

OWNERS STATEMENT OF INTENT

1119 North 12th Street
in addition to 1202 W. Highland Ave

Continental A-1 Corporation (controlled by Attorney Jay Walia) is proposing an **automatic self serve touchless car wash** in addition to already approved project known as "W Centre". The proposed project will service the immediate neighborhood. We will operate the above location in a way that the public health, safety and welfare are protected.

ON-SITE AND OFF-STREET PARKING: In addition to 10 on-site parking spaces, there are 12 car spaces around the gasoline pumps. Most of convenience store patrons like to come in and out of the store fast and usually park next to gasoline pumps whether or not they buy gasoline. Further, street parking is available on both streets. The project will not pose a hazard to either pedestrian or vehicular traffic.

Our need for employees parking is going to be minimal because majority of our employees are going to be living within walking distance from the location including Marquette University students.

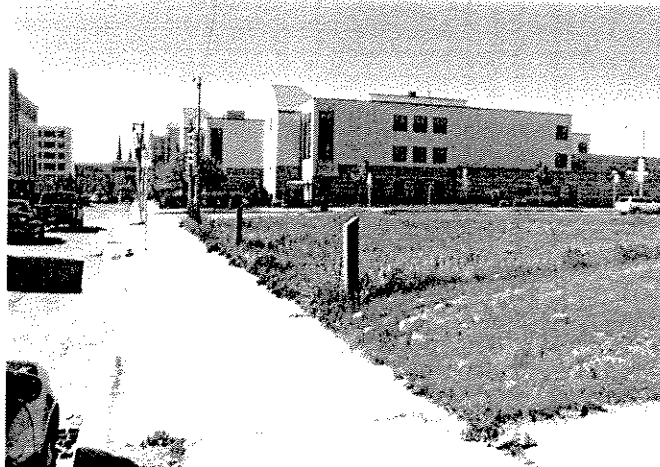
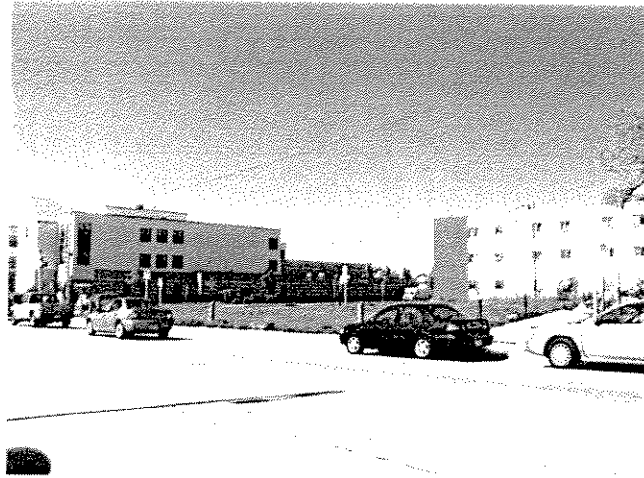
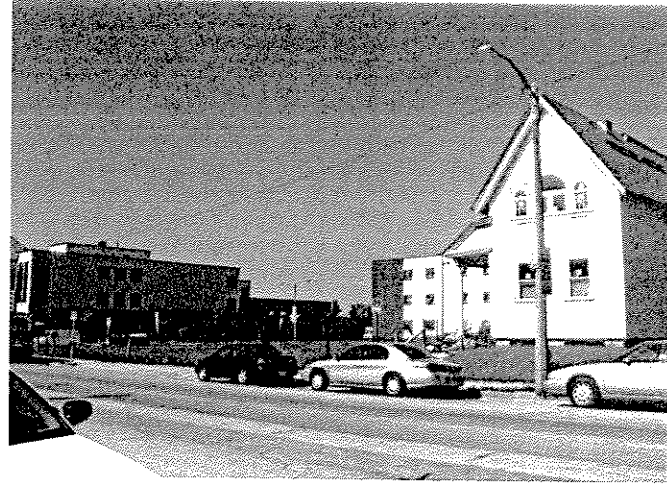
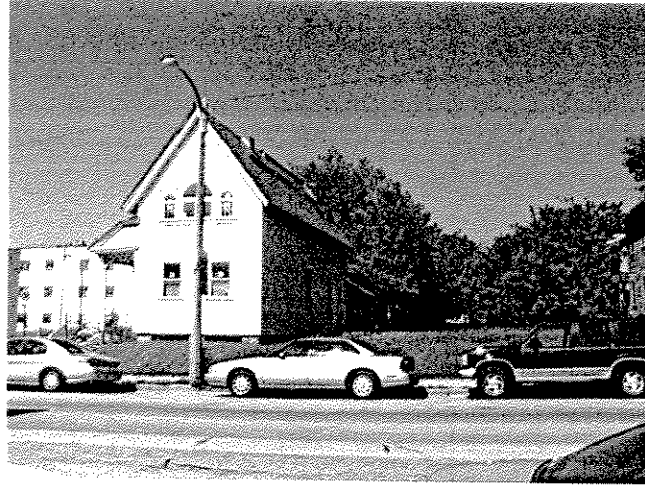
Being a downtown location, in our opinion, the site has been designed with adequate on-site parking for customers, which does not interfere with pedestrian access to the building. The project will not pose a hazard to either pedestrian or vehicular traffic. The curb cut accesses are located a good distance from the intersection to prevent conflicts with streets traffic.

MOVING EXISTING HOUSE: With cooperation of Alderman Office and other City of Milwaukee departments, we would prefer to move the existing house to some other City owned lot within immediate neighborhood, if feasible. If it is not feasible, we would offer to donate to some charitable organization with consent of Alderman Office and other City of Milwaukee departments.

We believe that our purposed use is consistent with the City of Milwaukee's comprehensive plan for this area. We believe the project will enhance the appearance of 12th and Highland corner.

The overarching goal of the Comprehensive Plan is for downtown to add value to Milwaukee. We believe our proposed project will add value to Milwaukee.

