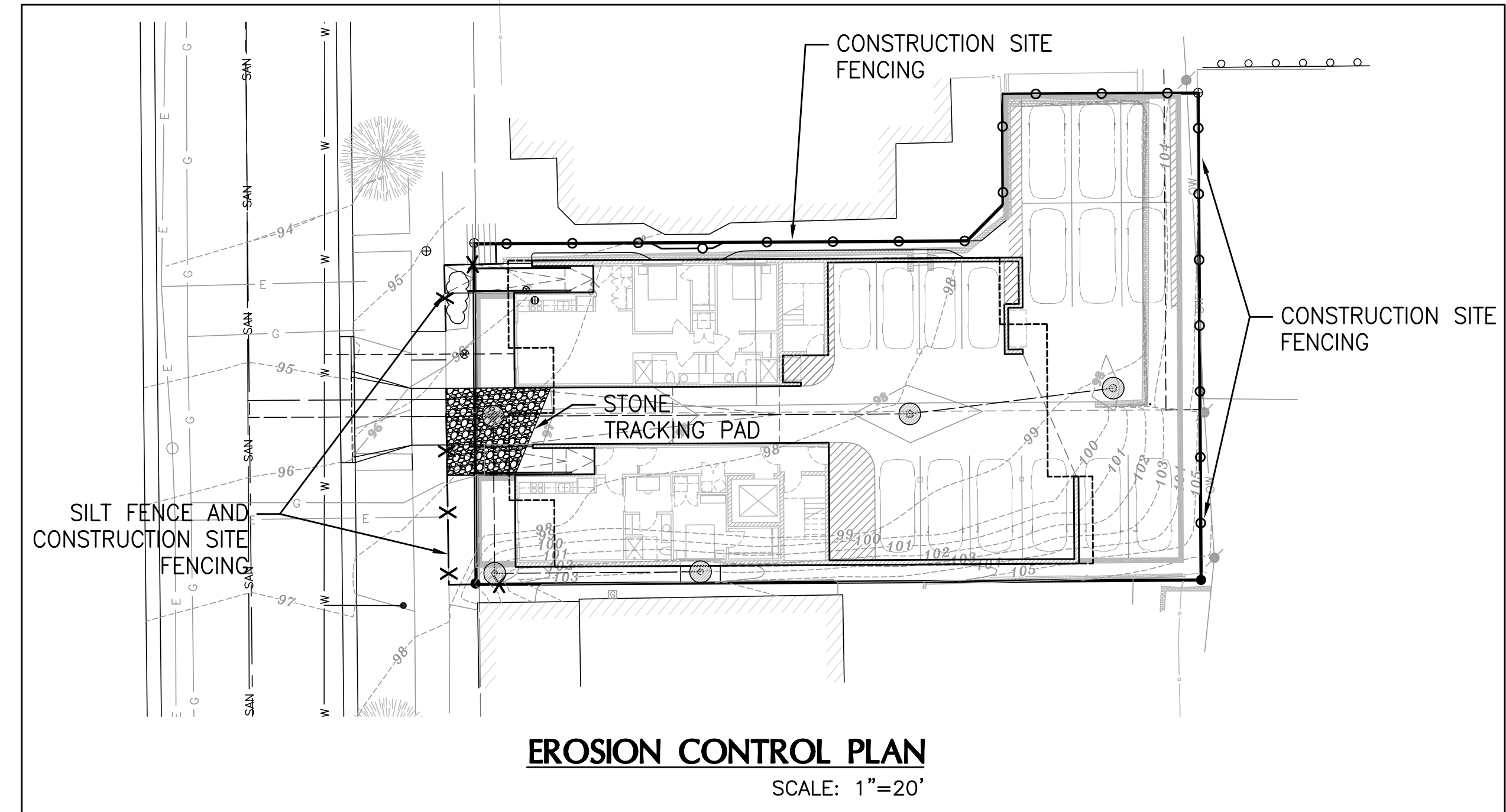
**EROSION CONTROL NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, STATE OF WISCONSIN, LATEST EDITION, UNLESS OTHERWISE CALLED FOR ON THE PLANS, SPECIFICATIONS OR SPECIAL PROVISIONS.
2. ALL EROSION CONTROL MEASURES SPECIFIED ON THIS PLAN SHALL MEET THE DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
3. ALL EROSION CONTROL DEVICES (I.E., SILT FENCE, GRAVEL ENTRANCE, ETC.), SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING OR UTILITY CONSTRUCTION.
4. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. REFER TO THE CONSTRUCTION SEQUENCING PLAN FOR ADDITIONAL INFORMATION.
5. THE OWNER IS RESPONSIBLE FOR OBTAINING A GRADING AND/OR EROSION CONTROL PERMIT (OR ANY OTHER APPLICABLE PERMITS) PRIOR TO CONSTRUCTION.
6. THE OWNER WILL PROVIDE ALL SURVEYING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR ADDITIONAL RESTAKING CAUSED BY CONTRACTOR'S NEGLIGENCE MAY BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE SUMS DUE HIM UNDER THIS CONTRACT.
7. THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE, ALL UTILITIES CITY DEPARTMENTS, AND GOVERNMENT UNITS WHOSE PROPERTY MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) DAYS BEFORE BREAKING GROUND. DIGGERS HOTLINE NUMBER IS 1-800-242-8511.
8. PUBLIC ROADS SHALL NOT BE CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE EXISTING AND/OR GRAVEL ENTRANCE TO THE PROPERTY.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT AND PUBLIC ROADWAYS DURING CONSTRUCTION PER THE REQUIREMENTS SET FORTH BY THE LOCAL AND COUNTY AGENCIES. STREETS SHALL BE KEPT FREE OF SILT OR DIRT TRACKED FROM AREAS UNDER CONSTRUCTION BY SWEEPING OR OTHER APPROPRIATE MEASURES. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING OR OTHER APPROPRIATE METHODS.
10. INLETS SHALL BE PROTECTED WITH A SILT FENCE EROSION BARRIER UNTIL THE FRAME AND GRATE HAS BEEN SET IN PLACE. SILT FENCE SHALL BE PLACED AROUND THE INLET STRUCTURE UNTIL SUCH TIME AS THE AREA HAS BEEN ESTABLISHED. FREQUENT INSPECTION AND TIMELY MAINTENANCE IS REQUIRED.
11. UPON COMPLETION OF THE WORK AS SPECIFIED, RESPREAD SIX (6") INCHES OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND PROVIDE SEED, FERTILIZER AND MULCH PER THE STANDARD SPECIFICATIONS.
12. ALL DISTURBED AREAS INSIDE AND OUTSIDE OF THE ROAD RIGHT OF WAY SHALL BE REVEGETATED WITHIN SEVEN DAYS AFTER BEING DISTURBED. HIGHWAY MIX #40 SHALL BE USED FOR SEEDING WITH AN APPLICATION RATE OF 2.5 LBS/1000 SF.
13. ALL EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND REPAIR BMP'S AS NEEDED.

**LEGEND**



**STANDARD DETAIL DRAWINGS:**  
 WISCONSIN DEPARTMENT OF NATURAL RESOURCES,  
 CONSERVATION PRACTICE STANDARD:  
 1056 - SILT FENCE  
 1057 - STONE TRACKING PAD AND TIRE WASHING  
 1060 - STORM DRAIN INLET PROTECTION



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17700 W. CAPITOL DRIVE  
 BROOKFIELD, WI 53045  
 PHONE: (262) 790-1480  
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 EMAIL: jpudelko@trioengineering.com



**PROJECT:**  
**JACKSON APARTMENTS**  
 N. 1530 JACKSON STREET  
 Milwaukee, Wisconsin

**PLAN DATE:**  
 OCTOBER 13, 2011

**JOB NUMBER:**  
 1023

**DESCRIPTION:**  
 MASTER GRADING  
 & EROSION  
 CONTROL PLAN

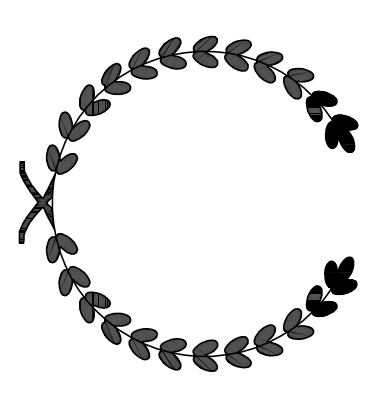
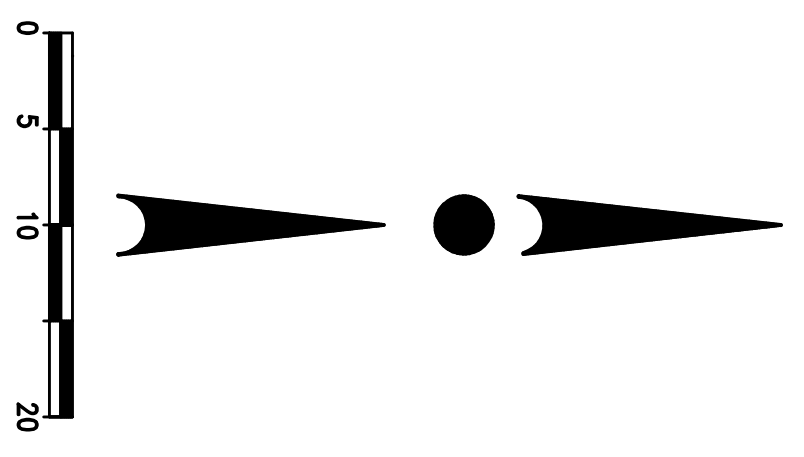
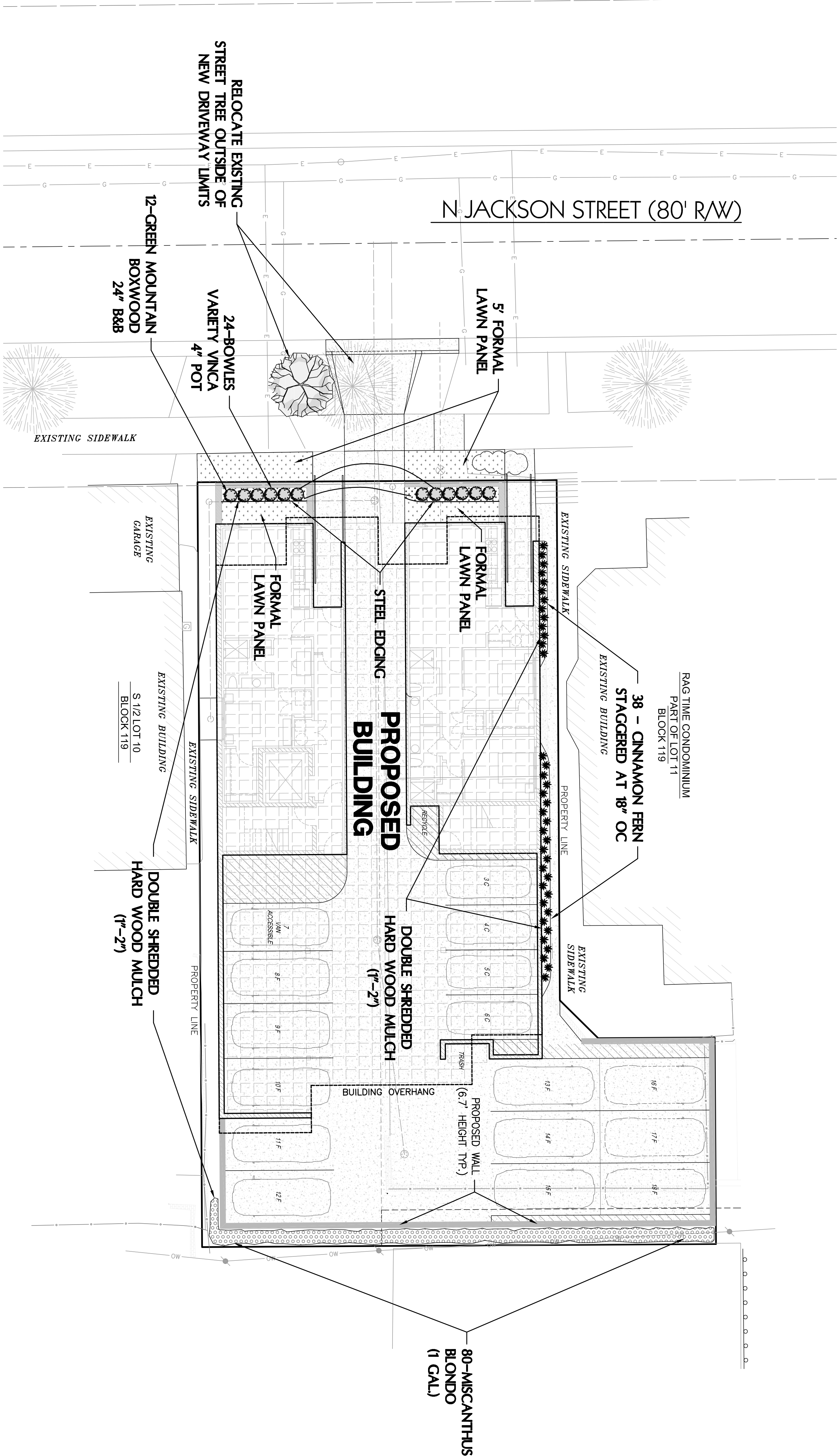
**SHEET**

**C1.2**





# PROPOSED LANDSCAPE PLAN



GARLAND ALLIANCE  
LANDSCAPE ARCHITECTS  
3707 N. RICHARDS ST., STE 200  
MILWAUKEE, WI 53212-1602  
PHONE: (414) 952-1602  
EMAIL: tim@garlandalliance.com



17700 W. CAPITOL DRIVE  
BROOKFIELD, WI 53045-580  
PHONE: (262) 790-1481  
FAX: (262) 790-1481  
EMAIL: jandeko@trioengineering.com



**PROJECT:**  
**JACKSON APARTMENTS**  
1530 N. JACKSON STREET  
CITY OF MILWAUKEE, WI

**PLAN DATE:**  
OCTOBER 13, 2011

**DATE:**


**JOB NUMBER:**  
11023

**DESCRIPTION:**  
PROPOSED  
LANDSCAPE  
PLAN





**SHEET**

**L1.0**

**FN 110583  
RT4 to DPD  
October 2011**

 Proposed Zoning Change





**Residential Districts**

-  Single Family (RS1-6)
-  Two-Family (RT1-4)
-  Multi-Family (RM1-7)
-  Residential and Office (RO1-2)

**Commercial Districts**

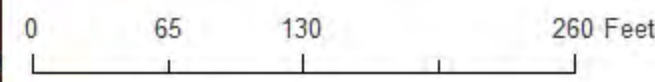
-  Neighborhood Shopping (NS1-2)
-  Local Business (LB1-2)
-  Commercial Service (CS)
-  Regional Business (RB1-2)
-  Central Business (C9A-C9H)

**Industrial Districts**

-  Industrial - Office (IO)
-  Industrial - Light (IL1-2)
-  Industrial - Mixed (IM)
-  Industrial - Heavy (IH)

**Special Districts**

-  Parks (PK)
-  Institutional (TL)
-  Planned Development (PD, DPD)
-  Redevelopment (RED)



Data source: Department of City Development 2011

Address of parcel(s): 1530 N. Jackson

### Affidavit for Zoning Change

1. POLICY (s. 295-313). Each applicant for a zoning map amendment or approval of a planned development, and each applicant for a use variance or special use permit, shall submit to the city plan commission or the board of zoning appeals, as the case may be, a signed affidavit indicating whether the applicant is: (NOTE: DISCLOSE ALL RELEVANT AND REQUIRED INFORMATION ON A SEPARATE SHEET AND ATTACH TO THIS SHEET UPON SUBMITTAL)

- a. Delinquent in the payment of any property tax, special assessment, special charge or special tax due to the city, provided that all appeals of the tax, assessment or charge have been concluded or the time to appeal has expired. YES  NO
- b. A party against whom the city has an outstanding judgment, provided that all appeals of the judgment have been concluded or the time to appeal has expired. YES  NO
- c. A party against whom the city has outstanding health or building and zoning code violations or orders from the commissioner of health or commissioner of neighborhood services that are not actively being abated, provided that all appeals of orders to correct violations have been concluded or the time to appeal has expired. YES  NO
- d. A party who has been convicted of violating an order of the commissioner of health or commissioner of neighborhood services within the past year, provided that all appeals of the conviction have been concluded or the time to appeal has expired. YES  NO
- e. The owner of premises found to be in violation of s. 80-10 to whom the commissioner of neighborhood services has charged the costs of police enforcement pursuant to s. 80-10-4, provided that all appeals of these charges have been concluded or the time to appeal has expired. YES  NO

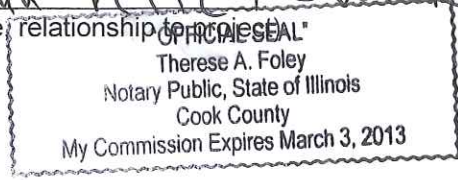
2. NON-INDIVIDUAL APPLICANTS

- a. Corporations. If the applicant is a corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation as well as each shareholder owning 5% or more of voting stock, fits any of the descriptions in sub. 1-a to e.
- b. Partnerships. If the applicant is a partnership or limited partnership, a duly authorized partner, general partner or limited partner shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each partner, general partner and limited partner fits any of the descriptions in sub. 1-a to e.
- c. Limited Liability Companies. If the applicant is a limited liability company, a duly authorized member or manager of the company shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each member and manager of the company fits any of the descriptions in sub. 1-a to e.
- d. Nonstock Corporations. If the applicant is a nonstock corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation fits any of the descriptions in sub. 1-a to e.

Dated at Chicago, IL, Wisconsin, this 15 day of August, 2011.

[Signature]  
Petitioner (signature)  
Elan Veltz, Owner  
(print name) relationship to project

Subscribed and sworn to before me  
This 15 day of August, 2011  
[Signature]  
Notary Public, State of Wisconsin  
My commission expires: 03-03-2013



Office Use Only: File no. 110583



523 EAST PLEASANT LLC  
523 E PLEASANT ST  
MILWAUKEE WI 53202

C DENTICE, A DENTICE, ROSE DENTICE  
305 W BIRCH AV  
MILWAUKEE WI 53217

DAVID I SCHAEFER  
1536 N JACKSON ST, #2  
MILWAUKEE WI 53202

5TH WARD DEVELOPMENT LLC  
347 E LINCOLN AV  
MILWAUKEE WI 53207

CARL K CARRAN, DEBORAH A CARRAN  
1205 WOODLAWN CIRCLE  
ELM GROVE WI 53122

DAVID NELSON, MARY ANN NELSON  
2206 E STRATFORD CT  
SHOREWOOD WI 53211

A & L MILITELLO TRUST  
2218 N 117TH ST  
MILWAUKEE WI 53226

CARMELLA M DENTICE, ANTHONY  
DENTICE  
1600 N JACKSON ST  
MILWAUKEE WI 53202

DAVID W NELSON, MARY ANN NELSON  
1533 N JACKSON ST  
MILWAUKEE WI 53202

ABC MANAGEMENT INC  
1487 W STILLWATER CT  
MEQUON WI 53092

CHAD M ANTHONY  
1515 N VAN BUREN ST #212  
MILWAUKEE WI 532022097

DORIS M BAUER  
1610 N JACKSON ST # A  
MILWAUKEE WI 53202

ANAND N SHRIDHARANI  
R RESHAMWALA  
1515 N VAN BUREN ST, #403  
MILWAUKEE WI 53202

CHARLES J GRAHAM  
1515 N VAN BUREN ST  
MILWAUKEE WI 53202

EDWARD ROEPSCH  
KRISTINE ROEPSCH  
600 E MASON ST #301  
MILWAUKEE WI 53202

ANEDEE B O'GORMAN  
1515 N VAN BUREN ST UNIT 204  
MILWAUKEE WI 53202

CHRISTOPHER M HUSS  
1515 N VAN BUREN ST, #508  
MILWAUKEE WI 532027502

ERIC S SCHMITT  
1540 N JACKSON ST  
MILWAUKEE WI 53202

ANTHONY PULLARA  
11321 N SHORECLIFF LN  
MEQUON WI 53092

CHUN LEE  
PO BOX 267  
HALES CORNERS WI 531300267

ERICA M. JAMES  
1515 N VAN BUREN ST UNIT 502  
MILWAUKEE WI 53202

ARNOLD MONCADA JR  
SANDRIA MONCADA  
1613 N VAN BUREN ST  
MILWAUKEE WI 53202

C-SYSTEMS INC  
2506 E MENLO BLVD  
SHOREWOOD WI 53211

FIELD ET AL C/O METRO INVEST  
3610 N OAKLAND AVE  
SHOREWOOD WI 532112267

BENEDICT P TRALONGO & GRACE  
1100 N CASS ST UNIT 309  
MILWAUKEE WI 532023382

DANIEL T SULLIVAN  
1515 N VAN BUREN ST UNIT 408  
MILWAUKEE WI 53202

HARTUNG TRUST DATED 8-17-07  
1515 N VAN BUREN ST, #512  
MILWAUKEE WI 53202

BRIAN J MEYER, KAYLA MEYER  
1515 N VAN BUREN ST UNIT 406  
MILWAUKEE WI 53202

DAVID A LUKACH  
5519 N DIVERSEY BL  
WHITEFISH BAY WI 532175202

HYUNSUNG E CHO, JENNIFER CHO  
1515 N VAN BUREN ST  
MILWAUKEE WI 53202

Use Avery 5960 110583



J L ZANOTTI, T L KLOCKOW-ZANOTTI  
1515 N VAN BUREN ST  
MILWAUKEE WI 53202

JOHN A ENDRIES  
3144 S 33RD ST  
MILWAUKEE WI 53215

KEVIN KOENIGS, MARSHA MCDONALD  
515 E PLEASANT ST  
MILWAUKEE WI 53202

JAMES JUSTIN DAVIS  
1523 N JACKSON ST  
MILWAUKEE WI 53202

JOHN N KUROWSKI  
1515 N VAN BUREN ST  
MILWAUKEE WI 53202

KRISTINA J TWYNING  
1515 N VAN BUREN ST #414  
MILWAUKEE WI 53202

JAMES W POWELL  
PO BOX 12  
LITTLESUAMICO WI 541410012

JOHN S BAKOWSKI  
614 E LYON ST  
MILWAUKEE WI 53202

LAURA CHRISTOPHER  
MICHAEL CHRISTOPHER  
1536 N JACKSON ST  
MILWAUKEE WI 53202

JARED M POTTER, MEGAN A POTTER  
1515 N VAN BUREN ST # 412  
MILWAUKEE WI 53202

JOHN WILLIAM VOGEL, CAROLYN VOGEL  
624 E PLEASANT ST  
MILWAUKEE WI 53202

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C/O METROPOLITAN TRUST  
1123 N ASTOR ST  
MILWAUKEE WI 53202

JEANNE M DORFF  
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MILWAUKEE WI 53202

JOSEPH K BITTORF, SARAH LESKOSEK  
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MILWAUKEE WI 53202

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5800 OWENSMOUTH AV, #65  
WOODLAND HILLS CA 91367

JEFF AXT, JOANNE AXT  
W154N11785 DANIELS DR  
GERMANTOWN WI 53022

JUDITH L WICK  
612 E LYON ST  
MILWAUKEE WI 532022008

MARILYN T WOOD MOORE  
W167 S6811 OAKHILL DR  
MUSKEGO WI 53150

JEFFREY P HALL  
370 W EVERGREEN AVE UNIT G  
CHICAGO IL 60610

JULIANNA L OLSON  
1515 N VAN BUREN ST, #207  
MILWAUKEE WI 53202

MARILYNN A RUCH  
1515 N VAN BUREN ST, #209  
MILWAUKEE WI 53202

JENNIE ALIOTO  
7641 N REGENT RD  
MILWAUKEE WI 53217

K EICHENBAUM, F EICHENBAUM  
9470 N BROADMOOR RD  
BAYSIDE WI 53217

MARK M PENTLER  
1515 N VAN BUREN ST UNIT 214  
MILWAUKEE WI 53202

JENNIFER A KORTH  
1515 N VAN BUREN ST #411  
MILWAUKEE WI 53202

K KOSOBUCKI, M KOSOBUCKI, M  
KOSOBUCKI  
1515 N VAN BUREN AVE # 202  
MILWAUKEE WI 53202

MARK RASMUSSEN  
1501 N JACKSON ST  
MILWAUKEE WI 53202

JEREMIE H TROCHU  
1515 N VAN BUREN ST # 401  
MILWAUKEE WI 53202

KAREN M ADWAN  
1515 N VAN BUREN ST #203  
MILWAUKEE WI 53202

MATTHEW WERNER, KARINA WERNER  
1505 N JACKSON ST  
MILWAUKEE WI 53202



MELISSA A TAN  
1515 N VAN BUREN ST #208  
MILWAUKEE WI 53202

PAUL M OCCHETTI, KRISTIN A CIBIK  
1515 N VAN BUREN ST #500  
MILWAUKEE WI 53202

S SCARDINA REV TR D 8 25 2005  
13775 KINSEY PARK DR  
BROOKFIELD WI 530057171

MICHAEL A WIRTH, MELISSA MEYER  
1515 N VAN BUREN ST #513  
MILWAUKEE WI 53202

PETER J WILDER, TERESA ZUBA  
1515 N VAN BUREN ST UNIT 511  
MILWAUKEE WI 53202

SANFORD RESTAURANT INC  
1547 N JACKSON ST  
MILWAUKEE WI 53202

MICHAEL L HECIMOVICH  
150 E JUNEAU AV #303  
MILWAUKEE WI 532022576

PRIYA SHETTY  
320 W 38TH ST APT 1726  
NEW YORK NY 10018

SISTERS OF CHARITY OF  
ST JOAN ANTIDA  
8560 N 76TH PL  
MILWAUKEE WI 53223

MICHAEL L RYAN, JUDITH RYAN  
1515 VAN BUREN AVE # 408  
MILWAUKEE WI 53202

RAYLYN PROPERTIES, LLC  
7804 W WISCONSIN AV  
MILWAUKEE WI 53213

ST RITA'S C/O ST HEDWIGS  
CONGREGATION  
1716 N HUMBOLDT AVE  
MILWAUKEE WI 53202

MICHAEL P DILLON  
1515 N VAN BUREN ST #501  
MILWAUKEE WI 53202

REBECCA GRASSL BRADLEY  
1515 N VAN BUREN ST #409  
MILWAUKEE WI 53202

SUZANNE M BOCK  
1506 N JACKSON ST  
MILWAUKEE WI 532022002

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1515 N VAN BUREN ST UNIT 507  
MILWAUKEE WI 53202

REBECCA L CAVANAUGH  
1515 N VAN BUREN ST #505  
MILWAUKEE WI 53202

TERRY M LUBAR  
1515 N VAN BUREN ST, #514  
MILWAUKEE WI 53202

NATHAN ALPERT  
1515 N VAN BUREN ST  
MILWAUKEE WI 53202

ROBERT E & JEAN R ANDREWS REV  
TRUST  
1515 N VAN BUREN ST  
MILWAUKEE WI 53202

THE FINK LIV TR D7 19 2008  
1515 N VAN BUREN ST UNIT 413  
MILWAUKEE WI 53202

PAMELA C HAHLEBECK  
1515 N VAN BUREN ST  
MILWAUKEE WI 53202

ROBERT F ZELLMER  
2945 N OAKLAND AV  
MILWAUKEE WI 53211

THOMAS A AND MARY LABUS  
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MILWAUKEE WI 53202

PASQUALE P MIGLIACCIO  
TATIANA MIGLIACCIO  
1515 N VAN BUREN  
MILWAUKEE WI 53202

RON REDMERSKI  
1515 N VAN BUREN ST, #503  
MILWAUKEE WI 53202

THOMAS STRELKA, SOPHIA TOPETZES  
1515 N VAN BUREN ST, #205  
MILWAUKEE WI 53202

PATRICK C PAOLANTONIO  
1515 N VAN BUREN ST #206  
MILWAUKEE WI 53202

RUDY GUDGEON  
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2462 N MURRAY AVE  
MILWAUKEE WI 53211

WALTER W HERMANN III  
1510 N JACKSON ST  
MILWAUKEE WI 532022002

WIRED JACKSON LLC  
1530 N PAULINA LANE  
CHICAGO IL 60622

JOEL AGACKI  
STRIEGEL AGACKI STUDIO  
1615 N 51ST STREET  
MILWAUKEE WI 53208

ELAN PELTZ  
1528 N PAULINA, UNIT A  
CHICAGO IL 60622



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**From:** Blair Williams <[blair@wiredproperties.com](mailto:blair@wiredproperties.com)>  
**Date:** October 19, 2011 2:17:40 PM CDT  
**To:** "[nkovac@milwaukee.gov](mailto:nkovac@milwaukee.gov)" <[nkovac@milwaukee.gov](mailto:nkovac@milwaukee.gov)>  
**Subject:** 1530 Jackson Apartments

Nik,

I'd like to express my strong support for the proposed development at 1530 N. Jackson St. As you may know, I originally purchased that property nearly 5 years ago and we received approvals for a condominium development on the site. As the broader markets deteriorated, we chose not to execute on that plan. During that time, Elan Peltz and I dissolved our business partnership and no longer work together.

That said, I have seen the renderings and understand the plan as proposed. I believe the proposed development is a terrific fit for the neighborhood, and it is a testament to the developer that he is able to get it done in this environment. I understand there may be some opposition to density and parking. I can speak from my own personal experience when I say that without density and some economies of scale, development in this financial climate can be untenable.

That said, I believe the proposed development is appropriate under any economic conditions. It represents a very high level of design and will offer extremely high quality housing in a neighborhood that merits that level of investment. Its assessed value will add substantially to the tax rolls, and its new occupants will bring their disposable income and emotional investment in the neighborhood to bear on the immediate community. I also believe it is scaled appropriately.

In short, I urge the Council to approve the development.

Thank you for your consideration.

Blair W. Williams  
*President*  
4526 N. Oakland Ave.  
Milwaukee, WI 53211

414.803.9699 (*mobile*)  
888.877.9672 (*fax*)  
[www.wiredproperties.com](http://www.wiredproperties.com)  
[www.cornerstoneshorewood.com](http://www.cornerstoneshorewood.com)



Thursday, July 21, 2011

RE: Apt Project 1530 Jackson-Support Letter

To Whom It May Concern:

I am writing on behalf of Ragtime Condos at 1536 N Jackson Street. My husband, Michael Christopher, and myself own unit #1 and David Schaefer owns unit #2 and #3. There are only 3 units in the condo building. We have owned our condos and resided in them since 2001.

We write you to express our support for the project. We live next door to the Elan Peltz site and have known Mr. Peltz for many years. We believe his apartment project serving young professionals will be a great addition to the area.

Please feel free to contact me if you have any questions or concerns.

Regards,

Laura Christopher  
Personal Email: [ljm5qsi@hotmail.com](mailto:ljm5qsi@hotmail.com)  
Cell Phone: 414 698 6308

Laura and Michael Christopher  
David Schaefer

Ragtime Condos  
1536 N Jackson St.  
Unit #1, #2 and #3  
Milwaukee, WI 53202

**From:** Sanford or Angie D'Amato <[sanfordrestaurant@wi.rr.com](mailto:sanfordrestaurant@wi.rr.com)>  
**Date:** July 31, 2011 10:00:30 AM CDT  
**To:** "[nkovac@milwaukee.gov](mailto:nkovac@milwaukee.gov)" <[nkovac@milwaukee.gov](mailto:nkovac@milwaukee.gov)>  
**Cc:** "[gfuhr@milwaukee.gov](mailto:gfuhr@milwaukee.gov)" <[gfuhr@milwaukee.gov](mailto:gfuhr@milwaukee.gov)>  
**Subject:** 1530 Jackson Street Support

**TO:** Alderman Kovac

**FROM:** Angie & Sanford D'Amato  
Sanford Restaurant  
1547 North Jackson, Milwaukee

**DATE:** August 1, 2011

**SUBJECT:** SUPPORT: 1530 JACKSON STREET APARTMENT  
**PROJECT**

Dear Alderman Kovac:

We have lived on Jackson Street and owned Sanford Restaurant for over 21 years. Sanford is located across from Elan Peltz's proposed apartment site.

We support his project and believe his vision will be a wonderful addition to the area. We believe that his development objectives of small in-fill development, as in the case of his award winning project on Brady Street, are catalytic for the area and we look forward to seeing his 1530 Jackson Apartment Project!

Thanks Kindly,

Angie & Sanford D'Amato  
Sanford Restaurant

**From:** Alby <[eco\\_poet@yahoo.com](mailto:eco_poet@yahoo.com)>

**Date:** October 24, 2011 11:55:39 AM CDT

**To:** "[aide3@milwaukee.gov](mailto:aide3@milwaukee.gov)" <[aide3@milwaukee.gov](mailto:aide3@milwaukee.gov)>, Nic Kovac <[nkovac@milwaukee.gov](mailto:nkovac@milwaukee.gov)>

**Subject:** **I Support 1530 Jackson Apartment Project**

Dear Alderman Kovac:

I am just writing an email of support for the project at 1530 Jackson. The project will enhance the neighborhood and has my full support.

Albert Van Alyea

PROOF OF PUBLICATION

STATE OF WISCONSIN } S.S.  
MILWAUKEE COUNTY }

C. No. 39  
FILE NUMBER 110583  
OFFICIAL NOTICE

Published by Authority of  
the  
Common Council of the City  
of Milwaukee  
Office of the City Clerk

Notice is hereby given that an ordinance that was introduced at the September 1, 2011 meeting of the Milwaukee Common Council, the essence of which is as follows:

A substitute ordinance relating to a change in zoning from Two-Family Residential to a Detailed Planned Development known as Jackson Apartments for residential development, on land located on the east side of North Jackson Street, south of East Pleasant Street, in the 3rd Aldermanic District.

The Mayor and Common Council of the City of Milwaukee ("Common Council"), do ordain as follows:

Part 1. There is added to the Milwaukee Code of Ordinances ("Code") a new section to read as follows:

Section 295.907(2)(c).0177.

(1) In accordance with the provisions of Section 295.907 of the Code relating to the establishment of planned development districts, the Common Council approves the subject Detailed Planned Development, a copy of which is attached to this Common Council File as Exhibit A which is on file in the office of the City Clerk and made a part as though fully set forth herein.

(2) The zoning map is amended to change the zoning for the property located at 1530 North Jackson Street, Tax Key No. 392-1759-100, from Two-Family Residential (RT4) to Detailed Planned Development (DPD).

(3) The requirements set forth in said detailed plan attached to this Common Council File as Exhibit A, constitute the zoning regulations for the area contained in such planned development district described

provided further, that the effect of the approval of such detailed plan is that such plan shall limit and control construction, location, use and operation of all land and structures included within the detailed plan, to all conditions and limitations set forth in such detailed plan.

Part 2. Any person, firm, company or corporation owning, controlling or managing any building or premises wherein or whereon there shall be placed or there exists anything in violation of the terms of this ordinance, or who shall build contrary to the plans or specifications submitted to and approved by the Commissioner of the Department of City Development or any person, firm, company or corporation who shall omit, neglect or refuse to do any act required in this ordinance shall be subject to the penalties provided in Section 200.19 of the Code.

Part 3. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions. The Common Council declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase or portion irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases or other portions be declared void or invalid.

