

EXHIBIT A

File No. 020632

RIVERCREST CONDOMINIUMS

DETAILED PLAN PROJECT DESCRIPTION AND OWNER'S STATEMENT OF INTENT

RiverCrest Condominiums is a 2-phase project as outlined in the General Plan Development for Humbolt Yards, Section 3(h). This Detailed Plan Development focuses solely on Phase I of the project which encompasses approximately 2.21 acres extending north-easterly from the North Humbolt Avenue boundary of the property along the bluff, extending to East Garfield Street extended.

1. Vicinity Map – A detailed plan development vicinity map showing the boundaries of the Phase I Site, the territory within 1,000 feet of the Site, proposed access to the Site and community facilities in the surrounding area is included with this Statement as Sheet No. DPD-1 (the “Vicinity Map”). To provide access to the Site, Commerce Street was extended east across North Humbolt Avenue following the natural curvature of the bluff connecting to East North Avenue. North Riverboat Road along the eastern boundary of the Site will be improved with new pavement, curb and gutter, a sidewalk and a bike path. As outlined on the Vicinity Plan, community facilities in the surrounding area include: a restaurant located southeast of the site along the Milwaukee River; industrial and residential uses located southwest of the site; taverns, ground level retail stores and apartments west of the Site; and grocery, pharmacy and medical facilities to the north of the Site. Beneath the bluff on the east boundary of the Site, the Milwaukee River runs freely, and natural open space is visible.
2. Plat of Survey – The Survey included in this Statement as Sheet No. DPD-2 (the “Survey”) shows the exterior boundaries, legal description, existing topography and area of the Site. The Site is currently vacant and unimproved. The Site is a former rail yard and has undergone significant environmental remediation.
3. Site Plan – A detailed plan development site plan showing the location and dimensions of all proposed residential structures and improvements at the Site is included with this Statement as Sheet No. DPD-3 (the “Site Plan”). The structures and improvements as shown on the Site Plan are described below.
 - a. Six buildings are proposed including two 4-dwelling unit and four 8-dwelling unit buildings for a total of 40 dwelling units. The unit mix is made up of four distinct floor plans offering the following designs.

- 20 2 Bedroom, 2 ½ Bath with Den
- 10 2 Bedroom, 2 ½ Bath
- 10 2 Bedroom, 1 ½ Bath

Garages will be attached to each individual unit and provide direct entry. Certain of the attached garages will front on Riverboat Road. Parking courts provide access and circulation for those dwelling units that access off of Commerce Street.

- b. A publicly accessible park situated above the former North Avenue Dam will be created as depicted on the Site Plan. The publicly accessible park will be privately owned and maintained. In addition, a publicly accessible stairway leading from the publicly accessible park, traversing the grade of the bluff and landing at Riverboat Road will be installed.
 - c. Not less than a five-foot setback shall be maintained to buffer dwelling units from Commerce Street the setback is increased to 12 feet as a result of a pre-existing utility easement. Along Riverboat Road garages and principal structures serving such residential dwelling units may be located closer to the right-of-way as shown on the Site Plan.
4. Site Grading Plan – A site grading plan indicating existing and proposed topography at 2-foot contour intervals is included with this Statement as Sheet No. DPD-4 (the “Grading Plan”). Each parking court is designed to collect surface water in a central catch basin which connects to the combined sanitary/stormwater main located in Commerce Street. Each building will also collect surface water through a series of roof drains that will connect to the parking court drainage system and be deposited in the combined sewer in Commerce Street.
 5. Site Utility Plan – A site utility plan showing the proposed location of storm and sanitary sewers, water mains and laterals, parking and roadway storm inlets and elevations is included with this Statement as Sheet No. DPD-5 (the “Utility Plan”).
 6. Site Landscape Plan – A landscape plan showing the location, number, size and type of all landscape and screening elements is included with this Statement as Sheet No. DPD-6 (the “Landscape Plan”). All plant material specified shall be of a quality consistent with the standards of the American Association of Nurserymen (ANSI 260.1), and will be maintained on a continuous basis.
 7. Building Elevations – Elevations of each side of the two building types are included with this Statement as Sheet Nos. DPD-7 through DPD-14. Building floor plans for each of the two building types are included with this Statement as Sheet Nos. DPD-15 through DPD-22.

The six buildings will be a mix of masonry veneer and EIFS siding material. The window surrounds will be anodized grey aluminum. The brick will be utility size, cascade white with a cascade rockface base. Window surrounds and spandrels will be anodized grey aluminum. The accent brick will be utility size greystone rockface. The EIFS will occur on the upper areas above the garage level banding, alternating with windows and brick. The EIFS will be 330 maxi white with a fine finish. Entry systems will be wood frame with sidelights, and garage doors on Riverboat Road will be, custom translucent glazed panels with aluminum frames.

The landscape walls will be one of three choices selected from below:

STONEWALL SELECT

- 8”h x 16”w; or 8”h x 18”w; 8”h x 18”w textured split face, light color.

ROCKWOOD

- 8”h x 18”w Classic Straight or Beveled Splitface, or 8”h x 18”w Legend Straight or Beveled Splitface, light color.

VERSA-LOK

- 4”h x 12”(accent);6”h x 8”w(cobble); 6”h x 16”w(standard) Mosaic Retaining Wall System, light color.

Railings on the project will be aluminum stock with horizontal spacing made of aluminum or stainless steel cable.

8. All signage will be submitted for approval as a minor modification as no signage details are available at this time. The signage will be consistent with all requirements for s. 295-907 and the General Plan Development.

STATISTICAL DATA

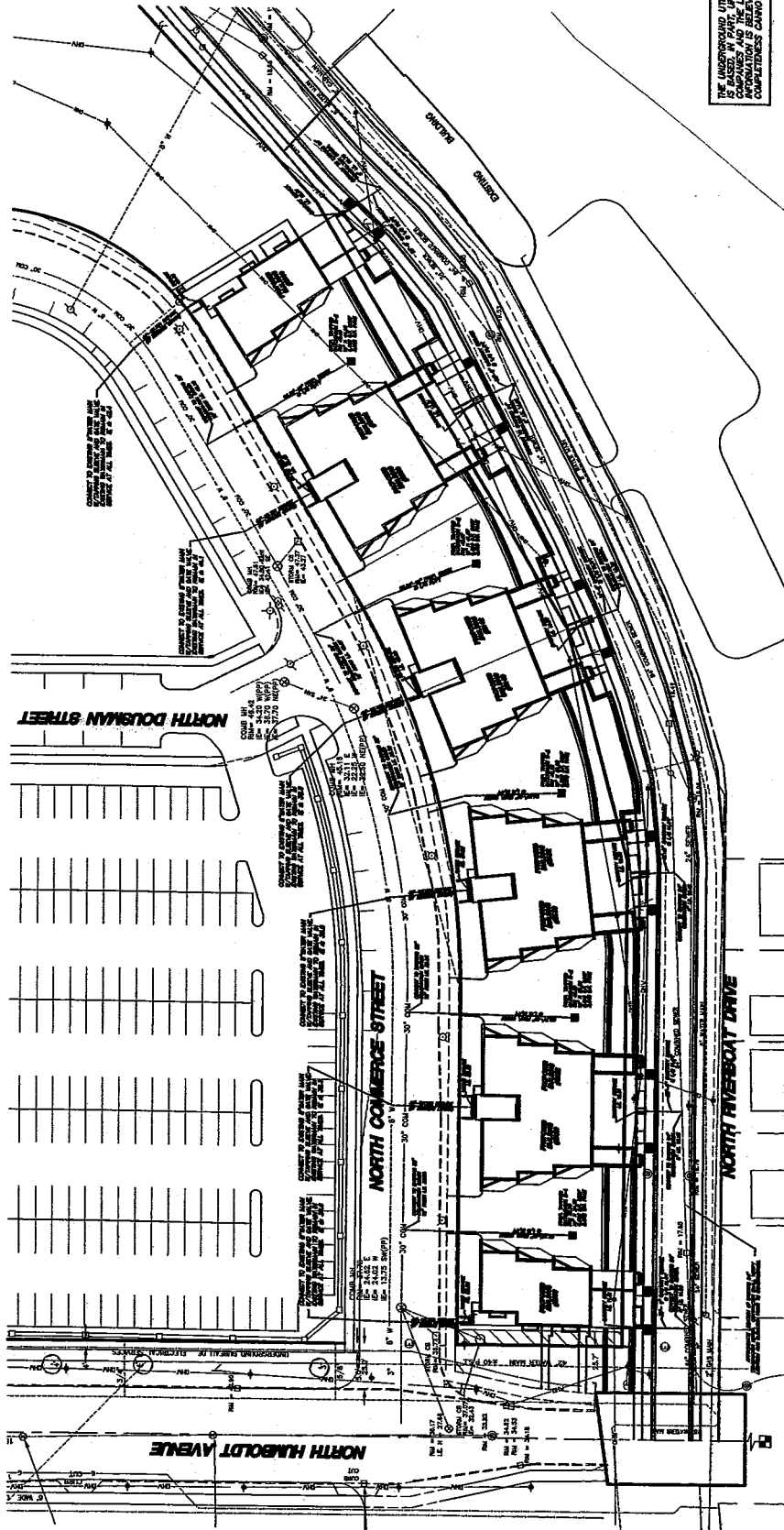
Gross land area:	96,334 sq. ft.
Land Covered by principal buildings:	29,076 sq. ft.
Land devoted to parking:	19,063 sq. ft.
Land devoted to landscaped open space:	48,195 sq. ft.
Dwelling unit density:	18.09 units/acre
Number of buildings:	6 buildings
Dwelling units per building:	4 unit building (2), 8 unit building (4)
Bedrooms per unit:	2 bedrooms per unit
Parking spaces provided:	2 spaces per unit, 80 spaces total

DISTRICT STANDARDS

1. The Following is a list of permitted uses
 - a. Single-family homes or two-family condominiums
 - i. The following are permitted either as attached to the principal or as accessory buildings: garage, home office, artist studio, guest cottage, gazebo, conservatory.
 - b. Townhouse Multi-family
 - c. Multi-family
2. The design standards conform to the conceptual design elements and standards provided in the General Plan Development.
3. The density is consistent with the General Plan Development.
4. The spaces between the structures are not less than what is required by the Wisconsin Administrative Code.
5. The Plan Development does not exceed five acres so the setback standard does not apply.
6. Landscape screening has been provided along Commerce Street at the entrances to the parking courts.
7. Open spaces are landscaped as outlined on the attached Landscape Plan (Sheet No. DPD-6) and will be maintained so as not to create a nuisance or hazardous condition.
8. Circulation facilities are planned in a fashion that is consistent with the General Plan Development. More than adequate access for pedestrians, and public and private vehicles has been provided.
9. All specified landscape vegetation shall be of quality consistent with the standards of the American Association of Nurserymen (ANSI 260.1), and will be maintained on an ongoing basis.
10. Lighting will conform to established standards used by the City.
11. It is our intent to install all utilities underground. Transformers and substations shall be screened from view to the extent that it does not violate access criteria set by the Utility.
12. All signs will conform to the Standards and the General Plan Development.



GRAPHIC SCALE
0 25 50
1" = 25' (VERT.)
1" = 50' (HORIZ.)