W Centre Complex with Car Wash
1119 N. 12th St
EXISTING SITE



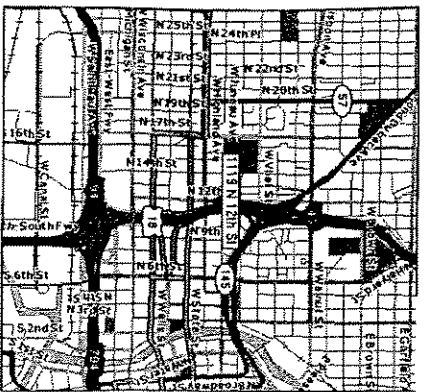
PLAT OF SURVEY

LOCATION: 1119 North 12th Street, Milwaukee, Wisconsin

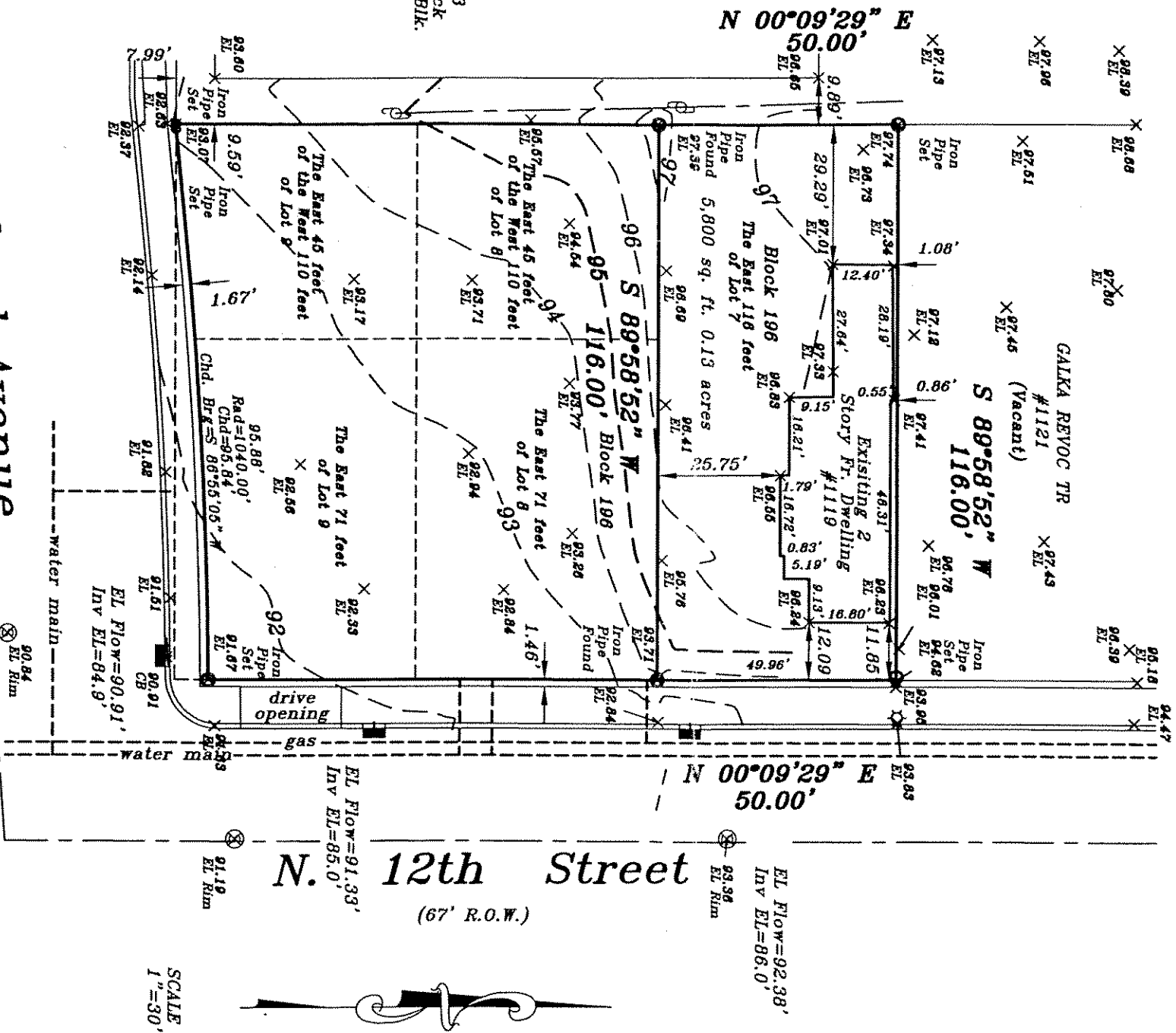
LEGAL DESCRIPTION: All of Lot 7, except the West 65 feet thereof, in Block 196, in Subdivision into City lots of the North 30 acres of the West 1/2 of the Northwest 1/4 and the North 16 acres of the South 50 acres of the West 1/2 of the Northwest 1/4 of Section 29, in Township 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

April 27, 2005

Survey No. 98427



Vicinity Map (not to scale)



Existing 3
Story Brick
& Conc. Blk.
Building
#1218

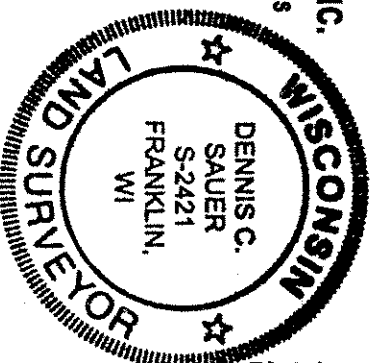
W. Highland Avenue
(R.O.W. varies)

N. 12th Street
(67' R.O.W.)

SCALE
1"=30'

METROPOLITAN SURVEY SERVICE, INC.

REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
5200 W. LOOMIS ROAD GREENDALE, WI 53129
PH. (414) 529-5380 FAX (414) 529-9787
email address survey@bizowl.com



I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

Dennis C. Sauer
Dennis C. Sauer
Registered Land Surveyor S-2421

10014 N. Sheridan Drive
Mequon, WI 53092
Phone 262-241-8408
Fax 262-240-0154
Email b.hsiang@att.net

Project:
**W CENTRE
COMPLEX
WITH CAR WASH**
1119 N. 12th ST.
Milwaukee, WI 53233

Owner:
JAY WALIA
Continental A-1 Corp.
4725 N. 159th St.
Brookfield, WI 53005

Drawing:
**INDEX OF SHEETS
AND SITE DATA**

Scale:
As Noted

Date:
5.23.05- PUD Review Submittal

Revision:
6.3.05- PUD Submittal

Drawn By:
GS

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Sheet:
TITLE SHEET

INDEX OF SHEETS

PHOTOS OF SITE
SURVEY

TITLE SHEET	INDEX OF SHEETS, SITE DATA, SIGN DETAIL
SP-1	SITE PLAN- 1202 W. HIGHLAND AVE. - PUD APPROVED
SP-1a	SITE PLAN-1119 N 12th ST.
A-1	ELEVATIONS-WEST AND EAST
A-2	ELEVATIONS OF CAR WASH BUILDING - SOUTH AND NORTH
L-1	LANDSCAPE PLAN -1202 W. HIGHLAND AVE. -PUD APPROVED
L-1a	LANDSCAPE PLAN-1119 N 12th ST., PLANT LIST AND NOTES
SG-1	SITE GRADING & UTILITY PLAN-1202 W. HIGHLAND AVE. -PUD APPROVED
SG-1a	SITE GRADING & UTILITY PLAN-1119 N 12th ST.