Notice is hereby further given that the foregoing matter will be given a public hearing by the Committee on Zoning, Neighborhoods and Development in Room 301B, City Hall, 200 East Wells Street, Milwaukee, Wisconsin on Tuesday, October 25, 2011 at 9:00 A.M. pursuant to the provision of Sub-Section (7)(d) of Section 62.23 of the Revised Statutes of the State of Wisconsin.

PLEASE NOTE: a) Members of the Common Council and members of its Standing Committees who are not members of this Committee may attend this meeting to participate or to gather information. Therefore, notice is given that this meeting may constitute a meeting of the Common Council or any of its Standing Committees, and must be noticed as such, although they will not take any formal action at this meeting.

b) If you have difficulty with the English language, you may bring an interpreter with you, at your own expense, so that you can answer questions and participate in the hearing.

c) Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language, interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at 286-2998, (FAX) 286-3456, (TDD) 286-2025 or by writing to the ADA Coordinator at Room 205, City Hall, 200 E. Wells Street, Milwaukee, WI 53202.

d) Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in Room 205 (City Clerk's Office) or the first floor information Booth in City Hall.

Ann Richmond, being the first duly sworn on oath, says that she is the title of THE DAILY REPORTER, which is a public newspaper of general circulation, printed and published daily in the English language in the City of Milwaukee, in said county, and fully complying with the laws of Wisconsin, relating to the publication of legal notices; that the notice of which the printed one attached is a true copy, which was clipped from the said newspaper, was inserted and published in said newspaper on

Oct. 10, 2011 Oct. 17, 2011

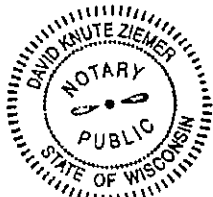
*Ann Richmond*

Ann Richmond

Sworn to me this 17th day of October 2011

*David Ziemer*

David Ziemer  
Notary Public, Milwaukee County, Wisconsin  
My Commission Is Permanent



PROOF OF PUBLICATION

Customer: 10003537/City Of Milwaukee - City Clerk

**From:** Alby <[eco\\_poet@yahoo.com](mailto:eco_poet@yahoo.com)>

**Date:** October 24, 2011 11:55:39 AM CDT

**To:** "[aide3@milwaukee.gov](mailto:aide3@milwaukee.gov)" <[aide3@milwaukee.gov](mailto:aide3@milwaukee.gov)>, Nic Kovac <[nkovac@milwaukee.gov](mailto:nkovac@milwaukee.gov)>

**Subject: I Support 1530 Jackson Apartment Project**

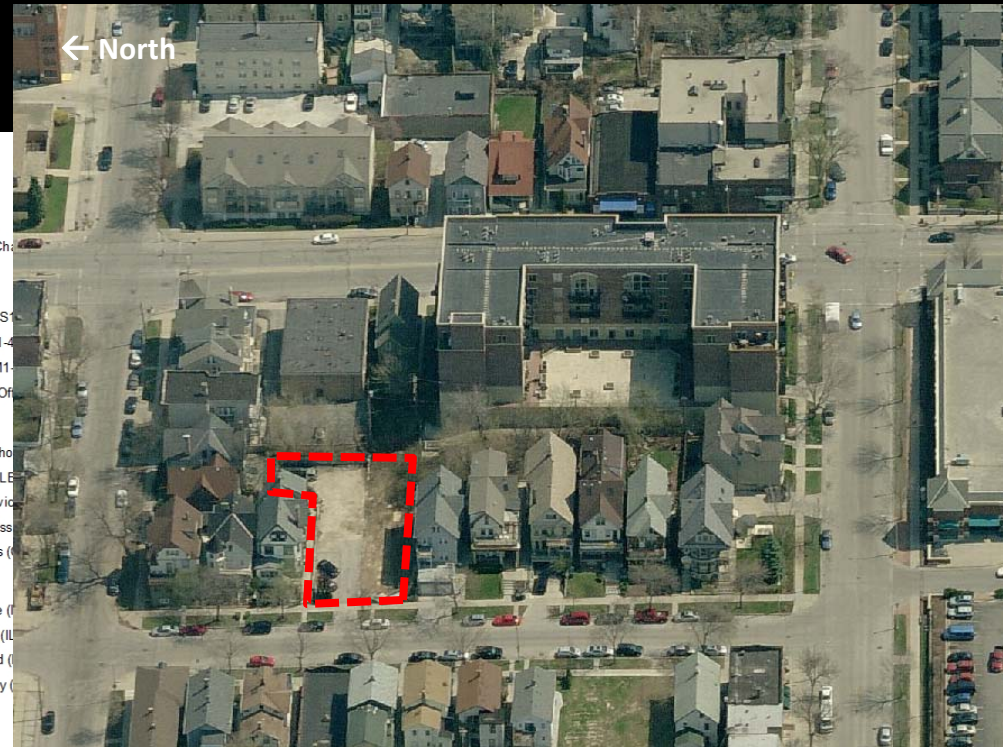
Dear Alderman Kovac:

I am just writing an email of support for the project at 1530 Jackson. The project will enhance the neighborhood and has my full support.

Albert Van Alyea

# 1530 North Jackson Street

File No. 110583. A substitute ordinance relating to a change in zoning from Two-Family Residential to a Detailed Planned Development known as Jackson Apartments, for residential development, on land located on the east side of North Jackson Street, south of East Pleasant Street, in the 3rd Aldermanic District. This file will allow for the construction of 14 residential units on the site.



# 1530 North Jackson Street

Jackson Apartments DPD *Site Photos*





# 1530 North Jackson Street

## Jackson Apartments DPD *Context Photos*



**JACKSON STREET: WEST SIDE ACROSS FROM SITE**



**JACKSON STREET: EAST SIDE ADJACENT TO 1530**



# 1530 North Jackson Street

## Jackson Apartments DPD

### Original DPD Proposal - 2007



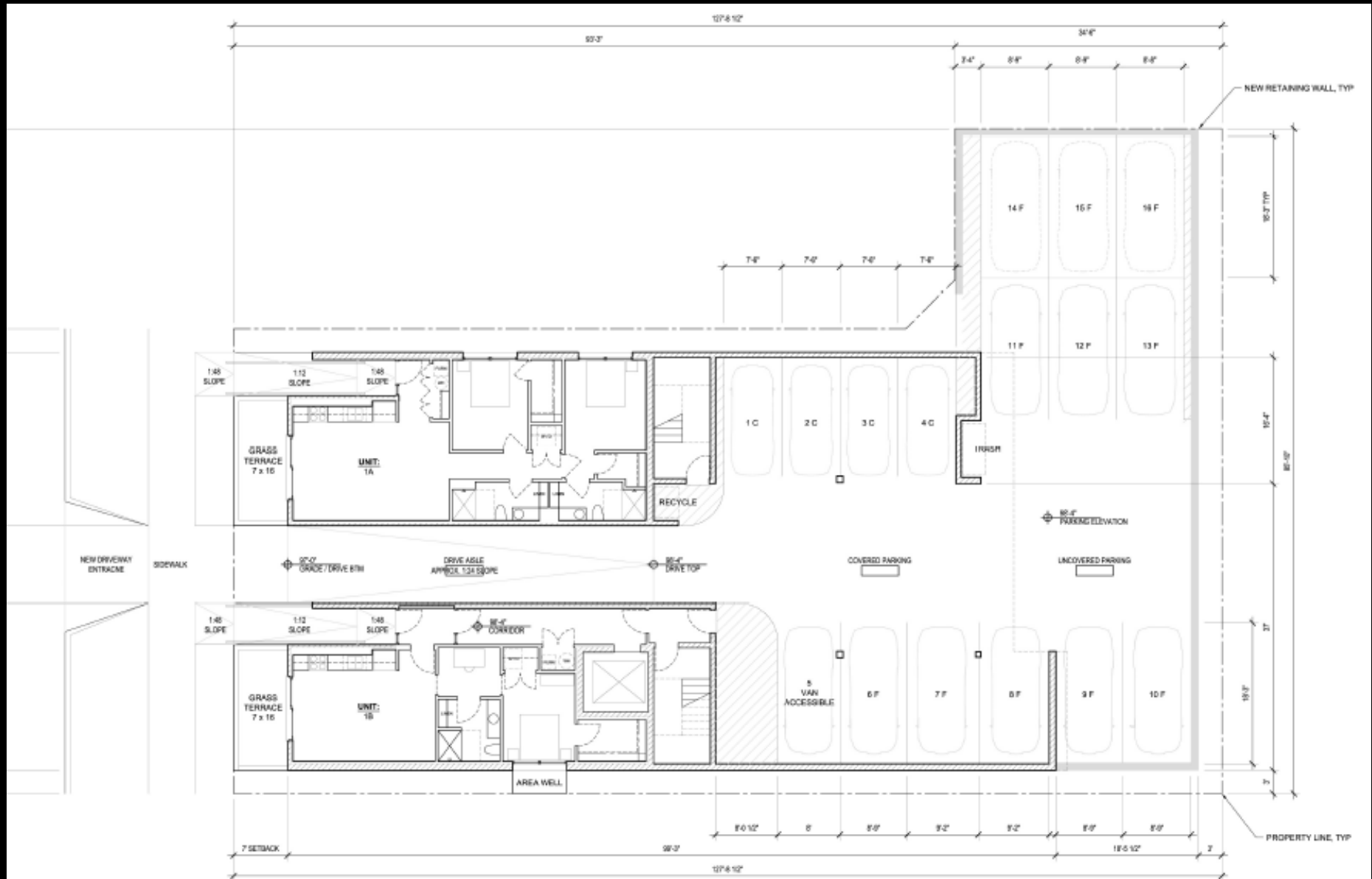
Zoning Change:      Council Approval:  
RT4 to DPD              9/27/07

DPD to RT4              05/04/10

RT4 to DPD              In Process

# 1530 North Jackson Street

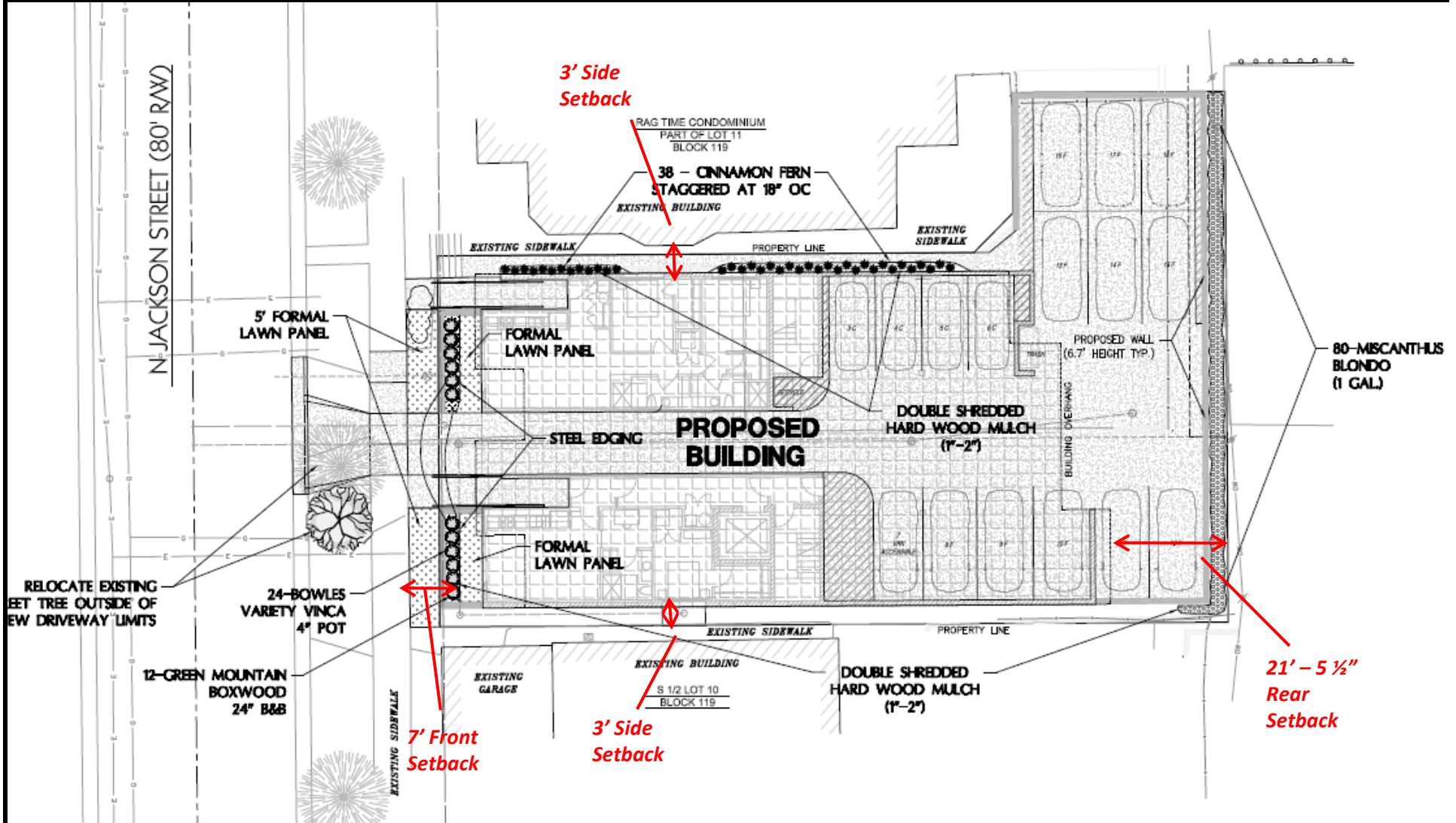
## Jackson Apartments DPD Proposed Site Plan





# 1530 North Jackson Street

## Jackson Apartments DPD Proposed Landscape Plan



# 1530 North Jackson Street

## Jackson Apartments DPD Parking



### Zoning code requirements:

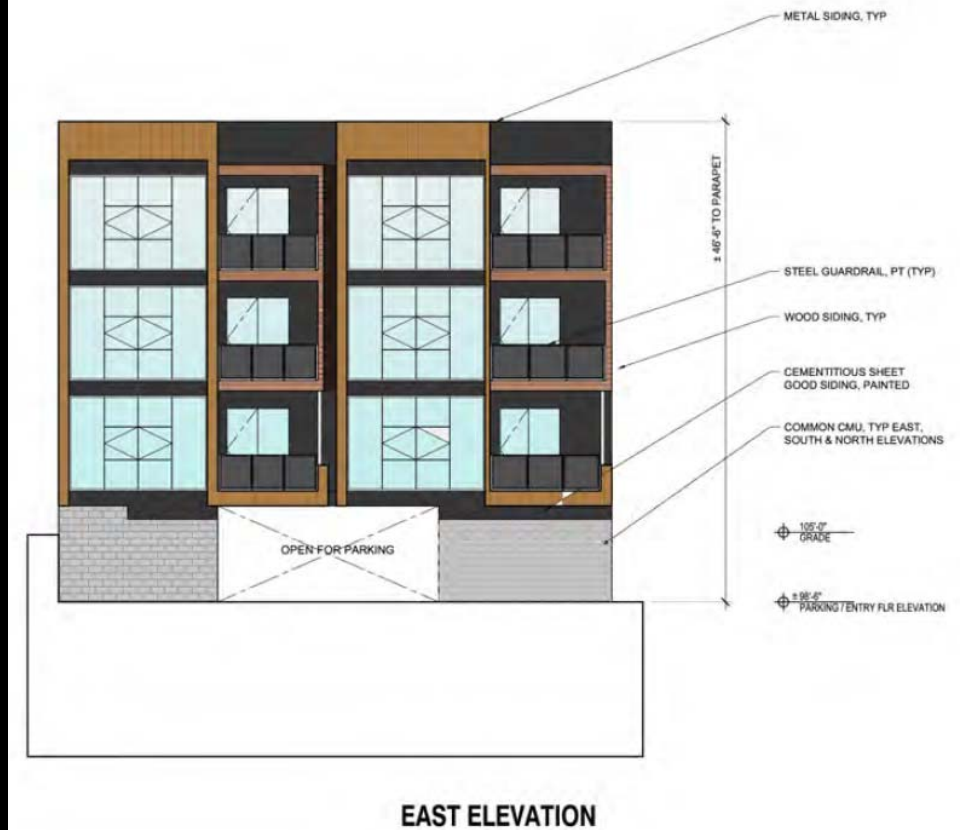
- Based on the ratio of 2 parking spaces to 3 residential units, code requires 10 off-street parking spaces for 14 units.
- After bonus for location w/in 1,000 feet of a bus route and credit for 2 on-street spaces immediately adjacent to the site, a total of 6 off-street parking spaces is required.

### 1530 N. Jackson proposal:

- Total of 16 off-street parking spaces will be provided, 4 of which will be used by the 2-unit condominium to the north.
- 12 off-street parking spaces will be available for the residents of the site. 3 of these parking spaces will be stacked.

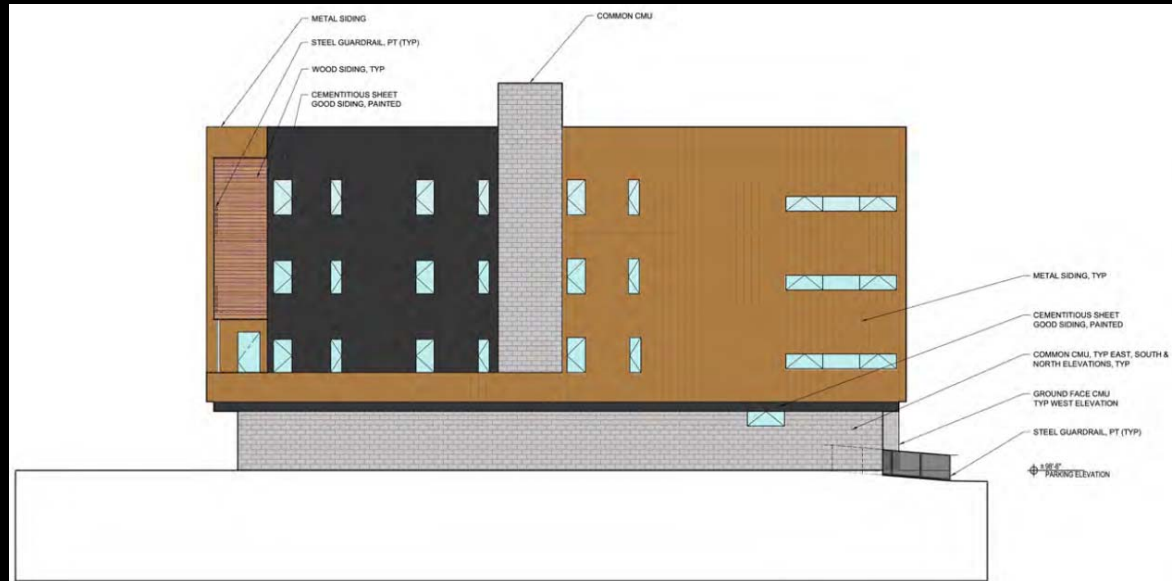
# 1530 North Jackson Street

## Jackson Apartments DPD Front and Rear Elevations

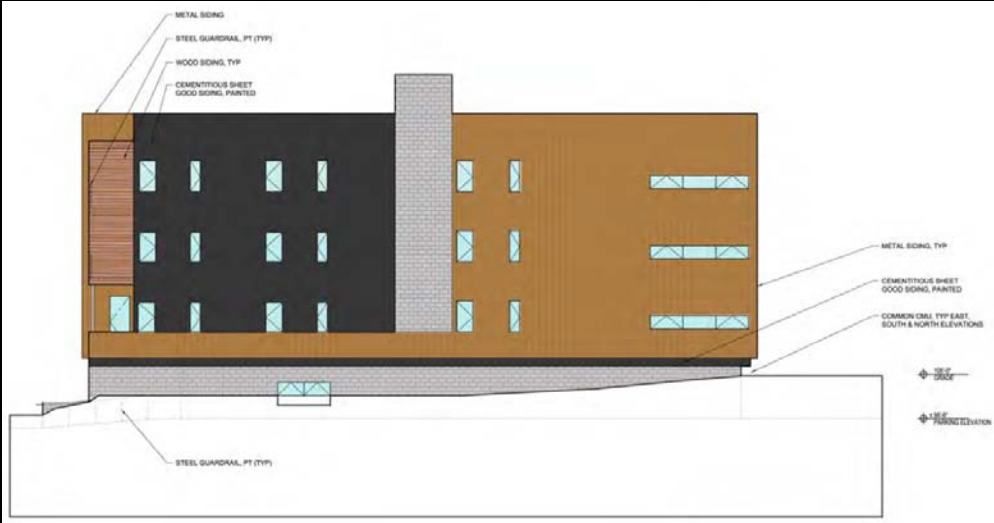


# 1530 North Jackson Street

## Jackson Apartments DPD *Side Elevations*



NORTH ELEVATION

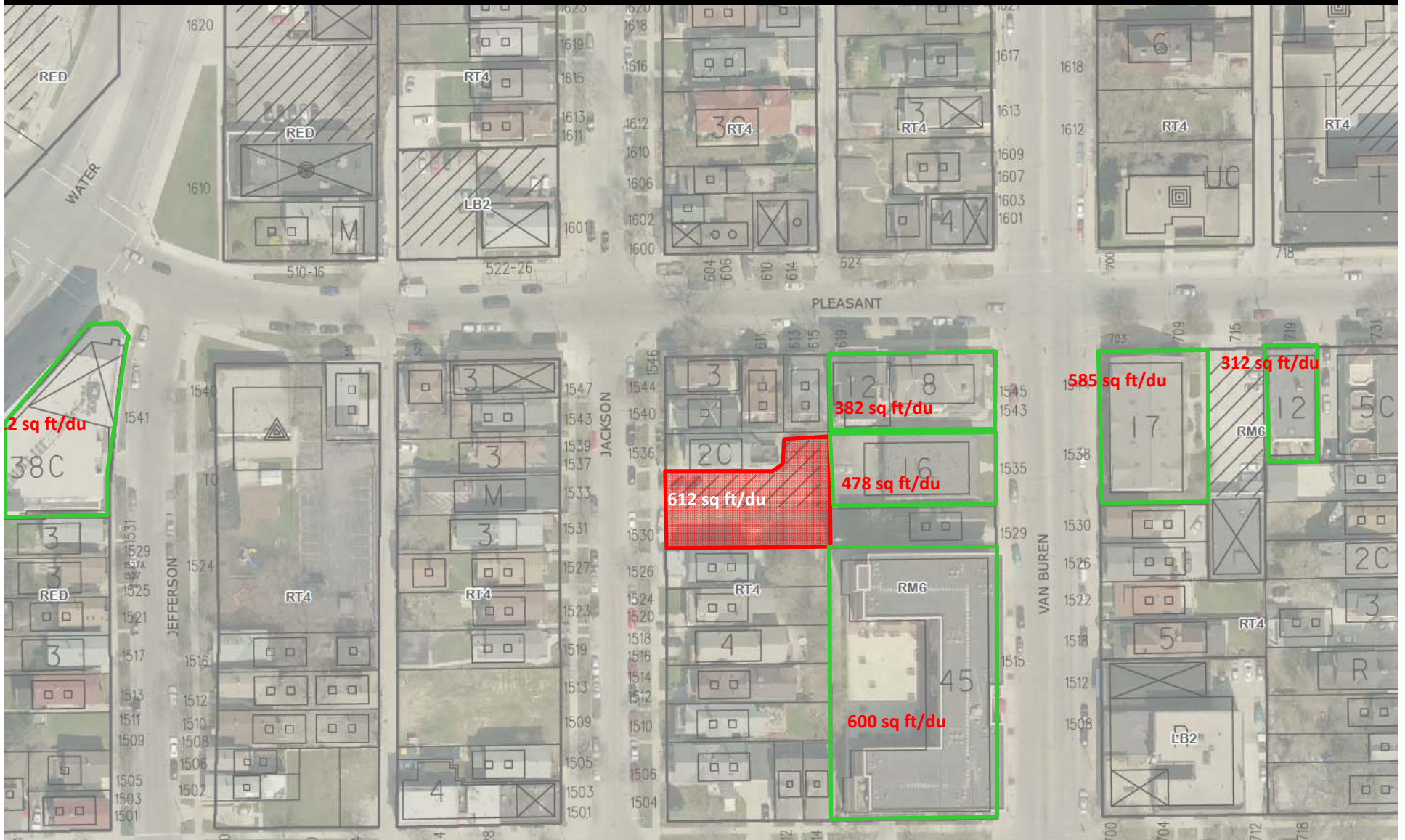


SOUTH ELEVATION



# 1530 North Jackson Street

## Jackson Apartments DPD Density Analysis



# 1530 North Jackson Street

## Jackson Apartments DPD *Conceptual Renderings*



JACKSON STREET PERSPECTIVE: 14 UNIT BUILDING

# 1530 North Jackson Street

Jackson Apartments DPD *Conceptual Renderings*



# 1530 North Jackson Street

## Jackson Apartments DPD *Elevation Details*



**GUARDRAILS (ALTERNATE)**



**GUARDRAILS**



**WOOD SIDING**



**CONCRETE BLOCK**



**CEMENTITIOUS PANEL, PAINTED**



**ALT METAL SIDING (STANDING SEAM)**



**CORNER CONDITION @ METAL SIDING**



**METAL SIDING**



Legislation Details (With Text)

**File #:** 110695      **Version:** 1

**Type:** Ordinance      **Status:** In Committee

**File created:** 9/20/2011      **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

**On agenda:**      **Final action:**

**Effective date:**

**Title:** A substitute ordinance relating to landscaping requirements for heavy motor vehicle parking lots, heavy motor vehicle outdoor storage and contractors' yards.

**Sponsors:** THE CHAIR

**Indexes:** PARKING LOTS, ZONING

**Attachments:** ZCTC Letter, Proposed Sub A, Hearing Notice List 9-23-11 Mtg., Hearing Notice List - 10/25/11 Mtg.

Date	Ver.	Action By	Action	Result	Tally
9/20/2011	0	COMMON COUNCIL	ASSIGNED TO		
9/21/2011	1	CITY CLERK	DRAFT SUBMITTED		
9/22/2011	1	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	REFERRED TO		
9/22/2011	1	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	REFERRED TO		
9/23/2011	1	ZONING CODE TECHNICAL COMMITTEE	HEARING NOTICES SENT		
10/10/2011	1	CITY CLERK	PUBLISHED		
10/20/2011	1	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	HEARING NOTICES SENT		
10/20/2011	1	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	HEARING NOTICES SENT		

Number  
110695  
Version  
SUBSTITUTE 1  
Reference

Sponsor  
THE CHAIR  
Title

A substitute ordinance relating to landscaping requirements for heavy motor vehicle parking lots, heavy motor vehicle outdoor storage and contractors' yards.

Sections  
295-405-1-a (table) am  
295-405-1-b-9 cr  
295-405-1-c (table) am

Analysis  
Actual file text is attached to file.



..Analysis

This ordinance creates a new category of perimeter landscaping and edge treatment standards, type "I," which may be used for screening heavy motor vehicle parking, heavy motor vehicle outdoor storage or outdoor salvage operations. This landscaping type is an alternative to existing types "E" and "F" and differs from those types primarily in that a decorative metal fence may be used as part of a type "I" treatment, but a masonry wall or opaque fence is required for type "E" or "F."

..Body

Part 1. Table 295-405-1-a of the code is amended to read:

**Table 295-405-1-a  
PERIMETER LANDSCAPING AND EDGE TREATMENT REQUIREMENTS BY USE AND ZONING DISTRICT**

<b>Key:</b>									
required – this is the minimum landscaping/edge treatment requirement for this land use in the specified zoning district									
allowed – this landscaping/edge treatment type may be used as an alternative to the “required” type for this land use in the specified zoning district									
not permitted – this landscaping/edge treatment type cannot be used for this particular use in the specified zoning district									
use not permitted – this land use is not permitted in this zoning district; therefore, no required landscaping type is specified									
Type of Use:	Light Motor Vehicle Parking; Vehicle Operating Area			Motor Vehicle Sales Lot	Heavy Motor Vehicle Parking; Storage Yards; Contractors’ Yards; Outdoor Salvage Operations			Mechanical Equipment, etc.	Lt. Motor Veh. Parking Next to Res. Use
Zoning District:	Type A	Type B	Type C	Type D	Type E	Type F	>>Type I<<	Type G	Type H
NS2, LB2, RB2	not permitted	required	allowed	required	not permitted	required	>>allowed*<<	required	required
NS1, LB1, RB1, CS	required	allowed	not permitted	required	required	allowed	>>allowed*<<	required	required
C9A–C9H	not permitted	required	allowed	use not permitted	not permitted	required	>>allowed*<<	required	required
IM	not permitted	required	allowed	required	not permitted	required	>>allowed*<<	required	required
IO2, IL2	not permitted	required	allowed	required	required	allowed	>>allowed*<<	required	required
IO1, IL1	required	allowed	allowed	required	required	allowed	>>allowed*<<	required	required
IH	required	allowed	allowed	required	not permitted	required	>>allowed*<<	required	required
PK, TL	required	allowed	allowed	use not permitted	use not permitted	use not permitted	>>use not permitted<<	required	required
RM5-RM7, RO2	not permitted	required	allowed	use not permitted	use not permitted	use not permitted	>>use not permitted<<	required	required
RT3-RT4, RM3-RM4	not permitted	required	allowed	use not permitted	use not permitted	use not permitted	>>use not permitted<<	required	required
RS1-RS6, RT1-RT2, RM1-RM2, RO1	required	allowed	not permitted	use not permitted	use not permitted	use not permitted	>>use not permitted<<	required	required

>>\*Not permitted for outdoor storage (except heavy motor vehicle outdoor storage) or outdoor salvage operations.<<



Part 2. Section 295-405-1-b-9 of the code is created to read:

**295-405. Landscaping.**

**1. PERIMETER LANDSCAPING AND EDGE TREATMENTS.**

b. Types of Landscape Treatment.

b-9. Type "I" Landscaping (Heavy Motor Vehicle Parking Lots, Heavy Motor Vehicle Outdoor Storage, Contractors' Yards). This type is intended to provide an alternative to types "E" and "F" for the street frontages of heavy motor vehicle parking lots, heavy motor vehicle outdoor storage and contractors' yards. It has similar tree and shrub requirements, but allows for the installation of a decorative metal fence instead of requiring a wall or opaque fence.

Part 3. Table 295-405-1-c of the code is amended to read:

Table 295-405-1-c FENCE/WALL AND LANDSCAPING REQUIREMENTS FOR LANDSCAPING TYPES										
		Type A Landscaping	Type B Landscaping	Type C Landscaping	Type D Landscaping	Type E Landscaping	Type F Landscaping	Type G Landscaping	Type H Landscaping	>>Type I Landscaping<<
Required Fence/Wall	Fence or wall required?	Optional	Yes	yes	yes if located in LB2	yes	yes	optional	yes	>>yes<<
	Fence/wall height requirements	fence optional; see below	3 ft. min.; 6 ft. max.	6 ft.	if provided, 3 ft. min.; 6 ft. max.	6 ft. min.; 9 ft. max.	6 ft. min.; 9 ft. max.	to top of object plus one foot (min.); 9 ft. max.	6 ft.; shall be reduced to 3.5 ft. when adjacent to a residential front yard	>>6 ft. min.; 9 ft. max.<<
	Fence/wall materials required	fence not required	masonry or decorative metal	combination masonry/ decorative metal	if LB2, masonry or decorative metal; other districts, fences are optional	any opaque fence type	any opaque fence type	any opaque fence type	any opaque fence type	>>masonry or decorative metal<<
	Fence/wall opacity	fence not required	no opacity standard	solid in lower 3 ft.	no opacity standard	100%	100%	100%	100%	>>no opacity standard<<
	Fence/wall location in landscaped area	if provided, adjacent to parking	anywhere within landscaped area	anywhere within landscaped area	anywhere within landscaped area	behind landscaping	behind landscaping	between object being screened and area of visibility	adjacent to residential property line	>>anywhere within landscaped area<<

**Table 295-405-1-c  
FENCE/WALL AND LANDSCAPING REQUIREMENTS FOR LANDSCAPING TYPES**

	Type A Landscaping	Type B Landscaping	Type C Landscaping	Type D Landscaping	Type E Landscaping	Type F Landscaping	Type G Landscaping	Type H Landscaping	>>Type I Landscaping<<	
Allowable fence/wall	Masonry wall	up to 6 ft. high	up to 6 ft. high	up to 6 ft. high	up to 4 ft. high	up to 9 ft. high	up to 9 ft. high	up to 9 ft. high	up to 9 ft. high	>>up to 9 ft. high<<
	Decorative metal fence	up to 6 ft. high	up to 6 ft. high	up to 6 ft. high; lowest 3 ft. shall be solid wall	up to 6 ft. high	not permitted	not permitted	allowed, but a second row of shrubs shall be required	up to 9 ft. high	>>up to 9 ft. high<<
	Wood fence, open	up to 4 ft. high	not permitted	not permitted	if not in LB2, up to 3.5 ft. high	not permitted	not permitted	not permitted	not permitted	>>not permitted<<
	Wood fence, opaque	up to 4 ft. high	not permitted	not permitted	if not in LB2, up to 3.5 ft. high	up to 9 ft. high	up to 9 ft. high	up to 9 ft. high	up to 9 ft. high	>>up to 9 ft. high<<
	Chain link fence (coated wire only)	up to 6 ft. high	not permitted	not permitted	not permitted	optional if fence has slats or mesh screening; up to 6 ft. high	optional if fence has slats or mesh screening; up to 6 ft. high	optional if fence has slats or mesh screening; up to 6 ft. high	not permitted with or without slats or mesh screening	>>not permitted<<

**Table 295-405-1-c  
FENCE/WALL AND LANDSCAPING REQUIREMENTS FOR LANDSCAPING TYPES**

	Type A Landscaping	Type B Landscaping	Type C Landscaping	Type D Landscaping	Type E Landscaping	Type F Landscaping	Type G Landscaping	Type H Landscaping	>>Type I Landscaping<<	
Trees and Shrubs Required & Allowed	Minimum landscaped area width	5 ft.	5 ft.	sufficient for wall, trees and optional shrubs	5 ft.	15 ft.	5 ft.; 15 ft. if a chain-link fence is present	sufficient to accommodate required plantings; 15 ft. if a chain-link fence is present	sufficient to accommodate fence/wall and optional trees/shrubs	>>10 ft.<<
	Deciduous street-type trees	minimum 1 every 25 ft.	minimum 1 every 25 ft.	minimum 1 every 25 ft.	minimum 1 every 25 ft.	minimum 1 every 25 ft.	minimum 1 every 25 ft.	allowed but not required unless a loading dock is present	1 every 25 feet or where required by s. 295-405-1-b-8	>>minimum 1 every 25 ft.<<
	Ornamental tree option	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	optional	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	1 every 20 feet if landscaped area is at least 10 ft. wide	>>minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide<<
	Shrub spacing requirement	2 staggered rows with plants a max. of 4 ft. on center in each row; if a 4-ft. opaque fence is provided, only one row shall be planted, max. 3 ft. on center	2 staggered rows with plants a max. of 4 ft. on center in each row; if a 4-ft. opaque fence is provided, only one row shall be planted, max. 3 ft. on center	one row with plants a max. of 3 ft. on center; if a masonry wall is provided, shrubs are optional	if light motor vehicle display : one row with plants a max. of 3 ft. on center; if heavy motor vehicle display, 2 staggered rows with plants a max. of 4 ft. on center in each row	one row with plants a max. of 3 ft. on center; if chain-link fence is provided, 2 staggered rows with plants a max. of 4 ft. on center in each row	one row with plants a max. of 3 ft. on center; if chain-link fence is provided, 2 staggered rows with plants a max. of 4 ft. on center in each row	2 staggered rows, with plants a maximum of 4 ft. on center in each row; if a 4-ft. opaque fence is provided, only one row shall be planted, max. of 3 ft. on center	option or, where required by s. 295-405-1-b-8, one row with plants a max. of 8 ft. on center	>>one row with a max. of 4 ft. on center; if a masonry wall is provided, shrubs are optional<<
	Shrub size, min. (at time of planting)	2 ft. in diameter	2 ft. in diameter	2 ft. in diameter	if light motor vehicle display, 1.5 ft. in diameter; if heavy motor vehicle display, 2 ft. in diameter	2 ft. in diameter	2 ft. in diameter	2 ft. in diameter	2 ft. in diameter	>>2 ft. in diameter<<
	Shrub height, min. (at time of planting)	2 ft.	2 ft.	2 ft.	if light motor vehicle display, 1.5 ft.; if heavy motor vehicle display, 3 ft.	6 ft.	6 ft.	6 ft.	2 ft.	>>6 ft.<<
	Shrub height, max. (at maturity)	3.5 ft.	3.5 ft.	3.5 ft.	if light motor vehicle display, 3.5 ft.; if heavy motor vehicle display, 4.5 ft.	no limit	no limit	no limit	no limit	>>no limit<<

..LRB  
APPROVED AS TO FORM

\_\_\_\_\_  
Legislative Reference Bureau  
Date:\_\_\_\_\_

..Attorney  
IT IS OUR OPINION THAT THE ORDINANCE  
IS LEGAL AND ENFORCEABLE

\_\_\_\_\_  
Office of the City Attorney  
Date:\_\_\_\_\_

..Requestor  
Department of City Development  
..Drafter  
LRB133944-2  
Jeffrey D. Osterman  
09/20  
/2011







[www.city.milwaukee.gov](http://www.city.milwaukee.gov)

Office of the City Clerk

**Ronald D. Leonhardt**  
City Clerk

**Jim Owczarski**  
Deputy City Clerk

October 13, 2011

The Honorable  
Members of the Zoning, Neighborhoods and Development Committee

Honorable Members:

Pursuant to s. 295-307-7-b of the Milwaukee Code of Ordinances, the Zoning Code Technical Committee, on October 12, 2011, reviewed Common Council File Number 110695, a substitute ordinance relating to landscaping requirements for heavy motor vehicle parking lots, heavy motor vehicle outdoor storage and contractors' yards. The Committee recommended that Substitute 1 be amended by changing the entry for "Wood fence, opaque" under "Type I Landscaping" in Table 295-405-1-c from "up to 9 ft. high" to "not permitted". The attached proposed substitute ordinance reflects this change.