THE ABOVEGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED IN PART UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE ACCURATE, LOCATION, DEPTH AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

REVISIONS	
DATE	BY

DETAILED PLANNED DEVELOPMENT
RIVERCREST
MILWAUKEE, WISCONSIN

SITE UTILITY PLAN

National Survey & Engineering
1000 N. Milwaukee Ave.
Milwaukee, WI 53212
Tel: 414.333.7300
Fax: 414.333.7301
www.nse.com

USE PROJECT NO. 20005377.02
DATE: 07-28-03 SCALE: 1"=50'

SHEET NO. **DPD-5**

1	CONTENTS & SYMBOLS	1/15/13
2	8 1/4" x 11"	1/15/13
3	8 1/4" x 11"	1/15/13
4	8 1/4" x 11"	1/15/13

4 UNIT BUILDING # 1

4 UNIT

SHEET # DPD-7

A-3.0

PROJECT RIVERCREST

OWNER: RiverCrest LLC
115 S. Vermont Ave. Suite 100
Newport, RI

LOCATION: 100 RIVER BOAT DRIVE
NEWPORT, RI 02881

PROJECT # 04

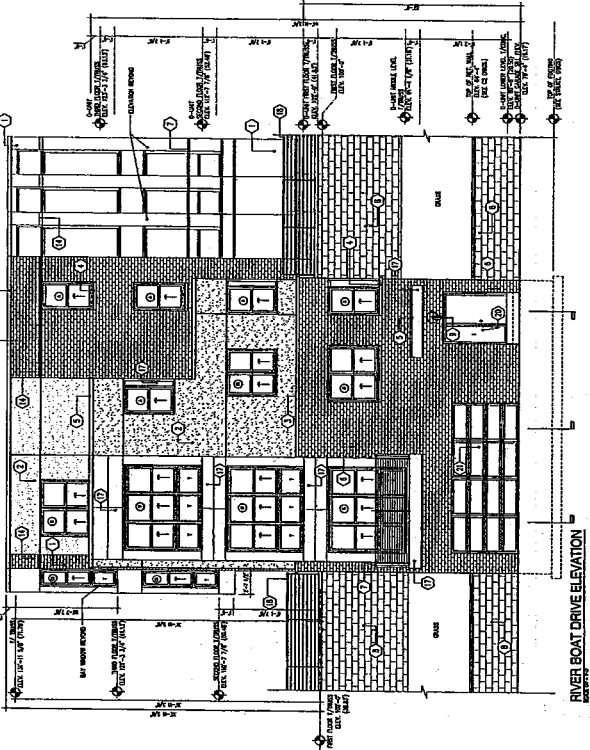
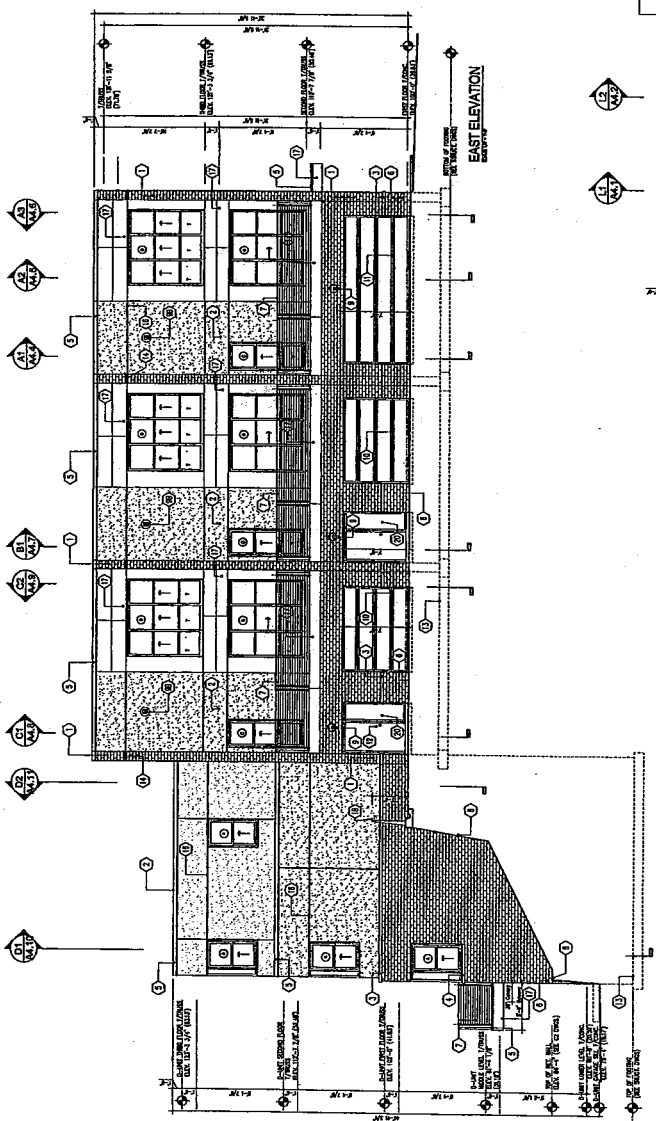
DESIGN TEAM: NICKOLA CARACIANO
NANCY VAN OGDENHILL

PROJECT ADDRESS: HUNTER VALLEY ROAD

DATE: 10/15/13

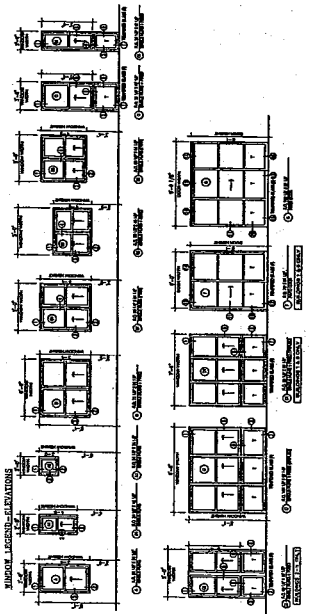
CHECKED BY: JTD

ARCHITECTURA INCORPORATED
1500 RIVER DRIVE
SUITE 100
NEWPORT, RI 02881
(401) 969-9000



MATERIAL KEY-ELEVATIONS

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1	FOOTING & FLOOR	04/18/22
2	1 ST FLOOR	05/04/22
3	2 ND FLOOR	05/04/22
4	3 RD FLOOR	05/04/22

4 UNIT BUILDING # 1

DATE: 04/18/22
4 UNIT

SHEET: DPD-8

A-3.1

PROJECT: RIVERCREST

OWNER: RIVERCREST LLC
1000 N. WASHINGTON ST.
MILWAUKEE, WI

LOCATION: 211 W. WISCONSIN ST.
MILWAUKEE, WI 53212

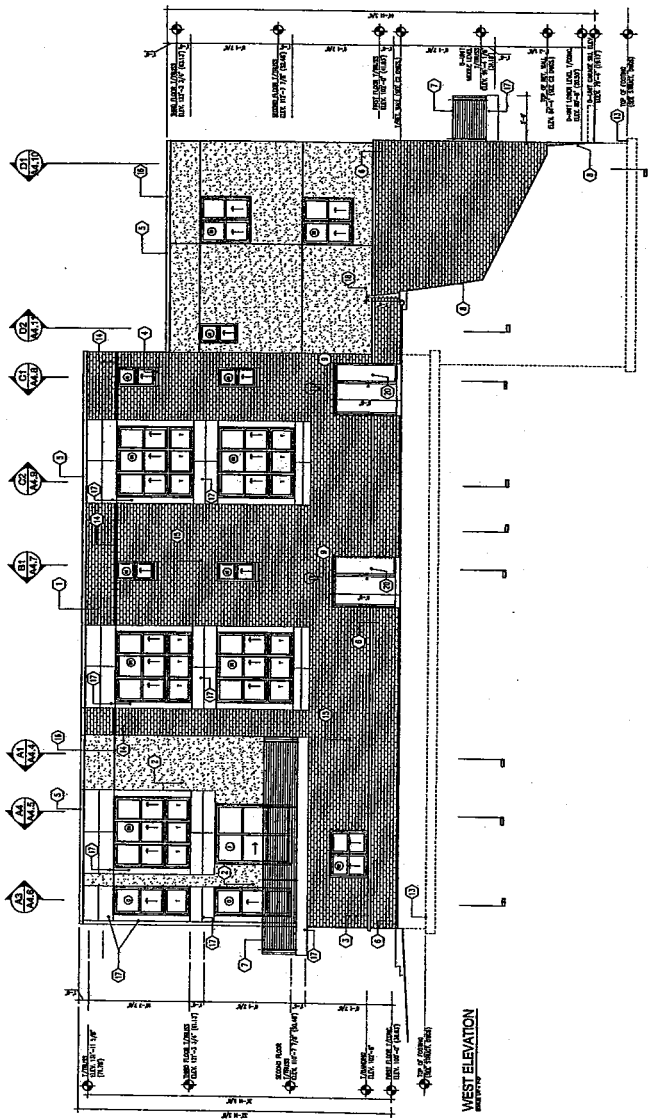
PROJECT # 24

DESIGN TEAM:
NICOLA CASARANO
HARVEY VAN OOSTHALLER

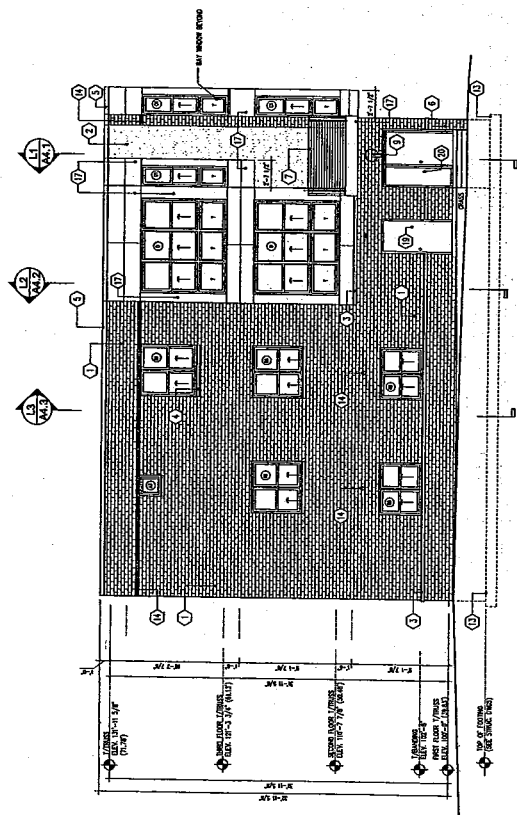
PROJECT ARCHITECT:
HARVEY VAN OOSTHALLER

DRAWN BY: NC-JF
CHECKED BY: JVO

ARCHITECTURA
1800 E. Central Drive
Milwaukee, WI
(414) 924-4000



WEST ELEVATION



N. COMMERCE STREET ELEVATION

MATERIAL KEY-ELEVATIONS

- 1. UNPAINTED BRICK
- 2. UNPAINTED BRICK
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1	FOOTING & FOUND.	01400
2	SLAB	01000
3	WALL	01000
4	CEILING	01000

4 UNIT BUILDING # 6

DATE: 04.14.2009

4 UNIT

SHEET # DPD-9

A-3.0

PROJECT RIVERCREST

OWNER:
NICHOLAS LLC
11 E. Wisconsin Ave. Ste 1100
Milwaukee, WI

LOCATION:
210 NORTH COMMERCE
MILWAUKEE, WI 53211

PROJECT # 04

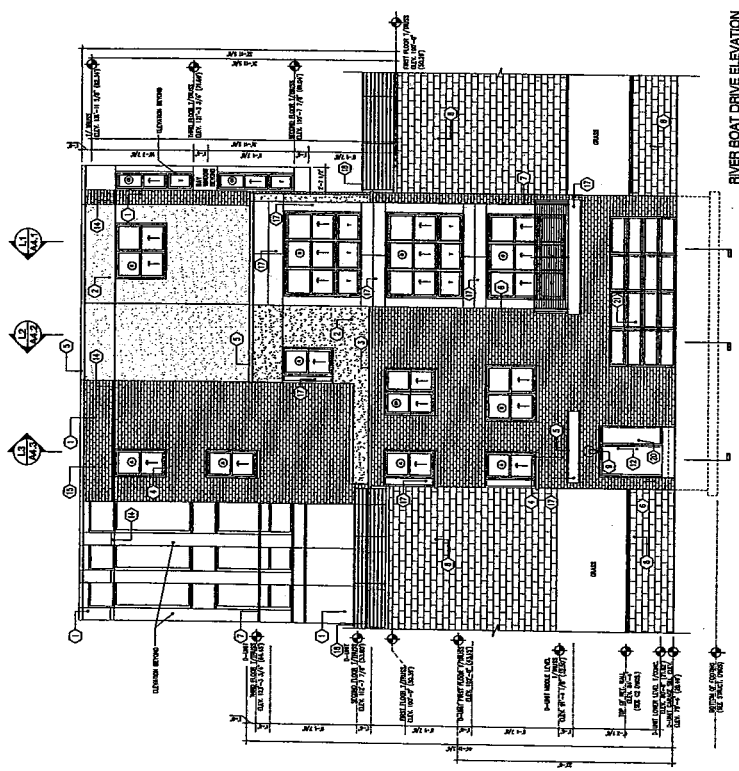
DESIGN TEAM:
NICHOLAS LLC
MARK VAN DERWALLEN