BUILDING SIGN

BUILDING WALL SIGNS: REFER ELEVATIONS FOR LOCATIONS AND DETAILS.
FINAL DETAILS TO BE APPROVED BY CITY ADMINISTRATIVELY
PER CITY ZONING CODE & SIGN REQUIREMENT

<u>WALL SIGN -1:</u>	"W Centre" 5'H.X 7'L. Area	(2)	@Tower - 1202, South & East Elevations
<u>WALL SIGN -2:</u>	"Walia Law Office" 16"H.X10'L.	(1)	@Office Entry- 1202, South Elevation
<u>WALL SIGN -3:</u>	*Gas Station & Store Sign 6'-8"H.X7'L.	(1)	@Tower - 1202, South & East Elevations
<u>WALL SIGN -4:</u>	*Store Sign max. 2'-6"X20'L.	(1)	@1202, North Elevation
<u>WALL SIGN- 5:</u>	"W Station" 4'H.X5'3"L. Area	(1)	@1119, East Elevation
<u>WALL SIGN- 6:</u>	"Car Wash-Touchless" 2'-2"H.X9'-6"L. Area	(1)	@1119, South Elevation

SITE DATA- 1202 W. HIGHLAND AVE.

1. ZONING DESTINATION: PLAN UNIT DEVELOPMENT
2. STREET EXPOSURE: 2 STREETS
3. LOT SIZE: 11,082 SQ.FT.
4. LOT COVERGAE
BUILDING AREA: 2,310.20 SQ.FT.
PARKING/PAVING AREA: 7,663.96 SQ.FT.
LANDSCAPING AREA: 1,107.84 SQ.FT.
5. BUILDING: 3 STORIES- TOTAL HEIGHT 35' TO 39'
BUILDING USE: 1ST FLOOR - CONVENIENT STORE
2ND & 3RD FLOORS- OFFICE USE
SITE USE: GAS STATION
6. PARKING: SEE BELOW*

SITE DATA- 1119 N. 12th ST.

1. ZONING DESTINATION: PLAN UNIT DEVELOPMENT
2. STREET EXPOSURE: 1 STREET
3. LOT SIZE: 5,800 SQ.FT.
4. LOT COVERGAE
BUILDING AREA: 903.09 SQ.FT.
PARKING/PAVING AREA: 4,231.53 SQ.FT.
LANDSCAPING AREA: 665.38 SQ.FT.
5. BUILDING: 1 STORY- TOTAL HEIGHT 15' TO 19'
BUILDING USE: AUTOMATIC CAR WASH
SITE USE: GAS STATION
6. PARKING: SEE BELOW*

*TOTAL PARKING FOR BOTH SITES: 10 DESIGNATED STALLS
(INCL. 1 ADA PARKING)
ADDITIONAL PARKING SPACES
BY THE GASOLINE PUMPS.

REDUCED

**BERYL HSIANG
ARCHITECTS, INC**

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Drawing:
**1202 W. HIGHLAND AVE.
PUD APPROVED
SITE PLAN**

Scale:
As Noted

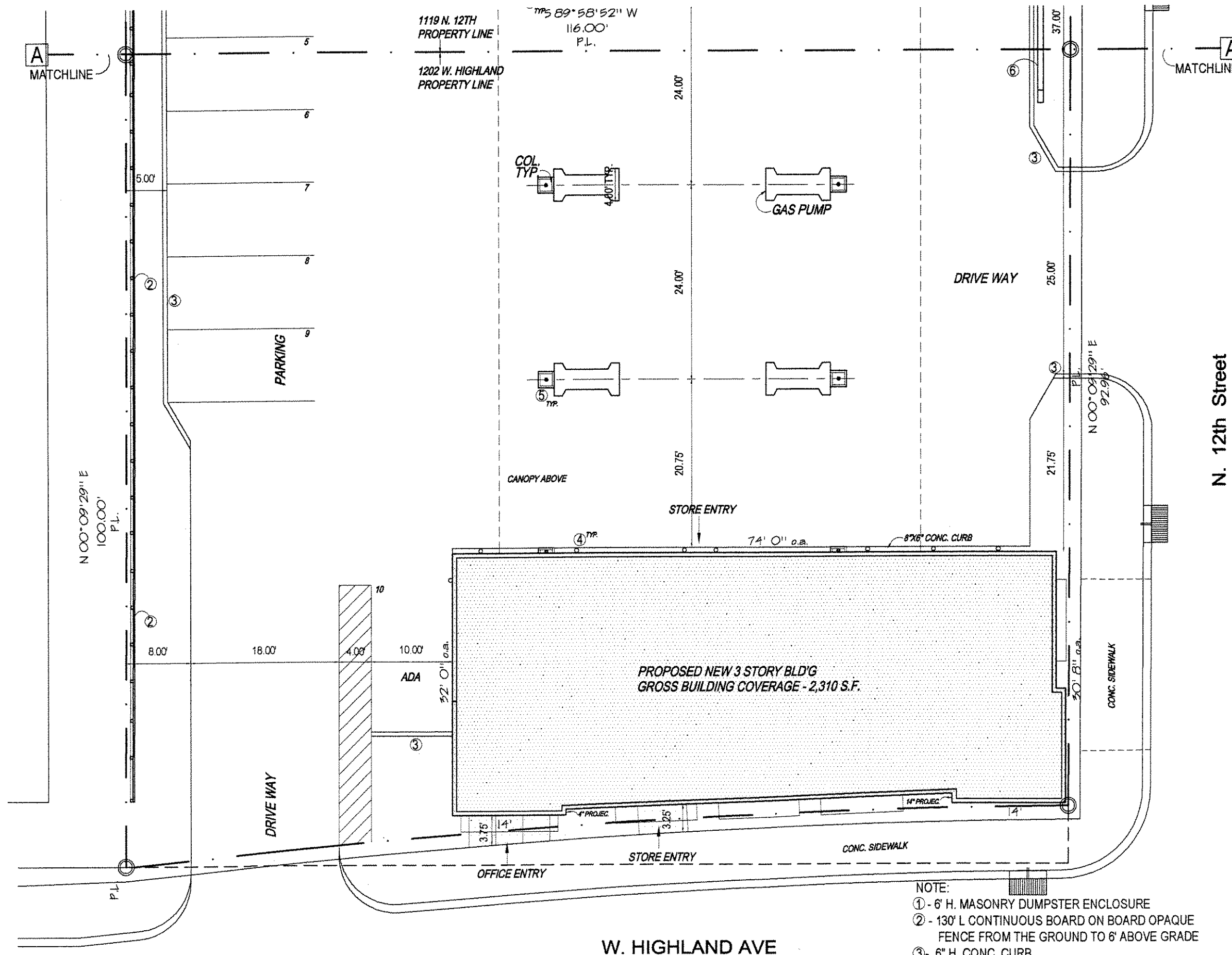
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Sheet:
SP-1



SITE PLAN
SCALE: 1"=10'

- NOTE:
- ① - 6' H. MASONRY DUMPSTER ENCLOSURE
 - ② - 130' L CONTINUOUS BOARD ON BOARD OPAQUE FENCE FROM THE GROUND TO 6' ABOVE GRADE
 - ③ - 6" H. CONC. CURB
 - ④ - BOLLARD - 8" DIAM. X 4' H. FILLED W/ CONC.
 - ⑤ - COLUMN W/ MASONRY ENCLOSURE
 - ⑥ - 3' H. X 20' L. FENCE OF LOW MASONRY WALL
 - ⑦ - AUTOMATIC CAR WASH- NO HAND WASH