Based on its review of the substitute ordinance, with the recommended amendment, the Committee found as follows:

- With respect to legality and enforceability, the substitute ordinance meets this standard.
- With respect to administration efficiency, the substitute ordinance meets this standard.
- With respect to consistency with the format of the zoning code, the substitute ordinance meets this standard.

Respectfully Submitted,

Jeff Osterman, Legislative Reference Bureau  
Chair Pro Tem, Zoning Code Technical Committee



..Number

110695

..Version

PROPOSED SUBSTITUTE A

..Reference

..Sponsor

THE CHAIR

..Title

A substitute ordinance relating to landscaping requirements for heavy motor vehicle parking lots, heavy motor vehicle outdoor storage and contractors' yards.

..Sections

295-405-1-a (table) am

295-405-1-b-9 cr

295-405-1-c (table) am

..Analysis

This ordinance creates a new category of perimeter landscaping and edge treatment standards, type "I," which may be used for screening heavy motor vehicle parking, heavy motor vehicle outdoor storage and contractors' yards. This landscaping type is an alternative to existing types "E" and "F" and differs from those types primarily in that a decorative metal fence may be used as part of a type "I" treatment, but a masonry wall or opaque fence is required for type "E" or "F."

..Body

Part 1. Table 295-405-1-a of the code is amended to read:

**Table 295-405-1-a  
PERIMETER LANDSCAPING AND EDGE TREATMENT REQUIREMENTS BY USE AND ZONING DISTRICT**

<b>Key:</b>									
required – this is the minimum landscaping/edge treatment requirement for this land use in the specified zoning district									
allowed – this landscaping/edge treatment type may be used as an alternative to the “required” type for this land use in the specified zoning district									
not permitted – this landscaping/edge treatment type cannot be used for this particular use in the specified zoning district									
use not permitted – this land use is not permitted in this zoning district; therefore, no required landscaping type is specified									
Type of Use:	Light Motor Vehicle Parking; Vehicle Operating Area			Motor Vehicle Sales Lot	Heavy Motor Vehicle Parking; Storage Yards; Contractors’ Yards; Outdoor Salvage Operations			Mechanical Equipment, etc.	Lt. Motor Veh. Parking Next to Res. Use
Zoning District:	Type A	Type B	Type C	Type D	Type E	Type F	>>Type I<<	Type G	Type H
NS2, LB2, RB2	not permitted	required	allowed	required	not permitted	required	>>allowed*<<	required	required
NS1, LB1, RB1, CS	required	allowed	not permitted	required	required	allowed	>>allowed*<<	required	required
C9A–C9H	not permitted	required	allowed	use not permitted	not permitted	required	>>allowed*<<	required	required
IM	not permitted	required	allowed	required	not permitted	required	>>allowed*<<	required	required
IO2, IL2	not permitted	required	allowed	required	required	allowed	>>allowed*<<	required	required
IO1, IL1	required	allowed	allowed	required	required	allowed	>>allowed*<<	required	required
IH	required	allowed	allowed	required	not permitted	required	>>allowed*<<	required	required
PK, TL	required	allowed	allowed	use not permitted	use not permitted	use not permitted	>>use not permitted<<	required	required
RM5-RM7, RO2	not permitted	required	allowed	use not permitted	use not permitted	use not permitted	>>use not permitted<<	required	required
RT3-RT4, RM3-RM4	not permitted	required	allowed	use not permitted	use not permitted	use not permitted	>>use not permitted<<	required	required
RS1-RS6, RT1-RT2, RM1-RM2, RO1	required	allowed	not permitted	use not permitted	use not permitted	use not permitted	>>use not permitted<<	required	required

>>\*Not permitted for outdoor storage (except heavy motor vehicle outdoor storage) or outdoor salvage operations.<<

Part 2. Section 295-405-1-b-9 of the code is created to read:

**295-405. Landscaping.**

**1. PERIMETER LANDSCAPING AND EDGE TREATMENTS.**

b. Types of Landscape Treatment.

b-9. Type "I" Landscaping (Heavy Motor Vehicle Parking Lots, Heavy Motor Vehicle Outdoor Storage, Contractors' Yards). This type is intended to provide an alternative to types "E" and "F" for the street frontages of heavy motor vehicle parking lots, heavy motor vehicle outdoor storage and contractors' yards. It has similar tree and shrub requirements, but allows for the installation of a decorative metal fence instead of requiring a wall or opaque fence.

Part 3. Table 295-405-1-c of the code is amended to read:

Table 295-405-1-c FENCE/WALL AND LANDSCAPING REQUIREMENTS FOR LANDSCAPING TYPES										
		Type A Landscaping	Type B Landscaping	Type C Landscaping	Type D Landscaping	Type E Landscaping	Type F Landscaping	Type G Landscaping	Type H Landscaping	>>Type I Landscaping<<
Required Fence/Wall	Fence or wall required?	Optional	Yes	yes	yes if located in LB2	yes	yes	optional	yes	>>yes<<
	Fence/wall height requirements	fence optional; see below	3 ft. min.; 6 ft. max.	6 ft.	if provided, 3 ft. min.; 6 ft. max.	6 ft. min.; 9 ft. max.	6 ft. min.; 9 ft. max.	to top of object plus one foot (min.); 9 ft. max.	6 ft.; shall be reduced to 3.5 ft. when adjacent to a residential front yard	>>6 ft. min.; 9 ft. max.<<
	Fence/wall materials required	fence not required	masonry or decorative metal	combination masonry/ decorative metal	if LB2, masonry or decorative metal; other districts, fences are optional	any opaque fence type	any opaque fence type	any opaque fence type	any opaque fence type	>>masonry or decorative metal<<
	Fence/wall opacity	fence not required	no opacity standard	solid in lower 3 ft.	no opacity standard	100%	100%	100%	100%	>>no opacity standard<<
	Fence/wall location in landscaped area	if provided, adjacent to parking	anywhere within landscaped area	anywhere within landscaped area	anywhere within landscaped area	behind landscaping	behind landscaping	between object being screened and area of visibility	adjacent to residential property line	>>anywhere within landscaped area<<

**Table 295-405-1-c  
FENCE/WALL AND LANDSCAPING REQUIREMENTS FOR LANDSCAPING TYPES**

	Type A Landscaping	Type B Landscaping	Type C Landscaping	Type D Landscaping	Type E Landscaping	Type F Landscaping	Type G Landscaping	Type H Landscaping	>>Type I Landscaping<<	
Allowable fence/wall	Masonry wall	up to 6 ft. high	up to 6 ft. high	up to 6 ft. high	up to 4 ft. high	up to 9 ft. high	up to 9 ft. high	up to 9 ft. high	up to 9 ft. high	>>up to 9 ft. high<<
	Decorative metal fence	up to 6 ft. high	up to 6 ft. high	up to 6 ft. high; lowest 3 ft. shall be solid wall	up to 6 ft. high	not permitted	not permitted	allowed, but a second row of shrubs shall be required	up to 9 ft. high	>>up to 9 ft. high<<
	Wood fence, open	up to 4 ft. high	not permitted	not permitted	if not in LB2, up to 3.5 ft. high	not permitted	not permitted	not permitted	not permitted	>>not permitted<<
	Wood fence, opaque	up to 4 ft. high	not permitted	not permitted	if not in LB2, up to 3.5 ft. high	up to 9 ft. high	up to 9 ft. high	up to 9 ft. high	up to 9 ft. high	>>not permitted<<
	Chain link fence (coated wire only)	up to 6 ft. high	not permitted	not permitted	not permitted	optional if fence has slats or mesh screening; up to 6 ft. high	optional if fence has slats or mesh screening; up to 6 ft. high	optional if fence has slats or mesh screening; up to 6 ft. high	not permitted with or without slats or mesh screening	>>not permitted<<

**Table 295-405-1-c  
FENCE/WALL AND LANDSCAPING REQUIREMENTS FOR LANDSCAPING TYPES**

	Type A Landscaping	Type B Landscaping	Type C Landscaping	Type D Landscaping	Type E Landscaping	Type F Landscaping	Type G Landscaping	Type H Landscaping	>>Type I Landscaping<<	
Trees and Shrubs Required & Allowed	Minimum landscaped area width	5 ft.	5 ft.	sufficient for wall, trees and optional shrubs	5 ft.	15 ft.	5 ft.; 15 ft. if a chain-link fence is present	sufficient to accommodate required plantings; 15 ft. if a chain-link fence is present	sufficient to accommodate fence/wall and optional trees/shrubs	>>10 ft.<<
	Deciduous street-type trees	minimum 1 every 25 ft.	minimum 1 every 25 ft.	minimum 1 every 25 ft.	minimum 1 every 25 ft.	minimum 1 every 25 ft.	minimum 1 every 25 ft.	allowed but not required unless a loading dock is present	1 every 25 feet or where required by s. 295-405-1-b-8	>>minimum 1 every 25 ft.<<
	Ornamental tree option	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	optional	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide	1 every 20 feet if landscaped area is at least 10 ft. wide	>>minimum 1 every 20 ft. if landscaped area is at least 10 ft. wide<<
	Shrub spacing requirement	2 staggered rows with plants a max. of 4 ft. on center in each row; if a 4-ft. opaque fence is provided, only one row shall be planted, max. 3 ft. on center	2 staggered rows with plants a max. of 4 ft. on center in each row; if a 4-ft. opaque fence is provided, only one row shall be planted, max. 3 ft. on center	one row with plants a max. of 3 ft. on center; if a masonry wall is provided, shrubs are optional	if light motor vehicle display : one row with plants a max. of 3 ft. on center; if heavy motor vehicle display, 2 staggered rows with plants a max. of 4 ft. on center in each row	one row with plants a max. of 3 ft. on center; if chain-link fence is provided, 2 staggered rows with plants a max. of 4 ft. on center in each row	one row with plants a max. of 3 ft. on center; if chain-link fence is provided, 2 staggered rows with plants a max. of 4 ft. on center in each row	2 staggered rows, with plants a maximum of 4 ft. on center in each row; if a 4-ft. opaque fence is provided, only one row shall be planted, max. of 3 ft. on center	option or, where required by s. 295-405-1-b-8, one row with plants a max. of 8 ft. on center	>>one row with a max. of 4 ft. on center; if a masonry wall is provided, shrubs are optional<<
	Shrub size, min. (at time of planting)	2 ft. in diameter	2 ft. in diameter	2 ft. in diameter	if light motor vehicle display, 1.5 ft. in diameter; if heavy motor vehicle display, 2 ft. in diameter	2 ft. in diameter	2 ft. in diameter	2 ft. in diameter	2 ft. in diameter	>>2 ft. in diameter<<
	Shrub height, min. (at time of planting)	2 ft.	2 ft.	2 ft.	if light motor vehicle display, 1.5 ft.; if heavy motor vehicle display, 3 ft.	6 ft.	6 ft.	6 ft.	2 ft.	>>6 ft.<<
	Shrub height, max. (at maturity)	3.5 ft.	3.5 ft.	3.5 ft.	if light motor vehicle display, 3.5 ft.; if heavy motor vehicle display, 4.5 ft.	no limit	no limit	no limit	no limit	>>no limit<<

..LRB  
APPROVED AS TO FORM

\_\_\_\_\_  
Legislative Reference Bureau  
Date:\_\_\_\_\_

..Attorney  
IT IS OUR OPINION THAT THE ORDINANCE  
IS LEGAL AND ENFORCEABLE

\_\_\_\_\_  
Office of the City Attorney  
Date:\_\_\_\_\_

..Requestor  
Department of City Development  
..Drafter  
LRB133944-3  
Jeffrey D. Osterman  
10/12/2011



Legislation Details (With Text)

**File #:** 110704      **Version:** 1

**Type:** Resolution      **Status:** In Committee

**File created:** 9/20/2011      **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Substitute resolution relating to a minor modification to the Detailed Planned Development known as Metro Center, Phase 2, to allow for construction of a car dealership, on land located on the north side of West Metro Boulevard and west of North 107th Street, in the 5th Aldermanic District.

**Sponsors:** THE CHAIR

**Indexes:** PLANNED UNIT DEVELOPMENTS, ZONING, ZONING DISTRICT 05

**Attachments:** Exhibit A as of 10-14-11, Exhibit A Continued as of 10-14-11

Date	Ver.	Action By	Action	Result	Tally
9/20/2011	0	COMMON COUNCIL	ASSIGNED TO		
9/21/2011	0	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	REFERRED TO		
10/20/2011	1	CITY CLERK	DRAFT SUBMITTED		

Number

110704

Version

SUBSTITUTE 1

Reference

020923, 030910, 080744

Sponsor

THE CHAIR

Title

Substitute resolution relating to a minor modification to the Detailed Planned Development known as Metro Center, Phase 2, to allow for construction of a car dealership, on land located on the north side of West Metro Boulevard and west of North 107th Street, in the 5th Aldermanic District.

Analysis

This minor modification will allow for the construction of a Nissan car dealership in lieu of a previously approved Honda dealership.

Body

Whereas, Section 295-907-2(i) of the Milwaukee Code of Ordinances permits minor modifications to planned developments after approval of the Common Council; and

Whereas, The detailed plan for a planned development ("DPD") known as Metro Center, Phase 2, located on the north side of West Metro Boulevard and west of North 107th Street, was approved by the Common Council of the City of Milwaukee on November 26, 2002, under File No. 020923; and

Whereas, The construction of a Nissan car dealership is consistent with the spirit and intent of the approved plan and will not adversely affect the surrounding development, a copy of which is attached to this Common Council File as Exhibit A which is on file in the office of the City Clerk and made a part as though fully set forth herein; now, therefore, be it



Resolved, By the Common Council of the City of Milwaukee, that the minor modification:

1. Is consistent with the spirit and intent of the previously approved DPD.
2. Will not change the general character of the DPD.
3. Will not cause a substantial relocation of principal or accessory structures.
4. Will not cause a substantial relocation or reduction of parking, loading or recreation areas.
5. Will not cause a substantial relocation of traffic facilities.
6. Will not increase the land coverage of buildings and parking areas.
7. Will not increase the gross floor area of buildings or the number of dwelling units.
8. Will not reduce the amount of approved open space, landscaping or screening; and, be it

Further Resolved, That the minor modification is approved in accordance with the Milwaukee Code of Ordinances, Section 295-907-2(i).

Drafter

DCD:VLK:kdc

10/19/11

**PLAN OF OPERATION  
RUSS DARROW NISSAN  
METRO BLVD. SITE  
MILWAUKEE, WI 53224**

**NAME & TYPE OF BUSINESS**

Russ Darrow Nissan, owned and operated by the Russ Darrow Automotive Group. This is a franchised new vehicle dealership, offering new and used vehicles for sale, service, parts and financing.

**SIZE OF SITE**

Our Metro Blvd. property is approximately seven acres and approximately 410 feet wide and 750 feet deep. The current proposal anticipates a 60' R.O.W. being dedicated to the City of Milwaukee for a new roadway. See R.A. Smith drawings for final lot size.

**SIZE OF BUILDING**

The proposed dealership will be approx. 20,000 square feet and will be constructed primarily of Type 2 structural steel and masonry.

**TRADE AREA**

This dealership will service primarily those customers in the northwest area of metropolitan Milwaukee.

**NUMBER OF EMPLOYEES**

There will be approximately 60 employees when this business is fully established.

**HOURS OF OPERATION**

7:00 AM to 9:00 PM Monday through Friday

8:00 AM to 5:00 PM Saturday

Closed Sunday

**TRAFFIC PATTERN**

All customer and employee parking will be provided for on site. Minimal local delivery and supply vehicles will be entering and exiting the site during normal business hours. Vehicles and parts transport vehicles will be unloaded/loaded only on the dealership premises.

**PARKING**

This site has adequate space for new and used vehicle display, customer parking and employee parking. There will be no parking on Metro Blvd. All vehicles kept at this site will be new or used retail vehicles owned by the Russ Darrow Group or Russ Darrow customers and employees.

**LOADING/UNLOADING**

Trash pickup will be accomplished three times a week between the hours of 8:00 AM and 5:00 PM. Unloading and loading of vehicle and parts transport trucks will occur only on the premises.

**SIGNAGE**

We will go through the proper process to insure that our signs meet local ordinances and are to the City of Milwaukee's liking. We must have an individual brand sign for the manufacturer as well as directional signage for our customers.

**MILWAUKEE METRO CENTER**  
Amended Detailed Planned Development  
Russ Darrow Group, Inc.  
Project Description and Owner's State of Intent

This detailed plan is hereby submitted by Russ Darrow Group, Inc. for the Nissan Dealership. This statement, together with the below described exhibits and supporting materials, comprises the amended development plan.

**I. LIST OF EXHIBITS**

1. Owner's State of Intent
2. Vicinity Map
3. Site Survey (showing the site boundaries, legal descriptions, existing topography, existing utility locations.)
4. Development Plan (showing proposed structures, site open spaces, site lighting, site signage, pedestrian and vehicular circulation, parking, loading facilities, and refuse collection facilities.)
5. Grading, Drainage (showing the existing and proposed topography at one foot contour intervals, location of storm sewers, parking and roadway storm inlets and elevations.)
6. Utility and Plumbing Plan (showing existing and proposed utility locations and laterals.)
7. Landscape Plan, Lighting (showing the proposed landscape screening and plant location, quantity, type, and size) and light standards.
8. Building Elevations (showing all façade elevations of the proposed building with material descriptions and wall signage.)

**II. DESCRIPTION OF THE DEVELOPMENT**

The amended project consists of the structure containing 20,000 square feet devoted to office showroom, and light service facilities, together with out display area for 494 automobiles in a landscaped setting. Service facilities will be primarily oriented toward providing service for automobile purchases, although, as a convenience for area residents, service will be available to the public. In addition, an automobile rental subsidiary will be available primarily for customers having their vehicles serviced. The showrooms will contain display vehicles in an existing interactive environment. Sales guides are available to assist. All vehicles displayed, indoors and outdoors, are clearly shown on the attached site map as is display locations for sales vehicles. Please note that automobiles are displayed in landscaped bays, with landscaping designed to provide an open space atmosphere, particularly when viewed from surrounding lands destined for office and hotel development. There are no adjacent residential developments. In addition to the limitations contained in the foregoing description of the development, the proponent agrees to the following special conditions desired by the City of Milwaukee.

1. Hours of Operation shall be:

- a) Service and Maintenance – 7 AM to 9 PM, Monday through Saturday
  - b) Sales – 9 AM to 10 PM, Monday through Saturday
2. Test driving vehicles on residential streets shall be prohibited. No test drives may make a right turn at the intersection of Metro Boulevard and North 107<sup>th</sup> Street under any circumstances. Test drives will be conducted primarily on the test drive route.
  3. No vehicle may be displayed with its hood up, trunk lid up, or doors open. No vehicles may be displayed on a ramp or any kind of moving platform except in specialty display areas. Each specialty display area shall not include more than four vehicles.
  4. Except for a grand opening to be approved by the City, no balloons, flags, pennants, streamers, spinners, tinsels, or other similar devices, or any signs other than those contained in Sign Exhibit shall be applied to any building or structure or strung on wires or otherwise used on site.
  5. Lighting shall conform to that shown in attached Exhibit and shall conform to the established standards of the City of Milwaukee. Lighting shall reduce in intensity from the south to the north down to a minimum security level along the rear of the property. At 10 PM, the entire site illumination would be reduced to a low intensity level. Lighting shall not “spill” from the site to any adjacent area in excess of 2 foot candles.
  6. Security will be designed to prevent or deter crime on-site through techniques included, but not limited to, lighting, security gates, landscape placement, surveillance cameras, and the like.
  7. The majority of the vehicles sold on-site or leased from the site, shall be new, some pre-owned vehicles will be sold.
  8. Financing for cars sold or leased on-site shall not permit weekly or monthly car payment to be made on-site.
  9. Delivery of vehicles should be limited to five trips per day, and delivery vehicles may not wait on public rights-of-way.
  10. All aforesaid conditions may be enforced by appropriate personnel of the City of Milwaukee, including, but not limited to, Department of Building Inspector and Milwaukee Police Departments.

### III. COMPLIANCE WITH STANDARDS

The proposed DPD provides for, or complies with, the standards prescribed by Section 295-812 and 295-813 as follows

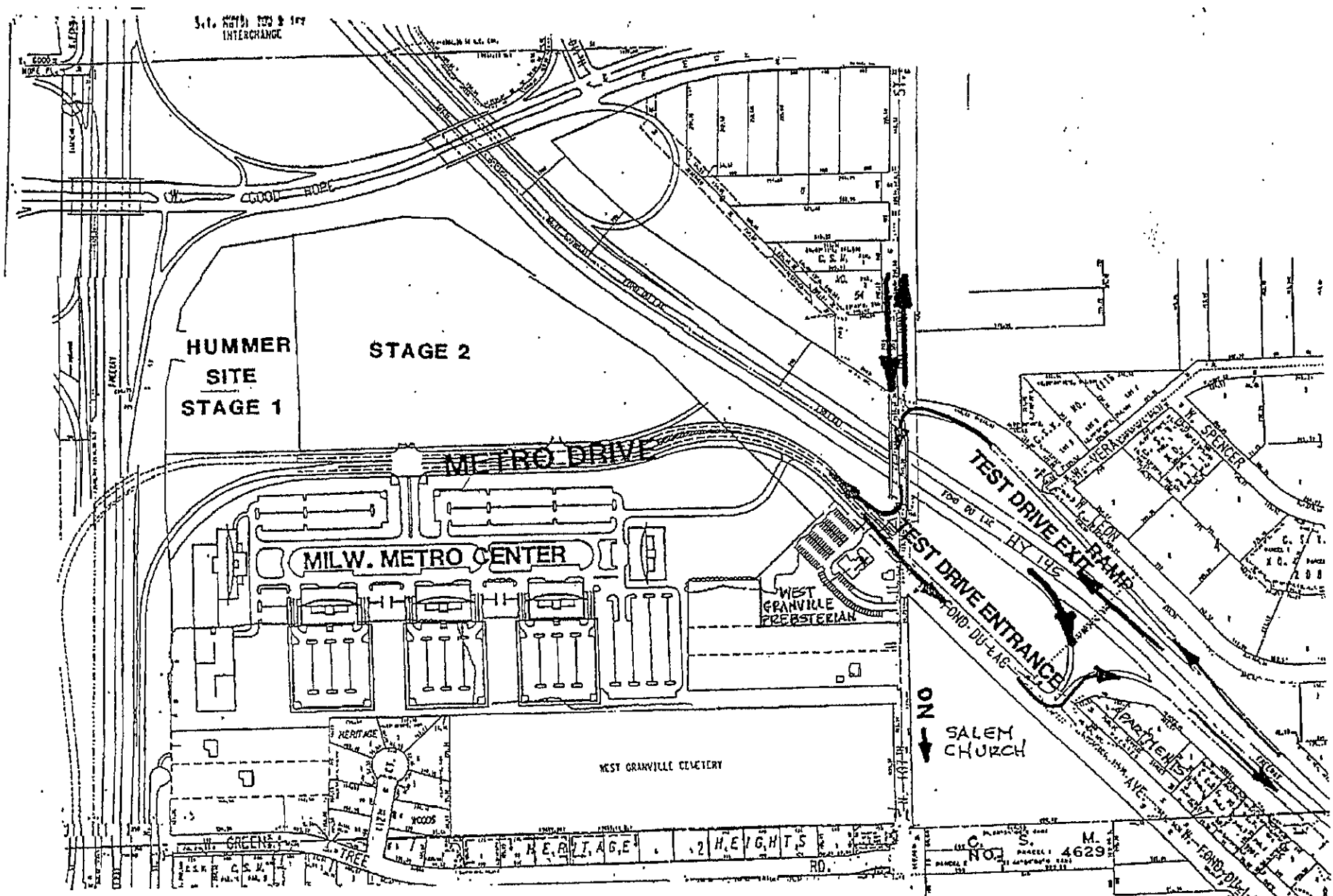
1. Size – The project site contains 5.98 acres, after the proposed roadway is dedicated.
2. Space Between Structures – The location of structures, as shown on the Department Plan, complies with the applicable provisions of the Wisconsin Administrative Code.
3. Setbacks – Setbacks along the north and south perimeters of the project boundary shall be 25 feet. Ten foot setbacks are required between the west parcel and lands reserved for future development (east parcel).

4. Screening and Open Spaces – There are no adjacent residential uses requiring screening. Nevertheless, the landscape plan Exhibit 1 shows extensive use of landscaping both in the perimeter of the site and on the interior of the site, all of which is in conformance with the standards contained in the ordinance.
5. Circulation Facilities – The main entry to the DPD site is off the proposed new roadway as shown on the Development Plan. Internal circulation provides for adequate safe access for pedestrians and public and private vehicles. Public parking is clearly shown on the Development Plan. Delivery of automobiles by truck shall be at the location marked on the Development Plan, and after initial stocking of the site, shall not exceed five trips per day.
6. Lighting – Project lighting shall conform to established standards used by the City and is identified on the Plan.
7. Utilities – All utilities, including storm and sanitary sewers, water mains and laterals, parking and roadway storm inlets, and the like are or will be installed underground.
8. Signage – Signage is described and located on the Development Plan and will meet local ordinances.

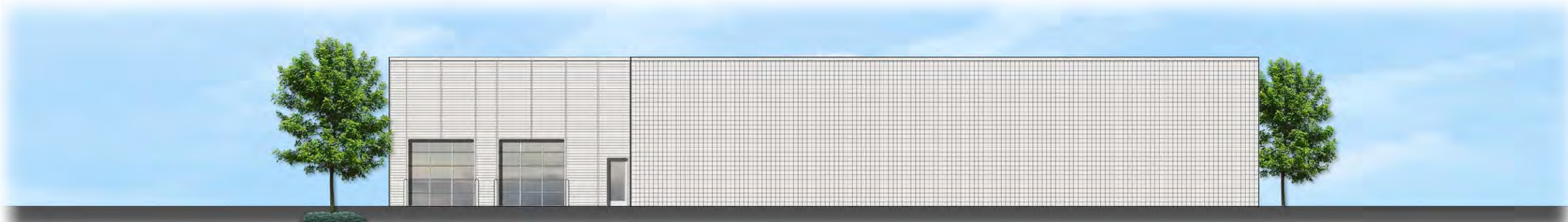
#### IV. **MINOR MODIFICATIONS**

Subject to the limitations contained in Section 295-813(4) of the Milwaukee Code of Ordinances, and in order to maintain flexibility as the development proceeds, Russ Darrow Group, expressly retains the right to make reasonable minor modifications provided that the limitations contained in the above cited section of the ordinance are not exceeded.





**PROPOSED TEST DRIVE ROUTE**



1 WEST ELEVATION  
1/8" = 1'-0"



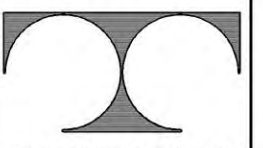
2 SOUTH ELEVATION  
1/8" = 1'-0"



3 NORTH ELEVATION  
1/8" = 1'-0"

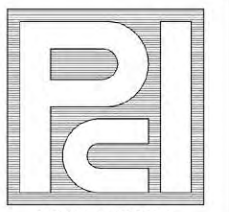


4 EAST ELEVATION  
1/8" = 1'-0"



TDI ASSOCIATES, INC.  
ARCHITECTS, ENGINEERS, PLANNERS

N8 W22350 JOHNSON DRIVE, SUITE B4  
WAUKESHA, WISCONSIN 53186  
PHONE 262-437-0400 FAX 262-437-0401



PROFESSIONAL  
CONSULTANTS, INC.

300 COTTONWOOD AVE # 7  
HARTLAND, WISCONSIN 53029  
(262) 367-6080

RUSS DARROW NISSAN  
METRO AUTO PARK  
WEST METRO BOULEVARD  
MILWAUKEE, WISCONSIN

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Sheet Title  
**ELEVATIONS**

Issued For: \_\_\_\_\_ Date: \_\_\_\_\_

Date: 10-10-2011

Job NO.: 11172.000

Drawn By: RJH

Sheet No.

A2.1



WEST METRO BLVD.

373.59'

586.55'±31" W

408.93'

PRIVATE ACCESS DRIVE

PROPOSED ACCESS ROAD RECONSTRUCTION

EXISTING PROPERTY LINE

FUTURE RIGHT-OF-WAY

PROPOSED 18" CURB & GUTTER (TYP.)

PROPOSED CATCH BASIN (TYP.)

PROPOSED HYDRANT (TYP.)

EXISTING WATER EASEMENT

PROPOSED BUILDING

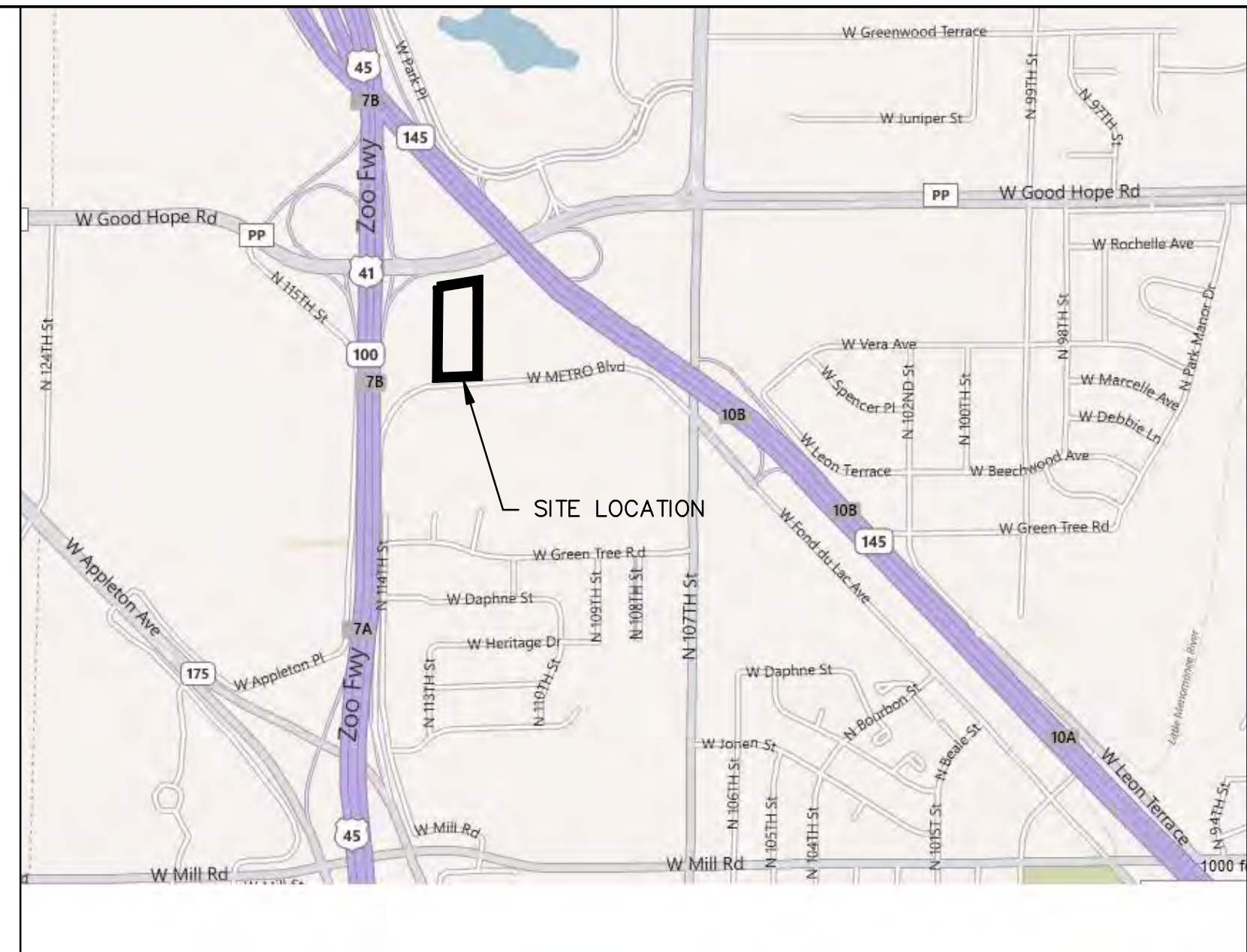
MAIN ENTRANCE

EXISTING SANITARY EASEMENT

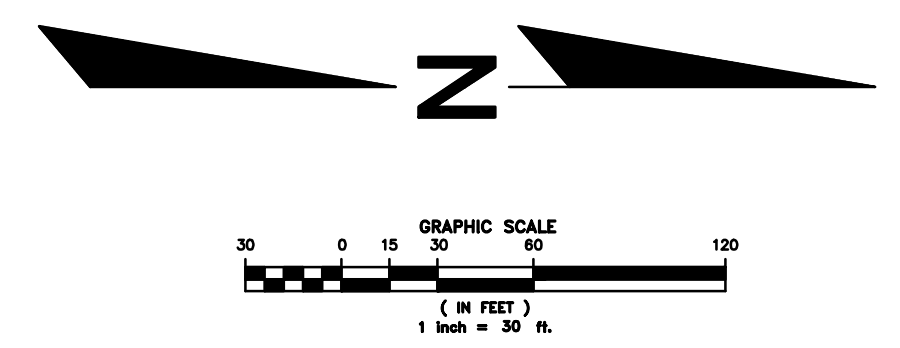
METRO AUTO PARK

SITE TABULATIONS

Gross Land Area	304,932 S.F.
(7.00 A.C.)	
Dedicated R.O.W. Area	46,416 S.F.
(1.07 A.C.)	
Site Area	268,517 S.F.
(5.93 A.C.)	
Land covered by principal buildings	19,775 S.F.
Land covered by parking lots, drive aisles and driveways	178,719 S.F.
Land covered by open space	62,023 S.F.



