

25 April 2005

city ID # 041748

STEVENSON COURT CONDOMINIUMS

Stevenson court Condominiums is a 2-phase project with construction to start in July or August of 2005. Phase two for this project will start in November, for a total construction time line of 14 months. The project consists of 2 two story residential buildings with 16 condominiums in each building, for a total of 32 units.

Phase 1 will consist of the westerly building, its under ground parking, and west side landscaping.

Phase 2 will consist of the razing of the existing building, the construction of the easterly building, its under ground parking, site surface parking, the remaining landscaping.

The unit mix is made up of two bedrooms, and two bedrooms with loft units. There is a total of 16 two bedroom units and 16 two bedroom with loft units. Each building has under ground parking which provides for 32 parking spaces or 2 stalls per condominium unit.

The two buildings will be masonry veneer and horizontal siding material. The siding will be "hardi-plank" painted, color: Wicker. Windows will be pre-finished aluminum, color: Wicker. Building trim will be a combination of aluminum and cement boards, color: Pebblestone Clay. The rock cut stone veneer will be 8"x 16", color: Buff, and the brick veneer will be queen size, color: Light Red. The retaining walls will be 8"x 16", split face, color: Buff. The roof material is dimensional asphalt shingles, color: Weatherwood. Railings on the project will be wood cedar. All the units will have decks or street level patios.

Site lighting; will be provided by the exterior building lighting, for the decks, patios, and building entries. These fixtures will be 100W antique brass.

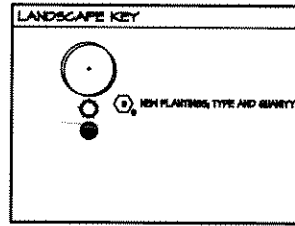
All signage on the project will comply with the standards of "new " zoning code Chapter 295-907-3-L.

We have included the following information:

1. Statistical Data:
2. Site Vicinity Map:
3. Survey indicating the buildings, laterals and grades:
3. Site development Plan and Landscape Plan: C1
4. Basement Plan: A1
5. First Floor Plan: A2
6. Second Floor Plan: A3
7. Loft and Roof Plan: A4
8. Building Elevations: A5

STATICAL SHEET

Land Gross Area	62,247 sq. ft.
Land covered by principal buildings	29,306 sq. ft. plus 1,920 sq. ft. patios = 31,226 sq. ft.
Land devoted to parking	5,316 sq. ft.
Open space (41% of the site)	25,705 sq. ft.
Number of Buildings	2
Dwelling units / building	16 / building: 8 two bedroom, 8 two bedroom with loft
Total units	32 units: 16 two bedroom, 16 two bedroom with loft
Unit mix ft.	First Floor Units range from 1,345 sq. ft. to 1,525 sq. Second floor Units range from 1,840 sq. ft. to 2,073 sq.
ft.	
Parking	64 parking stalls: 2 stalls / unit covered <u>12</u> parking stalls exterior 76 total parking spaces



PLANT KEY		TYPE	COMMON NAME	BOTANICAL NAME	PLANTING SIZE	PLANTING SIZE	PLANTING DETAIL
(A)	ARL BERRY			<i>Prunus pennsylvanica</i> Sweet	10'-10"	0 / 0	2 1/2"
(B)	HAWK, NORWAY EMERALD GREEN			<i>Abies balsamica</i> (Mill.) (B.S.P.)	10'	0 / 0	2 1/2"
(C)	HONEY LOCUST, SPHERAL			<i>Gleditsia triacanthos</i> 'Spartan'	10'	0 / 0	2 1/2"
(D)	CRAB, RADIANZ			<i>Halepistium</i>	10' to 10'	0 / 0	1 1/2"
(E)	LEAG, JAPANESE TREE			<i>Syringa reticulata</i>	10'	0 / 0	1 1/2"
(F)	HOUSTONIA, BERRY			<i>Sorbus decora</i>	12'-12"	0 / 0	1 1/2"
(G)	JANPER, PAVEN			<i>Japanese ornamental 'Pavon'</i>	10'-12"	0 / 0	1 1/2"
(H)	SPINA, GILLOPLANE			<i>Spiraea Douglasii</i> 'Goldflame'	10'	0 dtd	10"
(I)	GERANI, ALPINE			<i>Ribes alpinum</i>	10"	0 dtd	10"
(J)	JANPER, MAREY			<i>Japanese ornamental 'Marey'</i>	10'-High, 5'-Wide	0 dtd	12"
(K)	JANPER, PYZER			<i>Japanese ornamental 'Pyzer'</i>	10' high, 5'-0" wide	0 dtd	12"
(L)	JANPER, HANER			<i>Japanese ornamental 'Haner'</i>	10' high, 5'-0" wide	0 dtd	12"
(M)	JANPER, GANERT			<i>Japanese Ornamental 'Ganert'</i>	12"	0 dtd	12"
(N)	SPINA, BICHARD			<i>Spiraea japonica</i> 'Bichard'	24"-26"	0 dtd	12"
(O)	POWELLIA, WILD DROP			<i>Potentilla parviflora</i> 'Wild Drop'	24"	0 dtd	12"