W. HIGHLAND AVE

N. 12th Street

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SITE PLAN**

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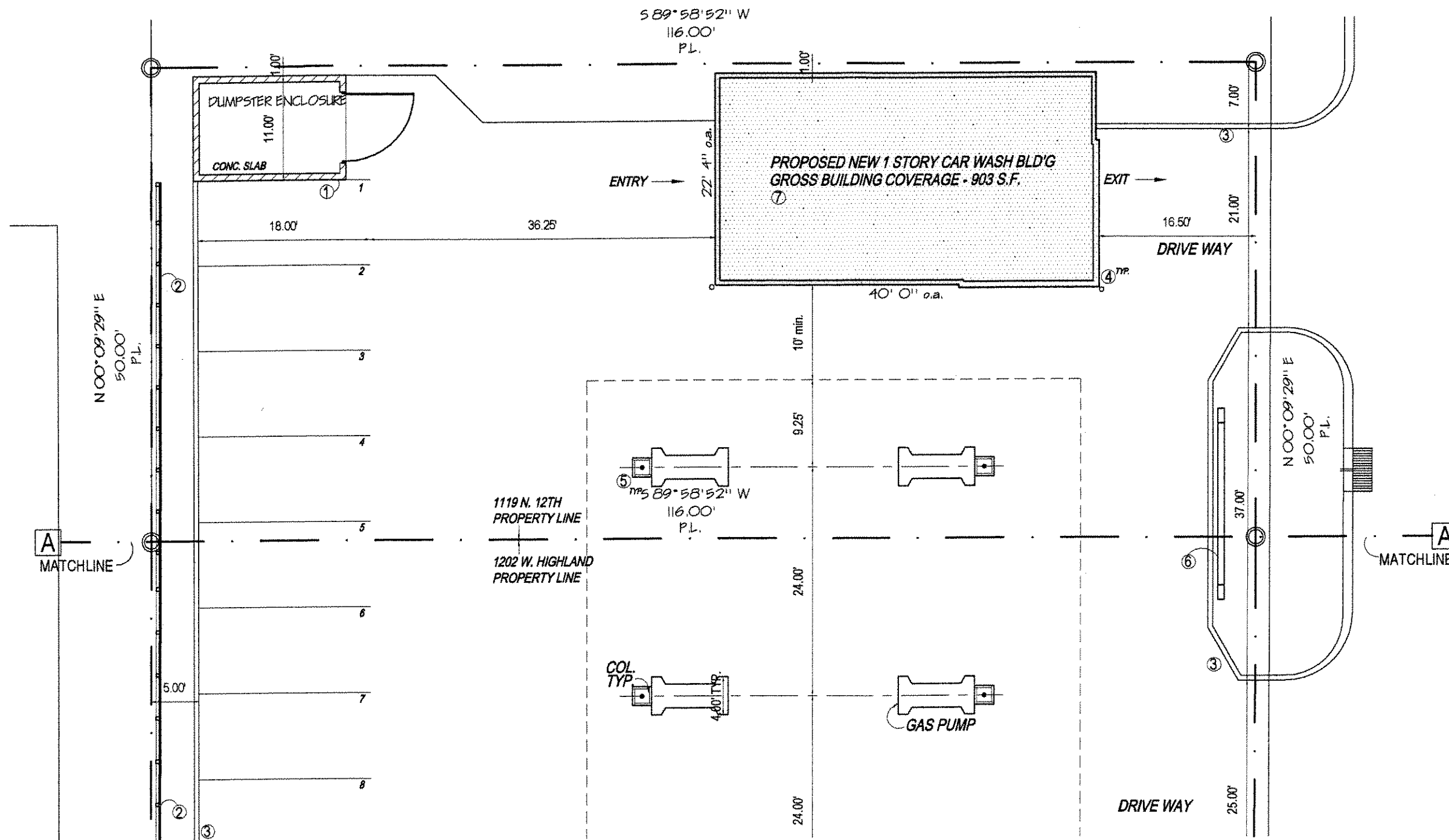
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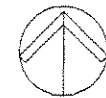
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Sheet:
SP-1a



SITE PLAN

SCALE: 1"=10' 1' 0" 5' 10'



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- ③ - 6" H. CONC. CURB
- ④ - BOLLARD - 8" DIAM. X 4' H. FILLED W/ CON
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Drawing:
**EAST AND WEST
ELEVATIONS**

Scale:
As Noted

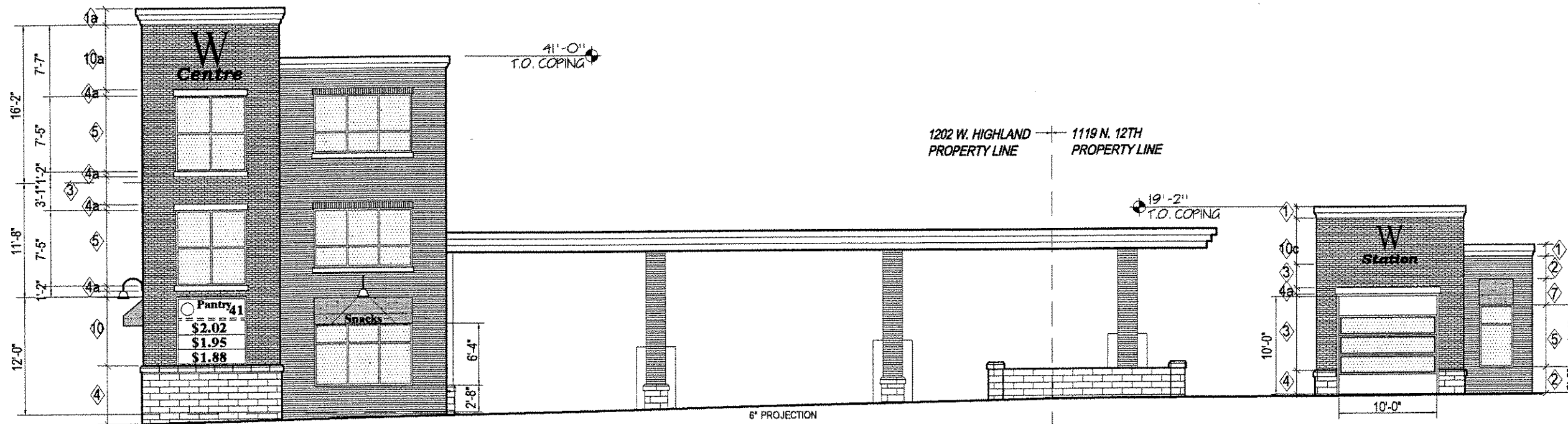
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A-1