VICINITY MAP



12" STORM SEWER

SANITARY SEWER

PROPOSED PROPERTY LINE

N03°04'29"W

712.92'

N77°49'15"E

414.14'

S03°04'29"E

778.46'

FUTURE CITY STREET (BY OTHERS)

EXISTING NO-ACCESS AREA

DESCRIPTION	DATE

**R.A. Smith National**  
Beyond Surveying and Engineering

16745 W. Bluemound Road, Brookfield, WI 53005-6938  
262-781-0000 Fax: 262-781-8466, www.rasmithnational.com

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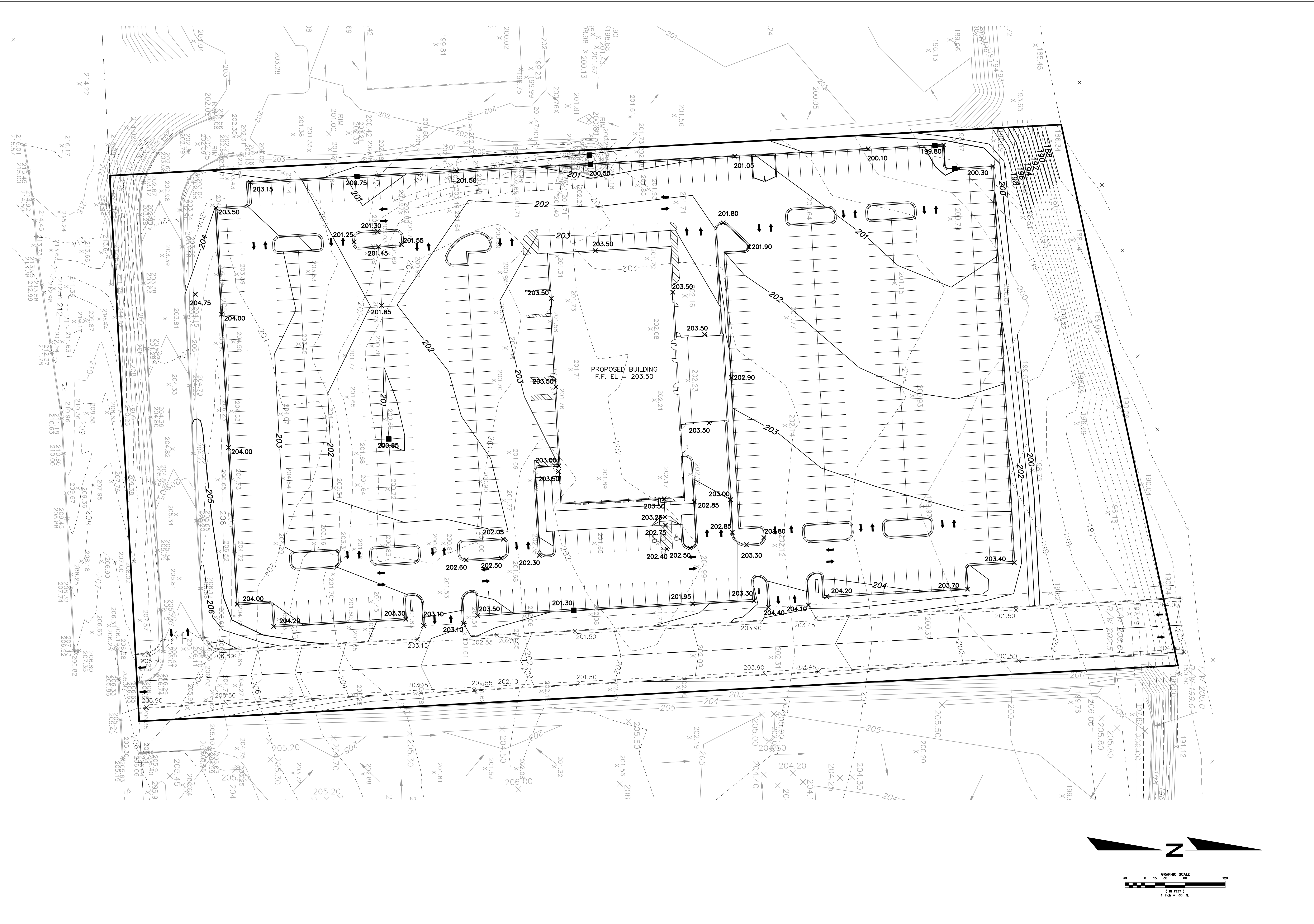
RUSS DARROW NISSAN MILWAUKEE, WI

**PRELIMINARY SITE PLAN**

---

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DATE: 09-23-11  
SCALE: 1" = 30"  
JOB NO. 3020273.04  
PROJECT MANAGER: RYAN J. LANCOUR, P.E.  
DESIGNED BY: JAH  
CHECKED BY: RJL

**SHEET NUMBER**  
CE-1



DATE	DESCRIPTION

**R.A. Smith National**  
*Beyond Surveying  
 and Engineering*

16745 W. Bluemound Road, Brookfield, WI 53005-5938  
 262-781-0000 Fax: 262-781-8466, www.rasmithnational.com

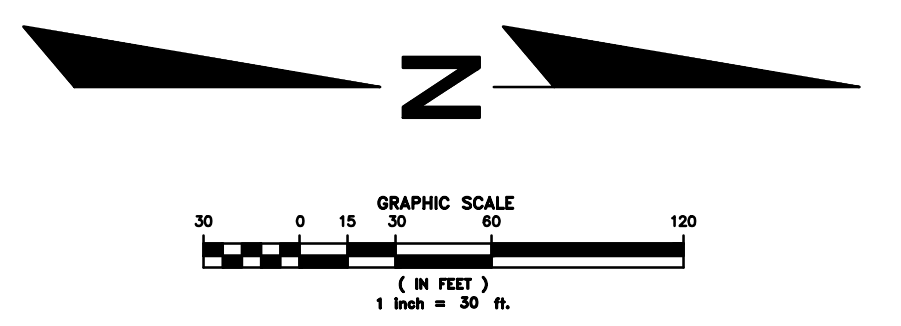
**RUSS DARROW NISSAN  
 MILWAUKEE, WI**

**PRELIMINARY  
 GRADING PLAN**

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 R.A. Smith National, Inc.

DATE: 09-23-11  
 SCALE: 1" = 30"  
 JOB NO. 3020273.04  
 PROJECT MANAGER:  
 RYAN J. LANCOUR, P.E.  
 DESIGNED BY: JAH  
 CHECKED BY: RJL

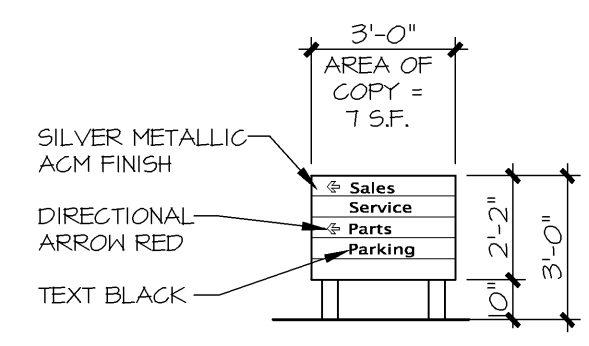
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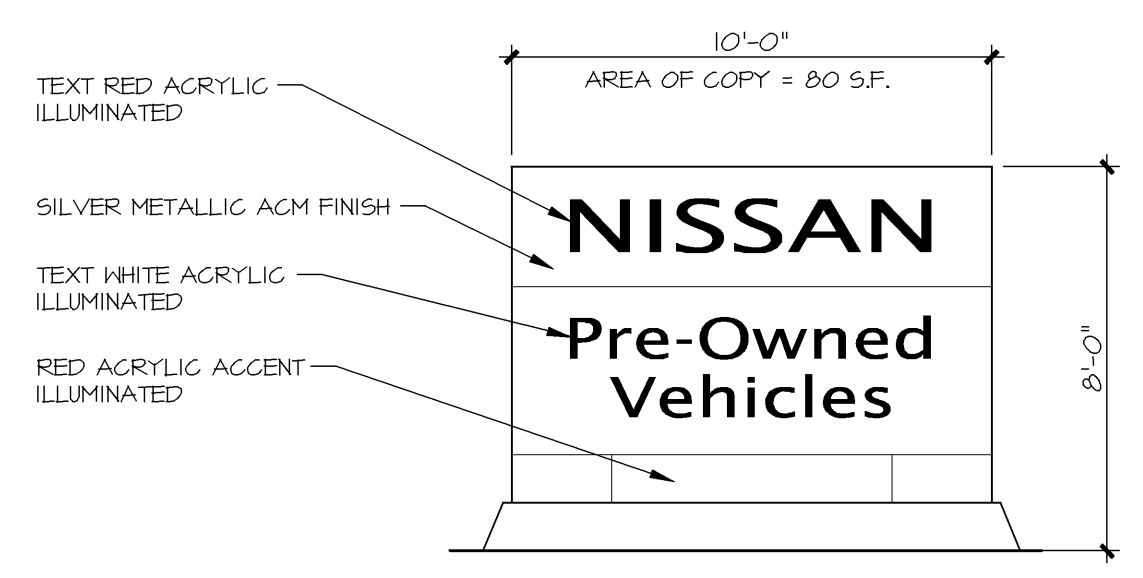
Plot File: P:\3020273.04\3020273.04.dwg, Date: 11/02/2011 11:02:52 AM, User: rjl

PARKING SPACE TABULATION	
CUSTOMER PARKING=	10 SPACES
INVENTORY / SERVICE PARKING =	484 S.F.
TOTAL PARKING =	494 S.F.

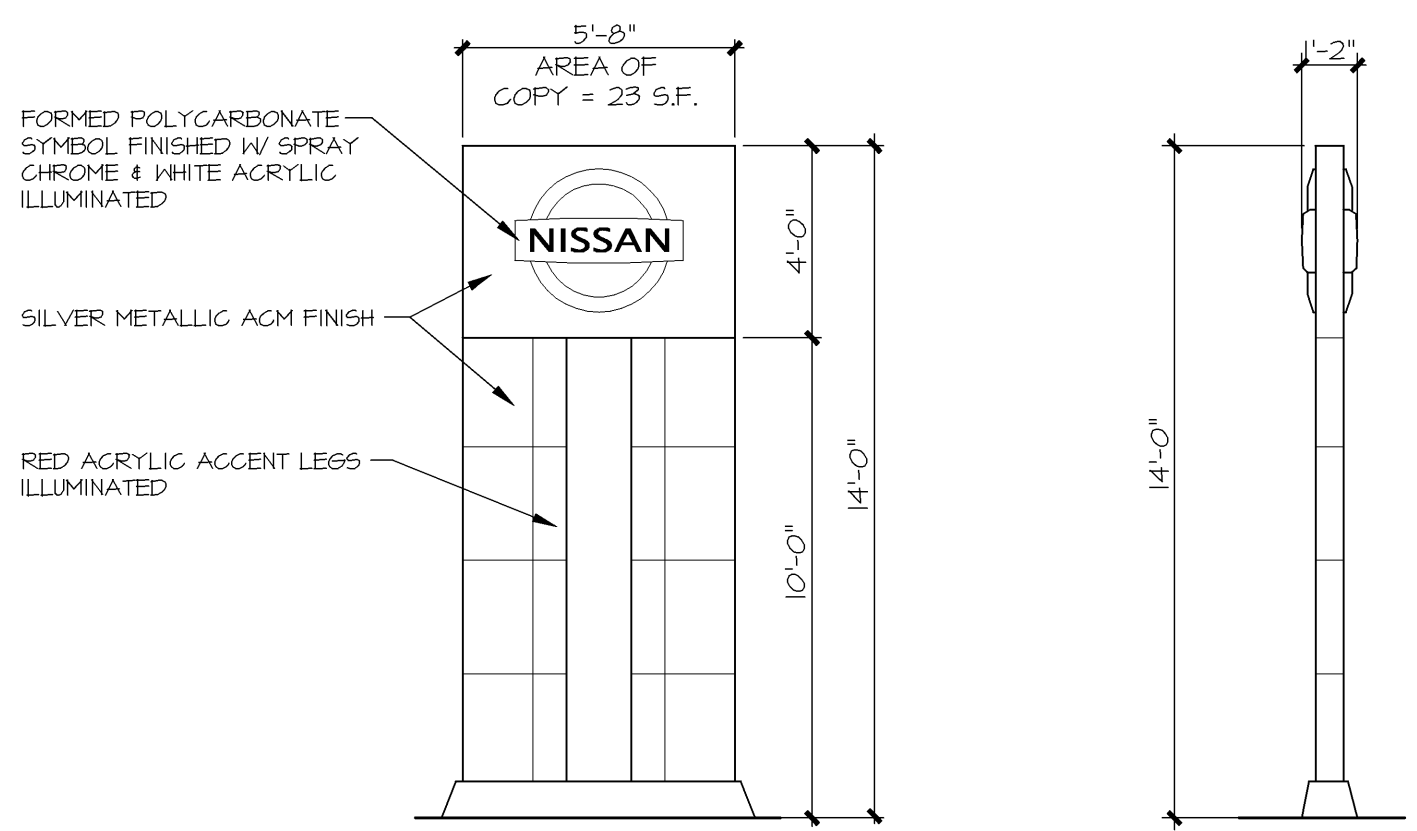
SIGN COPY AREA TABULATION	
SERVICE SIGN COPY AREA=	7 S.F.
PRE-OWNED SIGN COPY AREA =	80 S.F.
NISSAN SIGN COPY AREA =	23 S.F.
TOTAL COPY AREA =	110 S.F.



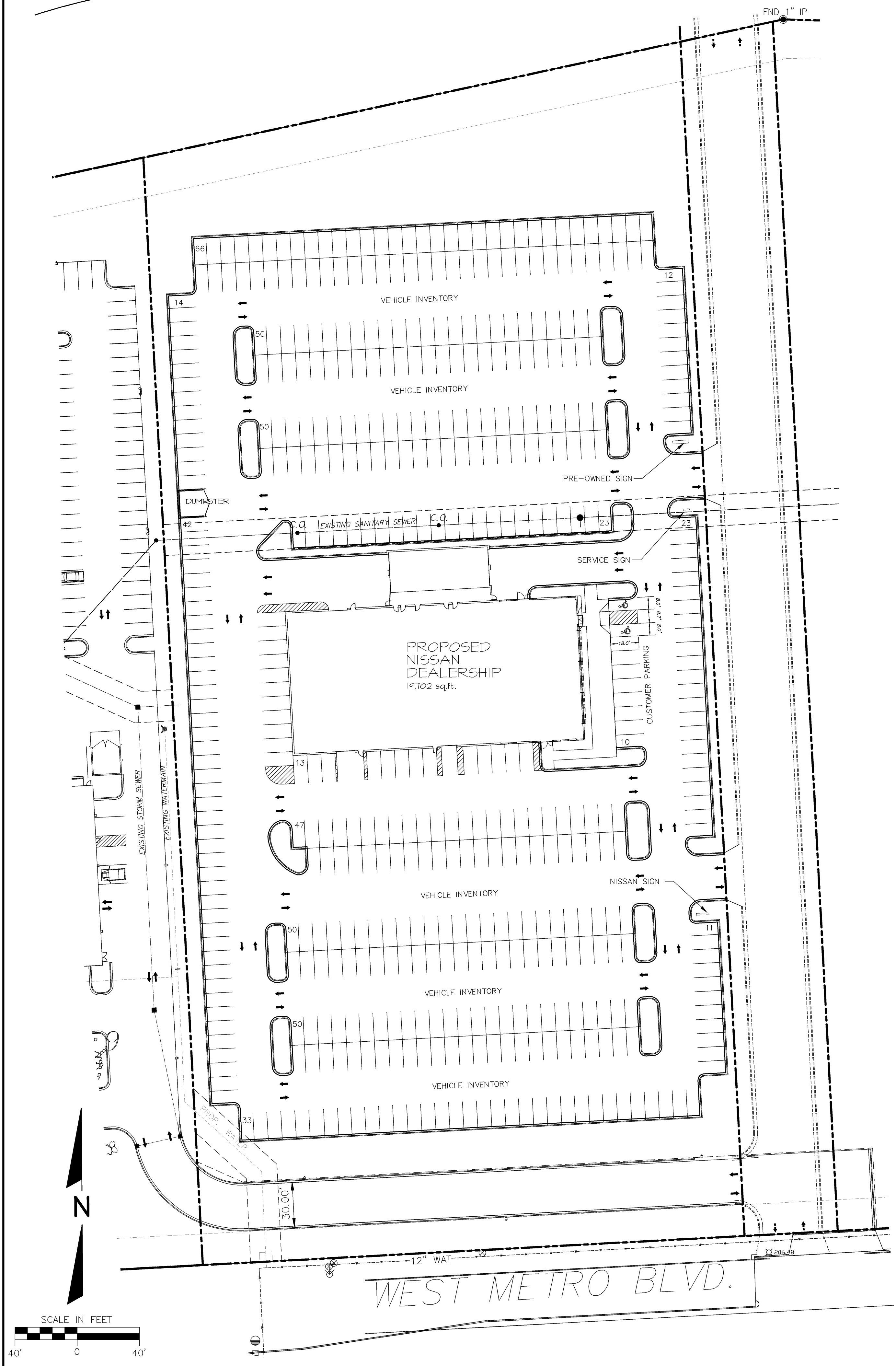
1 SERVICE MONUMENT SIGN



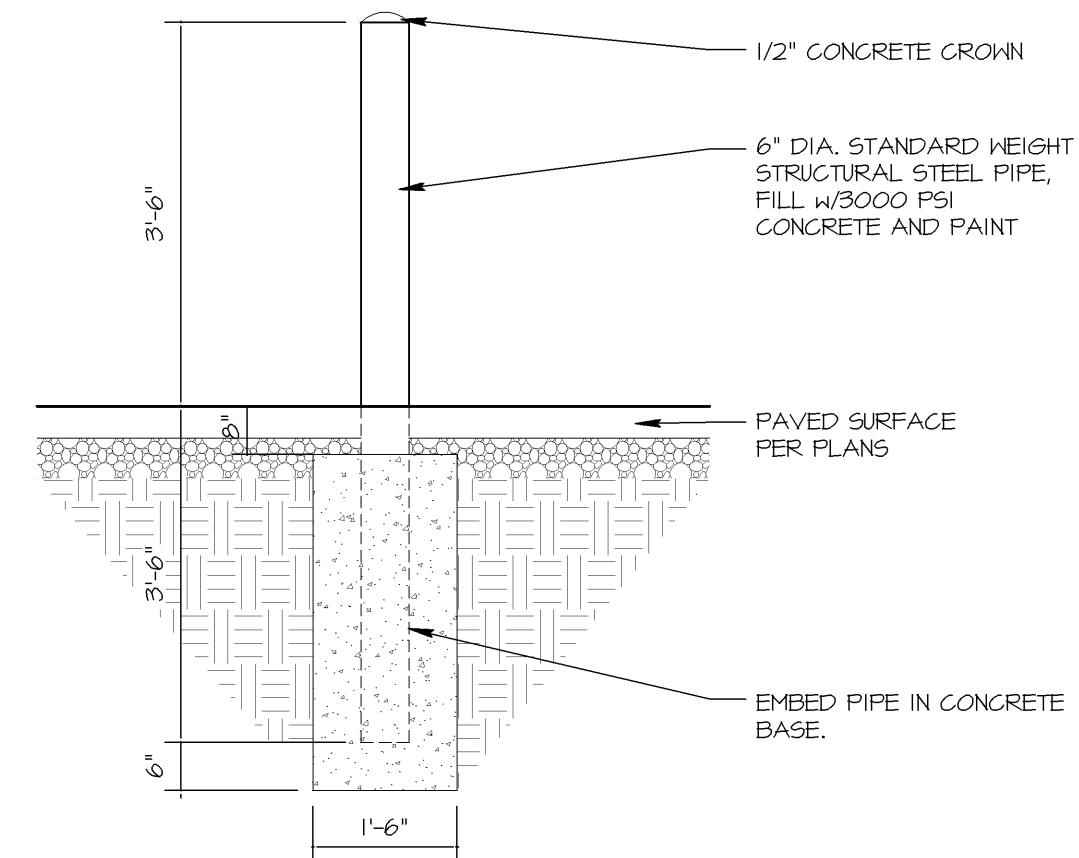
2 PRE-OWNED SIGN



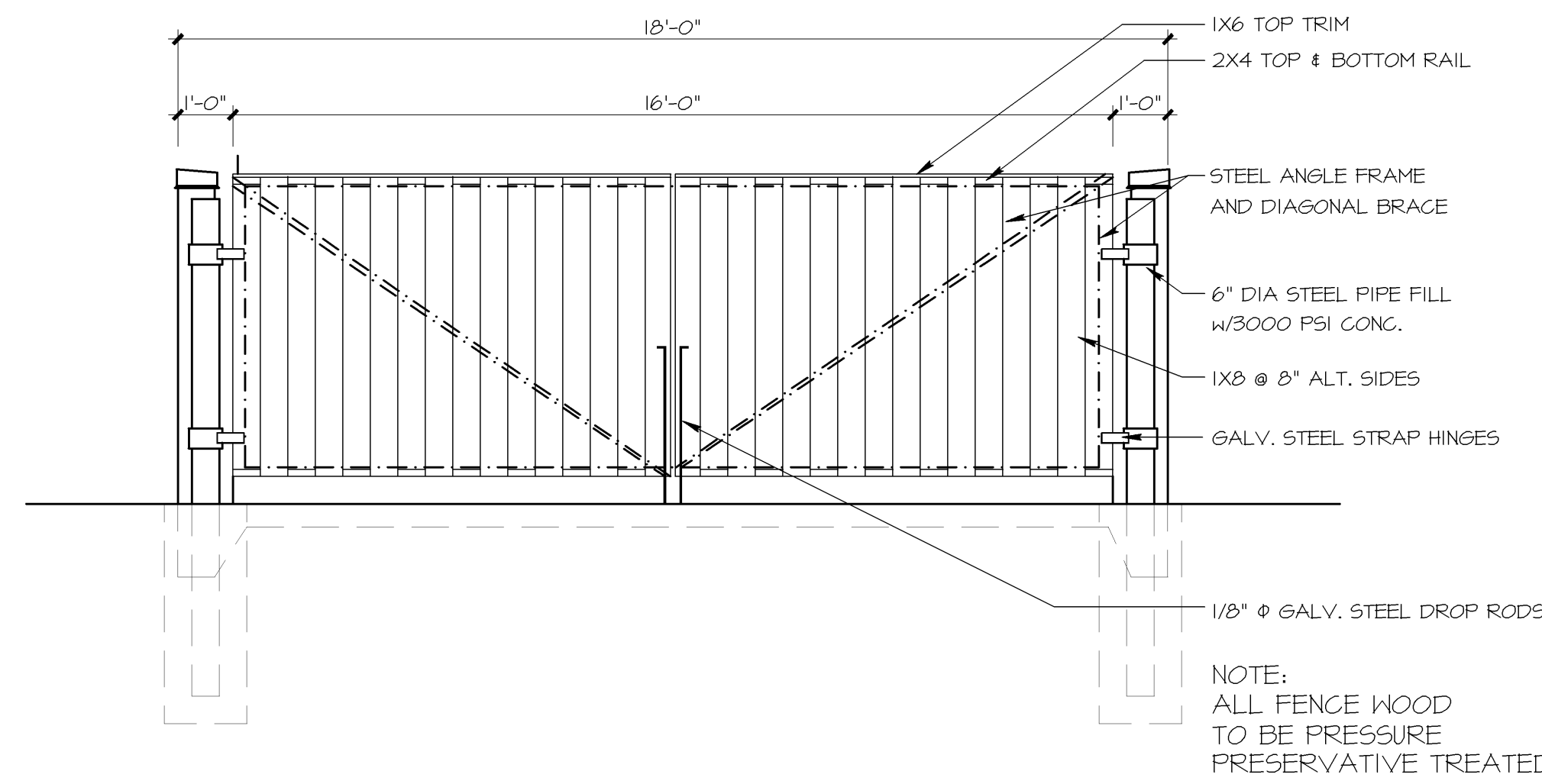
3 NISSAN SIGN



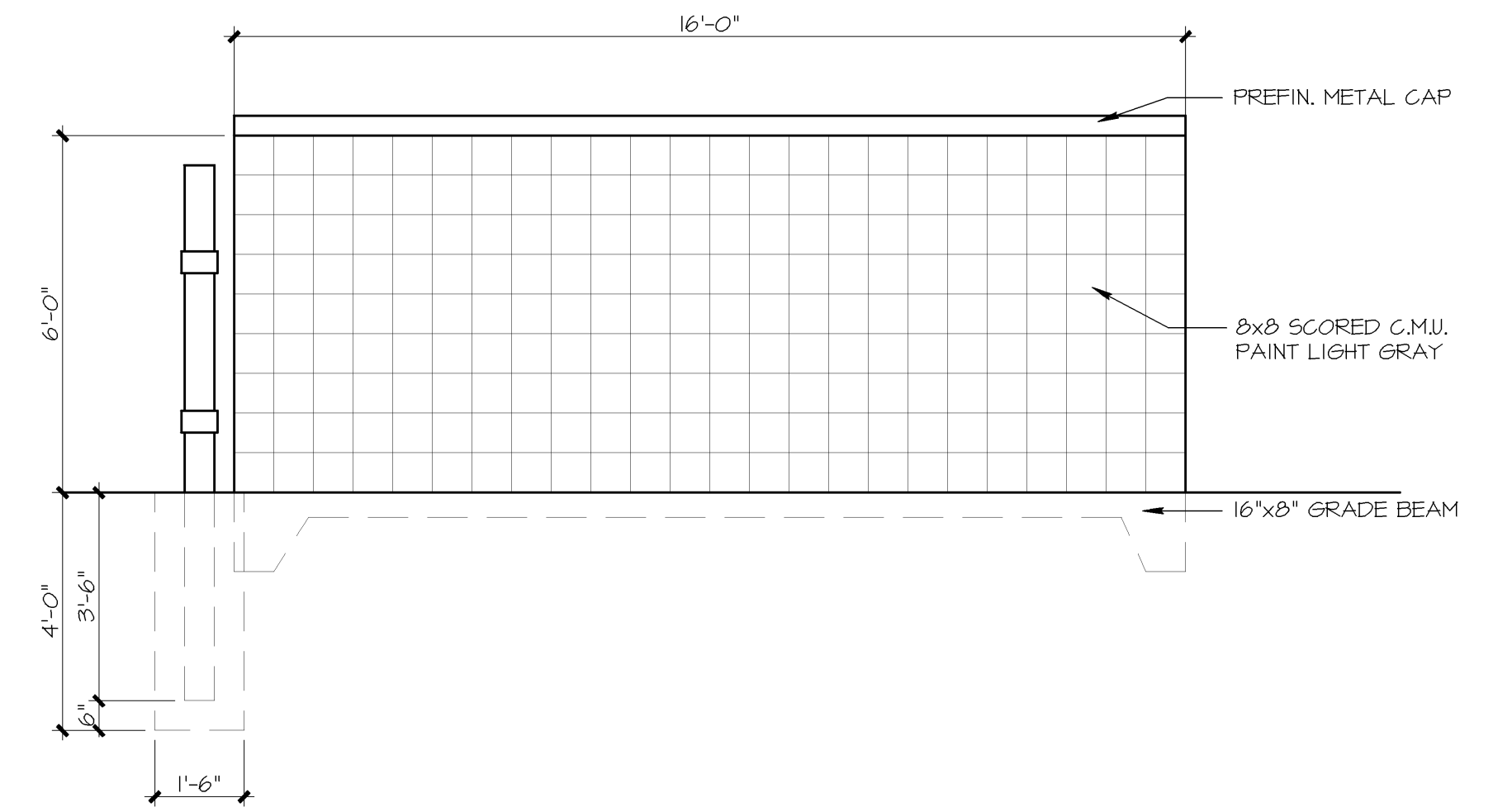
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<b>CITY OF MILWAUKEE, WI</b>					
<b>DARROW NISSAN</b>					
<b>SITE DEVELOPMENT PLAN</b>					
SCALE: 1"= 40'-0"		JOB NO: 11-172.000		DATE: 10-20-11	
DESIGNED BY: ROB		DRAWN BY: ROB		CHECKED BY:	
APPROVED BY:					
		ENGINEER		DATE	
				<b>SHEET SD-1.0</b>	



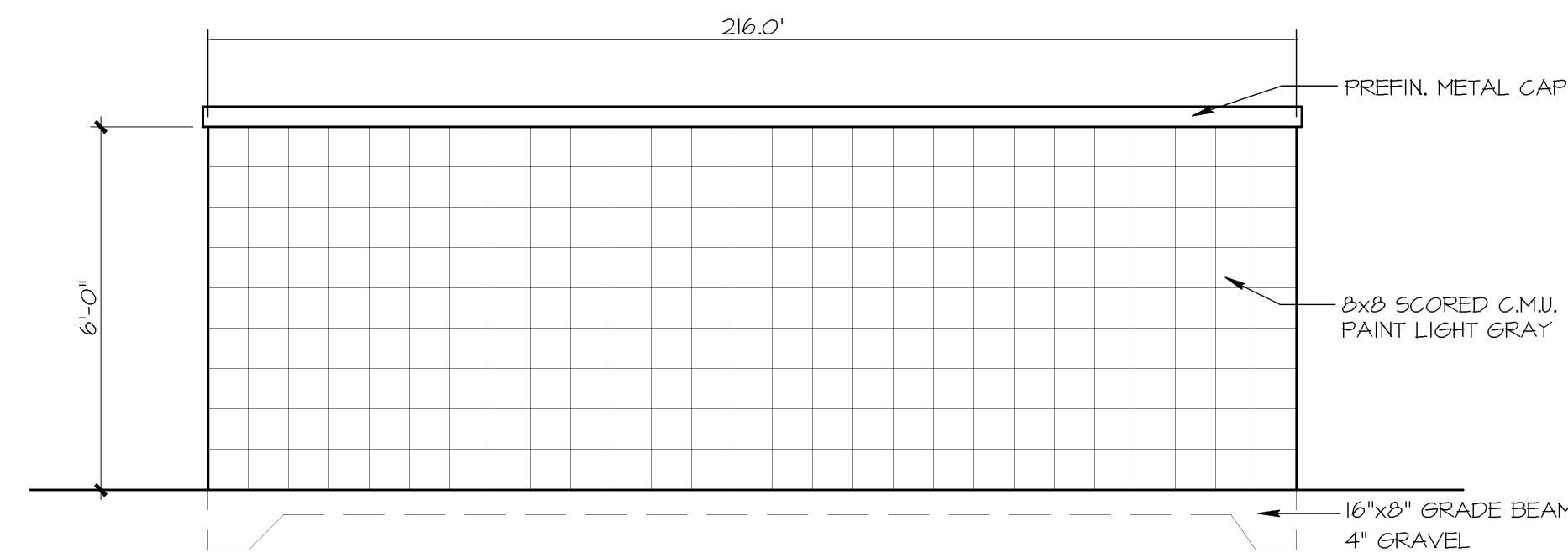
⑤ PIPE BOLLARD DETAIL  
3/8" = 1'-0"



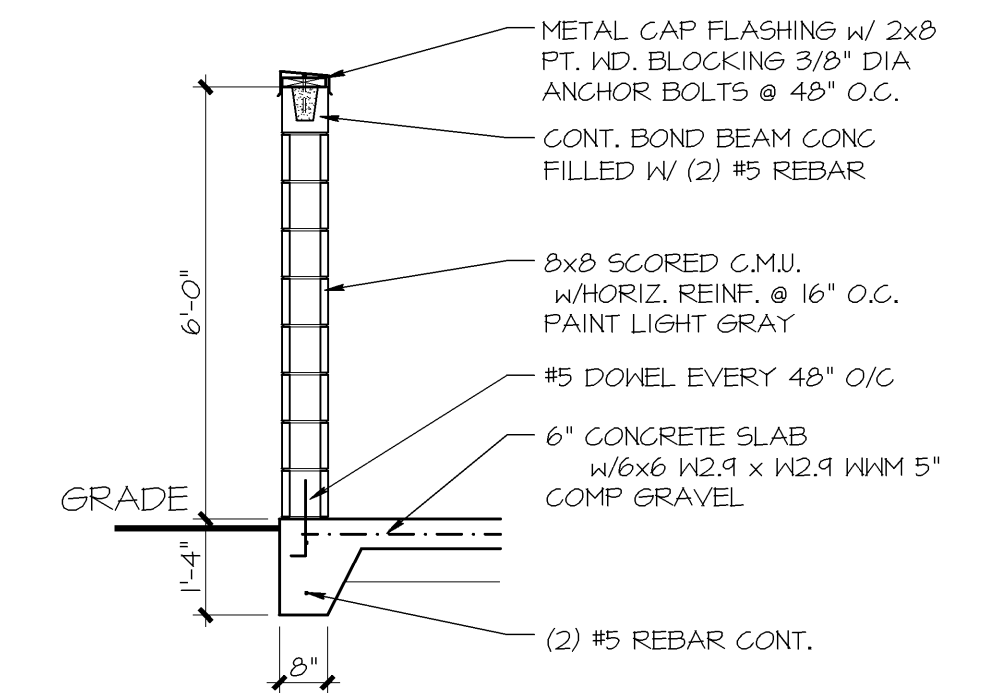
③ DUMPSTER ENCLOSURE FRONT  
3/8" = 1'-0"