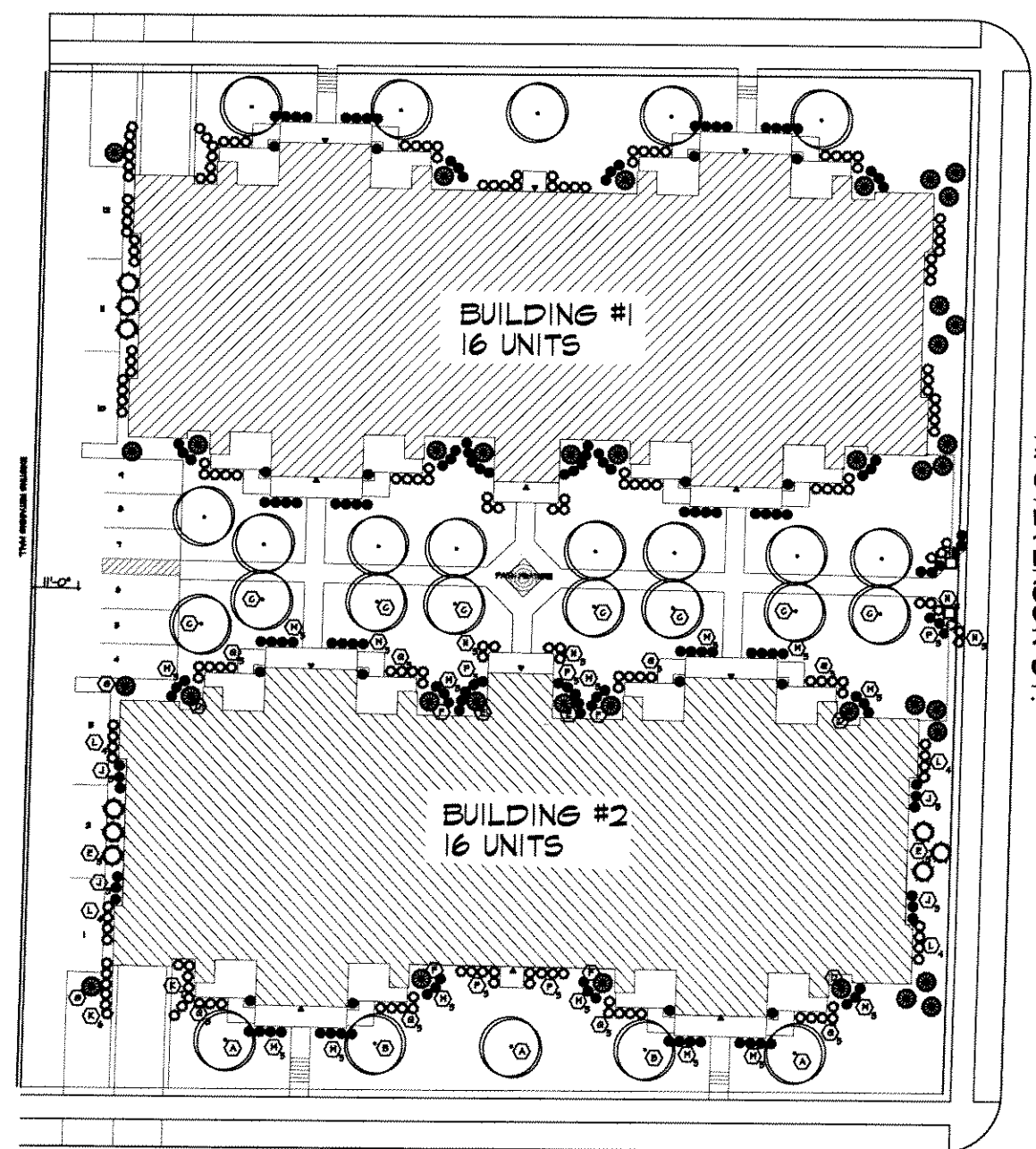
SHEET INDEX

SHEET C-1	FRONT & LEFT ELEVATIONS, & SHEET INDEX
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SHEET A-3	SECOND FLOOR PLAN
SHEET A-4	LOFT AND ROOF PLAN
SHEET A-5	EXTERIOR ELEVATIONS