PROJECT ARCHITECT:
MARK VAN DERWALLEN

DRAWN BY: INC/AM

CHECKED BY: RVO

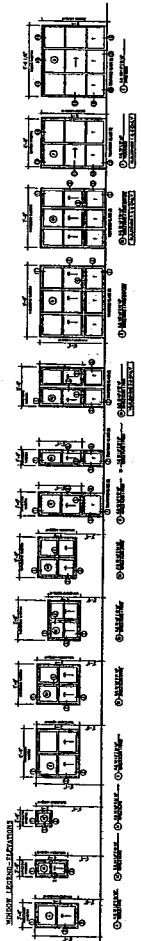
ARCHITECTURA
1200 E. Capitol Drive
Milwaukee, WI
(414) 902-9000



RIVER BOAT DRIVE ELEVATION

MATERIAL KEY-ELEVATIONS

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1	FOUNDATION & FOOTING	8/15/10
2	FOUNDATION & FOOTING	8/15/10
3	FOUNDATION & FOOTING	8/15/10
4	FOUNDATION & FOOTING	8/15/10

8 UNIT BUILDING # 2

8 UNIT

SHEET # DPD-10

A-3.0

PROJECT
RIVERCRIST

OWNER
NYSBA CREDIT LLC
111 E. Washington Ave. Suite 1700
Newark, NJ

LOCATION
320 WASHINGTON, NJ 07102

PROJECT #
024

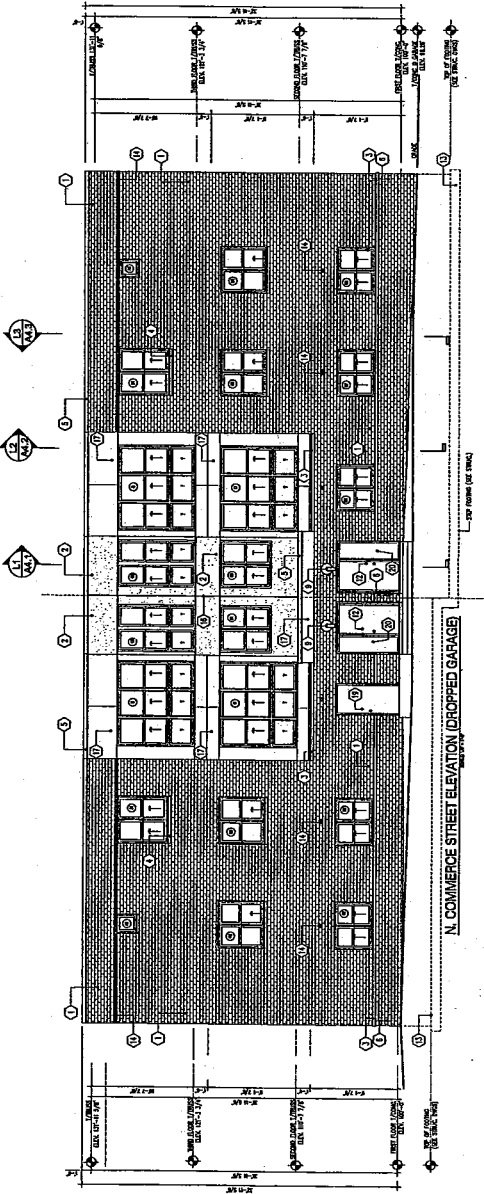
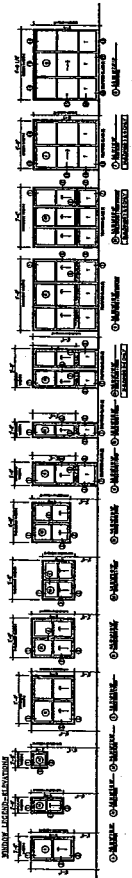
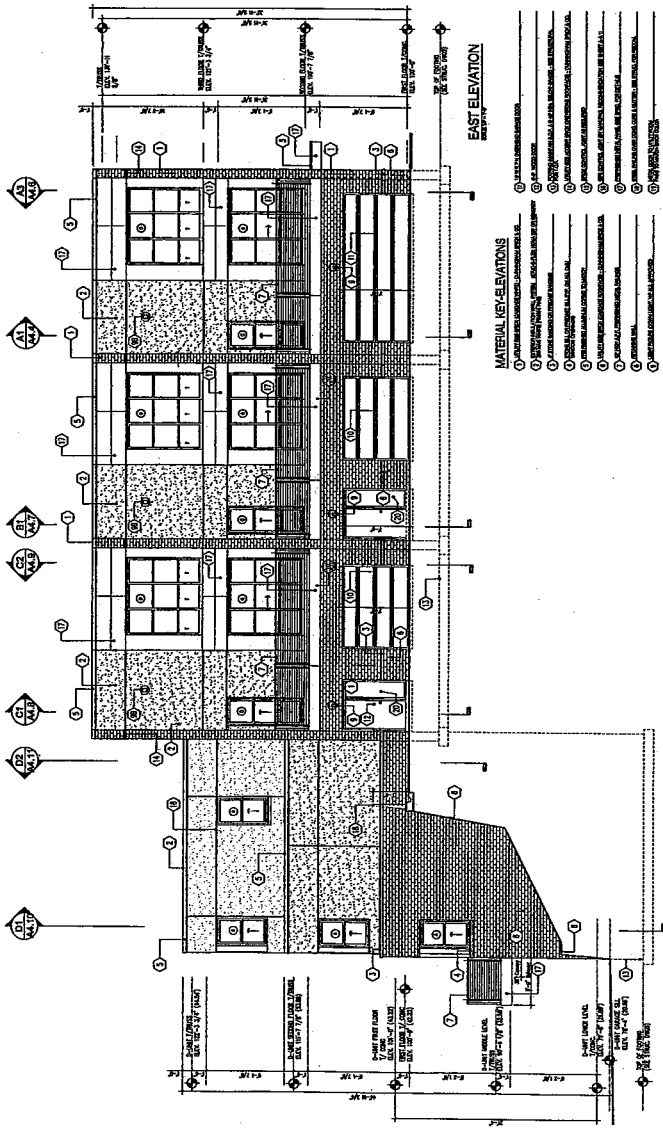
DESIGN TEAM
NICKOLA CARACANU
TAMMY VAN DERKAMMEN

PROJECT ARCHITECT
HART VAN DERKAMMEN

DESIGNED BY
NYSBA

CHECKED BY
NYO

ARCHITECTURA
INCORPORATED
1201 SOUTH GREEN
SUITE 200
NEWARK, NJ 07102
(973) 500-8000



1	NOTES & REVISIONS	DATE
2	REVISIONS	DATE
3	REVISIONS	DATE
4	REVISIONS	DATE

BUILDING # 2

8 UNIT

REVISED
8 UNIT

SHEET # DPD-11

A-3.1

PROJECT
RIVERCRUST

OWNER
RYAN CHARTER LLC
111 N. Wisconsin Ave. Suite 1700
Milwaukee, WI

LOCATION
RIVERCRUST
MILWAUKEE, WI 53211

ARCHITECT
RVA

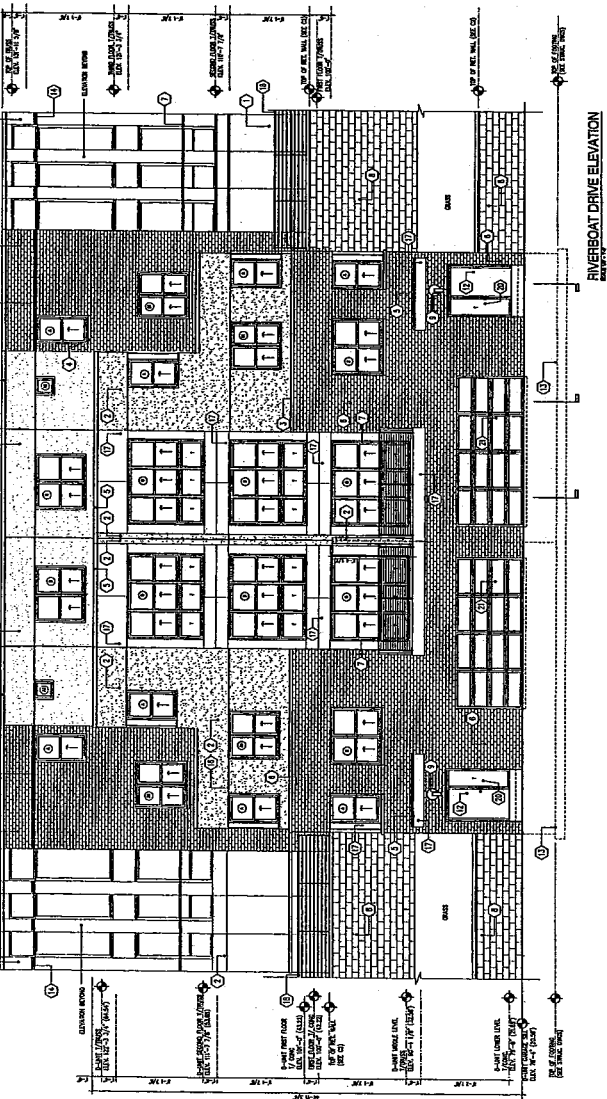
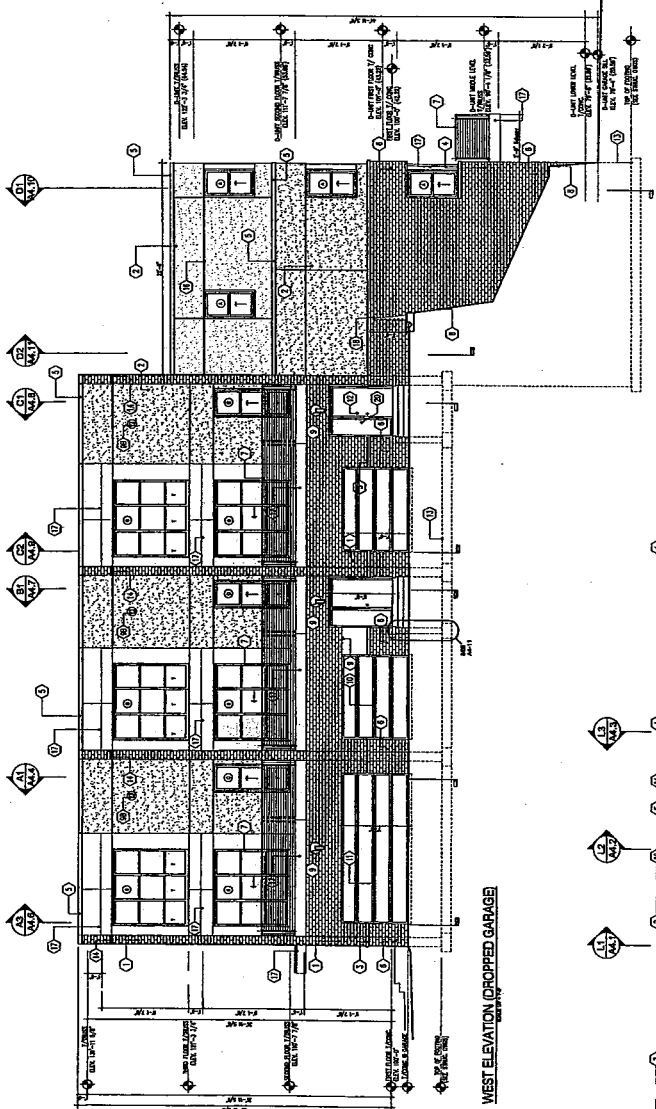
DESIGN TEAM
NICKOLAI CONSULTING
1000 N. MILWAUKEE AVENUE
MILWAUKEE, WI 53211