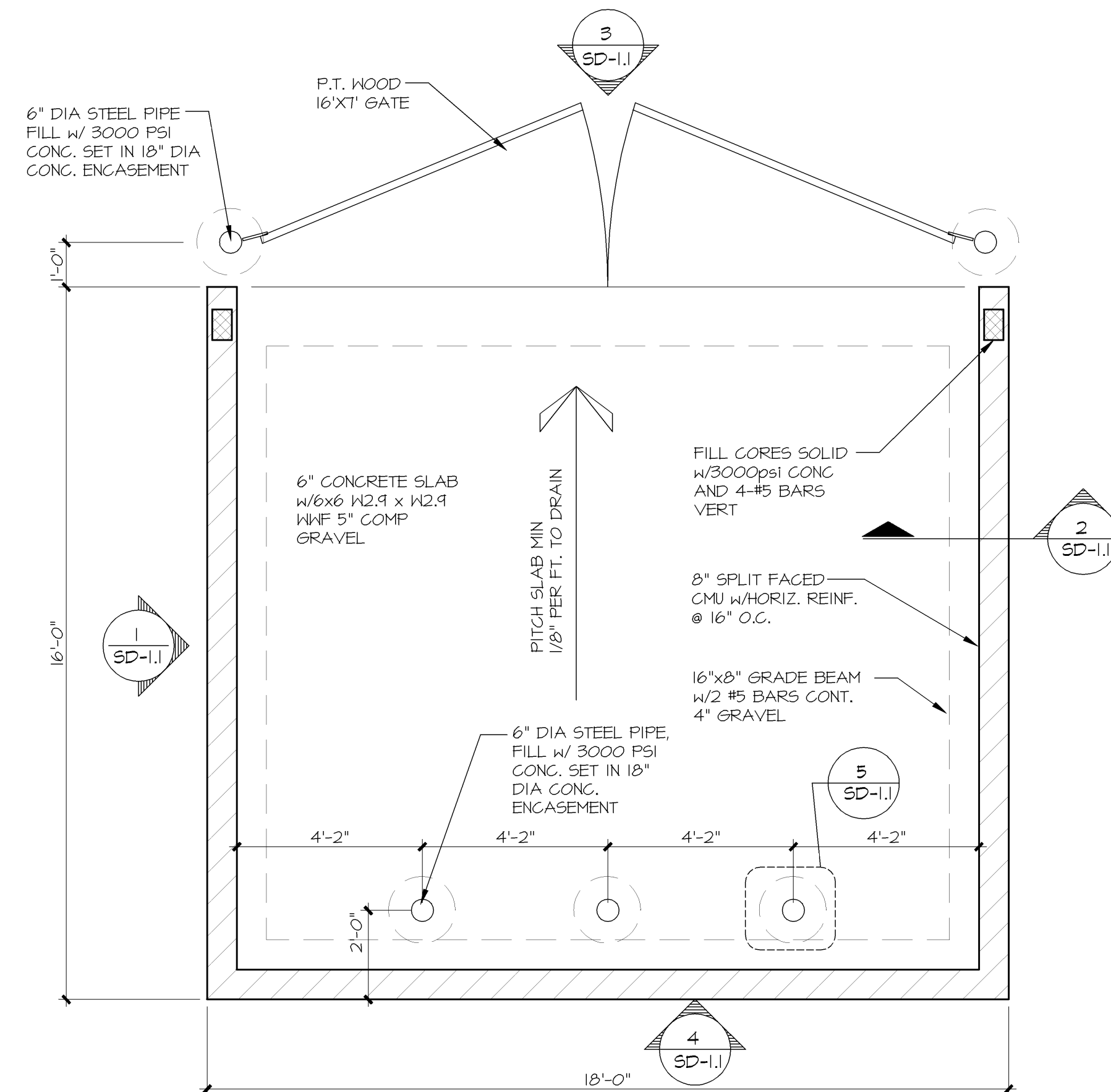
① DUMPSTER ENCLOSURE SIDE  
3/8" = 1'-0"



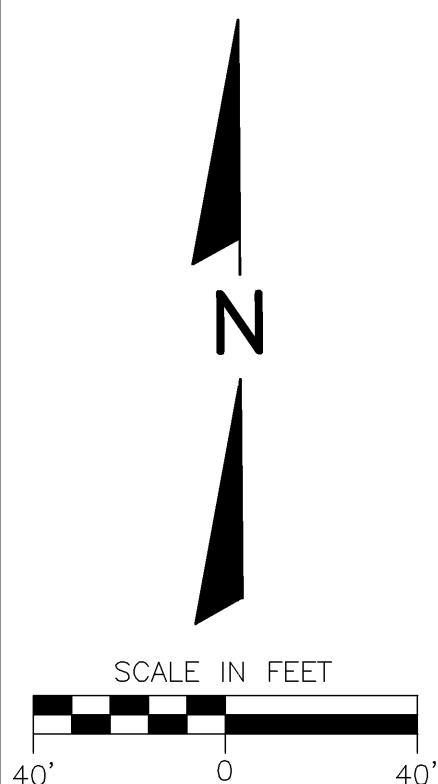
④ DUMPSTER ENCLOSURE REAR  
3/8" = 1'-0"



② DUMPSTER SECTION  
3/8" = 1'-0"



⑤ DUMPSTER ENCLOSURE PLAN  
3/8" = 1'-0"

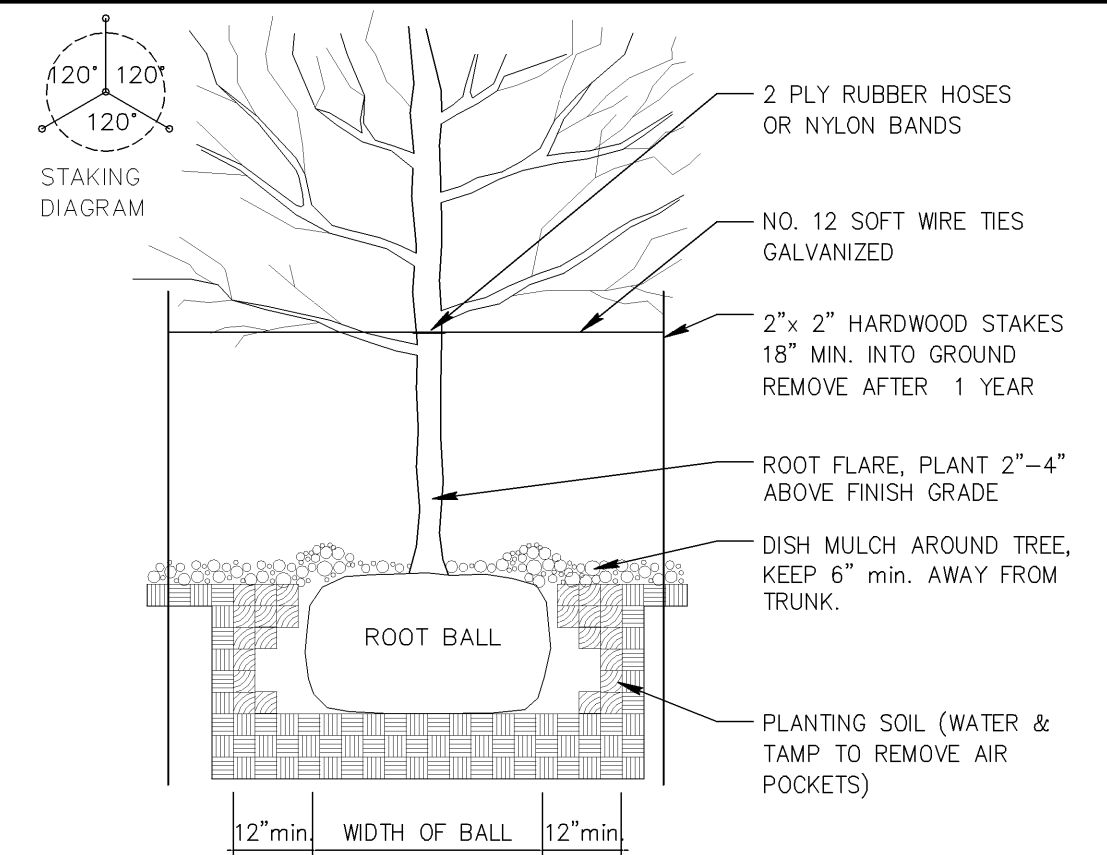


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NOTE	DATE			
		CITY OF MILWAUKEE, WI DARROW NISSAN		
		<b>SITE DEVELOPMENT DETAILS</b>		
		SCALE: 1" = 40'-0"	JOB NO: 11-172.000	DATE: 09-22-11
		DESIGNED BY: ROB	DRAWN BY: ROB	CHECKED BY:
		APPROVED BY:		
		ENGINEER	DATE	SHEET SD-1.1

PLANT SCHEDULE (CONTRACTOR RESPONSIBLE FOR VERIFYING PLANT QUANTITIES)							
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING	SIZE	TYPE
9	AF	Acer x 'freemanni' 'Autumn Blaze'	Autumn Blaze Maple	45'-60'	B / B	2 1/2"	Shade Tree
16	GT	Gleditsia triacanthos 'Impcole'	Imperial Honeylocust	35'-40'	B / B	2 1/2"	Shade Tree
16	TA	Tilia americana 'Redmond'	Redmond Linden	35'-40'	B / B	2 1/2"	Shade Tree
12	SR	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	15'-20'	B / B	2"	Ornamental Tree
5	TO	Thujo occidentalis 'Holmstrup'	Holmstrup Arborvitae	12'-15'	B / B	5'	Evergreen Tree
84	BT	Berberis thunbergii 'Rose Glo'	Rose Glo Barberry	3' x 3'	POT	2 Gal	Deciduous Shrub
59	RA	Rhus aromatica 'Gro-low'	Grow Low Sumac	1'-2'	POT	2 Gal	Deciduous Shrub
125	SG	Spiraea x 'Goldflame'	Goldflame Spiraea	3' x 3'	POT	2 Gal	Deciduous Shrub
96	JH	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	1' x 4'	POT	2 Gal	Evergreen Shrub
47	JS	Juniperus sabinia 'Broadmoor'	Broadmoor Juniper	2' x 4'	POT	5 Gal	Evergreen Shrub
30	TM	Taxus x media 'Runyan'	Runyan Yew	3' x 5'	POT	18"	Evergreen Shrub
59	CA	Calamagrostis oculiflora 'Karl Foerster'	Karl Foerster Grass	42"-48"	POT	1 Gal	Ornamental Grass
79	HS	Hemerocallis x 'Stella D'oro'	Stella D'oro Daylily	18"-24"	POT	1 Gal	Perennial

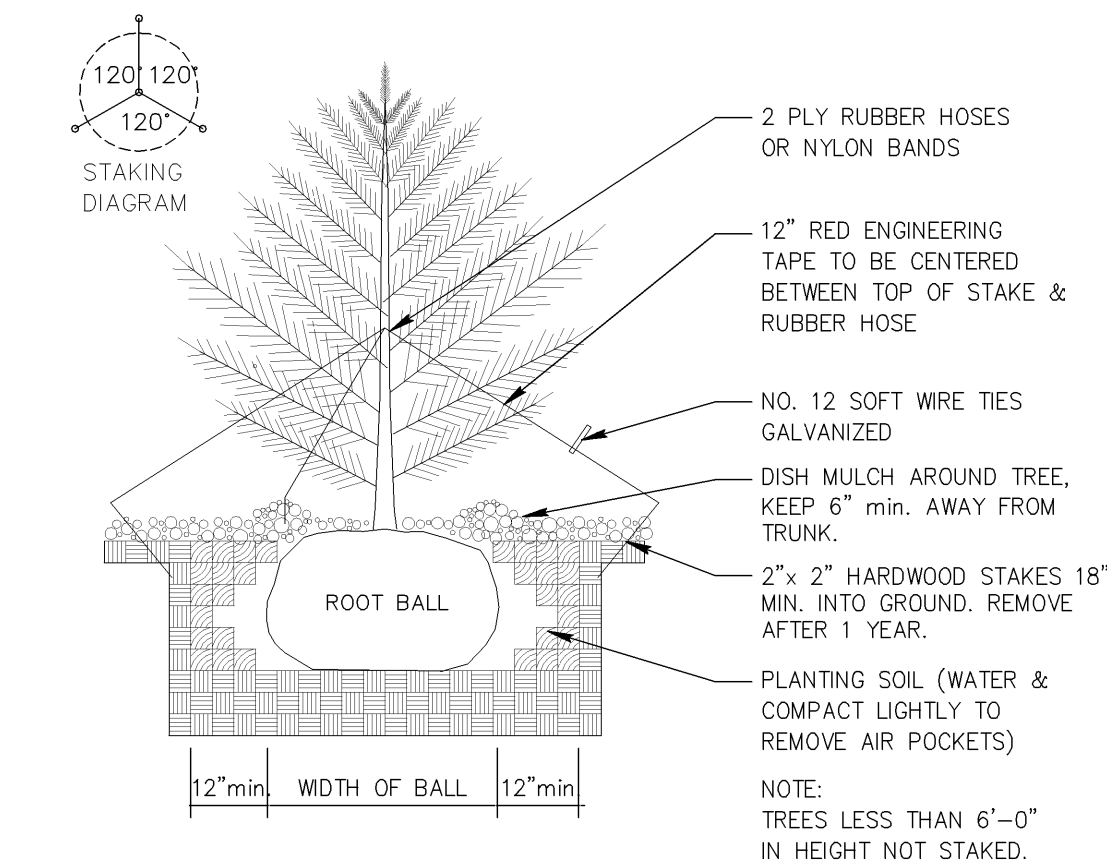
GENERAL NOTES:

- 1.) ALL FINISHED GRADES TO BE 1" BELOW TOP OF CURBS OR PAVEMENT.
- 2.) BACKFILL AND GRADE ALL PLANTING AREAS WITH MIN. 12" BLENDED TOPSOIL.
- 3.) ALL LAWN AREAS TO BE SEED UNLESS OTHERWISE NOTED.
- 4.) ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK.
- 5.) ALL TREES NOT IN A PLANTING BED SHALL BE MULCHED WITH A MINIMUM 1' RADIUS FOR EACH 1 INCH CALIPER. USE SHREDDED HARDWOOD MULCH AT 2" DEPTH.
- 6.) PROVIDE MIN. 2 YEAR WARRANTY ON ALL PLANT MATERIAL.
- 7.) ALL PLANTING BEDS TO BE EDGED WITH COMMERCIAL GRADE PLASTIC EDGING.
- 8.) ALL PLANTING BEDS TO BE MULCHED AT 2" DEPTH WITH STONE MULCH



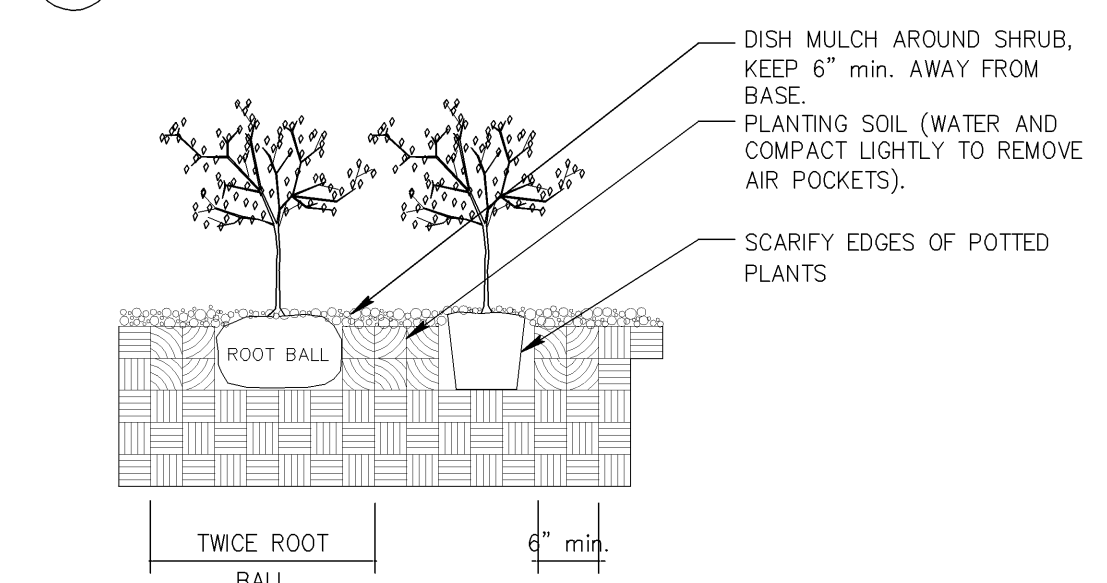
1. DECIDUOUS TREE

N.T.S.



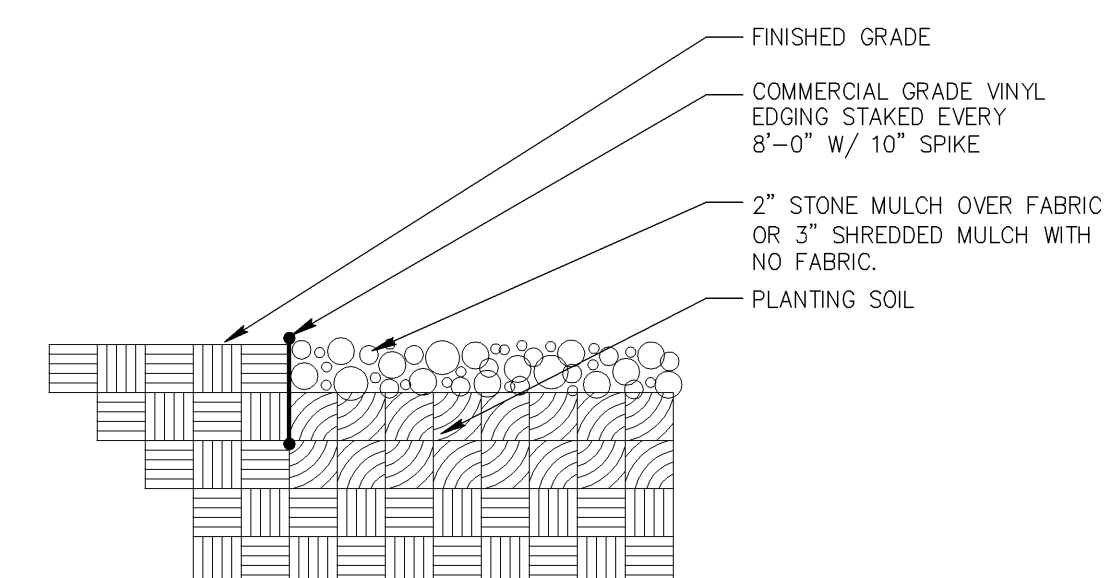
2. CONIFEROUS TREE

N.T.S.



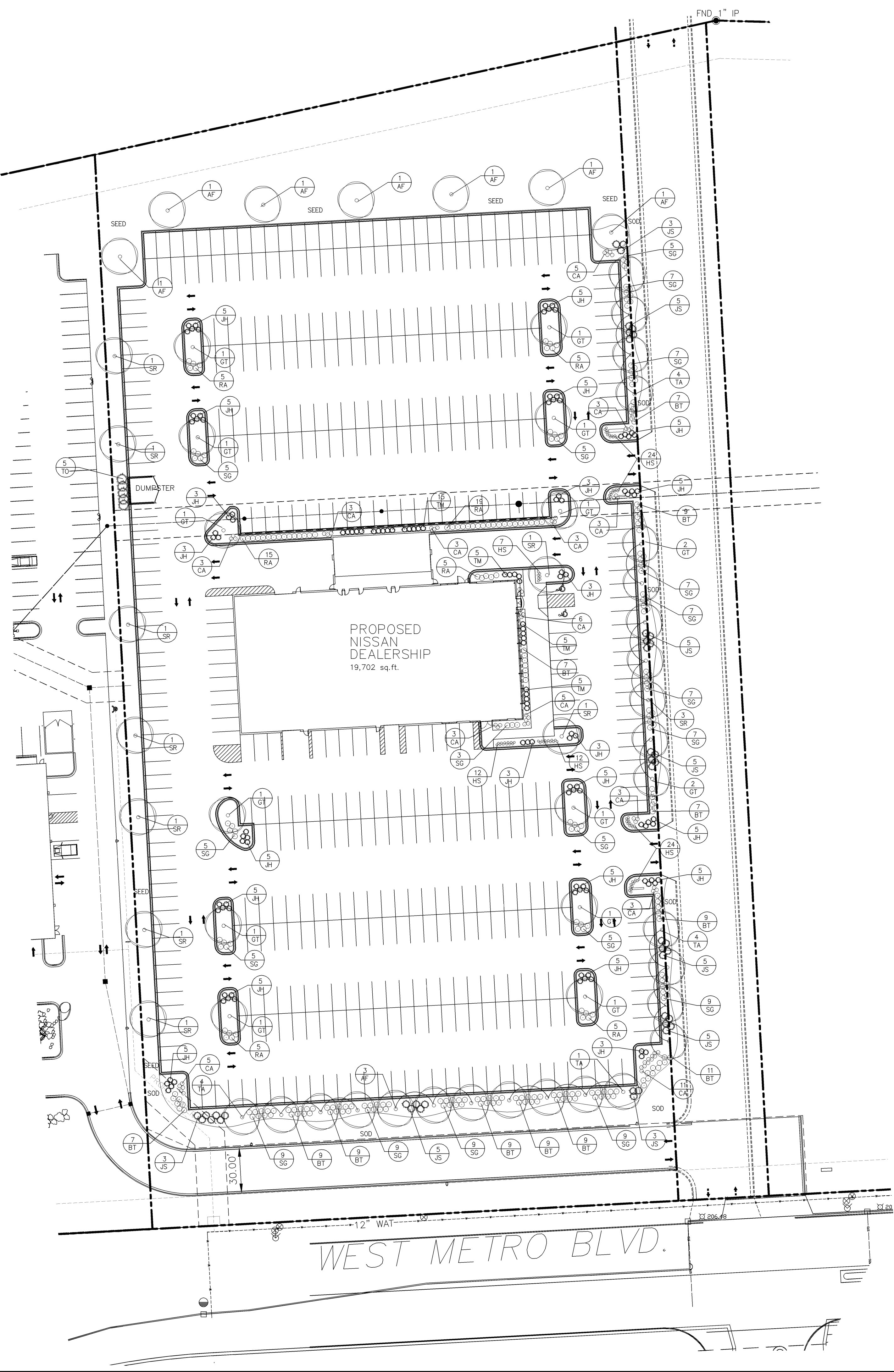
3. SHRUB PLANTING

N.T.S.



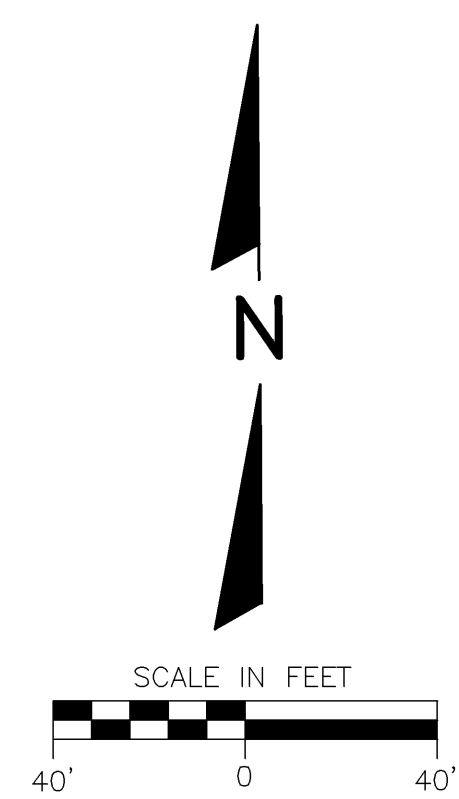
4. PLANTING EDGE

N.T.S.



- SEED MIX # 1 (Lawn)
- 35% KENTUCKY BLUEGRASS
  - 20% CREEPING RED FESCUE
  - 20% IMPROVED HARD FESCUE
  - 25% IMPROVED FINE PERENNIAL RYEGRASS

APPLICATION RATE: 2lbs/1000 Sq. Ft. \*  
APPLY STRAW MULCH IMMEDIATELY AFTER SEEDING  
TURF STARTER FERTILIZER: 20-10-10  
APPLICATION RATE: 5lbs/1000 Sq. Ft.



REVISIONS:		NOTE		DATE	

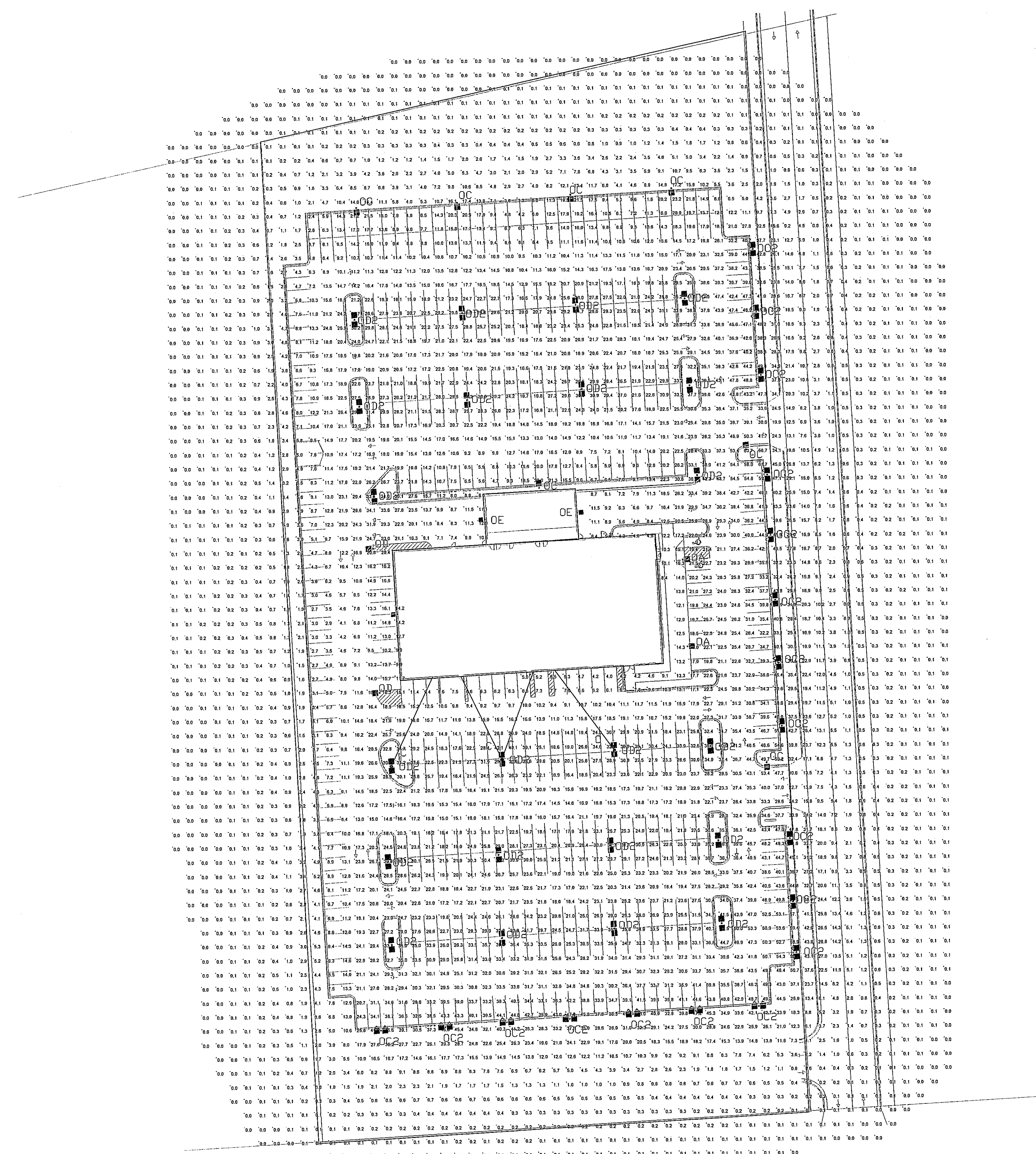
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CITY OF MILWAUKEE, WI		
DARROW NISSAN		
<b>SITE LANDSCAPE PLAN</b>		

SCALE: 1"= 40'-0"	JOB NO: 11-172.000	DATE: 10-13-11
DESIGNED BY: ROB	DRAWN BY: ROB	CHECKED BY:
APPROVED BY:	DATE	SHEET L-1.0



Plan View  
Scale 1"=30'

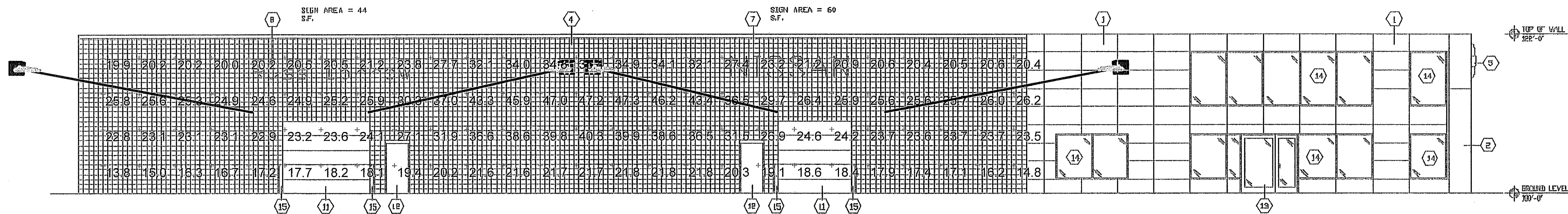
STATISTICS						
Description	Symbol	Avg	Max	Min	Avg/Min	
Calc Zone #1	+	11.9 ft	63.7 ft	0.0 ft	N/A	N/A
FRONT ROW	+	43.8 ft	63.7 ft	27.2 ft	2.3:1	1.6:1
LOT ONLY	+	22.8 ft	63.7 ft	2.4 ft	26.5:1	9.5:1

LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	File
■	OA	2	EC423-1-0H-1000MH	ECOLIML	CLEAR HORIZONTAL 1000M RATED FOR 10000 LUMENS	EC423-0H-1000MH
■	OC	7	EC423-2-FH-1000MH	ECOLIML	CLEAR HORIZONTAL 1000M RATED FOR 10000 LUMENS	EC423-FH-1000MH
■	OC2	18	EC423-2-FH-1000MH	ECOLIML	CLEAR HORIZONTAL 1000M RATED FOR 10000 LUMENS	EC423-FH-1000MH
■	OD	2	EC423-1-0H-1000MH	ECOLIML	CLEAR HORIZONTAL 1000M RATED FOR 10000 LUMENS	EC423-0H-1000MH
■	OD2	22	EC423-2-FH-1000MH	ECOLIML	CLEAR HORIZONTAL 1000M RATED FOR 10000 LUMENS	EC423-FH-1000MH
■	OE	3	EC418-FH-400PMH	ECOLIML	CLEAR HORIZONTAL 400PM RATED FOR 4000 LUMENS	EC418-FH-400PMH
■	A	4	FSL100M-MFP	DAYBRITE LARGE FLOODLIGHT	1000MH	FSL100M-MFP

LUMINAIRE LOCATIONS											
No.	Label	X	Y	Z	Mt	Orientation	TR	X	Y	Z	
1	OC2	320.0	629.0	26.3	26.3	177.0	0.0				
2	OC2	320.0	425.0	26.3	26.3	177.0	0.0				
3	OC2	322.0	376.0	26.3	26.3	177.0	0.0				
4	OC2	325.0	324.0	26.3	26.3	177.0	0.0				
5	OC2	327.0	280.0	26.3	26.3	177.0	0.0				
6	OC2	332.0	209.0	26.3	26.3	177.0	0.0				
7	OC2	336.0	128.0	26.3	26.3	177.0	0.0				
8	OC	251.0	673.0	26.3	26.3	176.0	0.0	251.1	671.4	0.0	
9	OC	179.0	699.0	26.3	26.3	176.0	0.0	179.1	697.4	0.0	
10	OC	66.0	664.0	26.3	26.3	176.0	0.0	66.1	662.4	0.0	
11	OC	26.0	601.0	26.3	26.3	176.0	0.0	26.1	599.4	0.0	
12	OC2	24.0	591.0	26.3	26.3	-4.0	0.0				
13	OC2	250.0	294.0	26.3	26.3	-4.0	0.0				
14	OC2	27.0	519.0	26.3	26.3	-4.0	0.0				
15	OC2	253.0	532.0	26.3	26.3	-4.0	0.0				
16	OC2	27.0	455.0	26.3	26.3	-4.0	0.0				
17	OC2	155.0	490.0	26.3	26.3	-4.0	0.0	154.9	491.6	0.0	
18	OC2	268.0	498.0	26.3	26.3	-4.0	0.0				
19	OC2	48.0	383.0	26.3	26.3	-4.0	0.0				
20	OC2	276.0	276.0	26.3	26.3	-4.0	0.0				
21	OC2	45.0	195.0	26.3	26.3	-4.0	0.0				
22	OC2	281.0	208.0	26.3	26.3	-4.0	0.0				
23	OC2	47.0	136.0	26.3	26.3	-4.0	0.0				
24	OC2	283.0	149.0	26.3	26.3	-4.0	0.0				
25	OA	290.0	345.0	26.3	26.3	86.0	0.0	291.6	346.1	0.0	
26	OA	257.0	408.0	26.3	26.3	86.0	0.0	258.6	409.1	0.0	
27	OE	162.0	442.0	20.0	20.0	86.0	0.0	163.4	442.1	0.0	
28	OE	116.0	458.0	20.0	20.0	266.0	0.0	114.6	457.9	0.0	
29	OD	36.0	416.0	26.3	26.3	266.0	0.0	34.4	417.9	0.0	
30	OD	40.0	315.0	26.3	26.3	266.0	0.0	38.4	314.9	0.0	
31	OC	59.0	371.0	20.0	20.0	266.0	0.0	57.6	370.9	0.0	
32	OC2	314.0	539.0	26.3	26.3	177.0	0.0				
33	OC2	311.0	584.0	26.3	26.3	177.0	0.0				
34	OC2	334.0	164.0	26.3	26.3	177.0	0.0				
35	OC2	318.0	468.0	26.3	26.3	177.0	0.0				
36	OC	303.0	466.0	20.0	20.0	-4.0	0.0	302.9	467.6	0.0	
37	OC	316.0	263.0	20.0	20.0	176.0	0.0	316.1	261.4	0.0	
38	OC2	39.0	75.0	26.3	26.3	267.0	0.0				
39	OC2	85.0	77.0	26.3	26.3	267.0	0.0				
40	OC2	129.0	80.0	26.3	26.3	267.0	0.0				
41	OC2	174.0	82.0	26.3	26.3	267.0	0.0				
42	OC2	219.0	85.0	26.3	26.3	267.0	0.0				
43	OC2	264.0	87.0	26.3	26.3	267.0	0.0				
44	OC2	309.0	90.0	26.3	26.3	267.0	0.0				
45	OD2	127.0	287.0	26.3	26.3	-4.0	0.0				
46	OD2	126.0	140.0	26.3	26.3	-4.0	0.0				
47	OD2	124.0	199.0	26.3	26.3	-4.0	0.0				
48	OD2	207.0	273.0	26.3	26.3	-4.0	0.0				
49	OD2	296.0	146.0	26.3	26.3	-4.0	0.0				
50	OD2	204.0	265.0	26.3	26.3	-4.0	0.0				
51	OD2	101.0	265.0	26.3	26.3	-4.0	0.0				
52	OD2	164.0	233.0	26.3	26.3	-4.0	0.0				
53	OD2	162.0	590.0	26.3	26.3	-4.0	0.0				
54	OC2	195.0	530.0	26.3	26.3	-4.0	0.0				
55	A	49.0	263.0	20.0	20.0	25.5	85.1	78.0	326.0	14.0	
56	A	127.0	267.0	20.0	20.0	-26.2	84.8	98.0	326.0	14.0	
57	A	127.0	267.0	20.0	20.0	20.4	84.8	150.0	326.0	14.0	
58	A	207.0	273.0	20.0	20.0	-35.4	85.2	165.0	330.0	14.0	

DARROW NISSAN  
MILWAUKEE, WI

Designer  
EH  
Date  
Oct 11 2011  
Scale  
36X48 PAPER  
Drawing No.