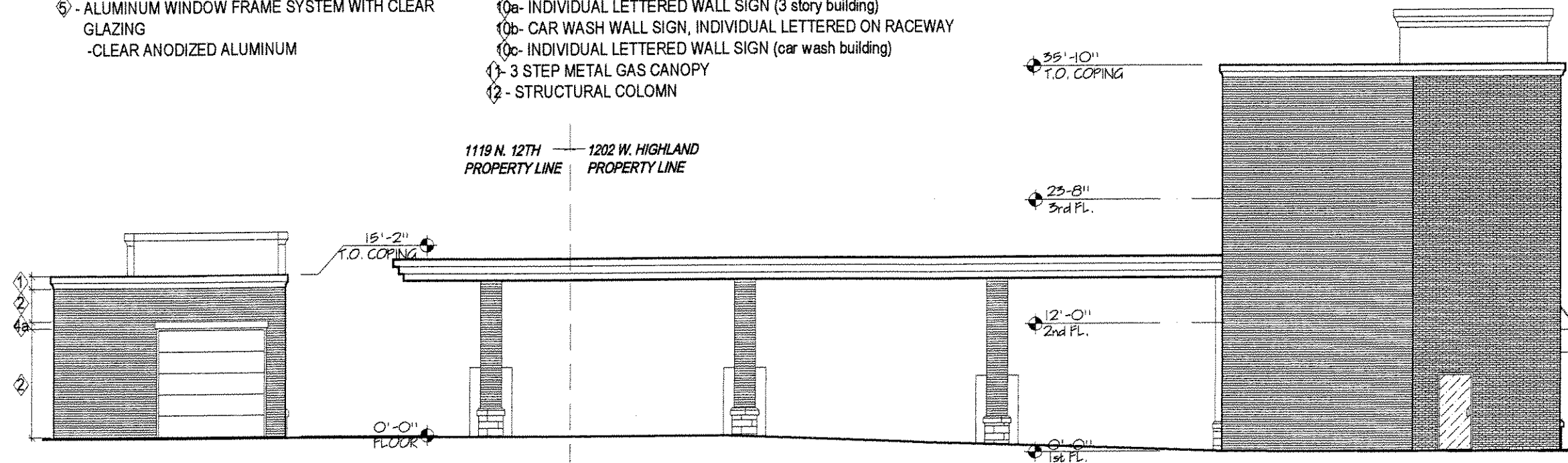
**PROPOSED
EAST ELEVATION**

SCALE: 1"=10'-0" 1' 0" 5' 10'

NOTE: BRICK COLORS BASED ON SIOUX CITY BRICK

- ① - 2 STEP COPING
- ①a - 3 STEP COPING
- ② - FIELD BRICK/MAIN AREA- GRAND CANYON, SMOOTH
- ②a - ACCENT COLOR BRICK, SOLDIER COURSING AT LINTEL- BADLANDS, SMOOTH
- ③ - FIELD BRICK/TOWER- BADLANDS, SMOOTH
- ④ - BASE, 2" PROJECTION, OVERSIZE BRICK- MARBLE-STONE GRAY
- ④a - STONE SILL/LINTEL
- ④b - BRICK/MASONRY BASE
- ⑤ - ALUMINUM WINDOW FRAME SYSTEM WITH CLEAR GLAZING
- CLEAR ANODIZED ALUMINUM

- ⑥ - ALUMINUM DOOR & WINDOW FRAME SYSTEM WITH CLEAR GLAZING
- CLEAR ANODIZED ALUMINUM
- SIGN TO BE INDIVIDUAL LETTERED SIGN
- ⑦ - METAL AWNING WITH METAL FRAME- 2'-8" HIGH AND 2'-0" PROJECTION
- ⑧ - SUSPENDED METAL CANOPY WITH INDIVIDUAL LETTERED SIGN
- ⑨ - WALL MOUNTED LIGHTS
- ⑩ - GAS STATION/STORE WALL SIGN AREA, DESIGN BY MANUFACTURER TO BE SUBMITTED FOR DCD APPROVAL
- ⑩a - INDIVIDUAL LETTERED WALL SIGN (3 story building)
- ⑩b - CAR WASH WALL SIGN, INDIVIDUAL LETTERED ON RACEWAY
- ⑩c - INDIVIDUAL LETTERED WALL SIGN (car wash building)
- ⑪ - 3 STEP METAL GAS CANOPY
- ⑫ - STRUCTURAL COLUMN



**PROPOSED
WEST ELEVATION**

SCALE: 1"=10'-0" 1' 0" 5' 10'

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Continental A-1 Corp.
4725 N. 159th St.
Brookfield, WI 53005

Drawing:

**NORTH AND SOUTH
ELEVATIONS**

Scale:
As Noted

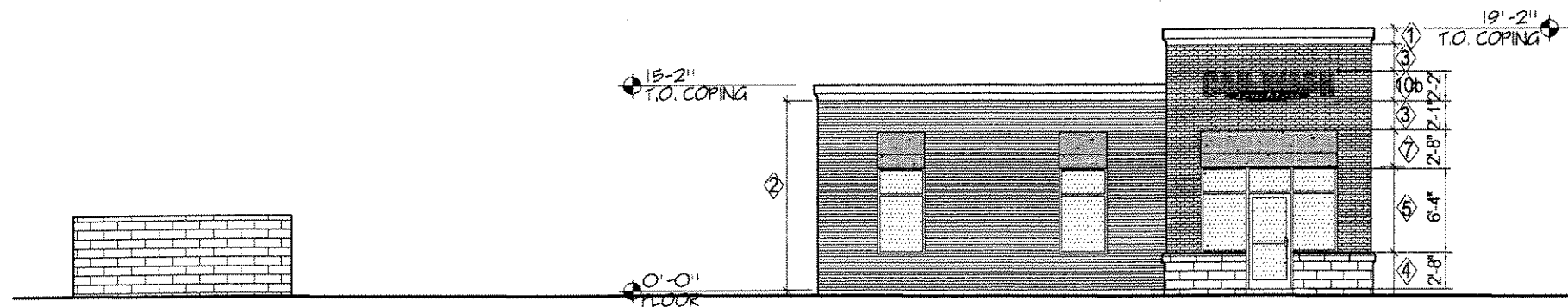
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Sheet:
A-2