PROJECT ARCHITECT
HARRY VAN GORTEL

DESIGNED BY
RVA

CHECKED BY
RVA

ARCHITECTURA
1500 W. WISCONSIN AVENUE
MILWAUKEE, WI 53211
(414) 500-0000



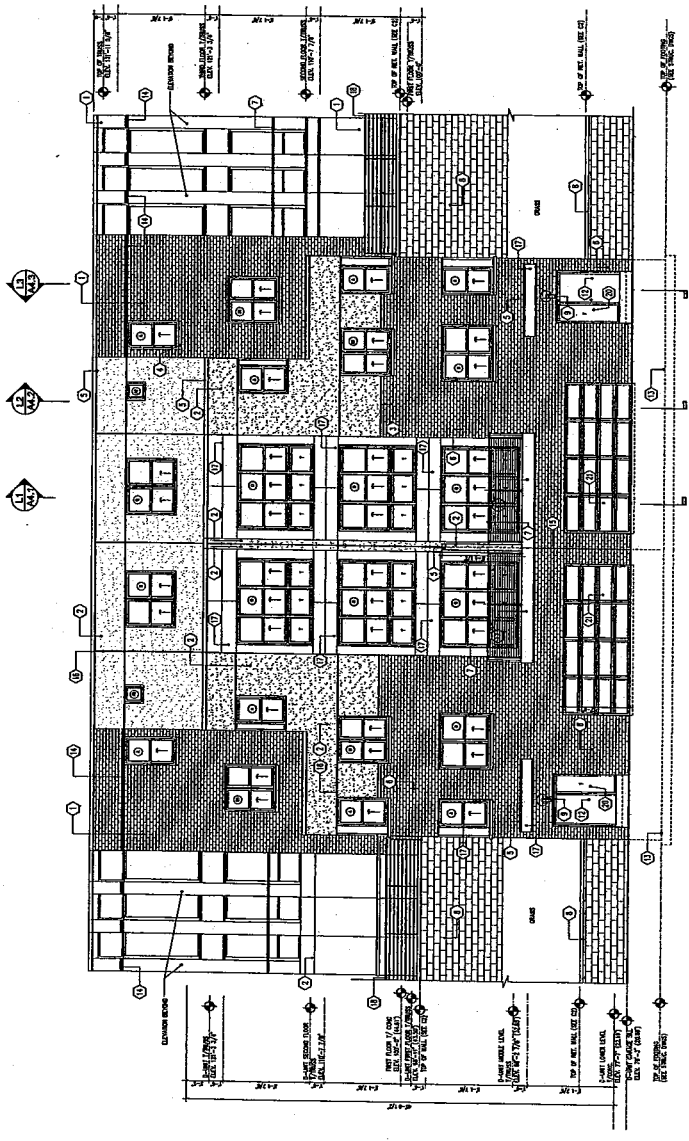
MATERIAL KEY-ELEVATIONS

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1	FOOTING & FOUNDATION	CONCRETE
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8 UNIT BUILDING # 3

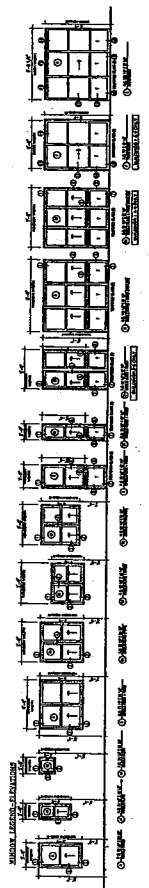
PROJECT	8 UNIT
CLIENT	DPD-12
PROJECT	A-3.0
PROJECT	RIVERCREST
DESIGN TEAM	DIVINE CRAFT LLC 111 E. Woodside Ave. Suite 100 Middletown, VT
PROJECT ARCHITECT	HARRY VAN DERWALLEN
DESIGNER	HARRY VAN DERWALLEN
DATE	NOV 14, 2019
CHECKED BY	RYO
ARCHITECTURA	1200 E. Central Drive Middletown, VT (814) 924-4000



RIVER BOAT DRIVE ELEVATION

MATERIAL KEY-ELEVATIONS

- 1. INTERIOR BRICKWORK WITH CONCRETE WALLS
- 2. INTERIOR BRICKWORK WITH CONCRETE WALLS
- 3. INTERIOR BRICKWORK WITH CONCRETE WALLS
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- 15. INTERIOR BRICKWORK WITH CONCRETE WALLS



1	FOOTING & FOUNDATION	03100
2	FOUNDATION	03200
3	WALLS	05000
4	ROOFING	05100

8 UNIT BUILDING # 4

DATE: 05/21/2003
8 UNIT

SHEET: DPD-13
A-3.0

PROJECT: RIVERCREST

OWNER: RIVERCREST LLC
111 E. Wisconsin Ave. Suite 1700
Milwaukee, WI

LOCATION: 111 E. WISCONSIN AVENUE
MILWAUKEE, WI 53202

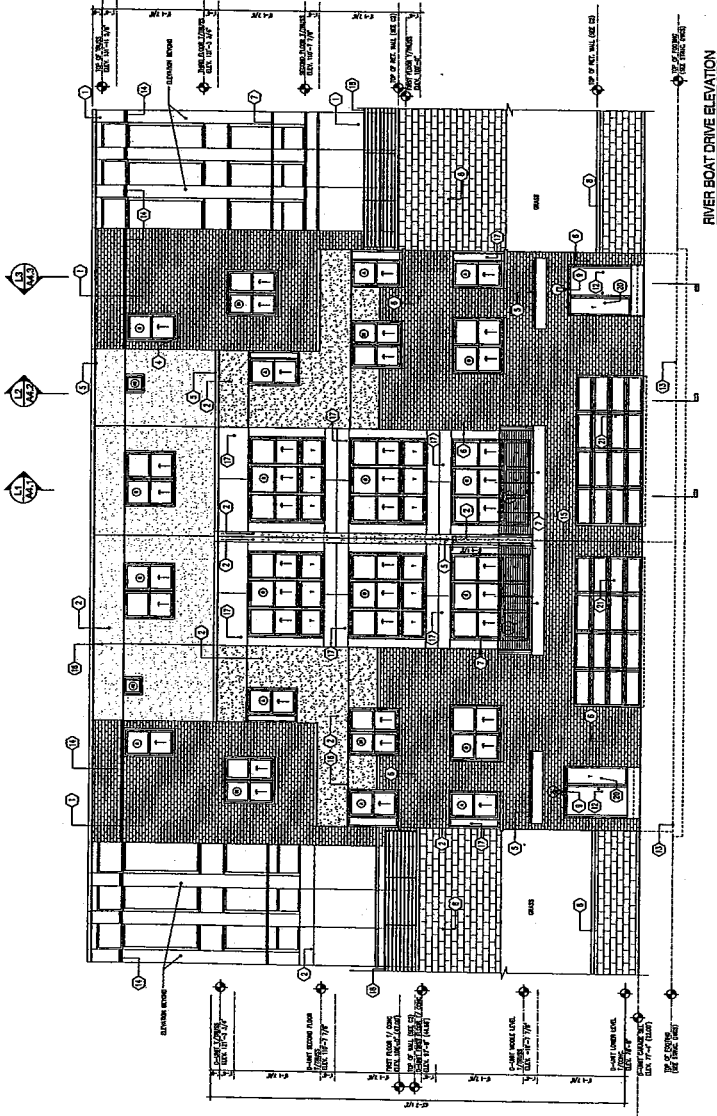
PROJECT # 04

DESIGN TEAM:
NICOLA CACCIANO
HARRY VAN OORDEWALLEN

PROJECT ARCHITECT:
HARRY VAN OORDEWALLEN

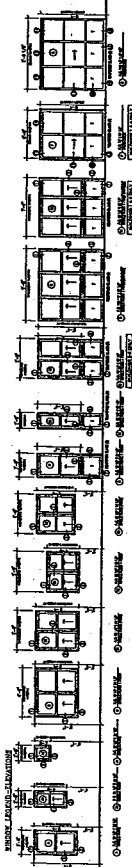
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CHECKED BY: RVD

ARCHITECTURA
1500 E. Capital Drive
Milwaukee, WI
(414) 968-8000



MATERIAL KEY/ELEVATIONS

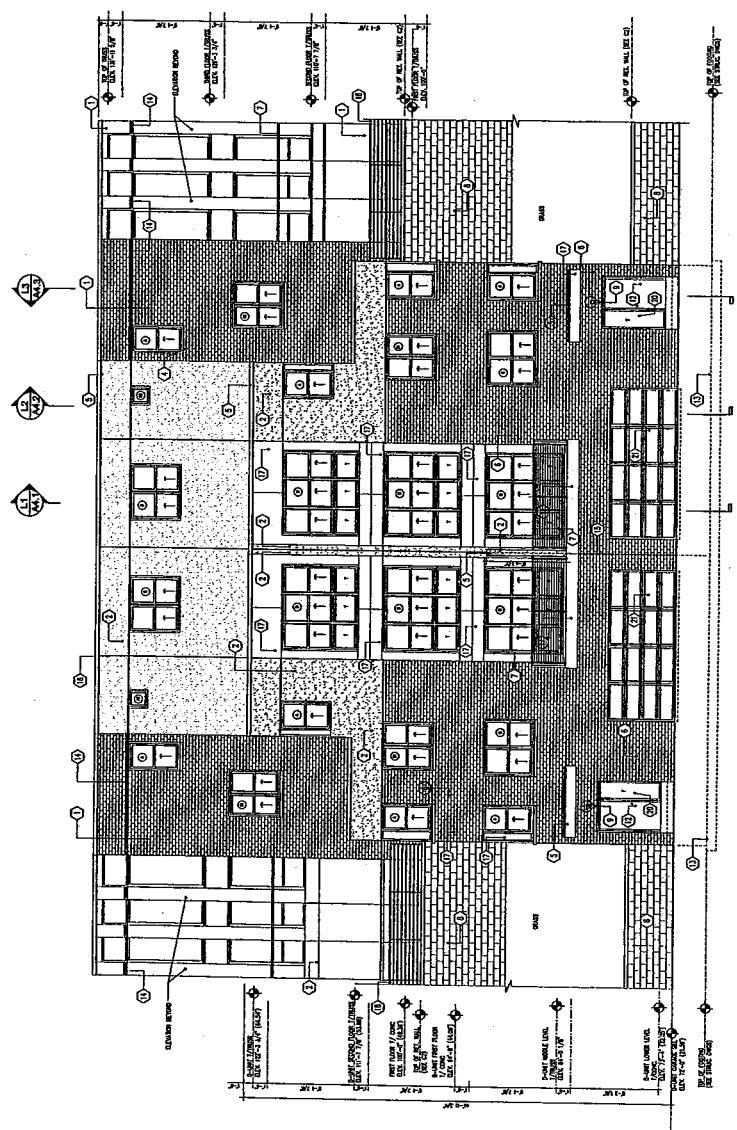
- 1. CONCRETE
- 2. BRICK
- 3. STONE
- 4. TERRAZZO
- 5. GRANITE
- 6. MARBLE
- 7. WOOD
- 8. METAL
- 9. GLASS
- 10. PLASTER
- 11. GYPSUM
- 12. STUCCO
- 13. SMOOTH
- 14. TEXTURED
- 15. COLORED
- 16. PAINTED
- 17. POLISHED
- 18. UNPOLISHED
- 19. OILED
- 20. WAXED
- 21. STAINED
- 22. VARNISHED
- 23. LACQUERED
- 24. ENAMELED
- 25. EPOXY
- 26. SILICONE
- 27. POLYURETHANE
- 28. POLYESTER
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- 40. POLYURETHANE



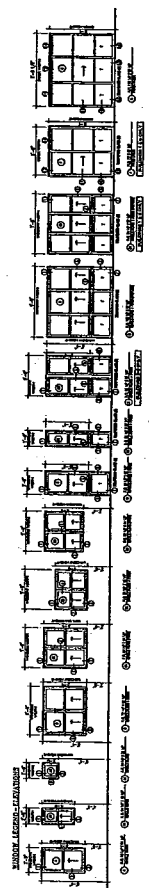
1	FOOTINGS & FOUNDATION	04/18/15
2	WALLS/ROOF/CLIM	09/09/15
3	MECHANICAL/ELEC	07/07/15
4	MECHANICAL/ELEC	07/07/15