PARKING

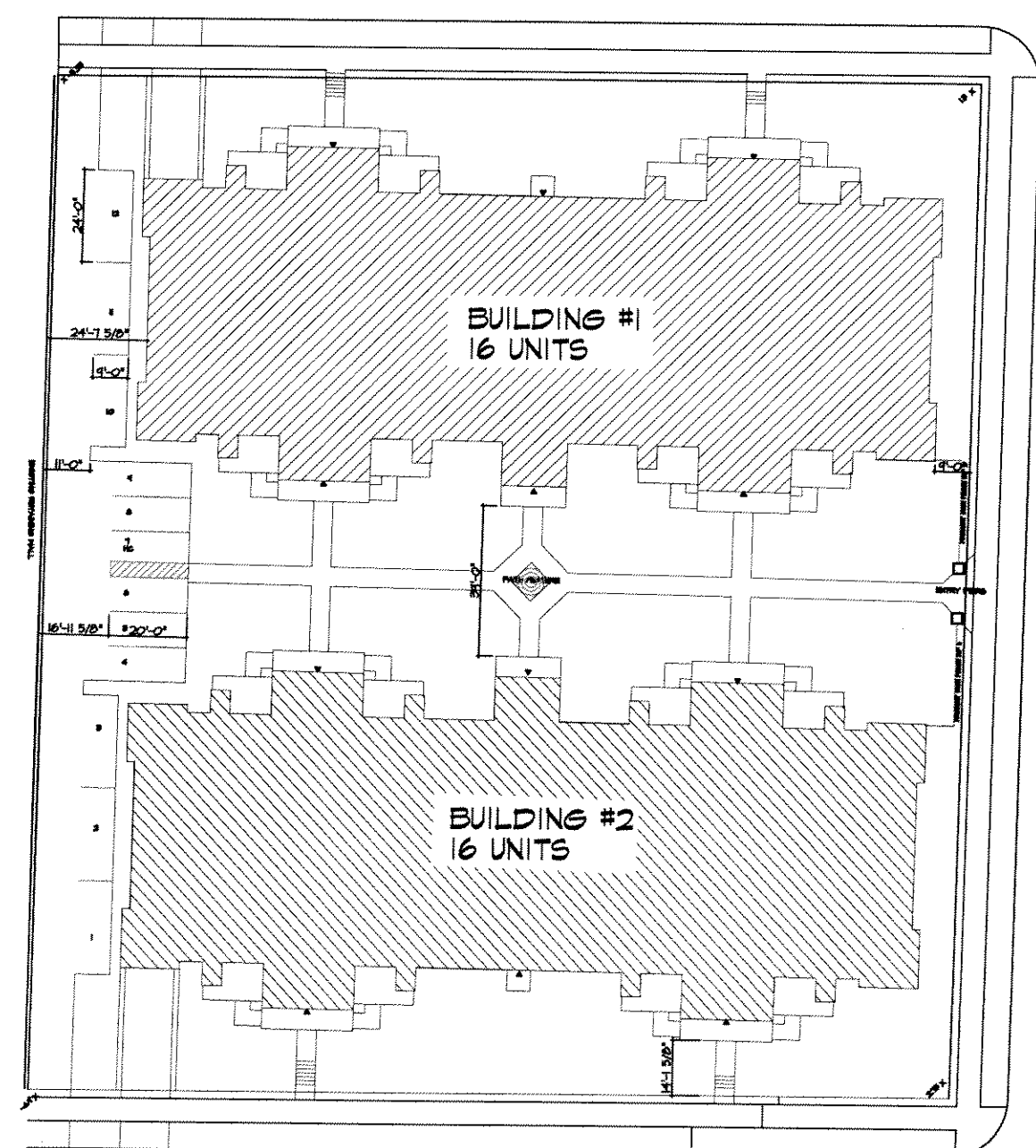
12	SURFACE PARKING
82	INTERIOR PARKING
44	TOTAL PARKING

S. 74th Street



S. 73rd Street

S. 74th Street



S. 73rd Street

REVISIONS:



Patera, LLC.
2601 Sunny Street Road
New Berlin, WI 53151
262-786-6776 (PHONE)
262-786-7036 (FAX)

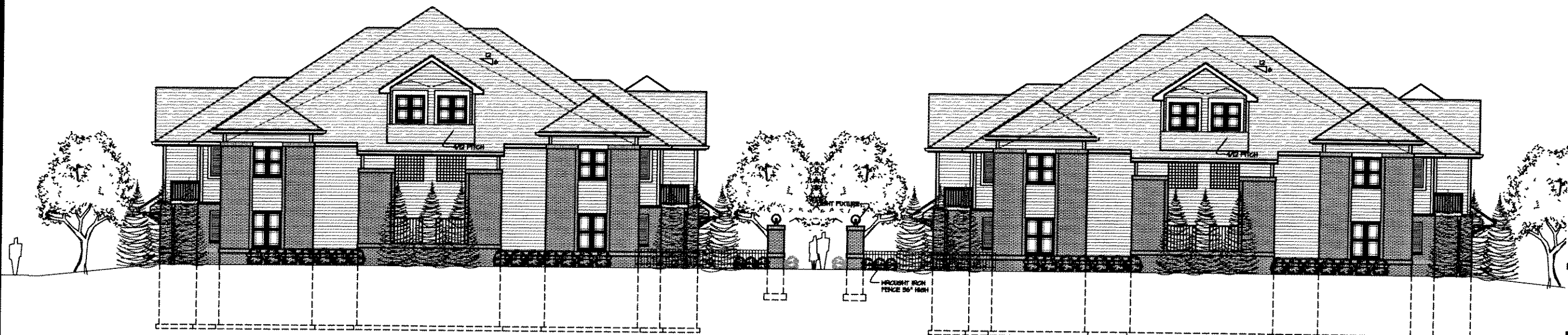
HONEY CREEK CONDOMINIUMS
7724 & STEVENSON
MILWAUKEE, WISCONSIN

SHEET TITLE:
SITE & LANDSCAPE PLANS

C-1

DATE: 05-18-05
PROJECT NUMBER: 05-186

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STEVENSON ELEVATION
1/8" = 1'-0"

REVISIONS:



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HONEY CREEK CONDOMINIUMS

7314 & STEVENSON
MILWAUKEE, WISCONSIN

SHEET TITLE:
STEVENSON ELEVATION

C-2

DATE: 05-18-05

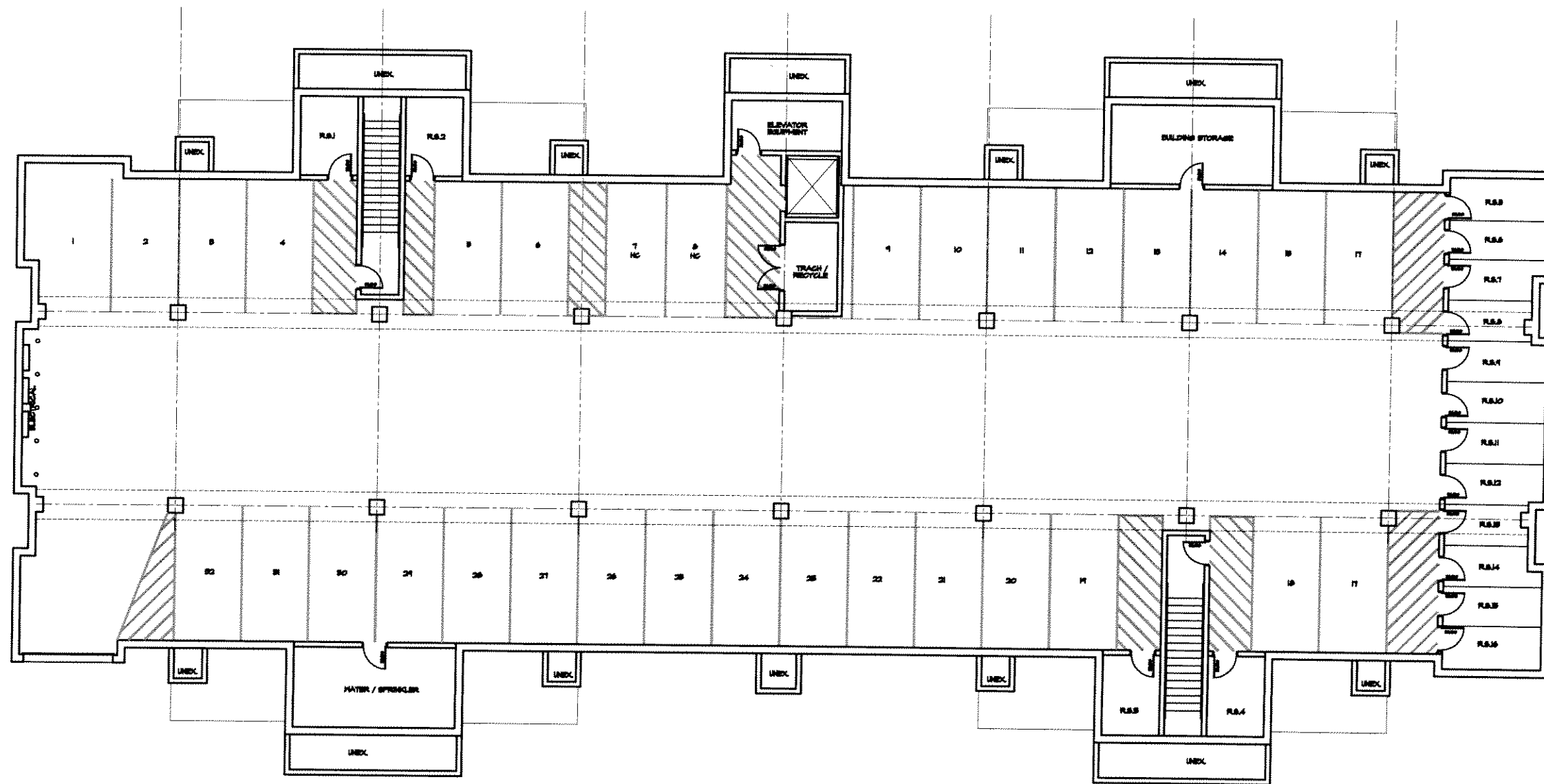
PROJECT NUMBER: 05-186

GENERAL NOTES

1. THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
 2. CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING AND SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.) FOR COORDINATION OF THE VARIOUS TRADES, FOR SAFE CONDITIONS ON THE JOB SITE AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
 3. THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONNECTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
 4. UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
 5. UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, WELDINGS, PIPE SLEEVES, HOLES OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
 6. THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS.
 7. ALL STATE OF WISCONSIN LOCAL AND OSHA SAFETY CODES SHALL BE A PART OF THESE PLANS, AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PARTIES THAT WORK AT OR VISIT THE JOB SITE COMPLY WITH SAME.
- A. THE DESIGN OF THE ROOF TRUSS SYSTEM SHALL BE BY THE TRUSS SUPPLIER. STATE OF WISCONSIN APPROVAL SHALL BE BY TRUSS SUPPLIER. STATE OF WISCONSIN PLAN EXAMINATION FEES SHALL BE FIGURED IN THE TRUSS SUPPLIER'S BID. ALL ITEMS THAT ARE TO BE SUPPLIED BY OTHERS INCLUDING LOCATION AND SIZE OF ALL BRACINGS, AND ANY OTHER ITEMS THAT MAY BE REQUIRED FOR A COMPLETE ROOF SYSTEM SHALL BE NOTED ON THE TRUSS SUPPLIER'S DRAWINGS. ERECTION OF THE ROOF TRUSS SYSTEM SHALL BE BY CARPENTRY CONTRACTOR. STATE OF WISCONSIN APPROVED THE DESIGN SHALL BE INSTALLED AT ALL BEARING WALLS FOR THE ROOF TRUSS SYSTEM. TIES SHALL BE SUPPLIED BY CARPENTRY CONTRACTOR. CARE SHALL BE TAKEN IN TIE-HAILING ROOF TRUSSES TO TOP 2x4 PLATES SO THAT BOTTOM CHORD OF TRUSS DOES NOT SPLIT THEREBY MAKING THE CONNECTION INEFFECTIVE. OWNER SHALL RECEIVE COPIES OF STATE APPROVED PLANS.