**PROPOSED
CAR WASH - SOUTH ELEVATION**

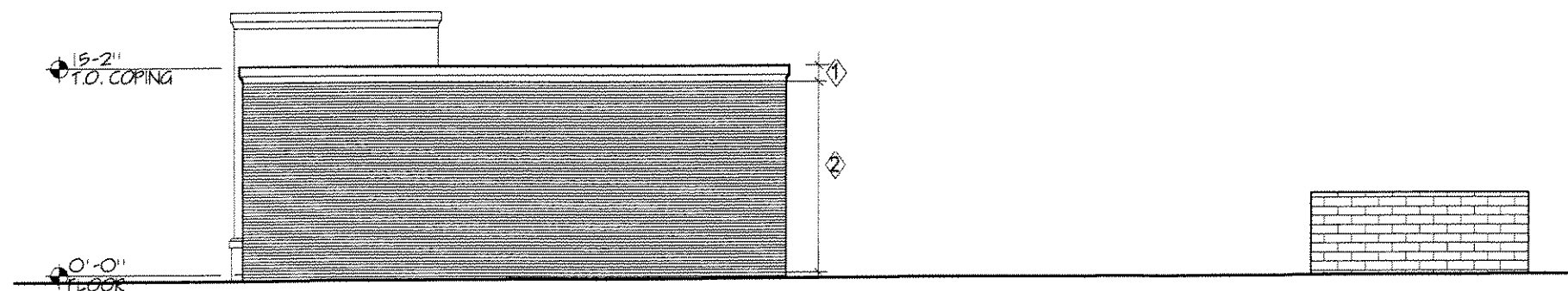
SCALE: 1"=10'-0"



NOTE: BRICK COLORS BASED ON SIOUX CITY BRICK

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- ①a - 3 STEP COPING
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- ⑩c- INDIVIDUAL LETTERED WALL SIGN (car wash building)
- ⑪ - 3 STEP METAL GAS CANOPY
- ⑫ - STRUCTURAL COLOMN



**PROPOSED
CAR WASH - NORTH ELEVATION**

SCALE: 1"=10'-0"



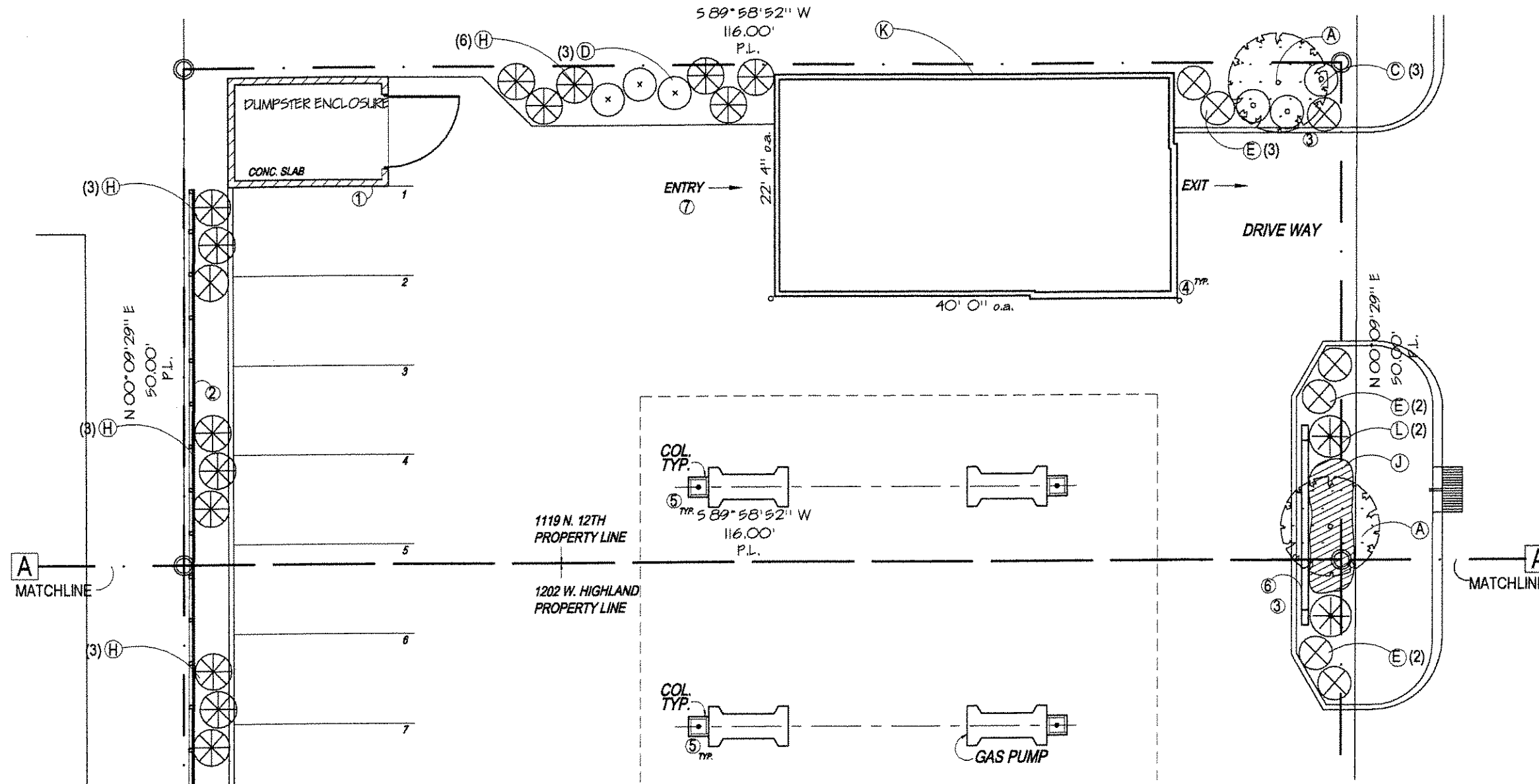
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Drawing:
**1119 N 12th ST.
LANDSCAPE PLAN,
PLANT LIST AND
LANDSCAPE NOTES**



LANDSCAPE PLAN

SCALE: 1"=10'-0"

NOTE:

- ①- 6' H. MASONRY DUMPSTER ENCLOSURE
- ②- 130' L CONTINUOUS BOARD ON BOARD OPAQUE FENCE FROM THE GROUND TO 6' ABOVE GRADE
- ③- 6" H. CONC. CURB
- ④- BOLLARD - 8" DIAM. X 4' H. FILLED W/ CONC.
- ⑤- COLUMN W/ MASONRY ENCLOSURE
- ⑥- 3' H. X 20' L. FENCE OF LOW MASONRY WALL
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LANDSCAPE PLANT LIST-

REFER DRAWINGS L-1 & L-1a FOR LOCATION

*TOTAL QUANTITY FOR 1202 & 1119 PROPERTY

KEY	*QUANTITY	COMMON NAME	SIZE
A.	5	MARSHALL'S SEEDLESS ASH	2" CAL
B.	1	ADAM'S PINK FLOWERING CRABAPPLE	1 1/2" CAL
C.	3	ANTHONY WATERER SPIREA	24"
D.	9	VIBURUM COMPACT CRANBERRY BUSH	36"
E.	11	ARCADIA JUNIPER	12"-18" H.
F.	3	COMPACT PFITZER JUNIPER	24" H.
G.	5	NEARLY WILD ROSE	18" H.
H.	18	ABORVITAE TECHNY HEDGE	36" H.
I.		GROUND COVER OR GRASS	
J.	3	ANNUAL FLOWERING BED	
K.		THORNDALE IVY	
L.	2	EMERALD N' GOLD EUONYMUS	3' H., SPREADING

NOTE:

PLANT MATERIAL SHALL CONSISTENT WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (ANSI 260.1).
ALL PLANTING BEDS TO BE MULCHED OVER WEED BARRIER.