8 UNIT BUILDING # 5

DATE: JULY 23, 2015	8 UNIT
SHEET #	DPD-14
PROJECT #	A-3.0
PROJECT	RIVERCREST
OWNER	THE RIVERCREST LLC 1110 E. CHERRY DRIVE MILWAUKEE, WI
LOCATION	1110 E. CHERRY DRIVE MILWAUKEE, WI 53211
DESIGN TEAM	NICHOLAS CALAMANO MARY VAN OUDERGAAL
PROJECT ARCHITECT	MARY VAN OUDERGAAL
DRAWN BY	INC. JF
CHECKED BY	RYO
ARCHITECTURA 1500 E. CHERRY DRIVE MILWAUKEE, WI (414) 924-4000	



- MATERIAL KEY-ELEVATIONS**
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 - 100. BRICK



NO.	DESCRIPTION	DATE
1	FOOTING & FOUND.	1/1/82
2	FR. PLAN	1/1/82
3	1st FLOOR	1/1/82
4	2nd FLOOR	1/1/82

4 UNIT BUILDING #1

4 UNIT
REV. 12.20.00

SHEET DPD-15
A-2.0

PROJECT RIVERCREST

OWNER HARRY VAN DERKAM
111 S. MacArthur Ave. 2nd Fl.
Metairie, LA

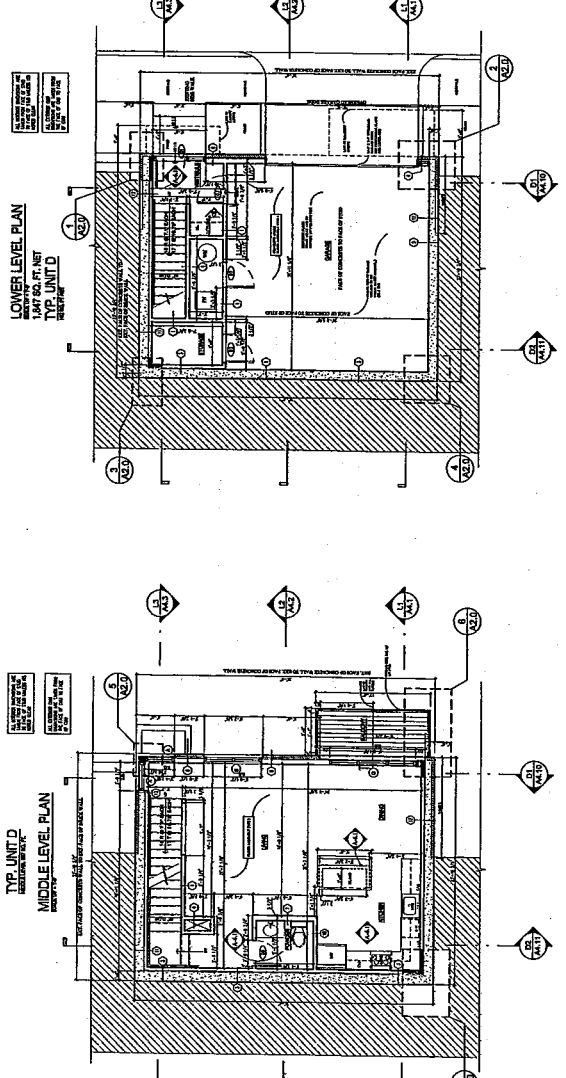
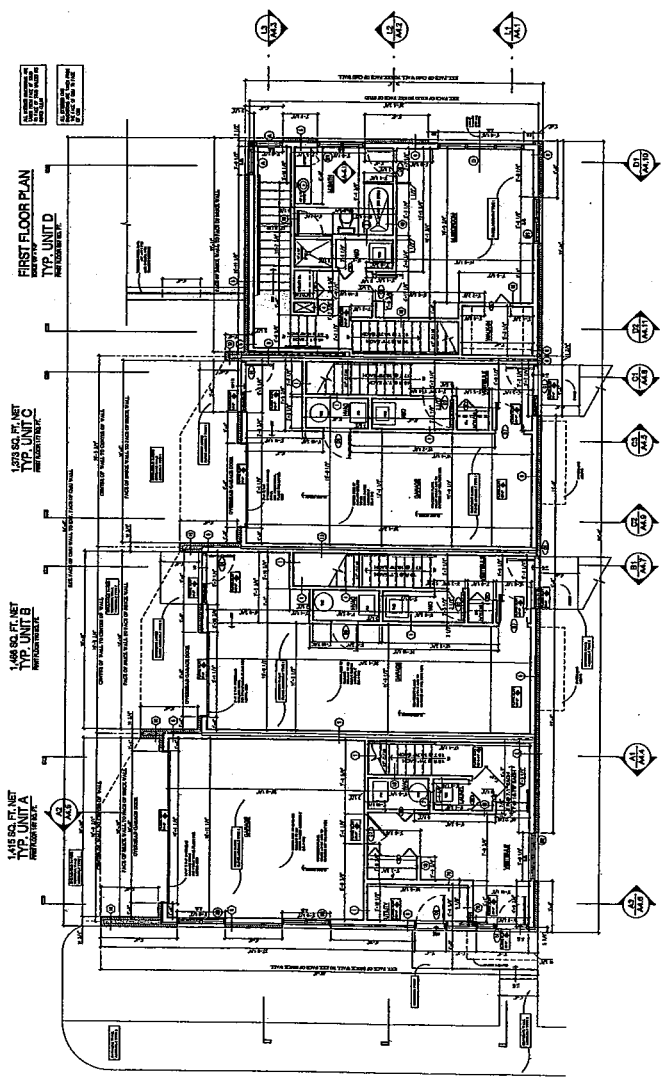
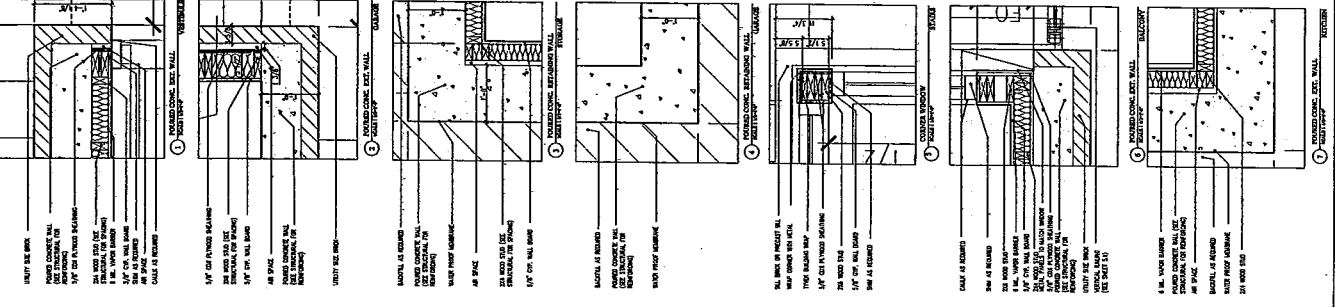
LOCATION 210 North Community
Metairie, LA 70002

DESIGN TEAM
NICOLA CASALANO
HARRY VAN DERKAM

PROJECT ARCHITECT
HARRY VAN DERKAM

DRAWN BY: HOSPITAL
CHECKED BY: JPO

ARCHITECTURA
1503 E. Choudry Drive
Metairie, LA 70002
(504) 885-0000



BUILDING #1 4 UNIT

SHEET DEP-16

A-2.1

RIVERCREST

OWNER:
RIVERCREST LLC
111 S. Riverside Ave. 4th Fl.
Memphis, TN

LOCATION:
111 RIVERSIDE AVENUE
MEMPHIS, TN 38103

PROJECT #
04

DESIGN TEAM:
NICKOLA CALOGLIO
MARY VAN DERKAMMER

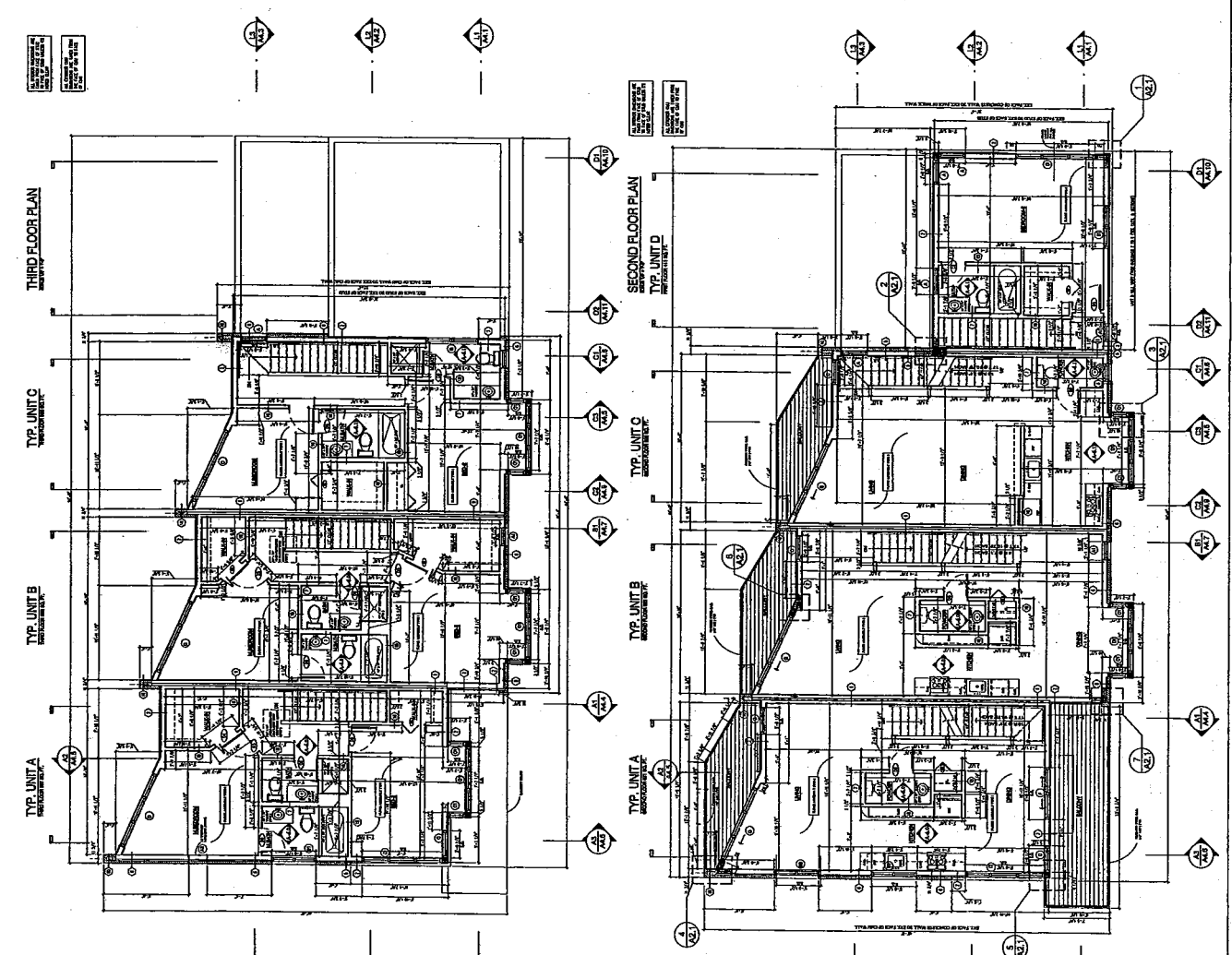
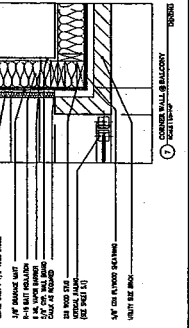
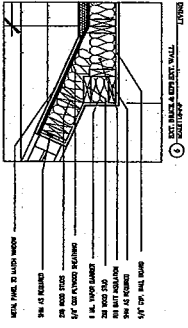
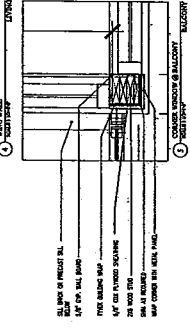
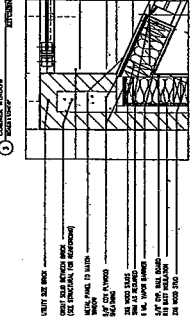
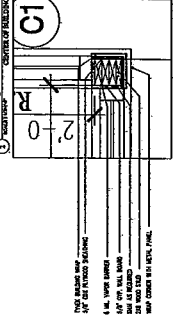
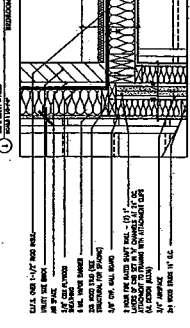
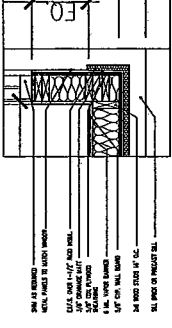
PROJECT ARCHITECT:
MARY VAN DERKAMMER