2 SOUTH ELEVATION  
1/8" = 1'-0"

South Elevation  
Scale 1" = 16'

**STATISTICS**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	26.1 fc	47.3 fc	13.8 fc	3.4:1	1.9:1

**LUMINAIRE SCHEDULE**

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
■	C	4	FSL10XM-MHP	DAYBRITE LARGE FLOODLIGHT	1000MH	FSL1MMHP.ie s	110000	0.72	1100

**LUMINAIRE LOCATIONS**

No.	Label	Location			MH	Orientation	Tilt	Aim		
		X	Y	Z				X	Y	Z
1	C	691.0	-484.0	20.0	20.0	28.1	85.0	723.0	-424.0	14.0
2	C	766.0	-484.0	20.0	20.0	-24.2	84.8	739.0	-424.0	14.0
3	C	842.0	-484.0	20.0	20.0	-28.1	85.0	810.0	-424.0	14.0
4	C	770.0	-484.0	20.0	20.0	22.6	84.7	795.0	-424.0	14.0

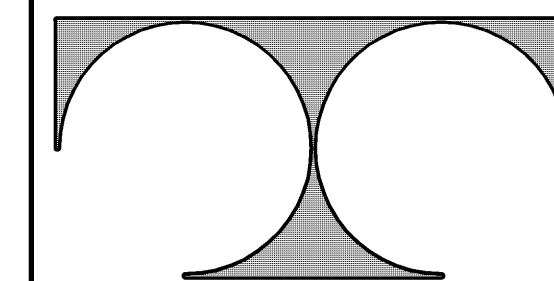
DARROW NISSAN  
BUILDING FLOODLIGHTING

Designer

Date  
Oct 10 2011

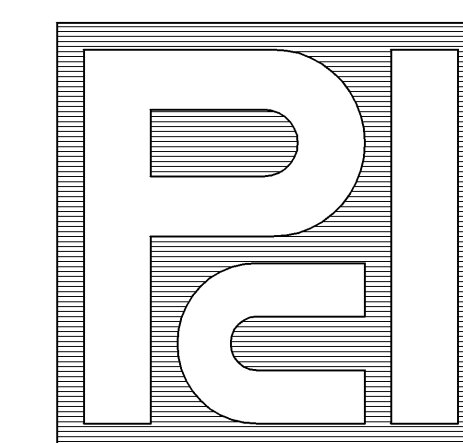
Scale  
11X17 PAPER

Drawing No.



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ARCHITECTS, ENGINEERS, PLANNERS

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WAUKESHA, WISCONSIN 53186  
PHONE 262-437-0400 FAX 262-437-0401



PROFESSIONAL  
CONSULTANTS, INC.

300 COTTONWOOD AVE # 7  
HARTLAND, WISCONSIN 53029  
(262) 367-6080

RUSS DARROW NISSAN  
METRO AUTO PARK

WEST METRO BOULEVARD  
MILWAUKEE, WISCONSIN

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Sheet Title  
FLOOR PLAN

Issued For: Date:

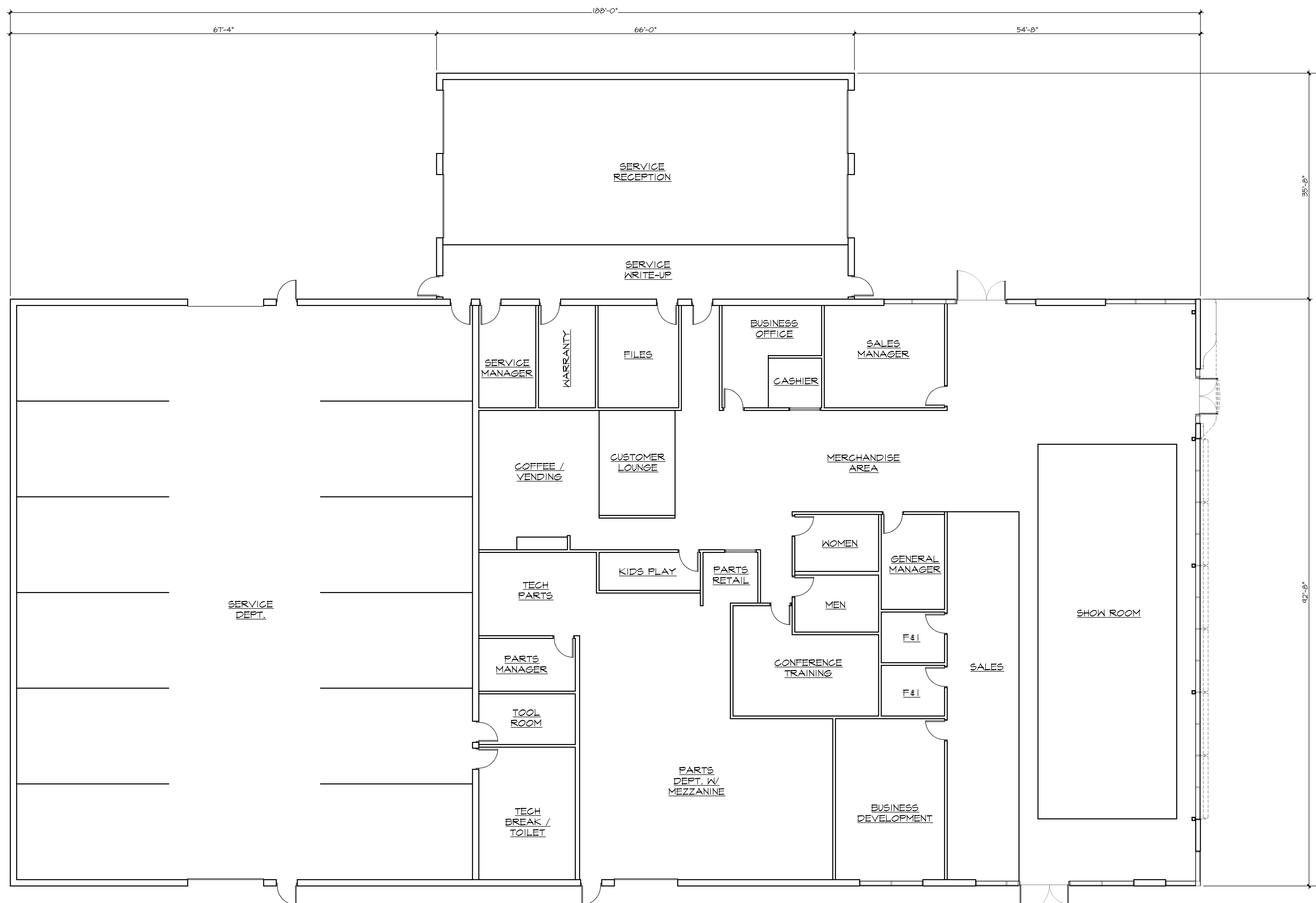
Date: 09-22-2011

Job NO.: 11172.000

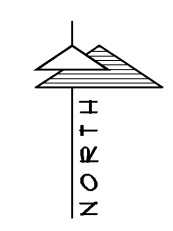
Drawn By: RJH

Sheet No.

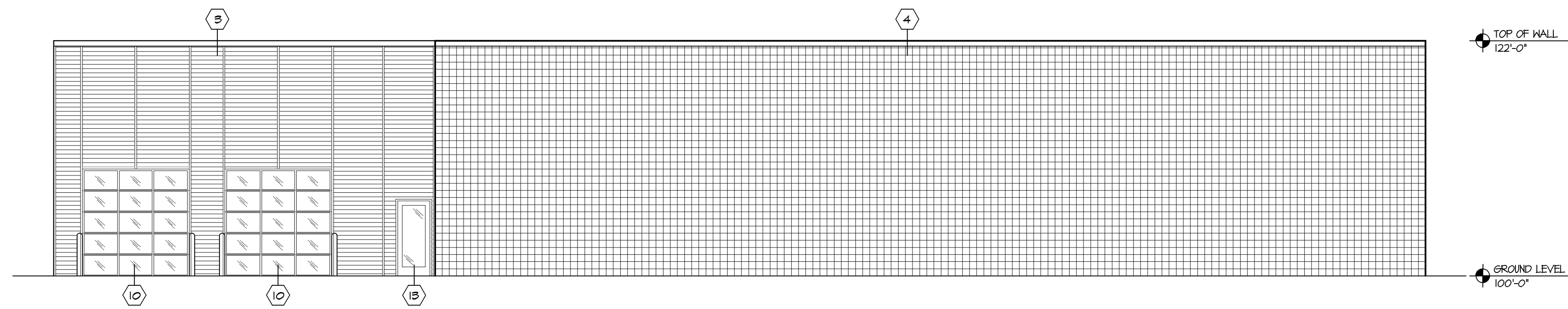
A1.1



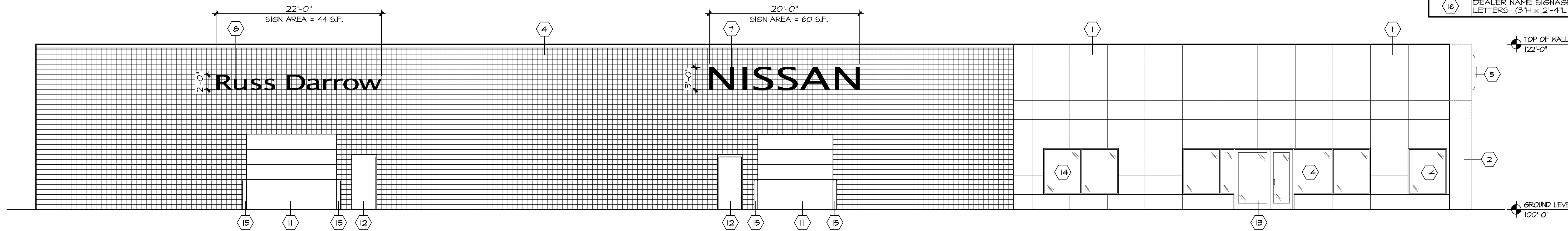
1 FLOOR PLAN  
1/8"=1'-0"



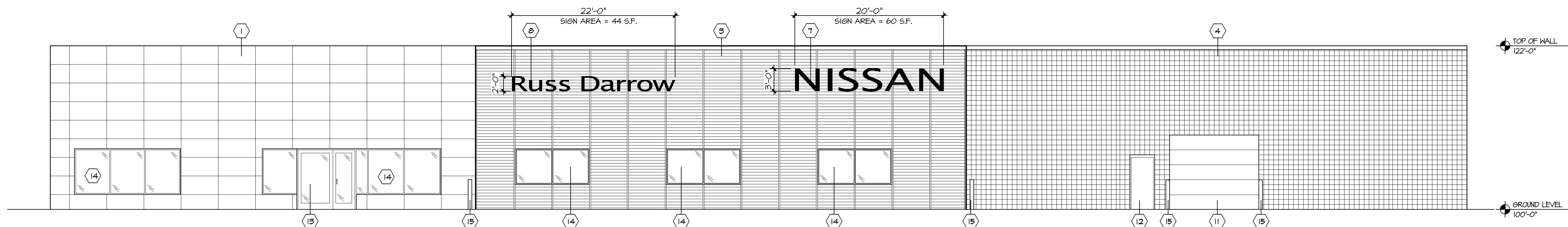




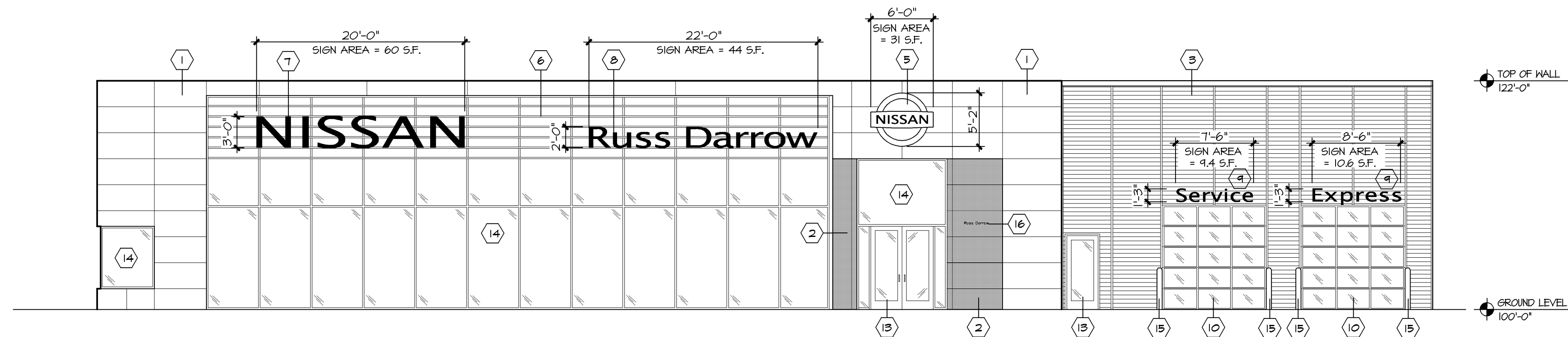
1 WEST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"



3 NORTH ELEVATION  
1/8" = 1'-0"



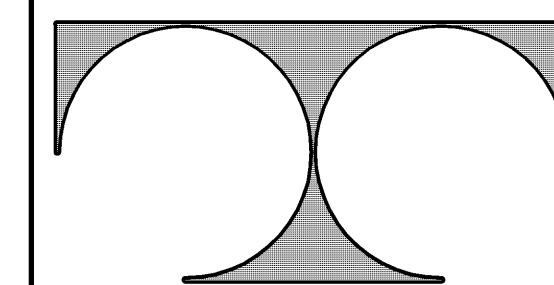
4 EAST ELEVATION  
1/8" = 1'-0"

MATERIAL KEY

TAG	DESCRIPTION
1	ACM-1 SILVER ACM METALLIC PANELS
2	ACM-2 RED ACM TO MATCH NISSAN PANELS (ENTRANCE ELEMENT ONLY)
3	ARM-1 SILVER METALLIC RIBBED METAL PANELS
4	8 x 8 SCOURED CMU WALL PAINTED LIGHT GRAY
5	SHOWROOM ENTRY NISSAN BRAND SYMBOL SIGNAGE
6	SILVER METALLIC LOUVER FASCIA
7	NISSAN CHANNEL LETTERS SIGNAGE, RED ACRYLIC FACE, L.E.D. INTERNAL ILLUMINATION (36"H x 20'-0"L approx.)
8	DEALER NAME SIGNAGE, WHITE ACRYLIC FACE, L.E.D. INTERNAL ILLUMINATION (24"H x 22'-0"L approx.)
9	SERVICE CHANNEL LETTERS SIGNAGE, WHITE ACRYLIC FACE, L.E.D. INTERNAL ILLUMINATION (15"H)
10	OVERHEAD DOOR WITH VISION GLAZING IN ALUMINUM FRAMES
11	INSULATED OVERHEAD DOOR PAINTED LIGHT GRAY TO MATCH CMU WALLS
12	INSULATED HOLLOW METAL DOOR
13	PREFINISHED CLEAR ANODIZED ALUMINUM DOOR W/ LITE
14	1" CLEAR INSULATED GLASS W/ CLEAR ANODIZED ALUMINUM MULLIONS THERMALLY BROKEN
15	6" PIPE BOLLARD PAINTED DARK GRAY
16	DEALER NAME SIGNAGE, LETTERS (3"H x 2'-4"L approx.)

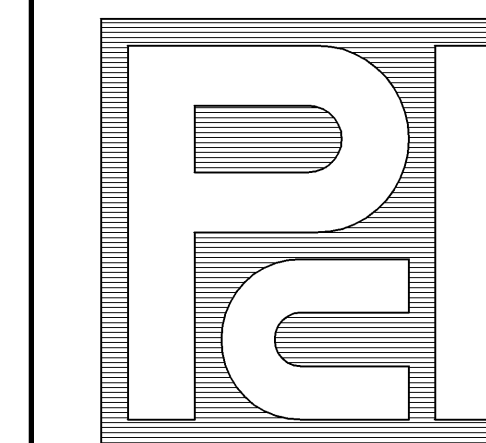
WALL SIGNAGE AREA

NISSAN SIGN EAST ELEVATION=	60 S.F.
RUSS DARROW SIGN EAST ELEVATION=	44 S.F.
NISSAN BRAND SYMBOL SIGN EAST ELEVATION=	31 S.F.
SERVICE SIGN EAST ELEVATION=	9.4 S.F.
EXPRESS SIGN EAST ELEVATION=	10.6 S.F.
RUSS DARROW SIGN @ ENTRANCE EAST ELEVATION=	0.5 S.F.
NISSAN SIGN NORTH ELEVATION=	60 S.F.
RUSS DARROW SIGN NORTH ELEVATION=	44 S.F.
NISSAN SIGN SOUTH ELEVATION=	60 S.F.
RUSS DARROW SIGN SOUTH ELEVATION=	44 S.F.
TOTAL SIGN AREA =	363.5 S.F.



TDI ASSOCIATES, INC.  
ARCHITECTS, ENGINEERS, PLANNERS

N8 W22350 JOHNSON DRIVE, SUITE B4  
WAUKESHA, WISCONSIN 53186  
PHONE 262-437-0400 FAX 262-437-0401



PROFESSIONAL  
CONSULTANTS, INC.

300 COTTONWOOD AVE # 7  
HARTLAND, WISCONSIN 53029  
(262) 367-6080

RUSS DARROW NISSAN  
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Sheet Title  
ELEVATIONS

Issued For: Date:

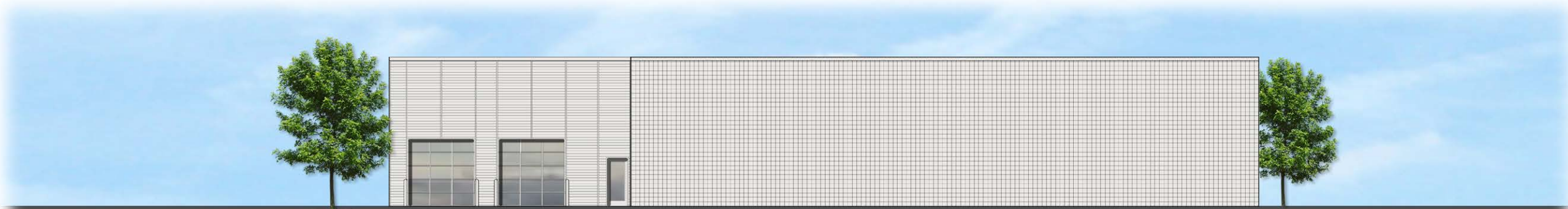
Date: 10-10-2011

Job NO.: 11172.000

Drawn By: RJH

Sheet No.

A2.1



1 WEST ELEVATION  
1/8" = 1'-0"



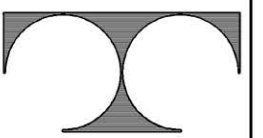
2 SOUTH ELEVATION  
1/8" = 1'-0"



3 NORTH ELEVATION  
1/8" = 1'-0"

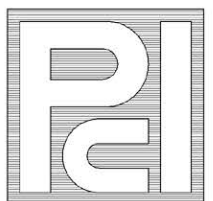


4 EAST ELEVATION  
1/8" = 1'-0"



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PHONE 262-437-0400 FAX 262-437-0401



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300 COTTONWOOD AVE # 7  
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Sheet Title  
**ELEVATIONS**

Issued For: \_\_\_\_\_ Date: \_\_\_\_\_

Date: 10-10-2011

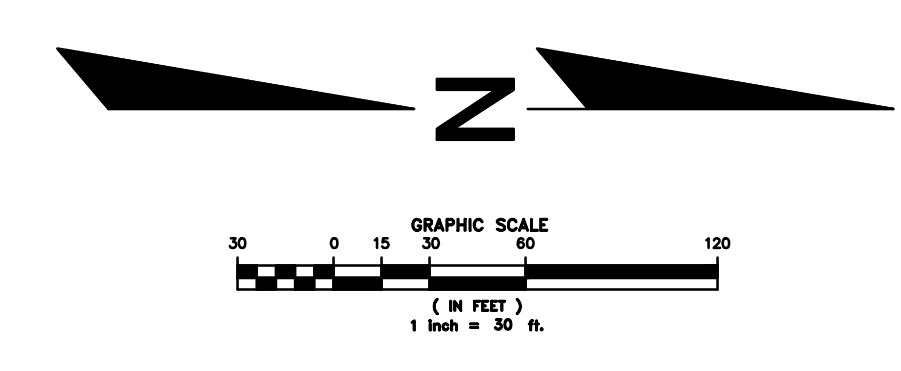
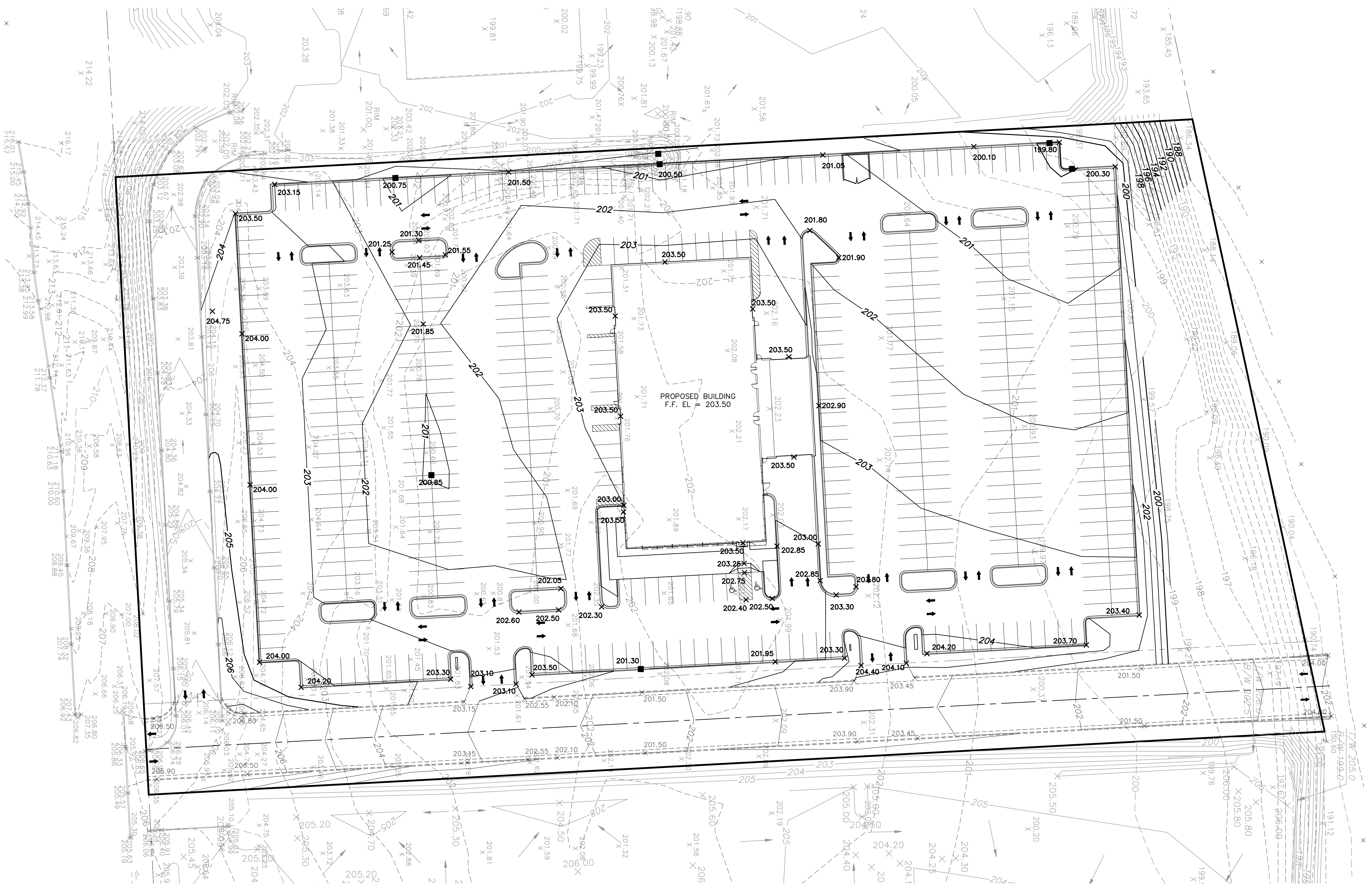
Job NO.: 11172.000

Drawn By: RJH

Sheet No.

A2.1





DATE	DESCRIPTION

**R.A. Smith National**  
*Beyond Surveying  
 and Engineering*

16745 W. Bluemound Road, Brookfield, WI 53005-5938  
 262-781-0000 Fax: 262-781-8466, www.rasmithnational.com

**RUSS DARROW NISSAN  
 MILWAUKEE, WI**

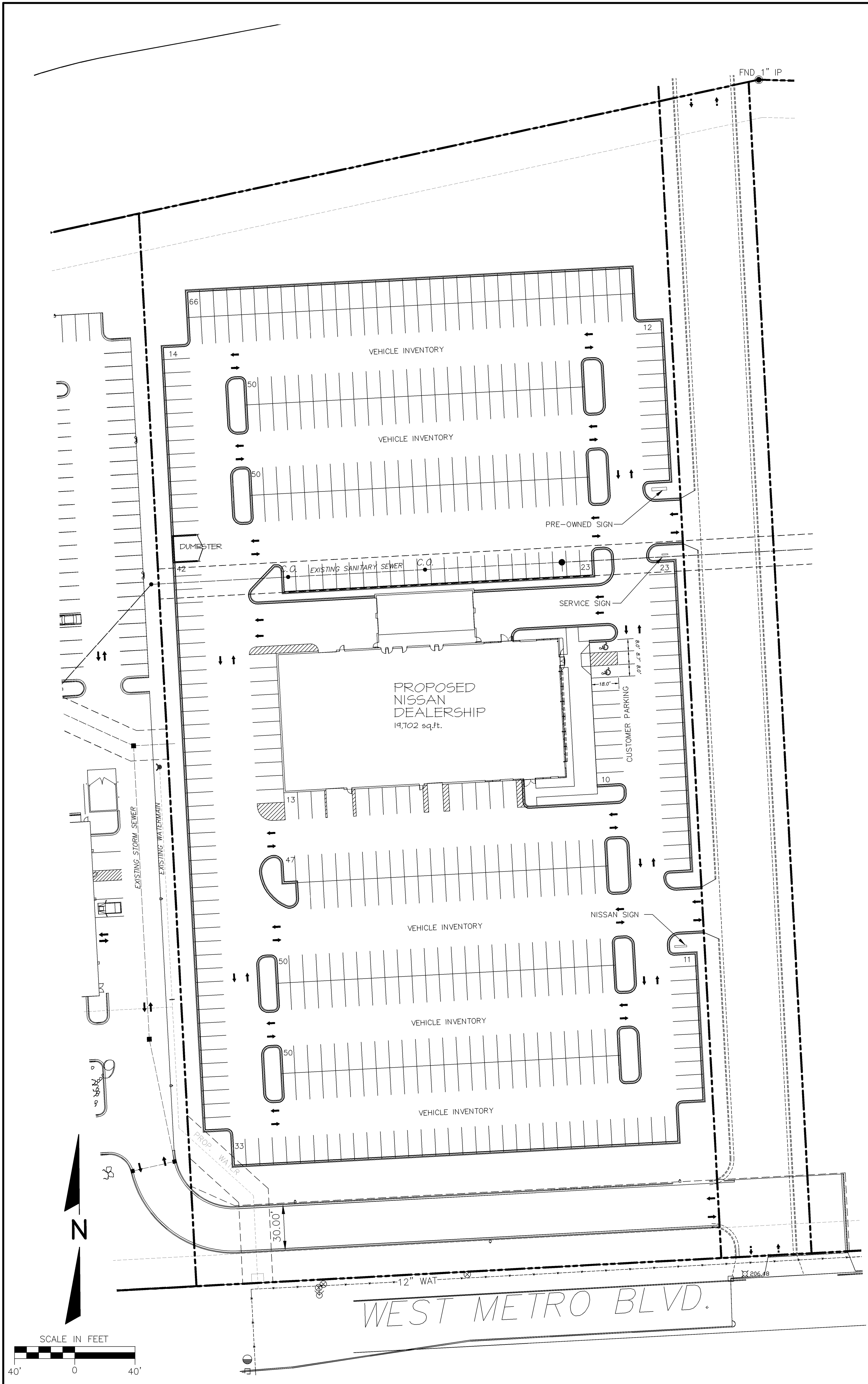
**PRELIMINARY  
 GRADING PLAN**

© COPYRIGHT 2008  
 R.A. Smith National, Inc.

DATE: 09-23-11  
 SCALE: 1" = 30"  
 JOB NO. 3020273.04  
 PROJECT MANAGER:  
 RYAN J. LANCOUR, P.E.  
 DESIGNED BY: JAH  
 CHECKED BY: RJL

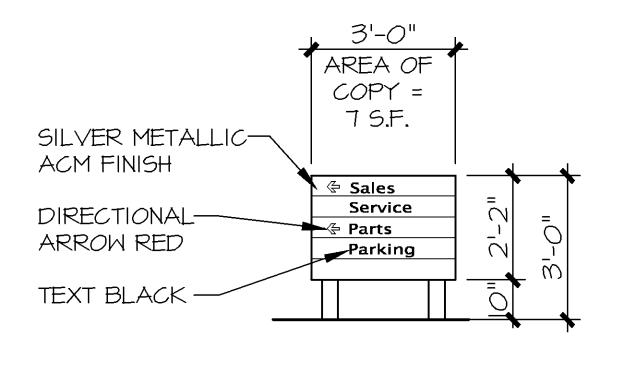
**SHEET NUMBER**  
 CE-2

Plot: 3020273.04.dwg User: rjl Date: 09/23/11 11:02:52 AM

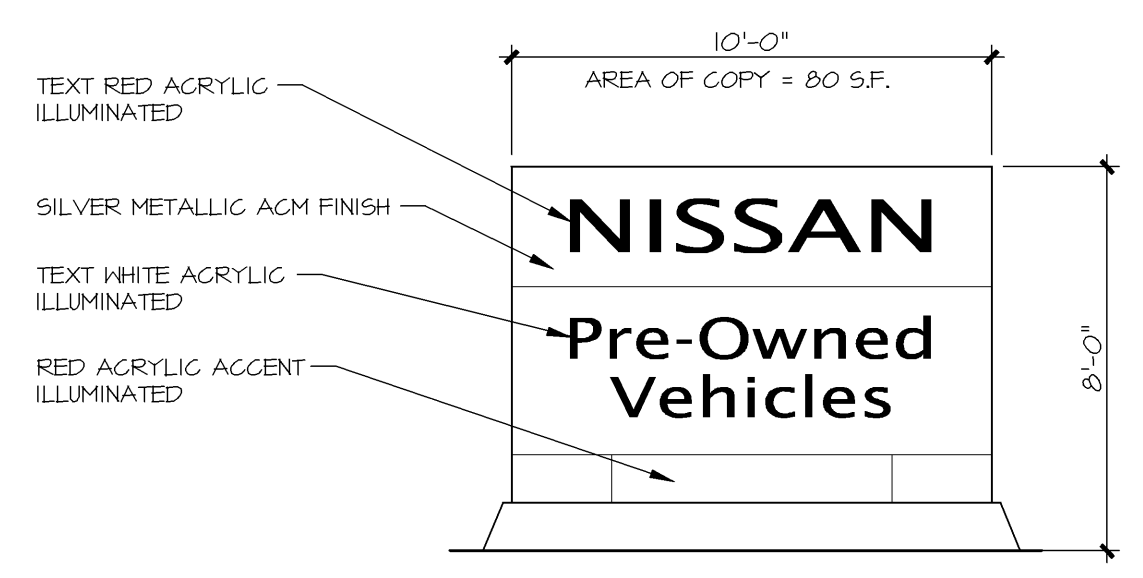


PARKING SPACE TABULATION	
CUSTOMER PARKING=	10 SPACES
INVENTORY / SERVICE PARKING =	484 S.F.
TOTAL PARKING =	444 S.F.

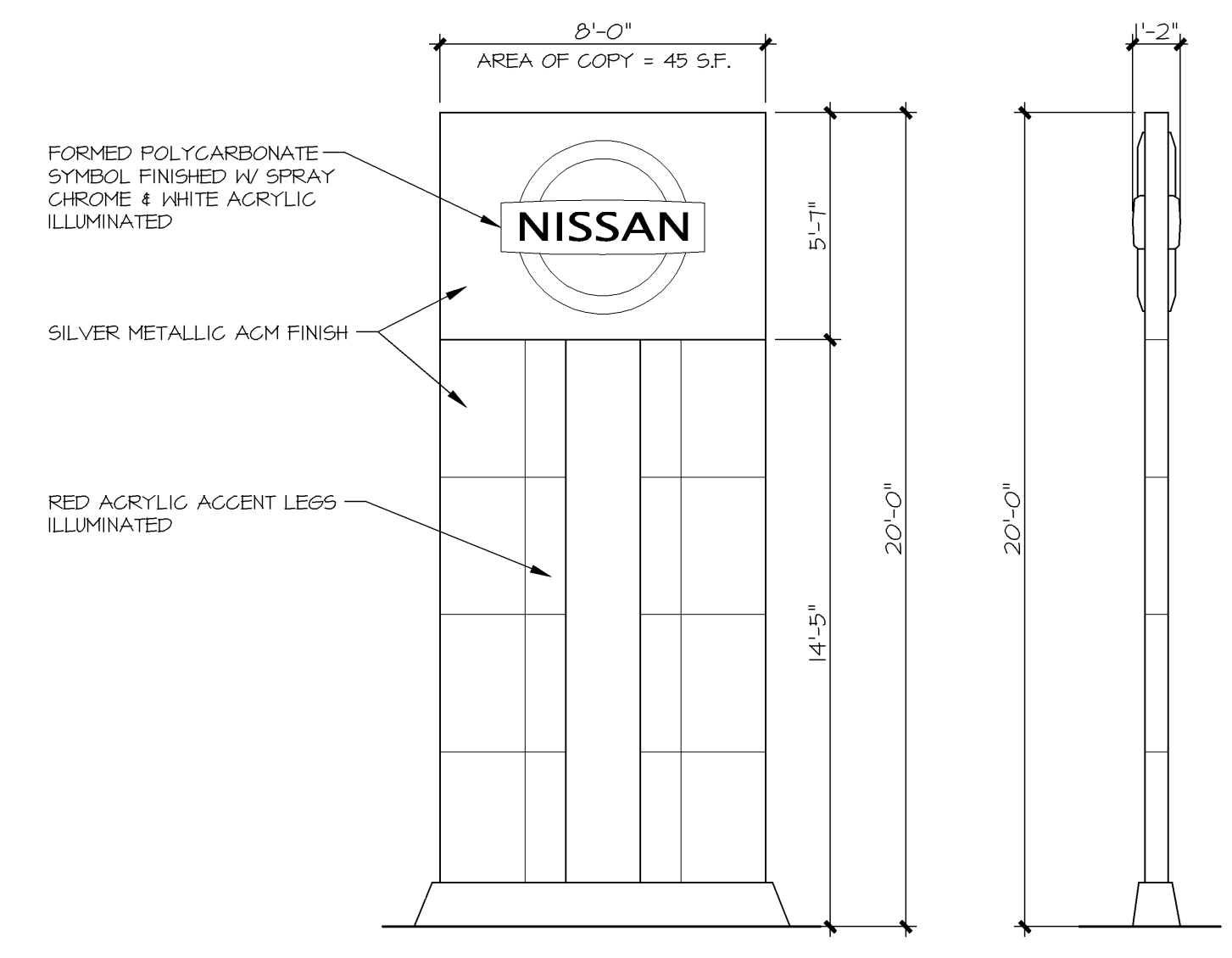
SIGN COPY AREA TABULATION	
SERVICE SIGN COPY AREA=	7 S.F.
PRE-OWNED SIGN COPY AREA =	80 S.F.
NISSAN SIGN COPY AREA =	45 S.F.
TOTAL COPY AREA =	132 S.F.