Scale:
As Noted

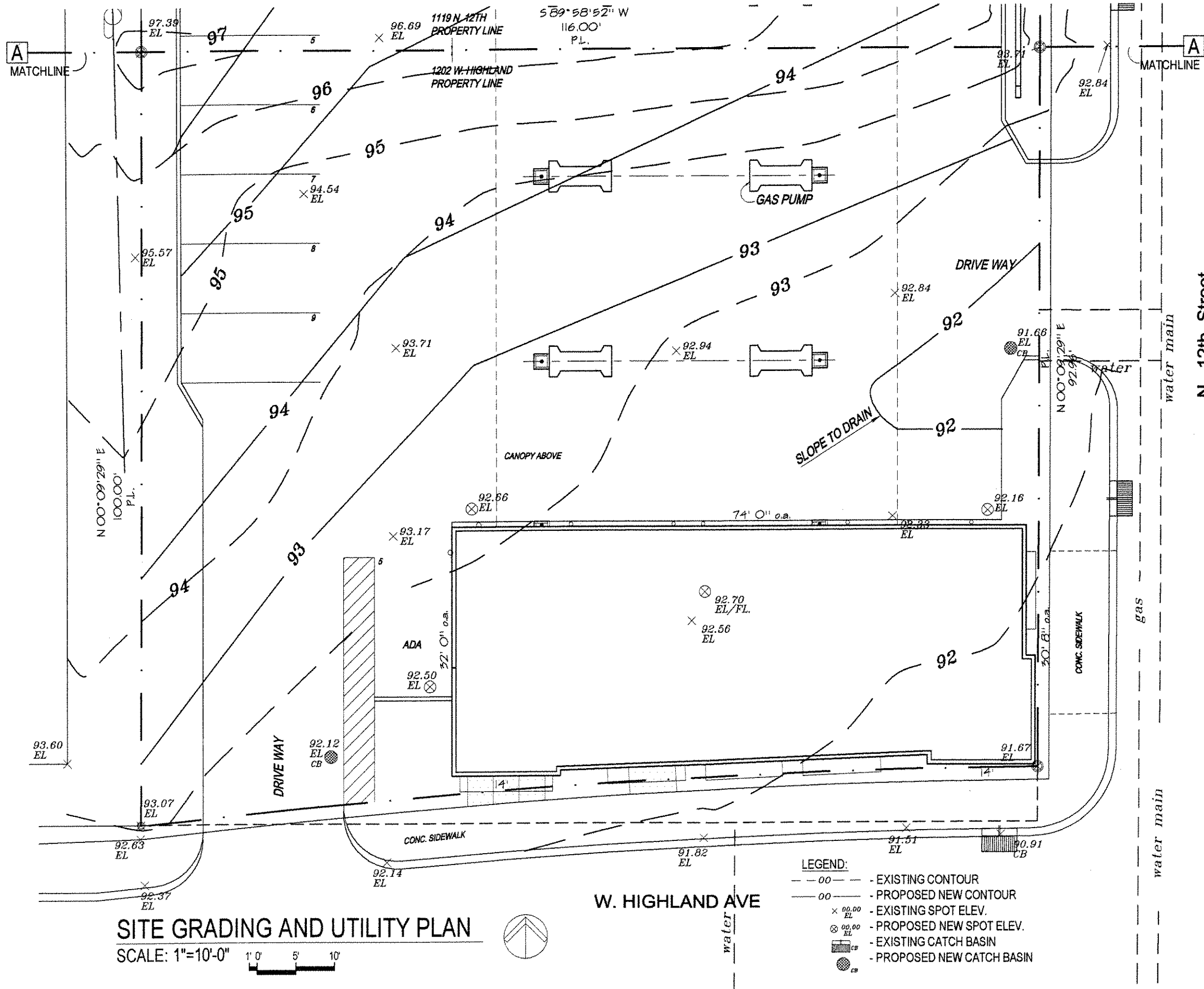
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Sheet:
L-1a



SITE GRADING AND UTILITY PLAN
 SCALE: 1"=10'-0"

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 Phone 262-241-8408
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Drawing:
1202 W. HIGHLAND AVE. SITE GRADING AND UTILITY PLAN

Scale:
 1"=10'

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Drawing:
**1119 N. 12th ST.
SITE GRADING AND
UTILITY PLAN**

Scale:
1"=10'