DATE/REV: 10/2014

CHECKED BY: JFO

ARCHITECTURA
1800 E. Colburn Drive
Memphis, TN
(901) 500-5000

NO.	DESCRIPTION	DATE
1	FOOTING & FLOOR	05/05/14
2	B.S.M.	05/05/14
3	B.S.A.S.	05/05/14
4	B.S.F.S.	05/05/14



1	FOOTING & FOUNDATION	15 AUG
2	1st FLOOR	15 AUG
3	2nd FLOOR	15 AUG
4	3rd FLOOR	15 AUG

4 UNIT BUILDING #1

JULY 24, 2020
4 UNIT

SHEET **DPD-17**

A-2.2

PROJECT **RIVERCREST**

OWNER
RIVERCREST LLC
111 S. Main Street, Suite 1100
Milwaukee, WI

LOCATION
210 West Commercial
Milwaukee, WI 53211

PROJECT #
04

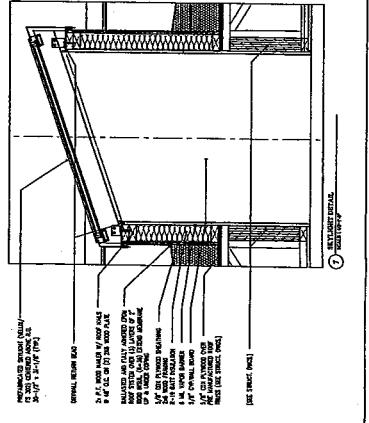
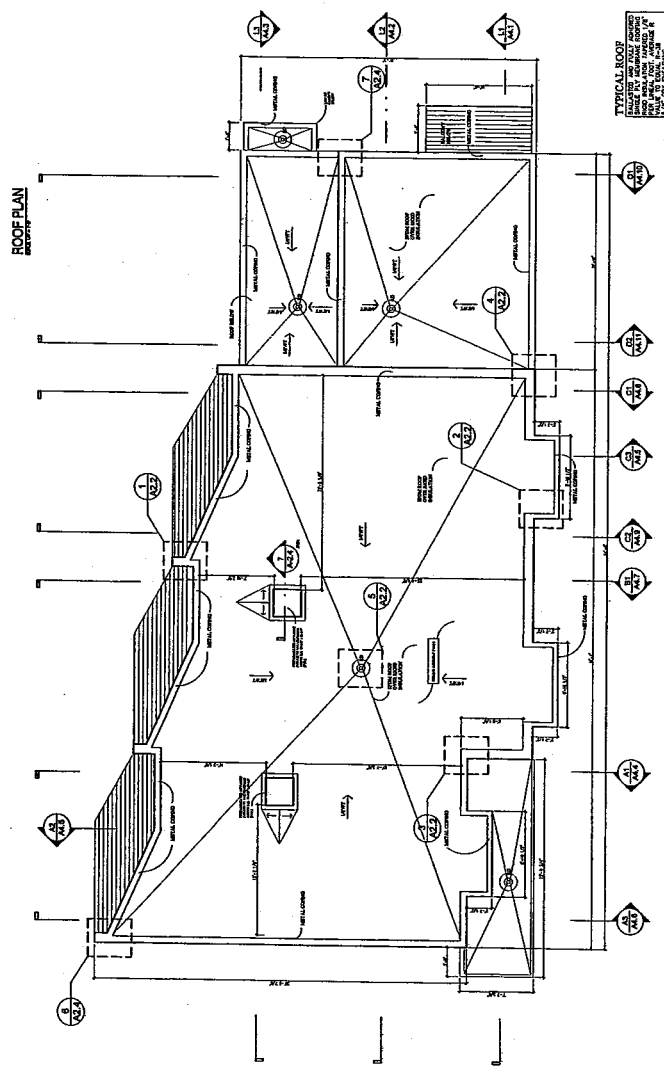
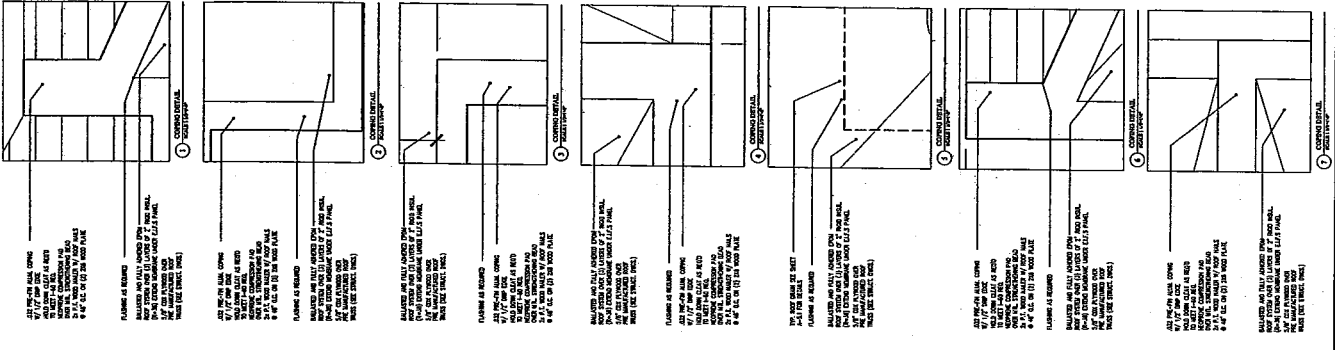
DESIGN TEAM
NICOLA CASALANO
MARK VAN GORDELLEN

PROJECT ARCHITECT
MARK VAN GORDELLEN

DRAWN BY: INORIANI

CHECKED BY: LYD

ARCHITECTURA
1520 E. Cassida Drive
Milwaukee, WI
(414) 224-2000



1	POURING B FOUND.	5/8" DIA
2	REINFORCING BAR	NO. 4
3	REINFORCING BAR	NO. 4
4	REINFORCING BAR	NO. 4

8 UNIT BUILDING # 2

DATE: 12/23/2008

SHEET # DPD-18

A-2.0

PROJECT RIVERCREST

OWNER: RIVERSIDE COMMUNITY LLC
111 S. WASHINGTON AVE., SUITE 1100
MILWAUKEE, WI 53201

LOCATION: 2102-2102 North Common
Milwaukee, WI 53211

PROJECT # 084

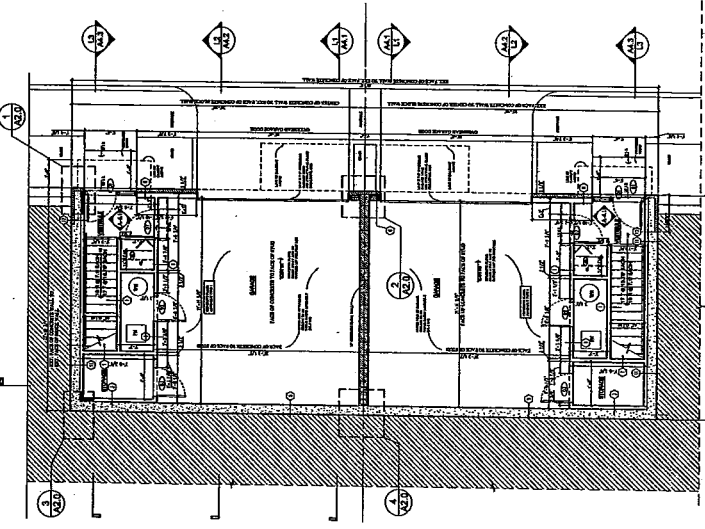
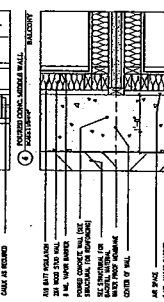
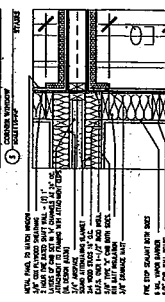
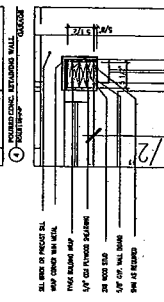
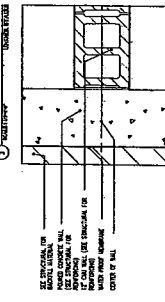
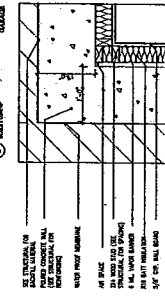
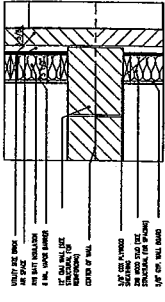
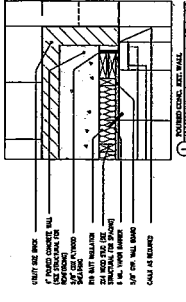
DESIGN TEAM:
NICKI LACROIX
MARK VAN OORDE/ALLAN