1 SERVICE MONUMENT SIGN  
1/4" = 1'-0"

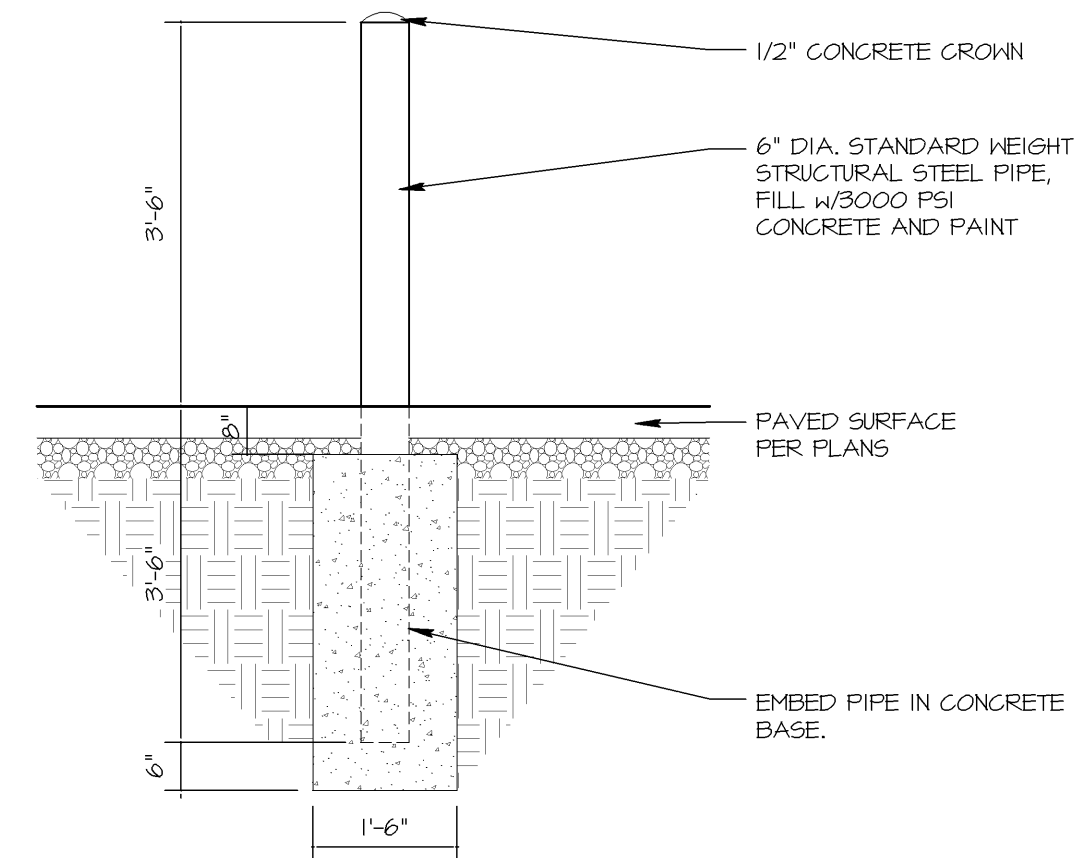


2 PRE-OWNED SIGN  
1/4" = 1'-0"

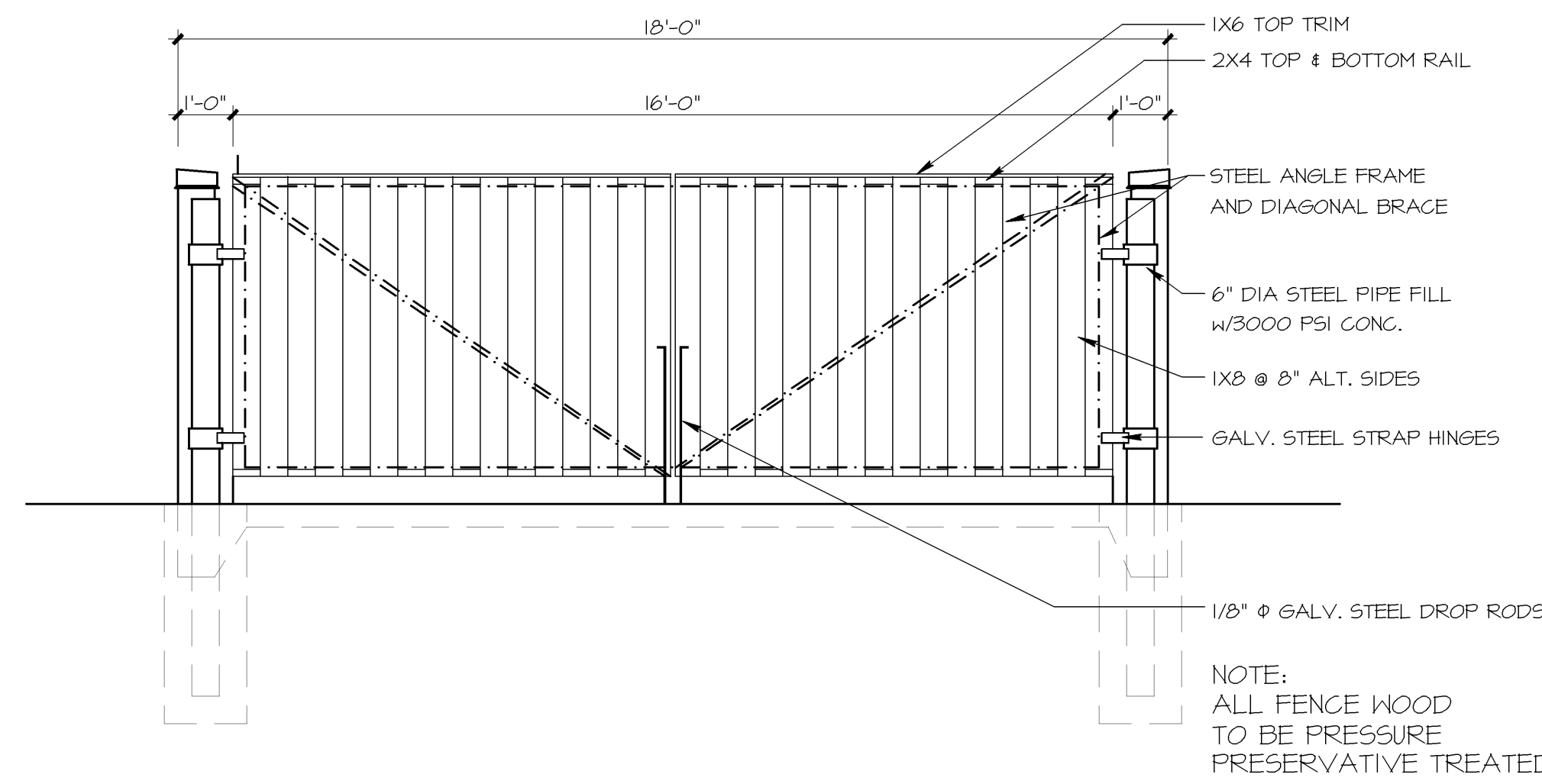


3 NISSAN SIGN  
1/4" = 1'-0"

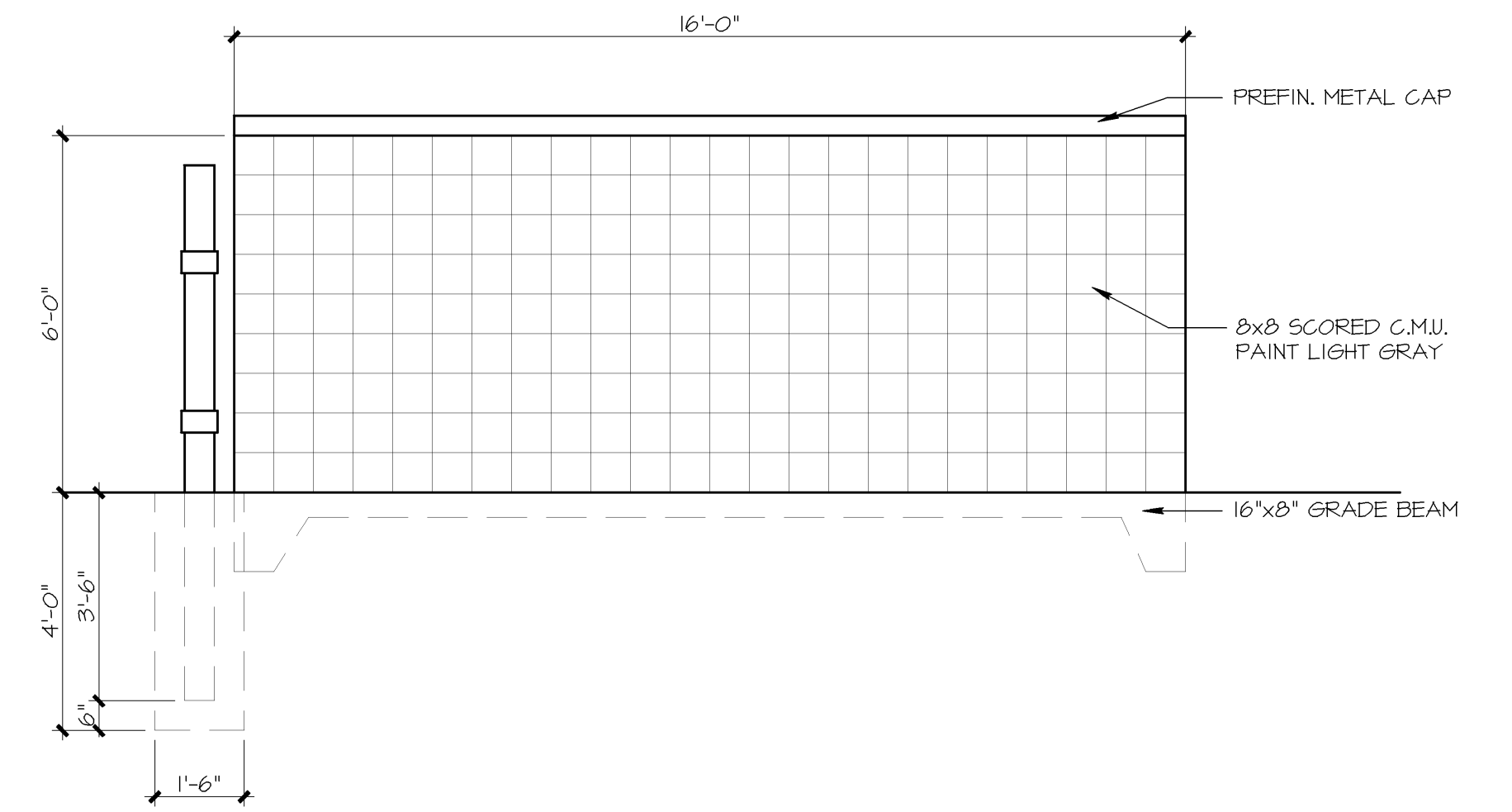
REVISIONS:		TDI ASSOCIATES, INC. All Rights Reserved N8 W2250 JOHNSON DRIVE, SUITE B4 WALWISHA, WISCONSIN 53188 PHONE 262-437-0400 FAX 262-437-0401	 ARCHITECTS, ENGINEERS, PLANNERS	OWNERSHIP OF DOCUMENTS This document, and the ideas and design incorporated herein, as an instrument of professional service, is the sole property of TDI Associates, Inc. and is not to be used in whole or in part for any other project or purpose without the expressed written authorization of TDI Associates, Inc.
NOTE	DATE			
		CITY OF MILWAUKEE, WI DARROW NISSAN		
		SITE DEVELOPMENT PLAN		
		SCALE: 1"= 40'-0"	JOB NO: II-172.000	DATE: 09-22-11
		DESIGNED BY: ROB	DRAWN BY: ROB	CHECKED BY:
		APPROVED BY:	ENGINEER	DATE
				SHEET SD-1.0



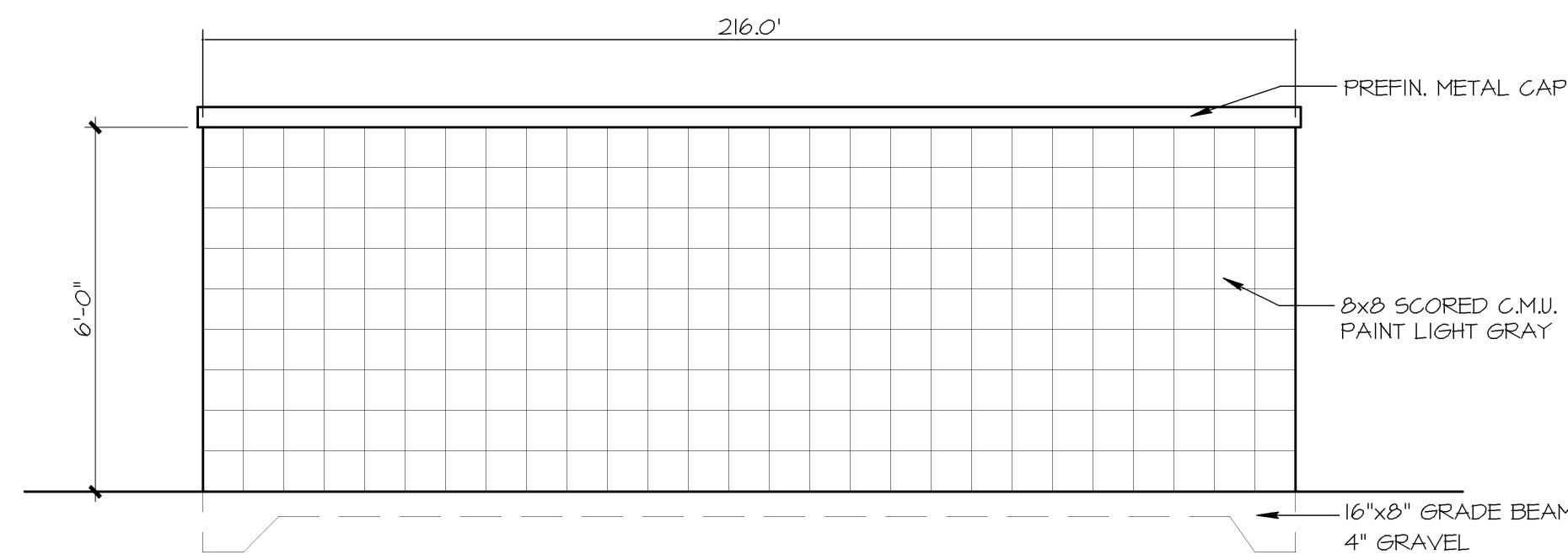
⑤ PIPE BOLLARD DETAIL  
3/8" = 1'-0"



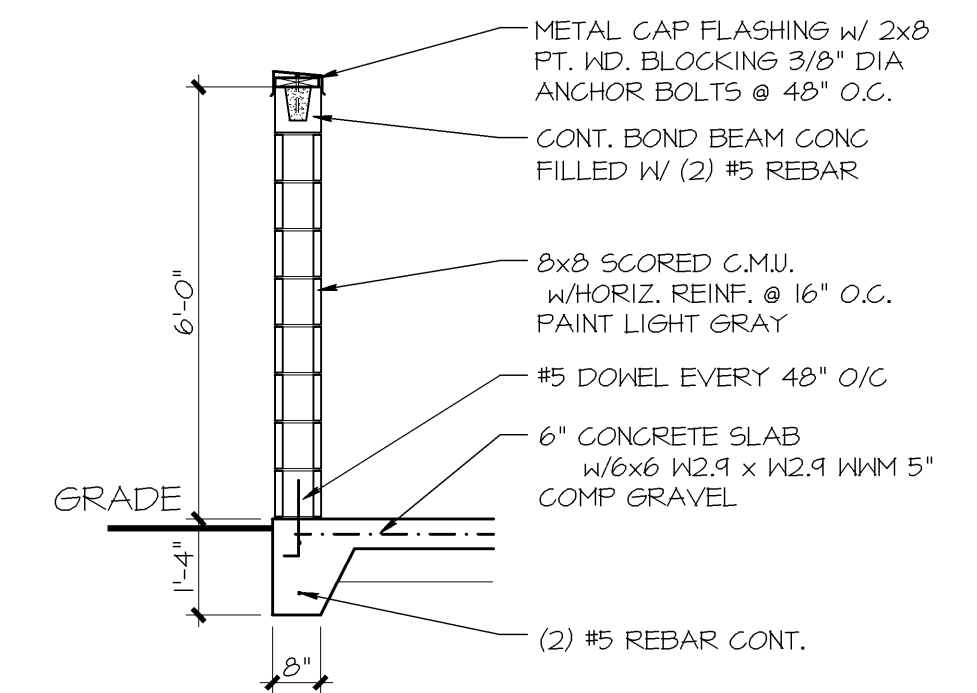
③ DUMPSTER ENCLOSURE FRONT  
3/8" = 1'-0"



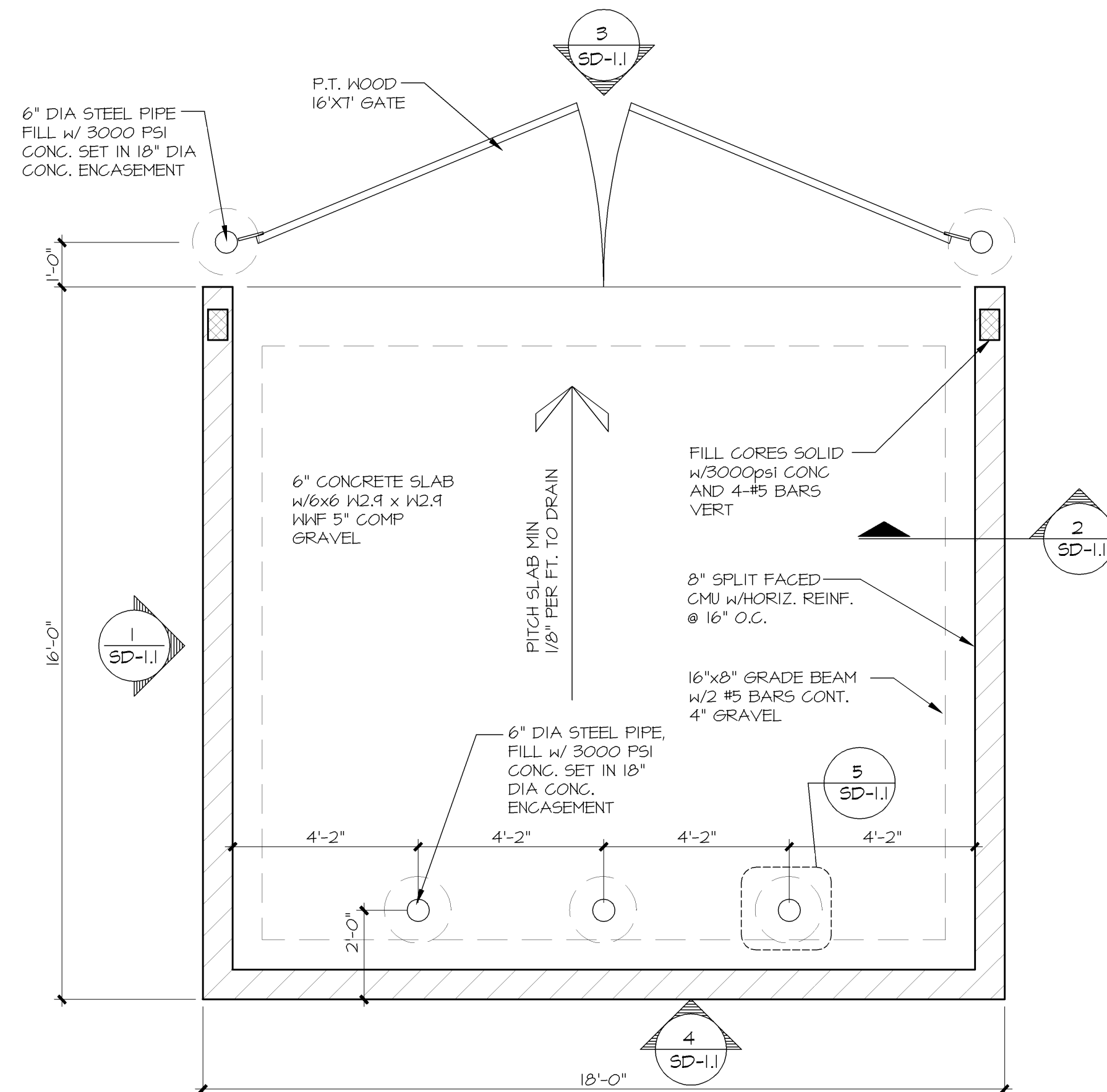
① DUMPSTER ENCLOSURE SIDE  
3/8" = 1'-0"



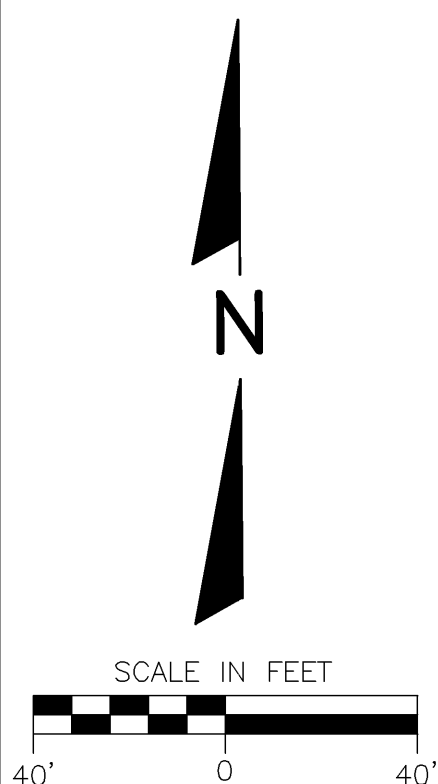
④ DUMPSTER ENCLOSURE REAR  
3/8" = 1'-0"

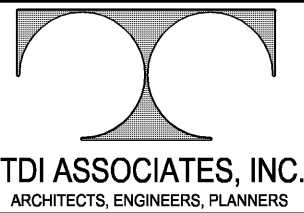


② DUMPSTER SECTION  
3/8" = 1'-0"

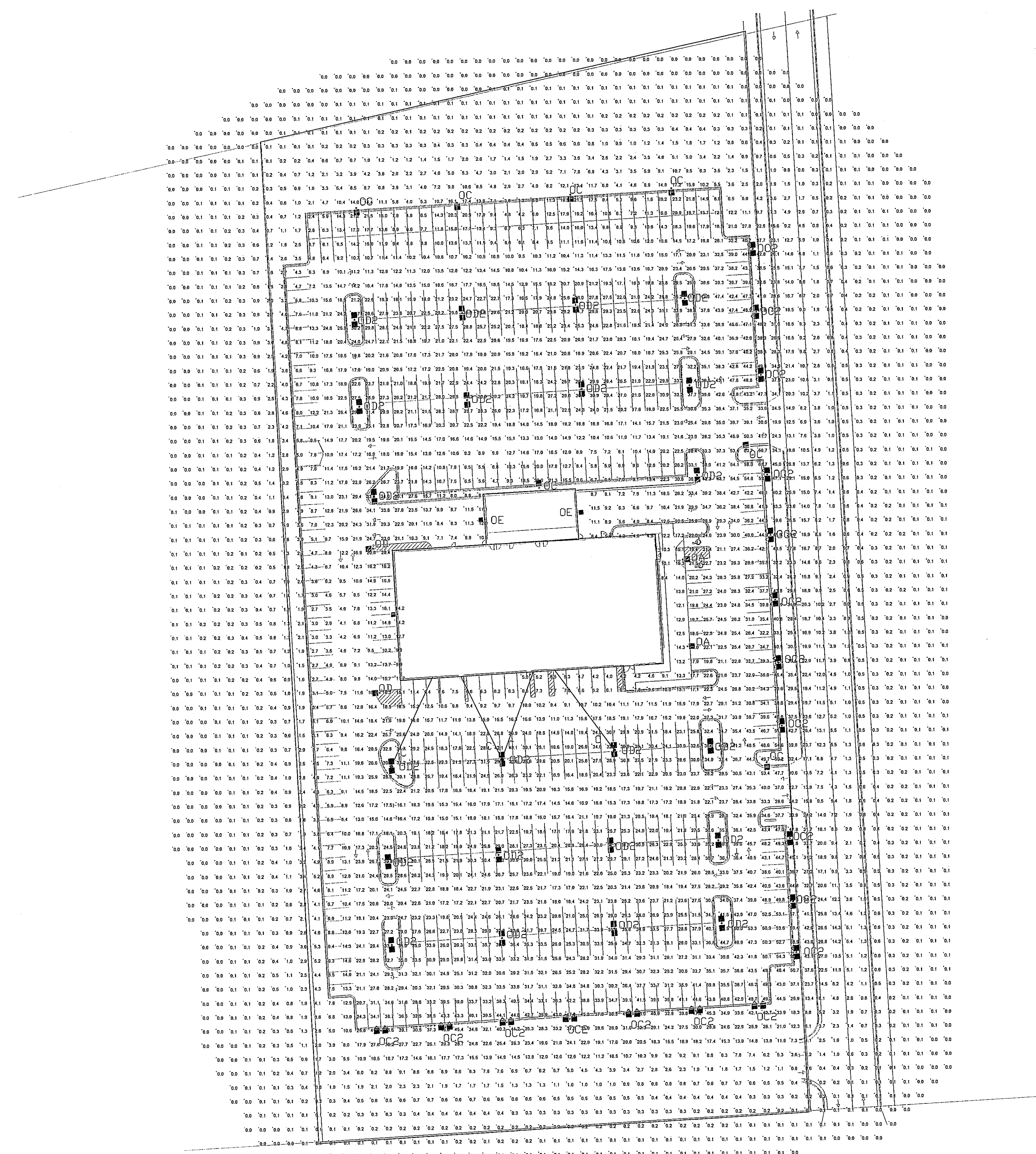


⑤ DUMPSTER ENCLOSURE PLAN  
3/8" = 1'-0"



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NOTE	DATE			
		CITY OF MILWAUKEE, WI DARROW NISSAN		
		<b>SITE DEVELOPMENT DETAILS</b>		
		SCALE: 1" = 40'-0"	JOB NO: 11-172.000	DATE: 09-22-11
		DESIGNED BY: ROB	DRAWN BY: ROB	CHECKED BY:
		APPROVED BY:		
		ENGINEER	DATE	SHEET SD-1.1





Plan View  
Scale 1"=30'

STATISTICS						
Description	Symbol	Avg	Max	Min	Avg/Min	
Calc Zone #1	+	11.9 ft	63.7 ft	0.0 ft	N/A	N/A
FRONT ROW	+	43.8 ft	63.7 ft	27.2 ft	2.31	1.61
LOT ONLY	+	22.8 ft	63.7 ft	2.4 ft	26.51	9.51

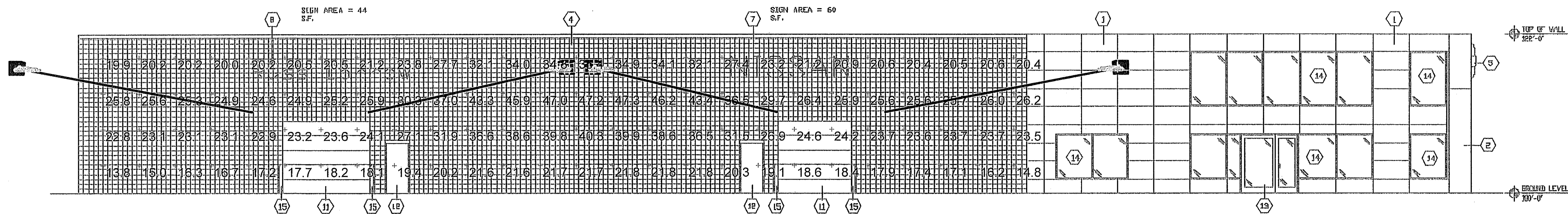
LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	File
OC	2	EA23-1-0H-1000MH	ECOLIME	CLEAR HORIZONTAL 1000M RATED FOR 10000 LUMENS	EA23-1H-1000MH	105000 0.72 1080
OC	7	EA23-1-FH-1000MH	ECOLIME	CLEAR HORIZONTAL 1000M RATED FOR 10000 LUMENS	EA23-FH-1000MH	105000 0.72 1080
OC	18	EA23-2-FH-1000MH	ECOLIME	CLEAR HORIZONTAL 1000M RATED FOR 10000 LUMENS	EA23-FH-1000MH	105000 0.72 2160
OD	2	EA23-1-0H-1000MH	ECOLIME	CLEAR HORIZONTAL 1000M RATED FOR 10000 LUMENS	EA23-1H-1000MH	105000 0.72 1080
OD	22	EA23-2-0H-1000MH	ECOLIME	CLEAR HORIZONTAL 1000M RATED FOR 10000 LUMENS	EA23-2H-1000MH	105000 0.72 2160
OE	3	EA18-FH-400PMH	ECOLIME	CLEAR HORIZONTAL 400PM RATED FOR 4000 LUMENS	EA18-FH-400PMH	40000 0.72 402
A	4	FSL100M-MFP	DAYBRITE LARGE FLOODLIGHT	1000MH	FSL100M-MFP	110000 0.72 1080

LUMINAIRE LOCATIONS												
No.	Label	X	Y	Z	Mt	Orientation	TR	X	Y	Z		
1	OC2	320.0	629.0	26.3	26.3	177.0	0.0					
2	OC2	320.0	425.0	26.3	26.3	177.0	0.0					
3	OC2	322.0	376.0	26.3	26.3	177.0	0.0					
4	OC2	325.0	324.0	26.3	26.3	177.0	0.0					
5	OC2	327.0	280.0	26.3	26.3	177.0	0.0					
6	OC2	332.0	209.0	26.3	26.3	177.0	0.0					
7	OC2	336.0	128.0	26.3	26.3	177.0	0.0					
8	OC	251.0	673.0	26.3	26.3	176.0	0.0	251.1	671.4	0.0		
9	OC	179.0	699.0	26.3	26.3	176.0	0.0	179.1	697.4	0.0		
10	OC	664.0	26.3	26.3	176.0	0.0	0.0	664.1	26.3	0.0		
11	OC	26.3	691.0	26.3	26.3	176.0	0.0	26.4	689.4	0.0		
12	OC2	24.0	591.0	26.3	26.3	-4.0	0.0					
13	OC2	250.0	294.0	26.3	26.3	-4.0	0.0					
14	OC2	27.0	519.0	26.3	26.3	-4.0	0.0					
15	OC2	253.0	532.0	26.3	26.3	-4.0	0.0					
16	OC2	27.0	455.0	26.3	26.3	-4.0	0.0					
17	OC2	155.0	490.0	26.3	26.3	-4.0	0.0	154.9	491.6	0.0		
18	OC2	268.0	498.0	26.3	26.3	-4.0	0.0					
19	OC2	48.0	383.0	26.3	26.3	-4.0	0.0					
20	OC2	276.0	276.0	26.3	26.3	-4.0	0.0					
21	OC2	45.0	195.0	26.3	26.3	-4.0	0.0					
22	OC2	281.0	208.0	26.3	26.3	-4.0	0.0					
23	OC2	47.0	136.0	26.3	26.3	-4.0	0.0					
24	OC2	283.0	149.0	26.3	26.3	-4.0	0.0					
25	OA	290.0	345.0	26.3	26.3	86.0	0.0	291.6	346.1	0.0		
26	OA	257.0	408.0	26.3	26.3	86.0	0.0	258.6	409.1	0.0		
27	OE	162.0	442.0	20.0	20.0	86.0	0.0	163.4	442.1	0.0		
28	OE	116.0	458.0	20.0	20.0	266.0	0.0	114.6	457.9	0.0		
29	OD	36.0	416.0	26.3	26.3	266.0	0.0	34.4	417.9	0.0		
30	OD	40.0	315.0	26.3	26.3	266.0	0.0	38.4	316.9	0.0		
31	OC	53.0	371.0	20.0	20.0	266.0	0.0	51.6	370.9	0.0		
32	OC2	314.0	539.0	26.3	26.3	177.0	0.0					
33	OC2	311.0	584.0	26.3	26.3	177.0	0.0					
34	OC2	334.0	164.0	26.3	26.3	177.0	0.0					
35	OC2	318.0	468.0	26.3	26.3	177.0	0.0					
36	OC	333.0	466.0	20.0	20.0	-4.0	0.0	332.9	467.6	0.0		
37	OC	316.0	263.0	20.0	20.0	176.0	0.0	316.1	261.4	0.0		
38	OC2	39.0	75.0	26.3	26.3	267.0	0.0					
39	OC2	85.0	77.0	26.3	26.3	267.0	0.0					
40	OC2	129.0	80.0	26.3	26.3	267.0	0.0					
41	OC2	174.0	82.0	26.3	26.3	267.0	0.0					
42	OC2	219.0	85.0	26.3	26.3	267.0	0.0					
43	OC2	264.0	87.0	26.3	26.3	267.0	0.0					
44	OC2	309.0	90.0	26.3	26.3	267.0	0.0					
45	OD2	127.0	287.0	26.3	26.3	-4.0	0.0					
46	OD2	126.0	140.0	26.3	26.3	-4.0	0.0					
47	OD2	124.0	199.0	26.3	26.3	-4.0	0.0					
48	OD2	207.0	273.0	26.3	26.3	-4.0	0.0					
49	OD2	290.0	146.0	26.3	26.3	-4.0	0.0					
50	OD2	204.0	265.0	26.3	26.3	-4.0	0.0					
51	OC2	101.0	525.0	26.3	26.3	-4.0	0.0					
52	OC2	104.0	523.0	26.3	26.3	-4.0	0.0					
53	OC2	162.0	590.0	26.3	26.3	-4.0	0.0					
54	OC2	165.0	530.0	26.3	26.3	-4.0	0.0					
55	A	49.0	263.0	20.0	20.0	25.5	85.1	78.0	326.0	14.0		
56	A	127.0	267.0	20.0	20.0	-26.2	84.8	98.0	326.0	14.0		
57	A	127.0	267.0	20.0	20.0	20.4	84.8	150.0	326.0	14.0		
58	A	207.0	273.0	20.0	20.0	-35.4	85.2	165.0	330.0	14.0		

DARROW NISSAN  
 MILWAUKEE, WI

Designer  
 EH  
 Date  
 Oct 11 2011  
 Scale  
 3/8"X48 PAPER  
 Drawing No.