 4. 1/2" OSB SHALL BE NAILED TO TRUSSES AT A MAXIMUM OF 8" O.C. STEEL H-CLIPS SHALL BE USED BETWEEN TRUSSES.
 10. ALL HOOD FOR EXTERIOR HALLS, INTERIOR BEARING HALLS SHALL BE SPF-512D GRADE OR BETTER. FLOOR JOIST SHALL BE #2 DOUGLASS FIR AND LARCH OR BETTER WITH #5 SINGLE # 800 PSL OR ENGINEERED LUMBER. ALL HOOD REQUIRED TO COMPLETE THE ROOF SHALL BE PER ROOF TRUSS MANUFACTURER SPECIFICATIONS.
 11. DESIGN DATA:
LIVE LOAD ROOF 20#/SQFT. HND LOAD 20#/SQFT.
LIVE LOAD FLOOR 40#/SQFT. LIVE LOAD STAIRS 80#/SQFT.
CONCRETE 3000 PSI
REINFORCED STEEL YIELD 60,000 PSI. GRN SPECIFICATIONS.
ASSUMED SOIL PRESSURE 3000 PSF.
COMPACTION OF ANY FILL REQUIRED UNDER FLOOR SHALL BE TO 98% MAXIMUM DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST (ASTM D1557). THIRD PARTY TESTS SHALL BE REQUIRED TO BE FURNISHED TO DESIGNER TO INSURE THAT THE COMPACTION IS PER ABOVE.
 12. ALL CONCRETE BLOCK SHALL BE STATE OF WISCONSIN APPROVED. BRICK SHALL BE SEMI-METAL TBS - 1/8" NICK WITH AT LEAST ONE ANCHOR IN EVERY 2 SQUARE FEET OF WALL. MORTAR SHALL BE TYPE "M".

PLAN NOTES:

1. ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST REVIEW ALL DETAILS OF THEIR TRADES AND BE RESPONSIBLE FOR THE SAME.
2. DO NOT SCALE DIMENSIONS FROM DRAWINGS. CONSULT GENERAL CONTRACTOR OR THE ARCHITECT WITH ANY QUESTIONS.
3. FOR PLACEMENT OF HOUSE ON LOT REFER TO SURVEYORS DRAWINGS. GRADES SHOWN ON THESE PLANS ARE ASSUMED. CONFORM ALL GRADES WITH SURVEY OR SITE VISIT.
4. ALL INTERIOR HALLS ARE 3" UNLESS OTHERWISE NOTED
5. ALL EXTERIOR HALLS ARE 6" UNLESS OTHERWISE NOTED
6. PLACEMENT OF BUILDING COMPONENTS, MECHANICAL EQUIP., APPLIANCES AND ELECTRICAL COMPONENTS IS SUBJECT TO FIELD ADJUSTMENT. ACTUAL CONSTRUCTION MAY NOT CONFORM EXACTLY TO THE LOCATIONS INDICATED ON THESE DRAWINGS