PROJECT ARCHITECT:
MARK VAN OORDE/ALLAN

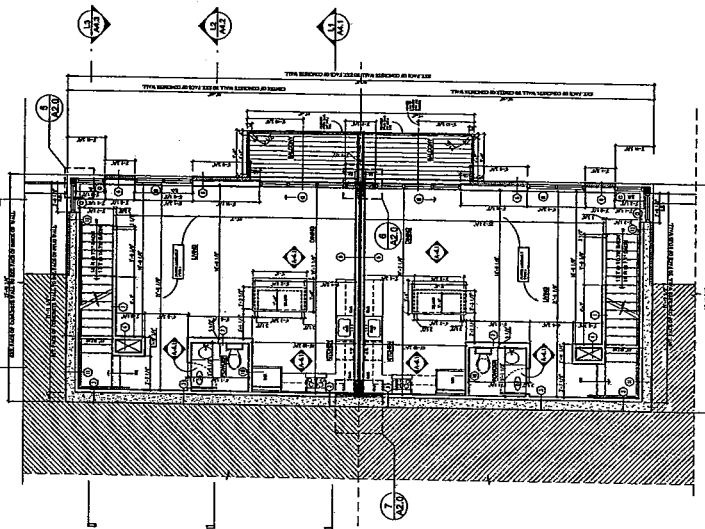
DRAWN BY: INCP

CHECKED BY: JTO

ARCHITECTURA
1520 E. CLAYTON DRIVE
MILWAUKEE, WI 53211
414.224.0000



LOWER LEVEL PLAN
TYP. UNIT D1
1,647 SQ. FT. NET
1,647 SQ. FT. NET

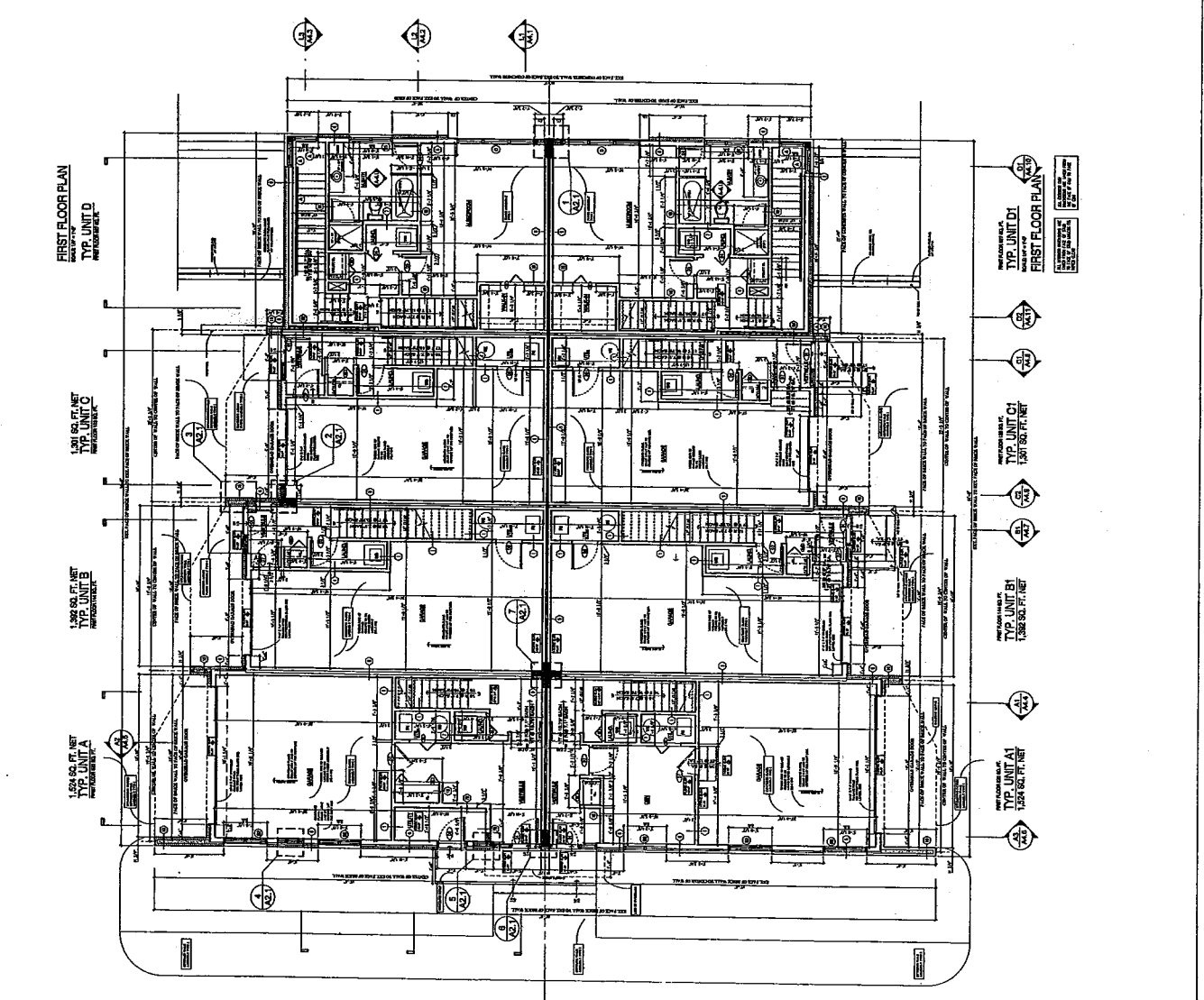
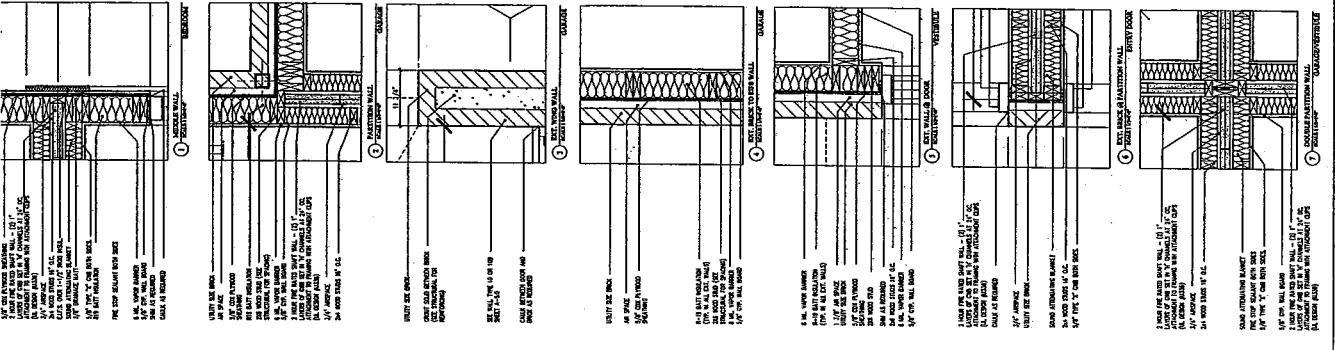


MIDDLE LEVEL PLAN
TYP. UNIT D1
1,647 SQ. FT. NET
1,647 SQ. FT. NET

BUILDING # 2

8 UNIT

FOOTING & FOUNDATION	MAY 1982
1	FOUNDATION
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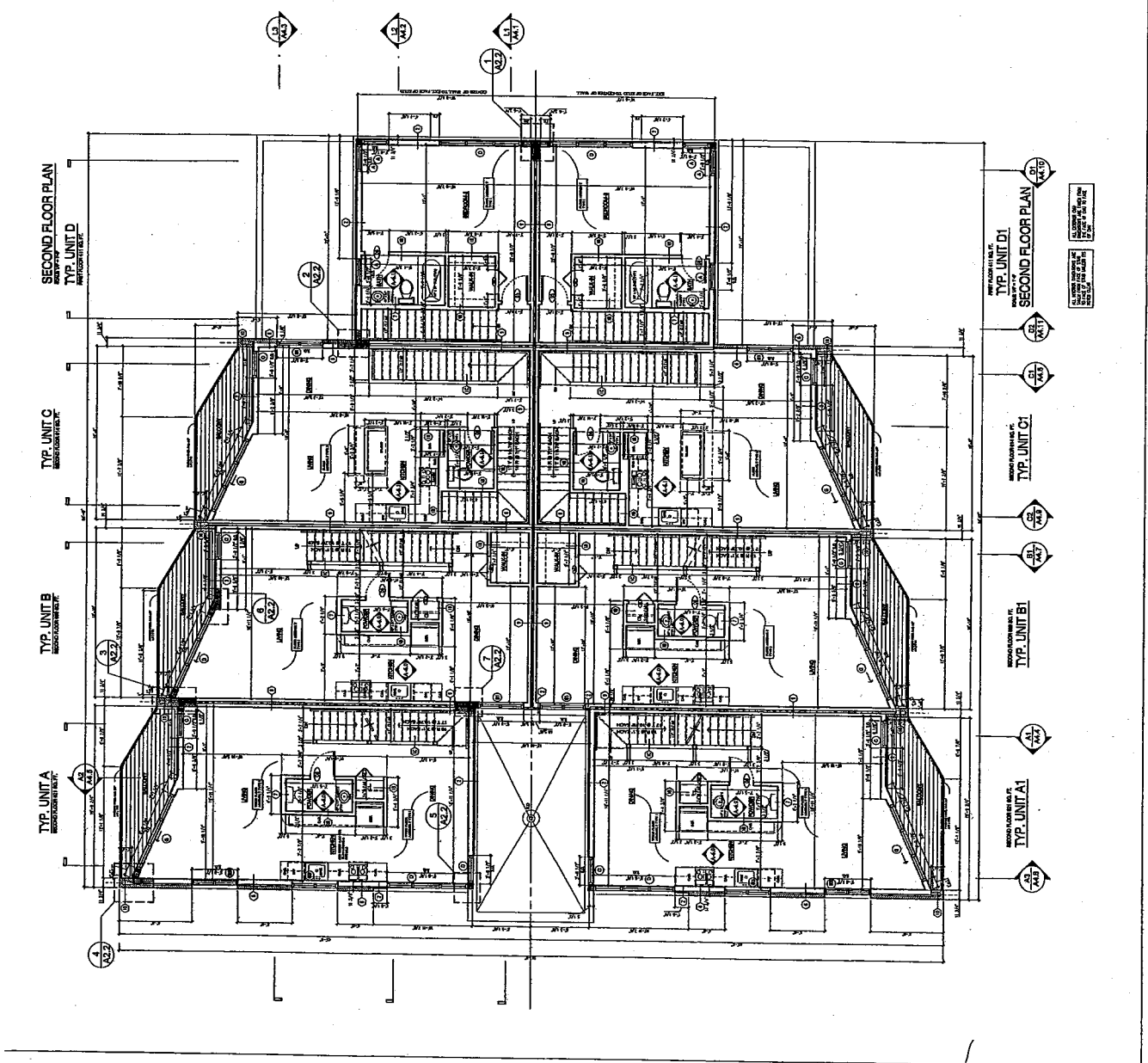
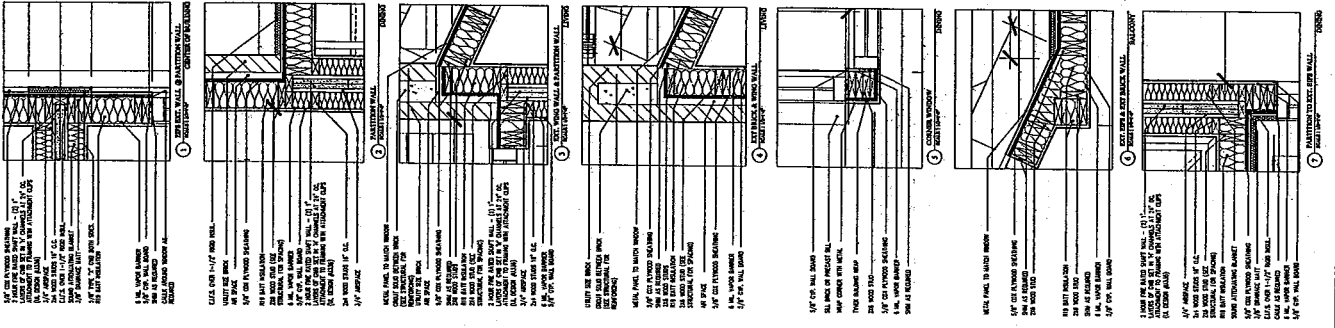
PROJECT	RIVERCREST
OWNER	RYAN DEVELOPMENT LLC
DESIGNER	H. L. S. ARCHITECTS, INC.
LOCATION	2100 - 2120 New Columbia Alexandria, VA 22304
PROJECT #	01
DESIGN TEAM	NICOLA CASALINO HARRY VAN DERKAMMEN
PROJECT ARCHITECT	HARRY VAN DERKAMMEN
DESIGNED BY	RYAN
CHECKED BY	RYAN
ARCHITECTURA	1500 E. Capitol Drive Alexandria, VA (410) 505-5000

1	FOOTINGS & FOUND.
2	BALCONIES & RM.
3	BALCONIES & RM.
4	BALCONIES & RM.
5	BALCONIES & RM.

BUILDING # 2

8 UNIT

DATE: 01.22.2008	8 UNIT
SHEET: DFD-20	A-2.2
PROJECT: RIVERCREST	
OWNER: RIVERCREST LLC	
211 N. WASHINGTON AVE. 3RD FLOOR	
MILWAUKEE, WI	
LOCATION: 211 N. WASHINGTON AVE. 3RD FLOOR	
MILWAUKEE, WI 53211	
PROJECT #:	08
DESIGN TEAM:	NICKALCASCANO HARRY VAN OOSTERLIDEN
PROJECT ARCHITECT:	HARRY VAN OOSTERLIDEN
DRAWN BY:	NSCP
CHECKED BY:	PHD
ARCHITECTURA	
1300 E. Chicago Drive	
Milwaukee, WI	
414.922.9000	



1	FOOTINGS & FOUND.	DATE
2	FOUNDATION S.M.	REVISED
3	FOUNDATION S.M.	REVISED
4	FOUNDATION S.M.	REVISED
5	FOUNDATION S.M.	REVISED
6	FOUNDATION S.M.	REVISED
7	FOUNDATION S.M.	REVISED
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8 UNIT BUILDING # 2

DATE: JULY 25, 2000
 SHEET: 8 UNIT

PROJECT: RIVERCREST

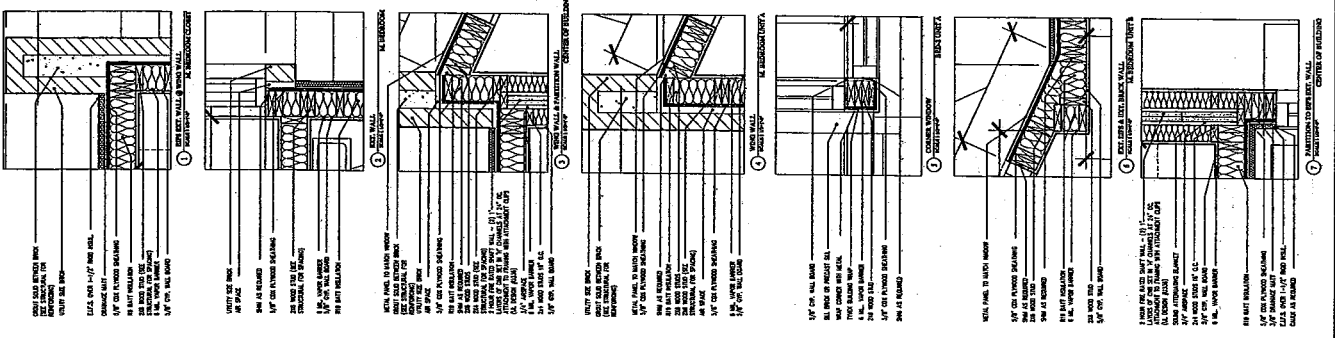
OWNER: RIVERCREST LLC
 141 BROADWAY, SUITE 1700
 NEW YORK, NY 10038