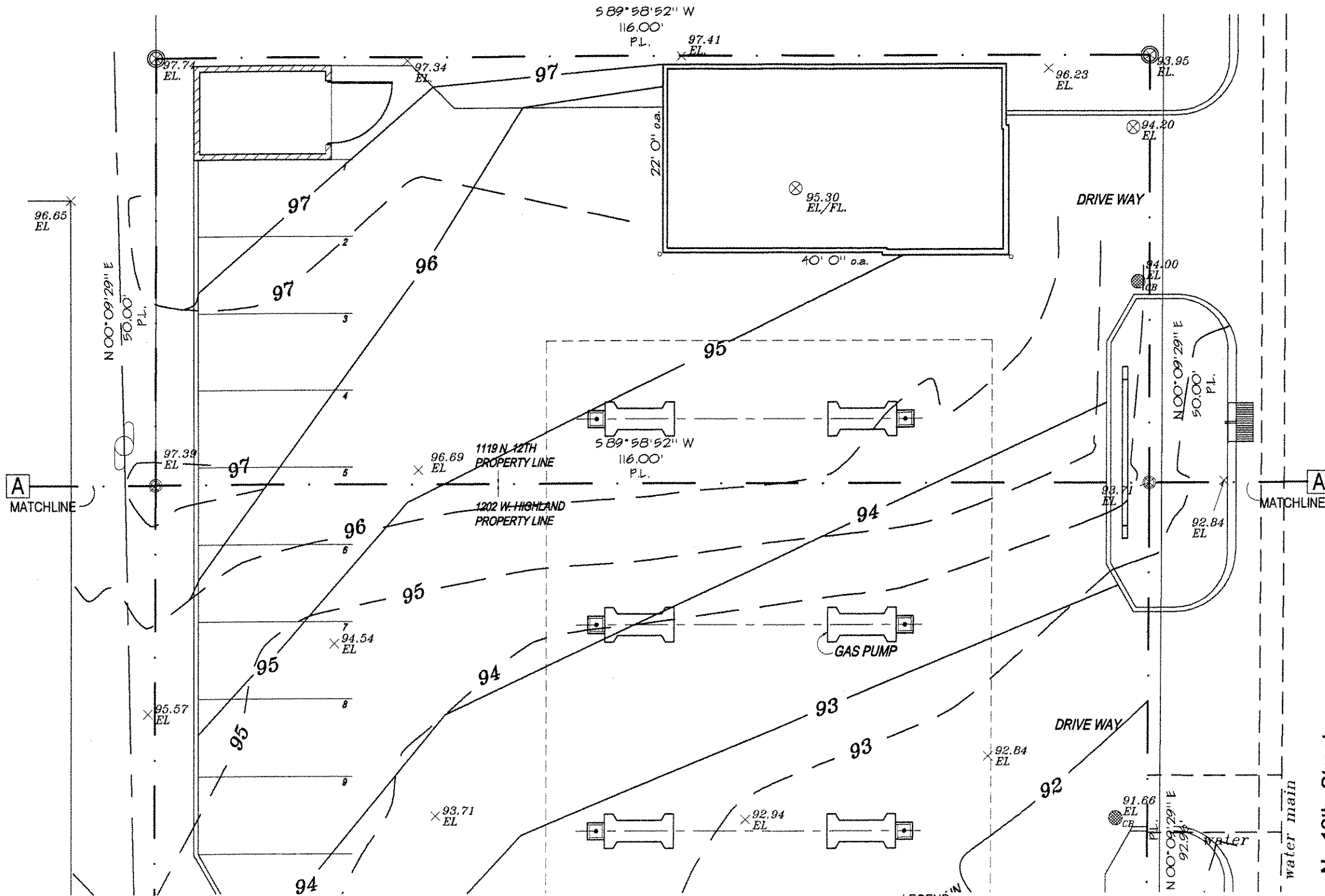
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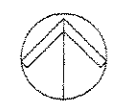
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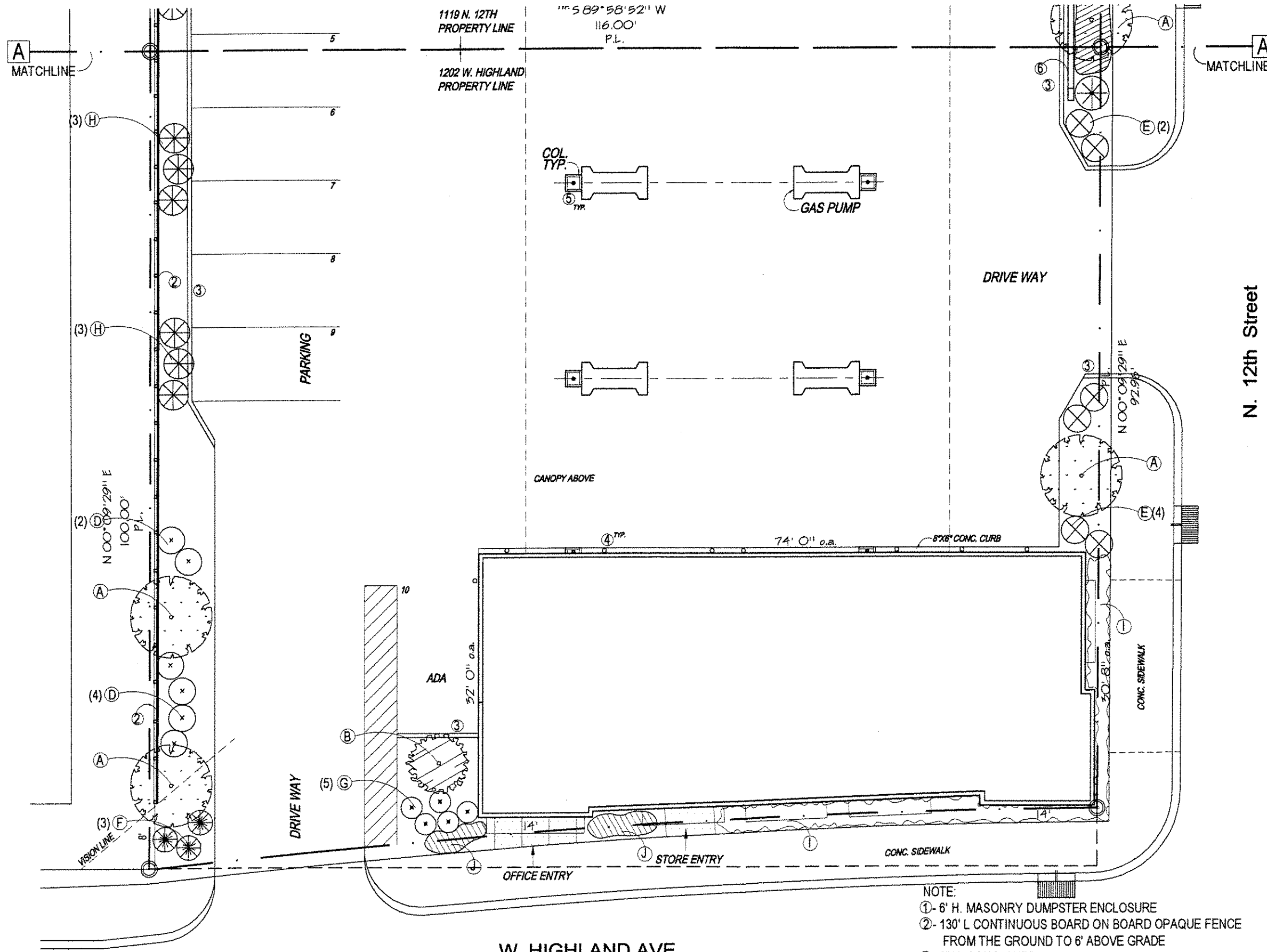


SITE GRADING AND UTILITY PLAN

SCALE: 1"=10'-0" 1' 0" 5' 10'

- LEGEND:**
- - - - - EXISTING CONTOUR
 - — — — - PROPOSED NEW CONTOUR
 - × 00.00 EL - EXISTING SPOT ELEV.
 - ⊗ 00.00 EL - PROPOSED NEW SPOT ELEV.
 - ▭ CB - EXISTING CATCH BASIN
 - CB - PROPOSED NEW CATCH BASIN





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Revision:
6.3.05- PUD Submittal

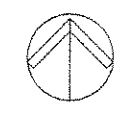
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Sheet:
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LANDSCAPE PLAN

SCALE: 1"=10'-0"
1' 0" 5' 10'



W. HIGHLAND AVE

- NOTE:
- ①- 6' H. MASONRY DUMPSTER ENCLOSURE
 - ②- 130' L CONTINUOUS BOARD ON BOARD OPAQUE FENCE FROM THE GROUND TO 6' ABOVE GRADE
 - ③- 6" H. CONC. CURB
 - ④- BOLLARD - 8" DIAM. X 4' H. FILLED W/ CONC.
 - ⑤- COLUMN W/ MASONRY ENCLOSURE
 - ⑥- 3' H. X 20' L. FENCE OF LOW MASONRY WALL
 - ⑦- AUTOMATIC CAR WASH- NO HAND WASH