2 SOUTH ELEVATION  
1/8" = 1'-0"

South Elevation  
Scale 1" = 16'

**STATISTICS**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	26.1 fc	47.3 fc	13.8 fc	3.4:1	1.9:1

**LUMINAIRE SCHEDULE**

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
■	C	4	FSL10XM-MHP	DAYBRITE LARGE FLOODLIGHT	1000MH	FSL1MMHP.ie s	110000	0.72	1100

**LUMINAIRE LOCATIONS**

No.	Label	Location			MH	Orientation	Tilt	Aim		
		X	Y	Z				X	Y	Z
1	C	691.0	-484.0	20.0	20.0	28.1	85.0	723.0	-424.0	14.0
2	C	766.0	-484.0	20.0	20.0	-24.2	84.8	739.0	-424.0	14.0
3	C	842.0	-484.0	20.0	20.0	-28.1	85.0	810.0	-424.0	14.0
4	C	770.0	-484.0	20.0	20.0	22.6	84.7	795.0	-424.0	14.0

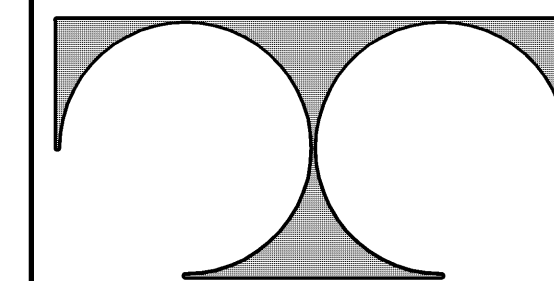
DARROW NISSAN  
BUILDING FLOODLIGHTING

Designer

Date  
Oct 10 2011

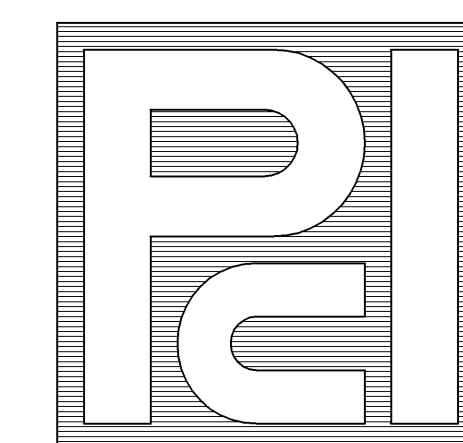
Scale  
11X17 PAPER

Drawing No.



TDI ASSOCIATES, INC.  
ARCHITECTS, ENGINEERS, PLANNERS

N8 W22350 JOHNSON DRIVE, SUITE B4  
WAUKESHA, WISCONSIN 53186  
PHONE 262-437-0400 FAX 262-437-0401



PROFESSIONAL  
CONSULTANTS, INC.

300 COTTONWOOD AVE # 7  
HARTLAND, WISCONSIN 53029  
(262) 367-6080

RUSS DARROW NISSAN  
METRO AUTO PARK

WEST METRO BOULEVARD  
MILWAUKEE, WISCONSIN

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Sheet Title  
FLOOR PLAN

Issued For: Date:

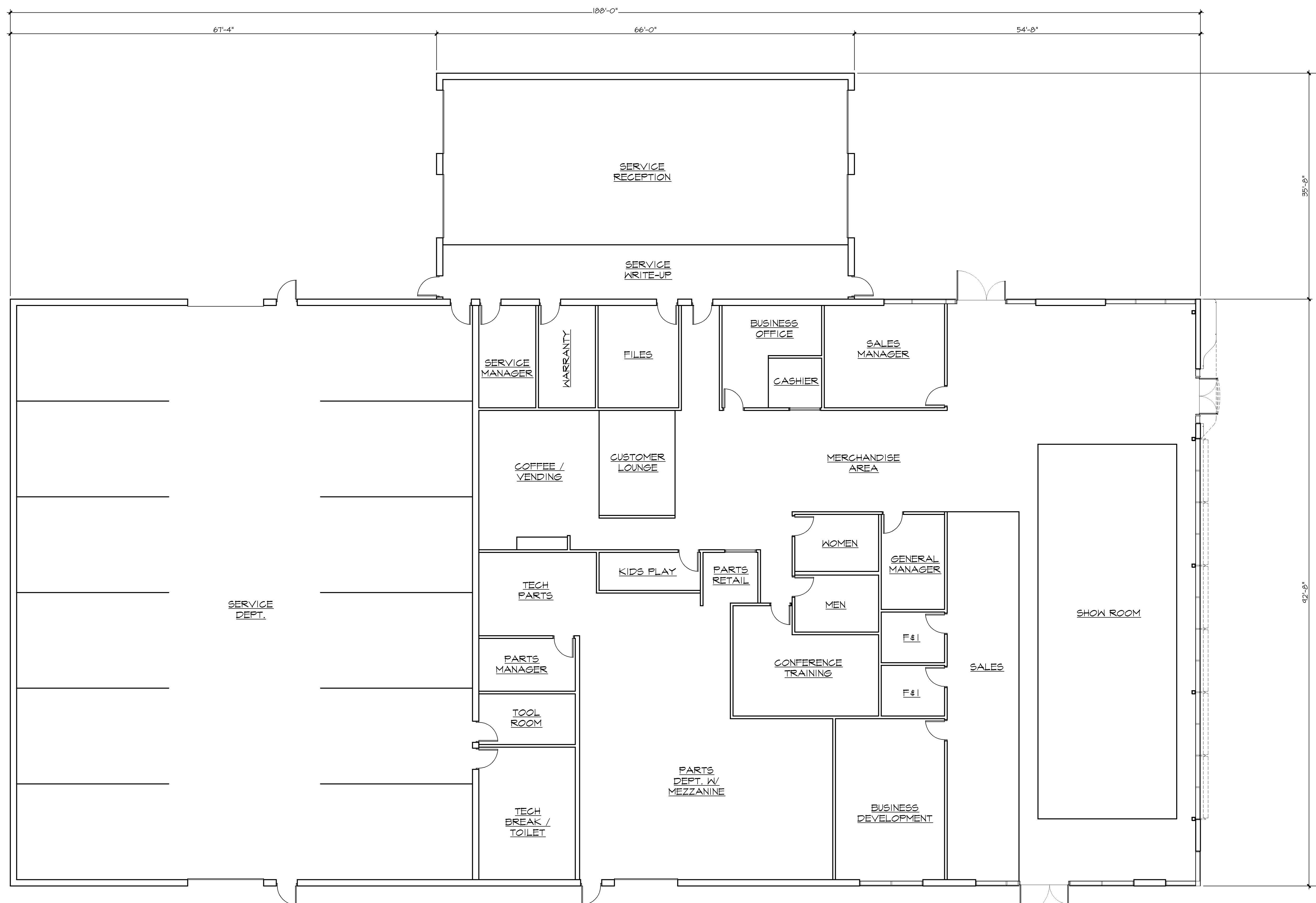
Date: 09-22-2011

Job NO.: 11172.000

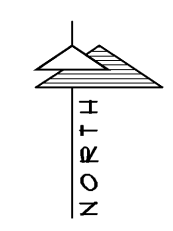
Drawn By: RJH

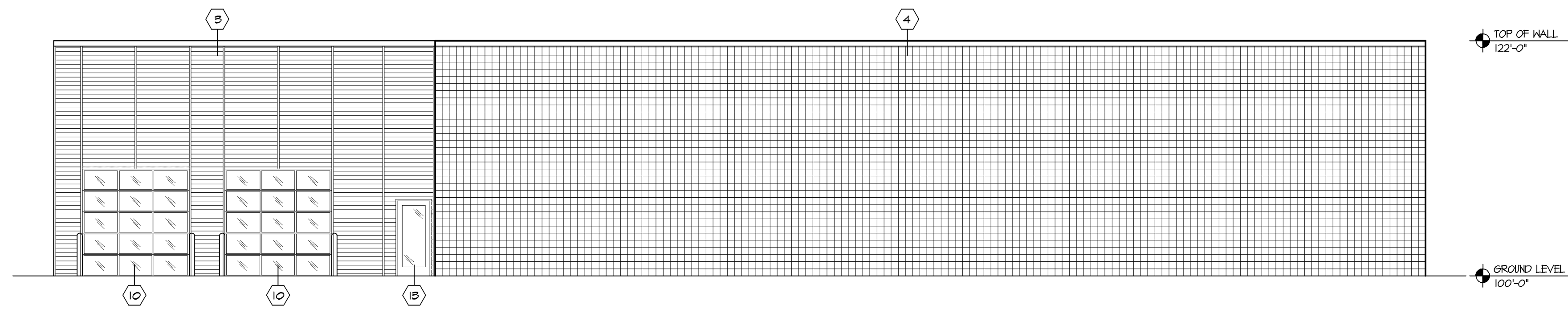
Sheet No.

A1.1

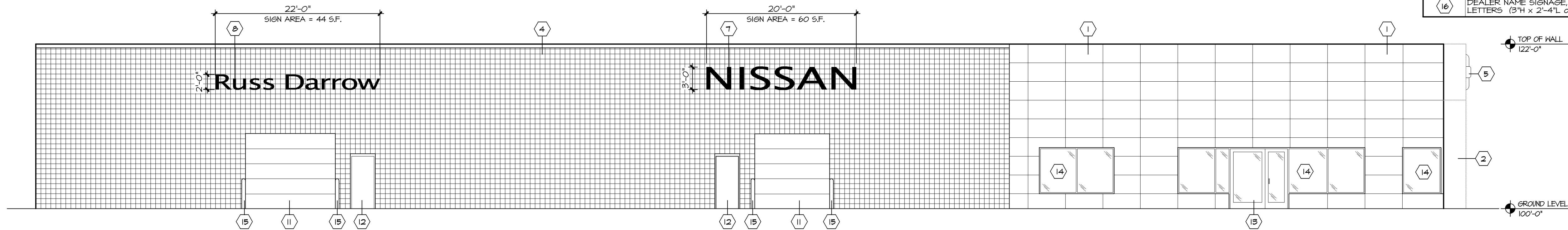


1 FLOOR PLAN  
1/8"=1'-0"

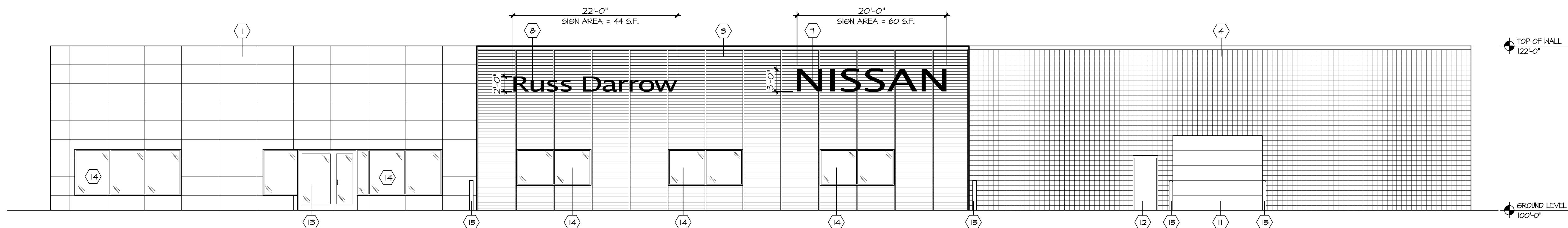




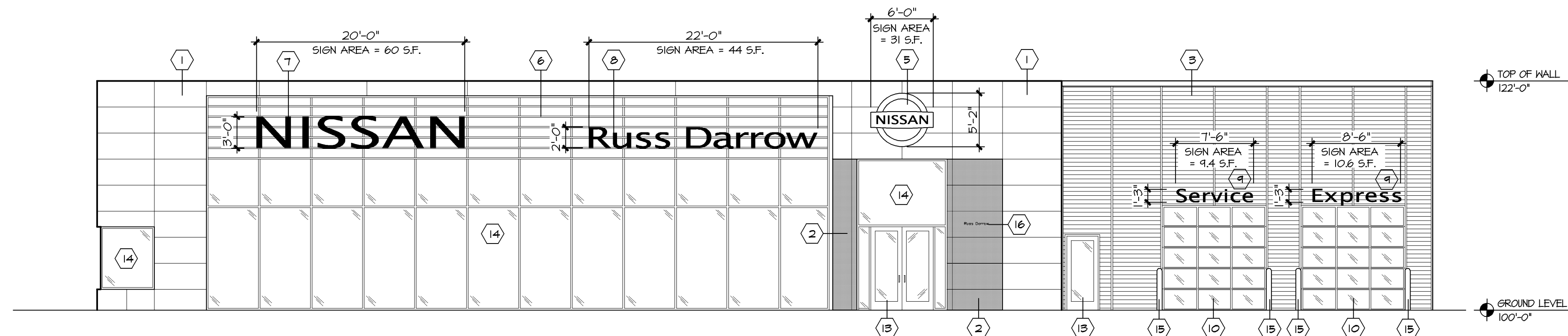
1 WEST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"



3 NORTH ELEVATION  
1/8" = 1'-0"



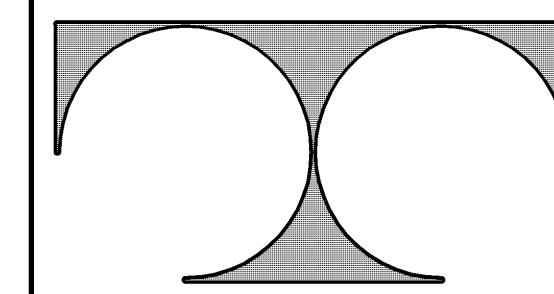
4 EAST ELEVATION  
1/8" = 1'-0"

MATERIAL KEY

TAG	DESCRIPTION
1	ACM-1 SILVER ACM METALLIC PANELS
2	ACM-2 RED ACM TO MATCH NISSAN PANELS (ENTRANCE ELEMENT ONLY)
3	ARM-1 SILVER METALLIC RIBBED METAL PANELS
4	8 x 8 SCOURED CMU WALL PAINTED LIGHT GRAY
5	SHOWROOM ENTRY NISSAN BRAND SYMBOL SIGNAGE
6	SILVER METALLIC LOUVER FASCIA
7	NISSAN CHANNEL LETTERS SIGNAGE, RED ACRYLIC FACE, L.E.D. INTERNAL ILLUMINATION (36"H x 20'-0"L approx.)
8	DEALER NAME SIGNAGE, WHITE ACRYLIC FACE, L.E.D. INTERNAL ILLUMINATION (24"H x 22'-0"L approx.)
9	SERVICE CHANNEL LETTERS SIGNAGE, WHITE ACRYLIC FACE, L.E.D. INTERNAL ILLUMINATION (15"H)
10	OVERHEAD DOOR WITH VISION GLAZING IN ALUMINUM FRAMES
11	INSULATED OVERHEAD DOOR PAINTED LIGHT GRAY TO MATCH CMU WALLS
12	INSULATED HOLLOW METAL DOOR
13	PREFINISHED CLEAR ANODIZED ALUMINUM DOOR W/ LITE
14	1" CLEAR INSULATED GLASS W/ CLEAR ANODIZED ALUMINUM MULLIONS THERMALLY BROKEN
15	6" PIPE BOLLARD PAINTED DARK GRAY
16	DEALER NAME SIGNAGE, LETTERS (3"H x 2'-4"L approx.)

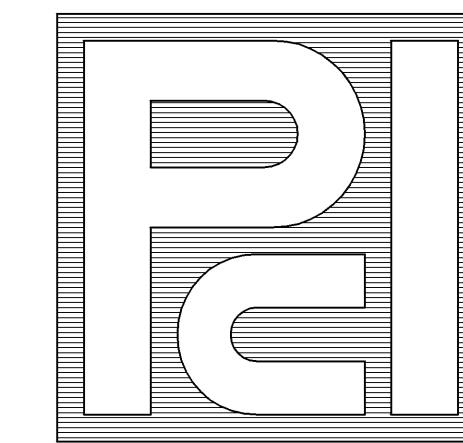
WALL SIGNAGE AREA

NISSAN SIGN EAST ELEVATION=	60 S.F.
RUSS DARROW SIGN EAST ELEVATION=	44 S.F.
NISSAN BRAND SYMBOL SIGN EAST ELEVATION=	31 S.F.
SERVICE SIGN EAST ELEVATION=	9.4 S.F.
EXPRESS SIGN EAST ELEVATION=	10.6 S.F.
RUSS DARROW SIGN @ ENTRANCE EAST ELEVATION=	0.5 S.F.
NISSAN SIGN NORTH ELEVATION=	60 S.F.
RUSS DARROW SIGN NORTH ELEVATION=	44 S.F.
NISSAN SIGN SOUTH ELEVATION=	60 S.F.
RUSS DARROW SIGN SOUTH ELEVATION=	44 S.F.
TOTAL SIGN AREA =	363.5 S.F.



TDI ASSOCIATES, INC.  
ARCHITECTS, ENGINEERS, PLANNERS

N8 W22350 JOHNSON DRIVE, SUITE B4  
WAUKESHA, WISCONSIN 53186  
PHONE 262-437-0400 FAX 262-437-0401



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Sheet Title  
ELEVATIONS

Issued For: Date:

Date: 10-10-2011

Job NO.: 11172.000

Drawn By: RJH

Sheet No.

A2.1

Address of parcel(s): 11212 W. Metro Bl.

### Affidavit for Zoning Change

1. POLICY (s. 295-313). Each applicant for a zoning map amendment or approval of a planned development, and each applicant for a use variance or special use permit, shall submit to the city plan commission or the board of zoning appeals, as the case may be, a signed affidavit indicating whether the applicant is: (NOTE: DISCLOSE ALL RELEVANT AND REQUIRED INFORMATION ON A SEPARATE SHEET AND ATTACH TO THIS SHEET UPON SUBMITTAL)

- a. Delinquent in the payment of any property tax, special assessment, special charge or special tax due to the city, provided that all appeals of the tax, assessment or charge have been concluded or the time to appeal has expired. YES  NO
- b. A party against whom the city has an outstanding judgment, provided that all appeals of the judgment have been concluded or the time to appeal has expired. YES  NO
- c. A party against whom the city has outstanding health or building and zoning code violations or orders from the commissioner of health or commissioner of neighborhood services that are not actively being abated, provided that all appeals of orders to correct violations have been concluded or the time to appeal has expired. YES  NO
- d. A party who has been convicted of violating an order of the commissioner of health or commissioner of neighborhood services within the past year, provided that all appeals of the conviction have been concluded or the time to appeal has expired. YES  NO
- e. The owner of premises found to be in violation of s. 80-10 to whom the commissioner of neighborhood services has charged the costs of police enforcement pursuant to s. 80-10-4, provided that all appeals of these charges have been concluded or the time to appeal has expired. YES  NO

2. NON-INDIVIDUAL APPLICANTS

- a. Corporations. If the applicant is a corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation as well as each shareholder owning 5% or more of voting stock, fits any of the descriptions in sub. 1-a to e.
- b. Partnerships. If the applicant is a partnership or limited partnership, a duly authorized partner, general partner or limited partner shall submit the affidavit required by sub 1. The affidavit shall attest to whether each partner, general partner and limited partner fits any of the descriptions in sub. 1-a to e.
- c. Limited Liability Companies. If the applicant is a limited liability company, a duly authorized member or manager of the company shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each member and manager of the company fits any of the descriptions in sub. 1-a to e.
- d. Nonstock Corporations. If the applicant is a nonstock corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation fits any of the descriptions in sub. 1-a to e.

Dated at Milwaukee, Wisconsin, this 19 day of October, 2011.

Russ Darrow Jr.  
Petitioner (signature)

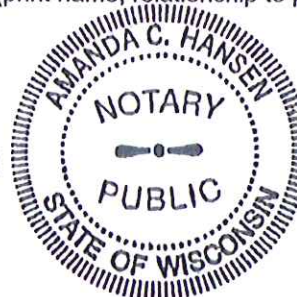
Russell M Darrow Jr. Chairman + CEO  
(print name, relationship to project) Russ Darrow Group Inc

Subscribed and sworn to before me

This 19th day of October, 2011

Amanda C. Hansen  
Notary Public, State of Wisconsin

My commission expires: October 21, 2012



Office Use Only: File no. 110704





Legislation Details (With Text)

**File #:** 110836      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 10/11/2011      **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution approving Options to Purchase between the Milwaukee Board of School Directors and M. C. Preparatory School of Wisconsin, Inc. for the former 38th Street School and former Lloyd Street School, in the 15th Aldermanic District.

**Sponsors:** THE CHAIR

**Indexes:** MILWAUKEE PUBLIC SCHOOLS, PROPERTY SALES, SURPLUS PROPERTY

**Attachments:**

Date	Ver.	Action By	Action	Result	Tally
10/11/2011	0	COMMON COUNCIL	ASSIGNED TO		

Number  
110836  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution approving Options to Purchase between the Milwaukee Board of School Directors and M. C. Preparatory School of Wisconsin, Inc. for the former 38th Street School and former Lloyd Street School, in the 15th Aldermanic District.

Analysis  
This resolution authorizes the City, on behalf of the Milwaukee Board of School Directors, to convey surplus MPS facilities.

Body  
Whereas, M. C. Preparatory School of Wisconsin, Inc. ("MCP") operates the Milwaukee College Preparatory School as a non-instrumentality charter school authorized by the Milwaukee Board of School Directors ("MBSD"); and

Whereas, MCP leases the former 38th Street School, located at 2323 and 2661 North 38th Street, and the former Lloyd Street School, located at 1228 West Lloyd Street, from MBSD, but desires to purchase both facilities; and

Whereas, MBSD authorized an Option to Purchase with MCP on March 31, 2011 for the former 38th Street School and on April 21, 2011 for the former Lloyd Street School; and

Whereas, Legal title to MBSD real property is held in the name of the City of Milwaukee, in trust for MBSD, and conveyance of surplus MBSD property requires adoption of a resolution by the Common Council approving such conveyance; now, therefore, be it

Resolved, By the Common Council of the City of Milwaukee, that the Options to Purchase between MBSD and MCP for the former 38th Street School and the former Lloyd Street School are approved; and, be it

Further Resolved, That upon exercise of the Options to Purchase by MCP, the proper City officials are authorized to execute all documents necessary to effect closure, including easements and releases of City deed restrictions that interfere with development or easements to the City for any public facilities; and, be it

Further Resolved, That the net sale proceeds shall be provided to Milwaukee Public Schools.

Drafter

DCD:EMM:bmm

10/11/11/A







Legislation Details (With Text)

**File #:** 110860      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 10/11/2011      **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution authorizing the sale of the City-owned vacant lot at 238 West Mitchell Street to La Causa, Inc. for playground use, in the 12th Aldermanic District.

**Sponsors:** ALD. WITKOWIAK

**Indexes:** CITY PROPERTY, PLAYGROUNDS, PROPERTY SALES

**Attachments:** Fiscal Impact Statement.pdf, Land Disposition Report.pdf

Date	Ver.	Action By	Action	Result	Tally
10/11/2011	0	COMMON COUNCIL	ASSIGNED TO		

Number  
110860  
Version  
ORIGINAL  
Reference

Sponsor  
ALD. WITKOWIAK

Title  
Resolution authorizing the sale of the City-owned vacant lot at 238 West Mitchell Street to La Causa, Inc. for playground use, in the 12th Aldermanic District.

Analysis  
This resolution authorizes the sale of City-owned Neighborhood Property according to the conditions in a Land Disposition Report pursuant to Section 304-49-7, Milwaukee Code of Ordinances.

Body  
Whereas, La Causa, Inc., desires to develop a playground for its facility at 1655 South 2nd Street and has submitted an unsolicited offer to purchase the City-owned vacant lot at 238 West Mitchell Street; and

Whereas, Said lot will be assembled with La Causa's adjacent lots and will be developed as a playground as summarized in a Land Disposition Report, a copy of which is attached to this Common Council File; and

Whereas, Section 304-49-7 of the Milwaukee Code of Ordinances allows the City of Milwaukee ("City") to accept unsolicited offers to purchase property when the City receives fair compensation, whether monetary or non-monetary; and

Whereas, The Department of City Development ("DCD") has reviewed the offer and the development proposal and has determined that the proposed price and redevelopment represents fair compensation to the City considering the small parcel size and investment in the neighborhood; and

Whereas, DCD recommends sale of this lot on an "as is" basis with closing contingent on DCD approval of final site and building plans; now, therefore, be it

Resolved, By the Common Council of the City of Milwaukee, that the Commissioner of DCD, or designee, is authorized to accept the unsolicited offer to purchase submitted by La Causa, Inc. for the City-owned vacant lot at 238 West Mitchell Street as outlined in the Land Disposition Report; and, be it

Further Resolved, That the Commissioner of DCD, or designee, is authorized to release any deed restrictions that inhibit development and execute other legal documents on behalf of the City and to close the transaction according to the terms of the Land Disposition Report; and, be it

Further Resolved, That the sale proceeds shall be credited to the Reserve For Tax Deficit Fund Account No. 0001-334106.

Drafter

DCD/Real Estate

YSL:ysl

10/11/11/A



# City of Milwaukee Fiscal Impact Statement

**A** **Date** 10/11/2011 **File Number** \_\_\_\_\_  **Original**  **Substitute**

**Subject** Resolution authorizing the sale of the City-owned vacant lot at 238 West Mitchell Street to La Causa, Inc. for playground use, in the 12th Aldermanic District.

**B** **Submitted By (Name/Title/Dept./Ext.)** Rocky Marcoux, Commissioner, DCD, x5800

**C** **This File**

- Increases or decreases previously authorized expenditures.
- Suspends expenditure authority.
- Increases or decreases city services.
- Authorizes a department to administer a program affecting the city's fiscal liability.
- Increases or decreases revenue.
- Requests an amendment to the salary or positions ordinance.
- Authorizes borrowing and related debt service.
- Authorizes contingent borrowing (authority only).
- Authorizes the expenditure of funds not authorized in adopted City Budget.

**D** **Charge To**

- Department Account
- Capital Projects Fund
- Debt Service
- Other (Specify) Reserve For Tax Deficit Fund
- Contingent Fund
- Special Purpose Accounts
- Grant & Aid Accounts

	Purpose	Specify Type/Use	Expenditure	Revenue
<b>E</b>	Salaries/Wages		\$0.00	\$0.00
			\$0.00	\$0.00
	Supplies/Materials		\$0.00	\$0.00
			\$0.00	\$0.00
	Equipment		\$0.00	\$0.00
			\$0.00	\$0.00
	Services		\$0.00	\$0.00
			\$0.00	\$0.00
	Other		\$0.00	\$1.00
			\$0.00	\$0.00
	<b>TOTALS</b>		<b>\$ 0.00</b>	<b>\$ 1.00</b>

**F**

Assumptions used in arriving at fiscal estimate. \_\_\_\_\_

**G**

For expenditures and revenues which will occur on an annual basis over several years check the appropriate box below and then list each item and dollar amount separately.

- |                                    |                                    |       |
|------------------------------------|------------------------------------|-------|
| <input type="checkbox"/> 1-3 Years | <input type="checkbox"/> 3-5 Years | _____ |
| <input type="checkbox"/> 1-3 Years | <input type="checkbox"/> 3-5 Years | _____ |
| <input type="checkbox"/> 1-3 Years | <input type="checkbox"/> 3-5 Years | _____ |

**H**

List any costs not included in Sections D and E above. \_\_\_\_\_

**I**

Additional information. \_\_\_\_\_

**J**

This Note  Was requested by committee chair.

# LAND DISPOSITION REPORT

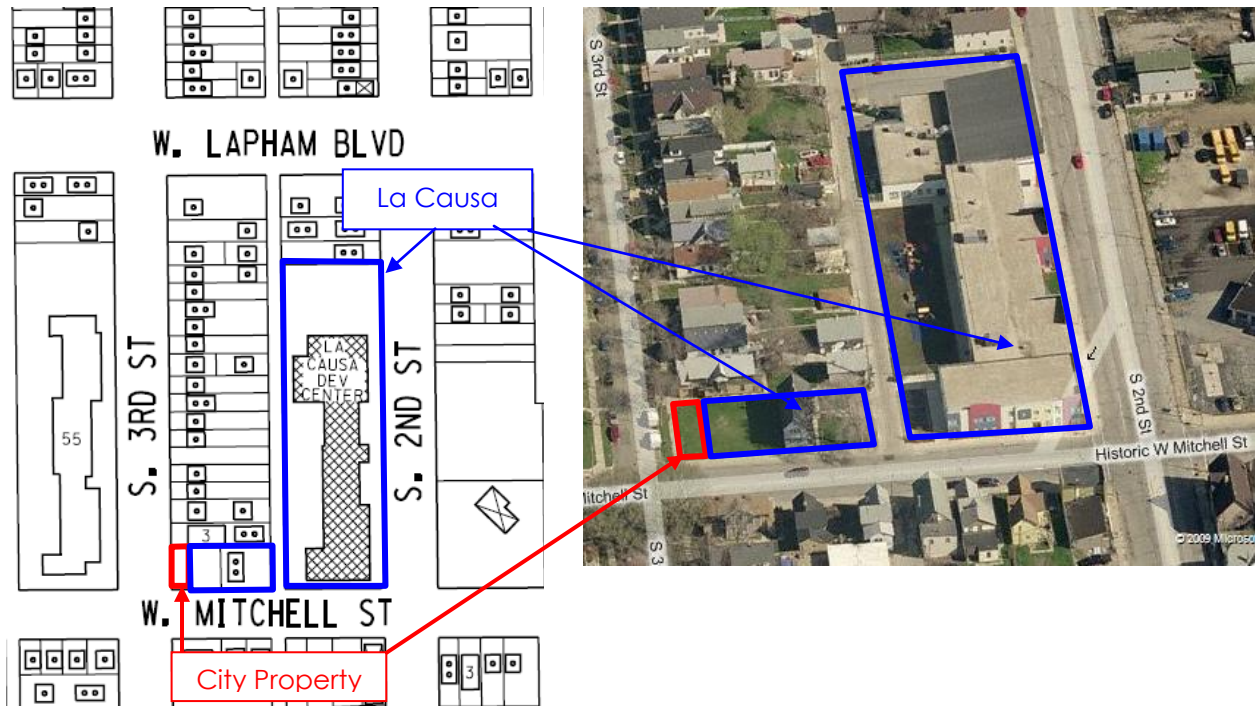
## COMMON COUNCIL OF THE CITY OF MILWAUKEE

### RESPONSIBLE STAFF

Yves LaPierre, Real Estate Section (286-5762)

### Property

238 West Mitchell Street, a 27'x60', 1,620 SF vacant lot. The lot was acquired in 1995 through In-Rem foreclosure.



### BUYER

La Causa, Inc. ("La Causa"). La Causa is a Wisconsin corporation that has offered daycare and schooling in Milwaukee since 1972. La Causa operates a charter school and daycare at 1643 South 2nd Street.

### PROPERTY USE

The Buyer proposes adding the City-owned vacant lot to its adjoining property to create a playground for the charter school it operates. The playground will be landscaped to City standards and fenced with brick piers and wrought iron.

### OFFER TERMS AND CONDITIONS

The lot will be sold for \$1.00. The property will be sold "as is." Sale proceeds shall be credited to the Reserve For Tax Deficit Fund. Closing will occur once the Buyer has final plans for the playground approved for permitting, but no later than August 31, 2012. Construction is expected to commence within one month and be completed within three months. The parcel at 238 West Mitchell Street will be joined with 228-236 West Mitchell Street. Deed restrictions will require that 238 West Mitchell Street be maintained as green space and prohibit selling the lot separately from La Causa's adjoining property at 228-236 West Mitchell Street. Deed restrictions also will prohibit future development as parking or future application for tax exemption.





Legislation Details (With Text)

**File #:** 110861      **Version:** 1

**Type:** Resolution      **Status:** In Committee

**File created:** 10/11/2011      **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Substitute resolution approving conveyance of the former Garfield Elementary School by the Milwaukee Board of School Directors to the Redevelopment Authority of the City of Milwaukee for the Bronzeville Project, in the 6th Aldermanic District.

**Sponsors:** ALD. COGGS

**Indexes:** CITY PROPERTY, MILWAUKEE PUBLIC SCHOOLS, PROPERTY SALES, REDEVELOPMENT AUTHORITY

**Attachments:** Term Sheet

Date	Ver.	Action By	Action	Result	Tally
10/11/2011	0	COMMON COUNCIL	ASSIGNED TO		
10/20/2011	1	CITY CLERK	DRAFT SUBMITTED		

Number  
110861  
Version  
SUBSTITUTE 1  
Reference

Sponsor  
ALD. COGGS

Title  
Substitute resolution approving conveyance of the former Garfield Elementary School by the Milwaukee Board of School Directors to the Redevelopment Authority of the City of Milwaukee for the Bronzeville Project, in the 6th Aldermanic District.

Analysis  
This substitute resolution authorizes the City, on behalf of the Milwaukee Board of School Directors, to convey the former Garfield Elementary School to the Redevelopment Authority.

Body  
Whereas, On September 22, 2011, the Milwaukee Board of School Directors ("MBSD") accepted an unsolicited offer from the Redevelopment Authority of the City of Milwaukee ("RACM") to purchase the former Garfield Elementary School at 2215 North 4th Street; and

Whereas, RACM approved acquisition of the property as part of the North 7th Street-West Garfield/Bronzeville Redevelopment Project Area on September 15, 2011; and

Whereas, RACM believes the school could serve as the cultural focal point for the Bronzeville District as summarized in a Term Sheet, a copy of which is attached to this Common Council File; and

Whereas, Legal title to MBSD real property is held in the name of the City of Milwaukee ("City"), in trust for MBSD, and conveyance of MBSD property requires adoption of a resolution by the Common Council approving such conveyance; now, therefore, be it

Resolved, By the Common Council of the City of Milwaukee, that conveyance of the former Garfield Elementary School at 2215 North 4th Street by MBSD to RACM is approved; and, be it

Further Resolved, That the proper City officials are authorized to execute all documents necessary to effect closure, including easements and releases of City deed restrictions that interfere with development or easements to the City for any public facilities.

Drafter

DCD:DA:da

10/19/11



**TERM SHEET  
FOR SALE OF PARCEL LOCATED AT  
2215 North 4<sup>th</sup> Street  
(Garfield Elementary School)**

Buyer: Redevelopment Authority of the City of Milwaukee (“RACM”).

Property: Approximately 1.48-acre parcel with 52,804 s.f. building located at 7<sup>th</sup> and Garfield. The property is located within the Bronzeville Redevelopment Plan area. Property is being sold in “as is where is” condition with all faults and defects, known or unknown, physical or otherwise, and without representation or warranty, express or implied.

Purchase Price: One Dollar (\$1.00).

Closing: Closing shall occur as soon as practicable, but not later than January 31, 2012.

Title Insurance and Closing Fees: RACM shall be responsible for obtaining and paying the cost of title insurance, gap endorsements, closing fees, and title updates, if any.

Use Covenants: Sale shall be subject to a restriction providing that the property will be used only for a cultural center and office space. Said restriction shall expire five years from the date of closing.

Maintenance Agreement: RACM and MPS will enter into an agreement providing for certain post-closing maintenance activities at the property. Pursuant to the agreement: 1) MPS will perform weekly interior inspections and perform minor interior repairs, all at RACM’s expense; 2) MPS will keep the alarm contract current and RACM will reimburse MPS for all alarm related expenses; and 3) MPS may perform other, more substantial repairs at the facility with prior approval of RACM and reimbursement of all costs and expenses associated with such work. The maintenance agreement shall permit termination by either party at any time for convenience.





Legislation Details (With Text)

**File #:** 110873      **Version:** 0

**Type:** Communication      **Status:** In Committee

**File created:** 10/11/2011      **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Communication from the Emerging Business Enterprise Program relating to the quarterly report regarding Emerging Business Enterprise and Residence Preference Program participation on The Moderne Project.

**Sponsors:** THE CHAIR

**Indexes:** EMERGING BUSINESS ENTERPRISES, PLANNED UNIT DEVELOPMENTS

**Attachments:**

Date	Ver.	Action By	Action	Result	Tally
10/11/2011	0	COMMON COUNCIL	ASSIGNED TO		

Number  
110873  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Communication from the Emerging Business Enterprise Program relating to the quarterly report regarding Emerging Business Enterprise and Residence Preference Program participation on The Moderne Project.  
Requestor

Drafter  
EBE  
ok  
10/11/11