DESIGN TEAM:
 NICKOLAS CASARANO
 HARRY VAN OORDENHAGEN

PROJECT ARCHITECT:
 HARRY VAN OORDENHAGEN

DATE: 10/20/99
 CHECKED BY: RVO

ARCHITECTURA
 1500 E. Chicago Drive
 Milwaukee, WI
 (414) 264-3000

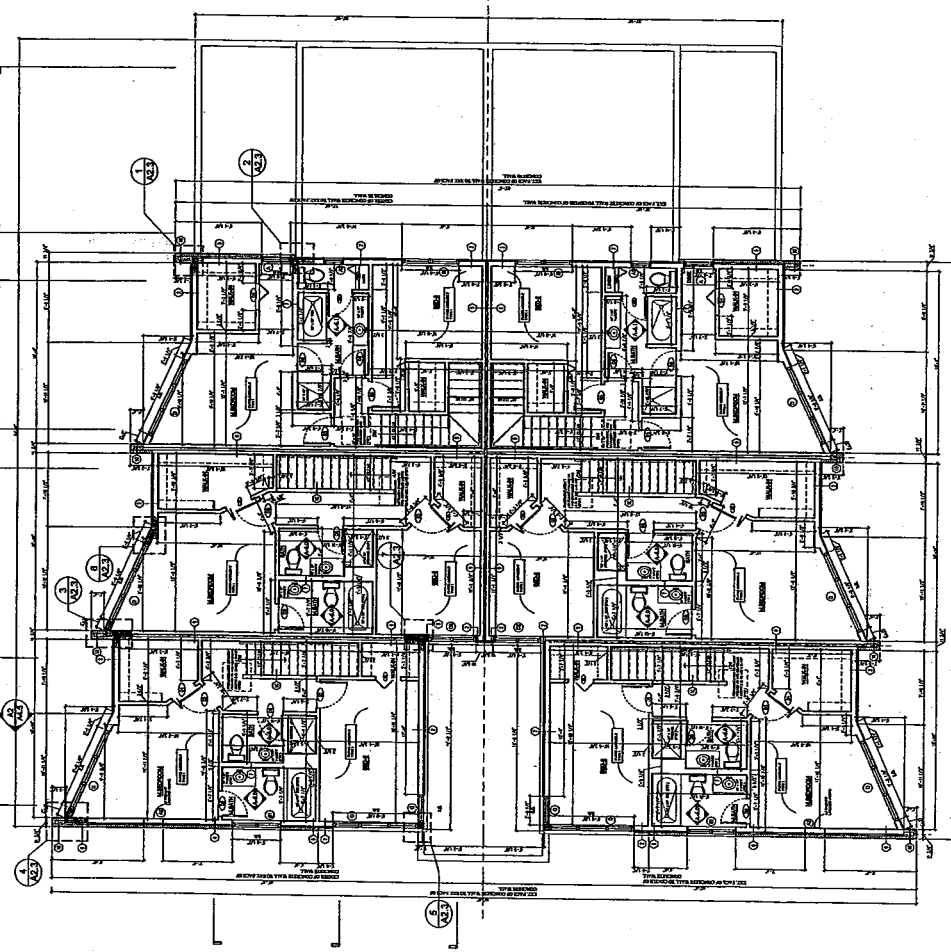


THIRD FLOOR PLAN

TYP. UNIT A

TYP. UNIT B

TYP. UNIT C



THIRD FLOOR PLAN

TYP. UNIT A

TYP. UNIT B

TYP. UNIT C

SECTION A-A
 SECTION B-B
 SECTION C-C
 SECTION D-D
 SECTION E-E
 SECTION F-F
 SECTION G-G
 SECTION H-H
 SECTION I-I
 SECTION J-J
 SECTION K-K
 SECTION L-L
 SECTION M-M
 SECTION N-N
 SECTION O-O
 SECTION P-P
 SECTION Q-Q
 SECTION R-R
 SECTION S-S
 SECTION T-T
 SECTION U-U
 SECTION V-V
 SECTION W-W
 SECTION X-X
 SECTION Y-Y
 SECTION Z-Z

NUMBER	DESCRIPTION	DATE
1	PROVISIONS & FINISHES	01/08/11
2	CONSTRUCTION METHODS	01/08/11
3	CONSTRUCTION METHODS	01/08/11
4	CONSTRUCTION METHODS	01/08/11
5	CONSTRUCTION METHODS	01/08/11
6	CONSTRUCTION METHODS	01/08/11

BUILDING # 2

8 UNIT

DFD-22

A-2.4

PROJECT: RIVERCREST

OWNER: RIVERCREST LLC
111 S. Woodbury Ave. Ste. 1190
Hartford, CT 06105

LOCATION: 2102-2122 North Country
Hartford, VT 05111

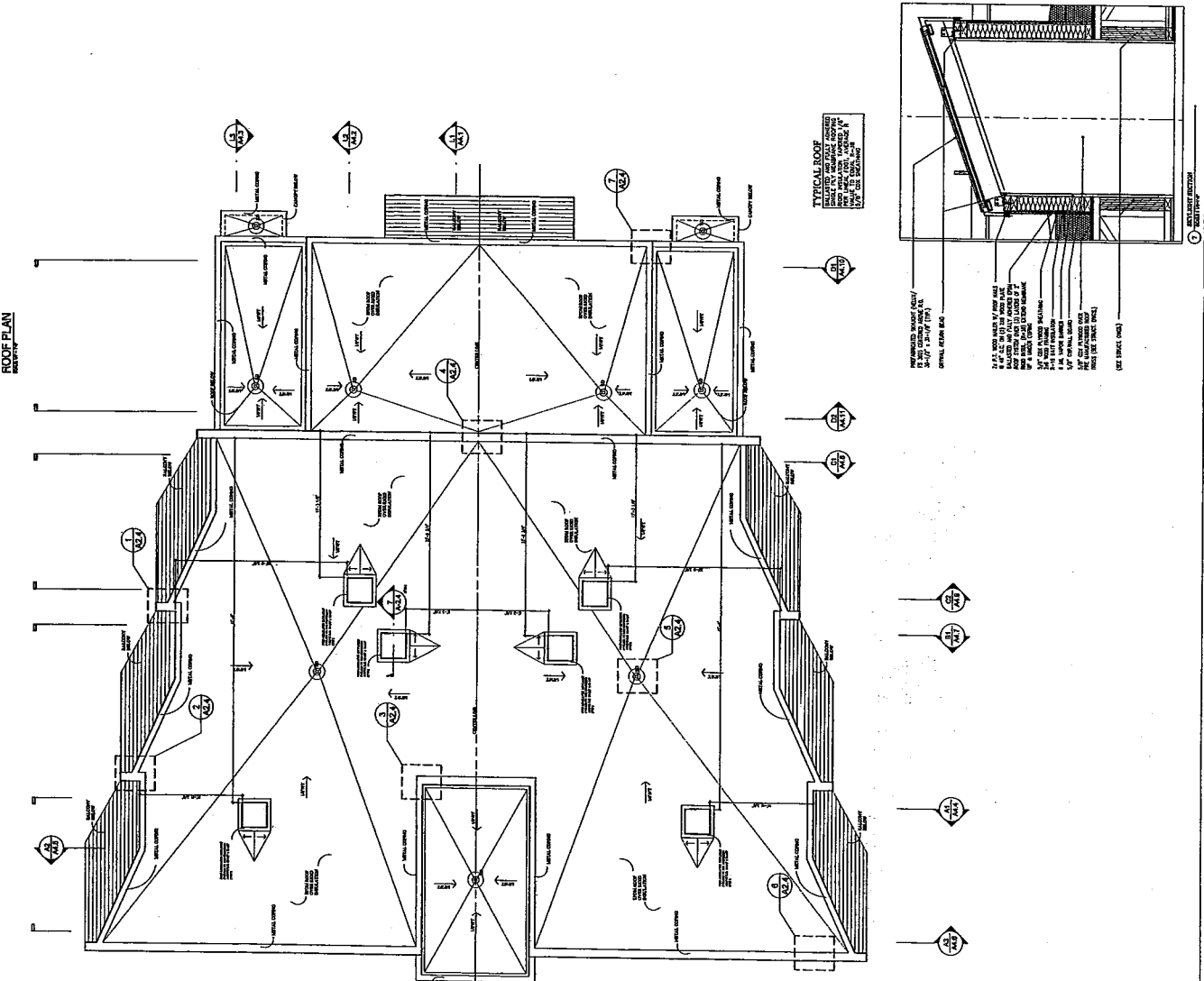
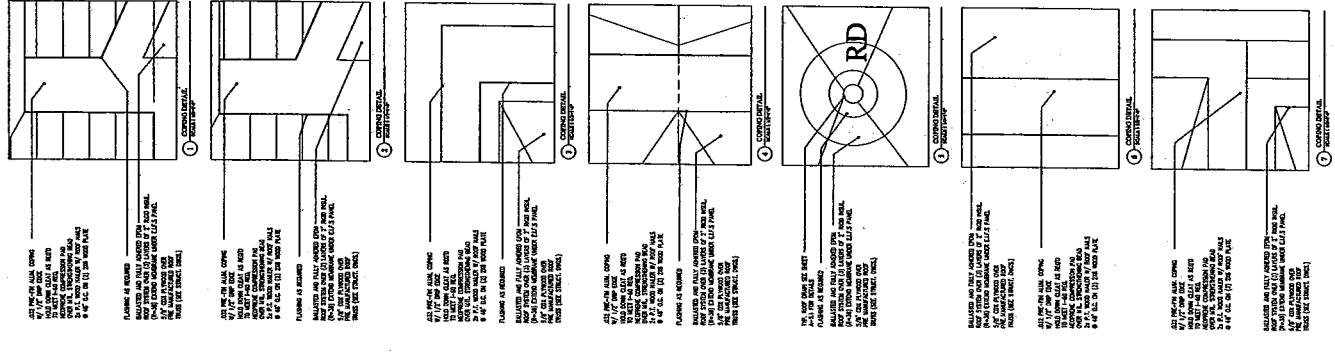
PROJECT: 094

DESIGN TEAM:
ARCHITECT: HANNAH VAN OORDVALLEN
STRUCTURAL: HANNAH VAN OORDVALLEN

PROJECT ARCHITECT: HANNAH VAN OORDVALLEN

DESIGNER: HANNAH VAN OORDVALLEN

ARQUITECTURA
1520 E. Central Drive
Milwaukee, WI 53211
414.465.5500



ROOF PLAN

TYPICAL ROOF
 SHOWS THE TYPICAL ROOF CONSTRUCTION
 INCLUDING THE STRUCTURAL FRAMING,
 INSULATION, AND FINISHES.

1. 1.5" THICK POLYURETHANE INSULATION (1.5" MIN. OVER THE DECK)
 2. 2" THICK POLYURETHANE INSULATION (2" MIN. OVER THE DECK)
 3. 2" THICK POLYURETHANE INSULATION (2" MIN. OVER THE DECK)
 4. 2" THICK POLYURETHANE INSULATION (2" MIN. OVER THE DECK)
 5. 2" THICK POLYURETHANE INSULATION (2" MIN. OVER THE DECK)
 6. 2" THICK POLYURETHANE INSULATION (2" MIN. OVER THE DECK)
 7. 2" THICK POLYURETHANE INSULATION (2" MIN. OVER THE DECK)
 8. 2" THICK POLYURETHANE INSULATION (2" MIN. OVER THE DECK)