1 BASEMENT FLOOR PLAN
1/8" = 1'-0"

HONEY CREEK CONDOMINIUMS

73RD & STEVENSON
MILWAUKEE, WISCONSIN

SHEET TITLE:
LOWER FLOOR PLAN

A-1

DATE: 05-18-05

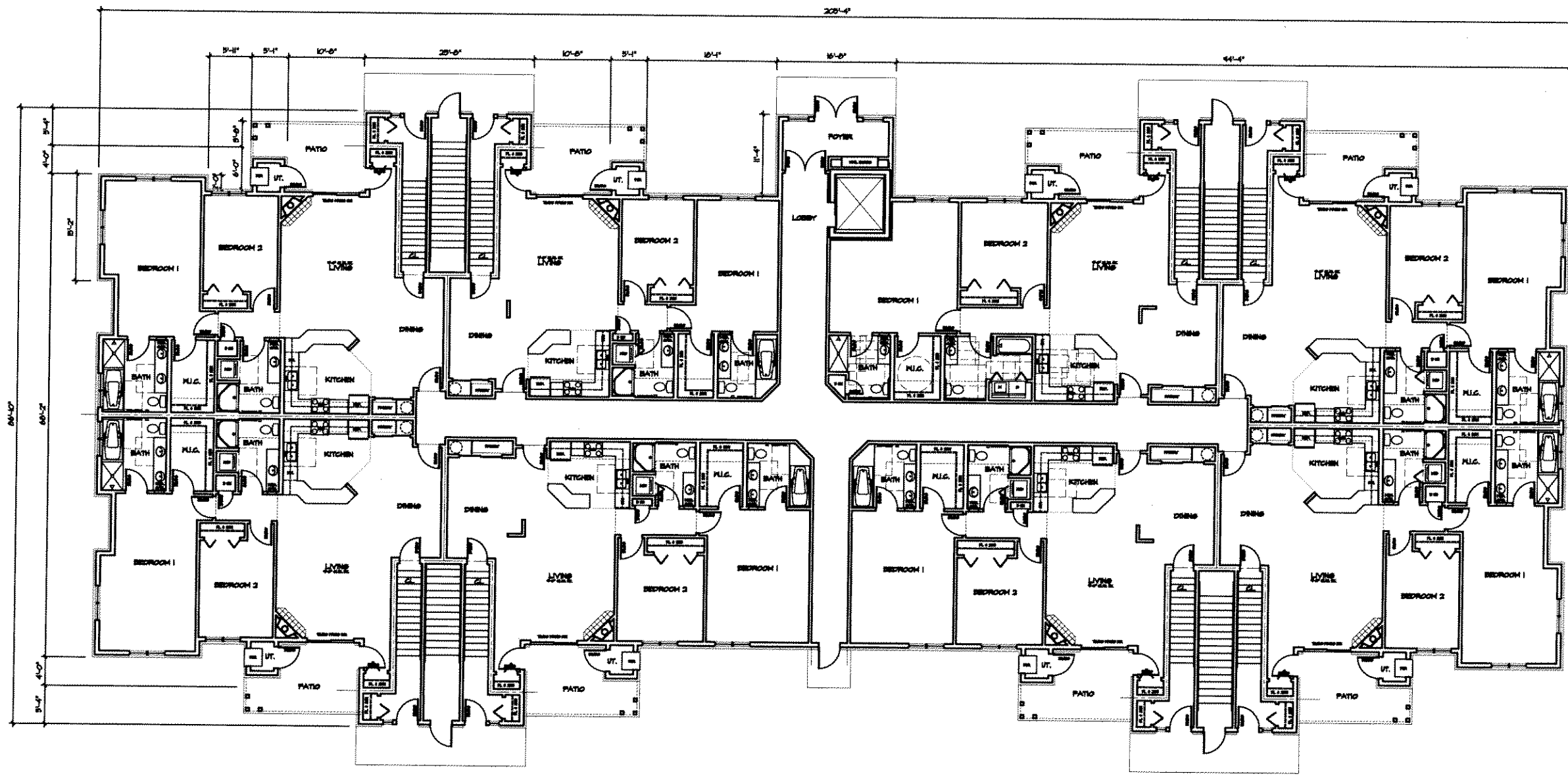
PROJECT NUMBER: 05-186

SECTIONS:



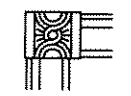
Patera, LLC.

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1 FIRST FLOOR PLAN
1/8" = 1'-0"

REVISIONS:



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HONEY CREEK CONDOMINIUMS

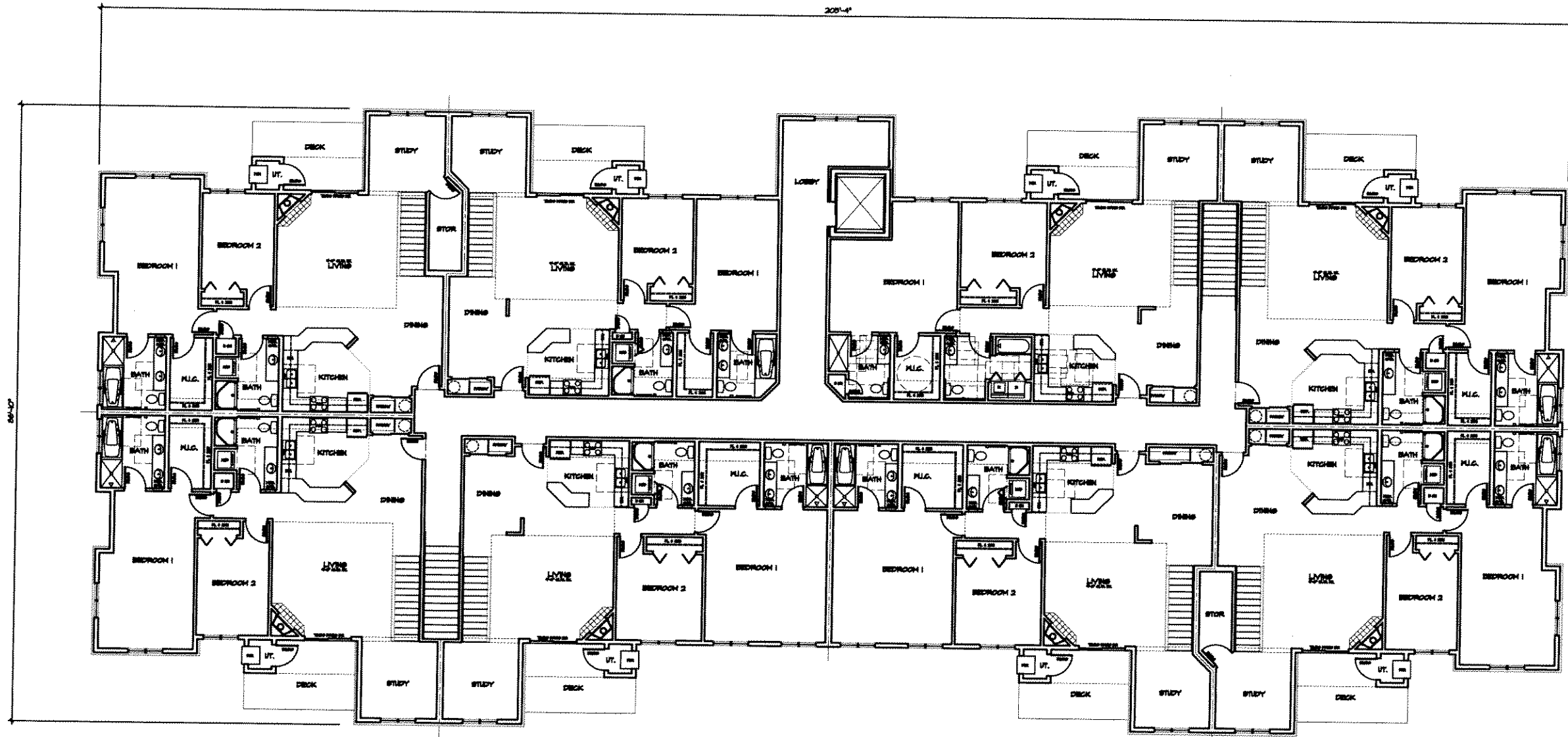
73rd & STEVENSON
MILWAUKEE, WISCONSIN

SHEET TITLE:
FIRST FLOOR PLAN

A-2

DATE: 05-18-05

PROJECT NUMBER: 05-186



1 SECOND FLOOR PLAN
1/8" = 1'-0"

REVISIONS:



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HONEY CREEK CONDOMINIUMS

7714 S STEVENSON
MILWAUKEE, WISCONSIN

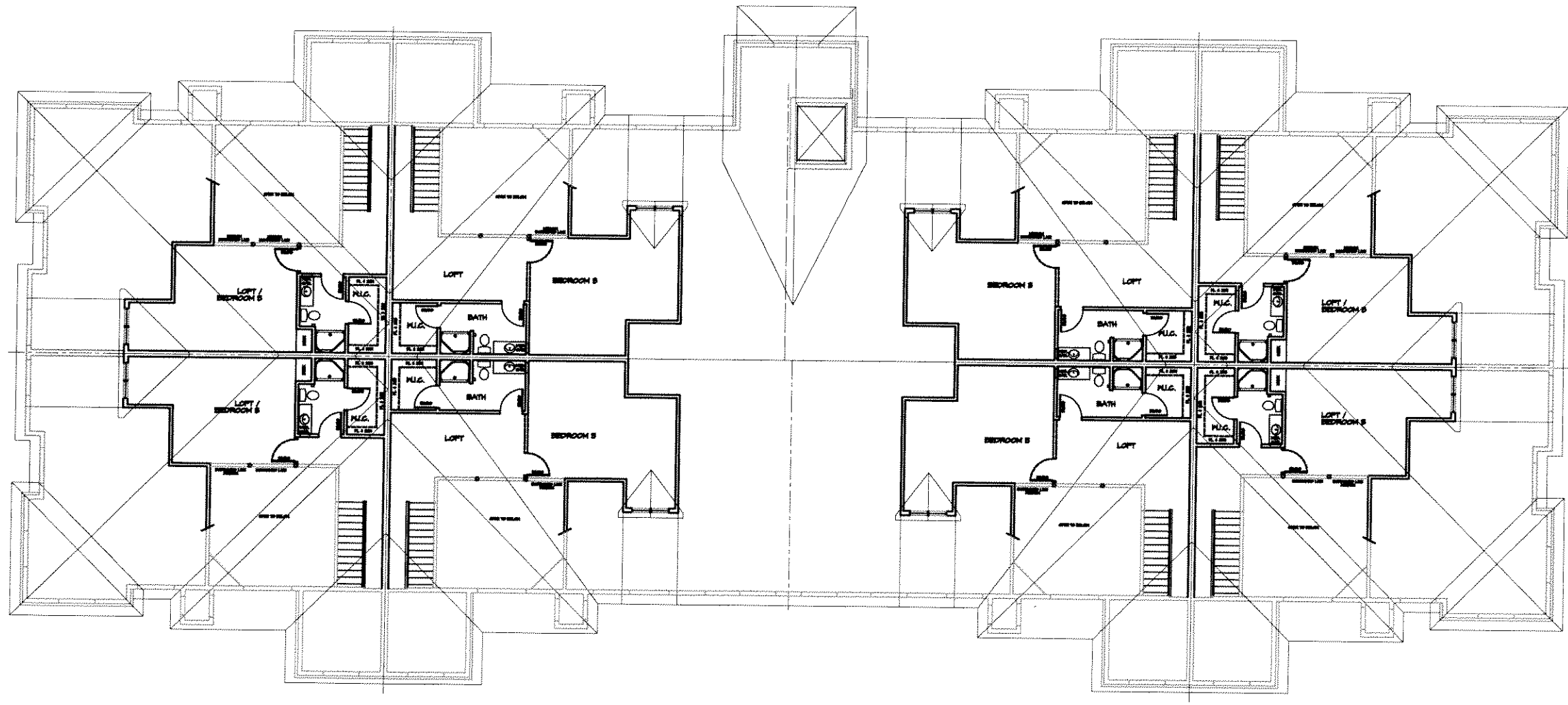
SHEET TITLE:
SECOND FLOOR PLAN

A-3

DATE: 05-18-05

PROJECT NUMBER: 05-186

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1 LOFT FLOOR PLAN
1/8" = 1'-0"

REVISIONS:



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HONEY CREEK CONDOMINIUMS

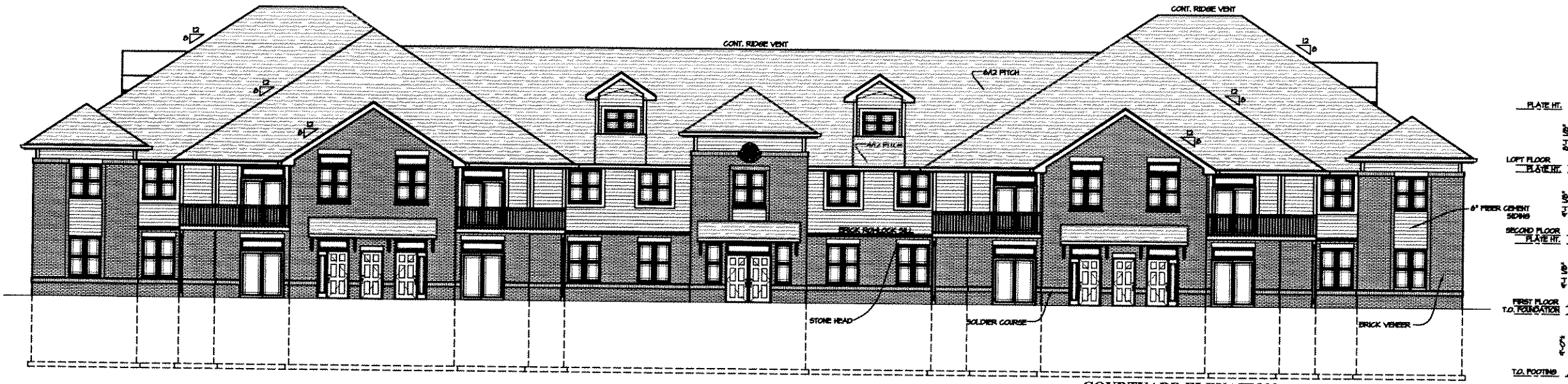
73rd & STEVENSON
MILWAUKEE, WISCONSIN

SHEET TITLE:
ROOF & LOFT PLAN

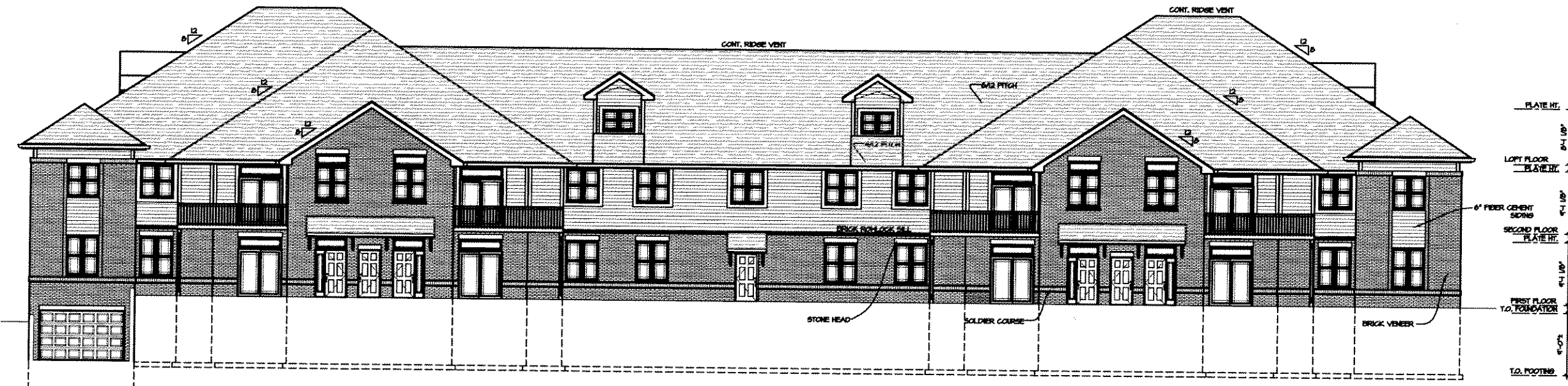
A-4

DATE: 05-18-05

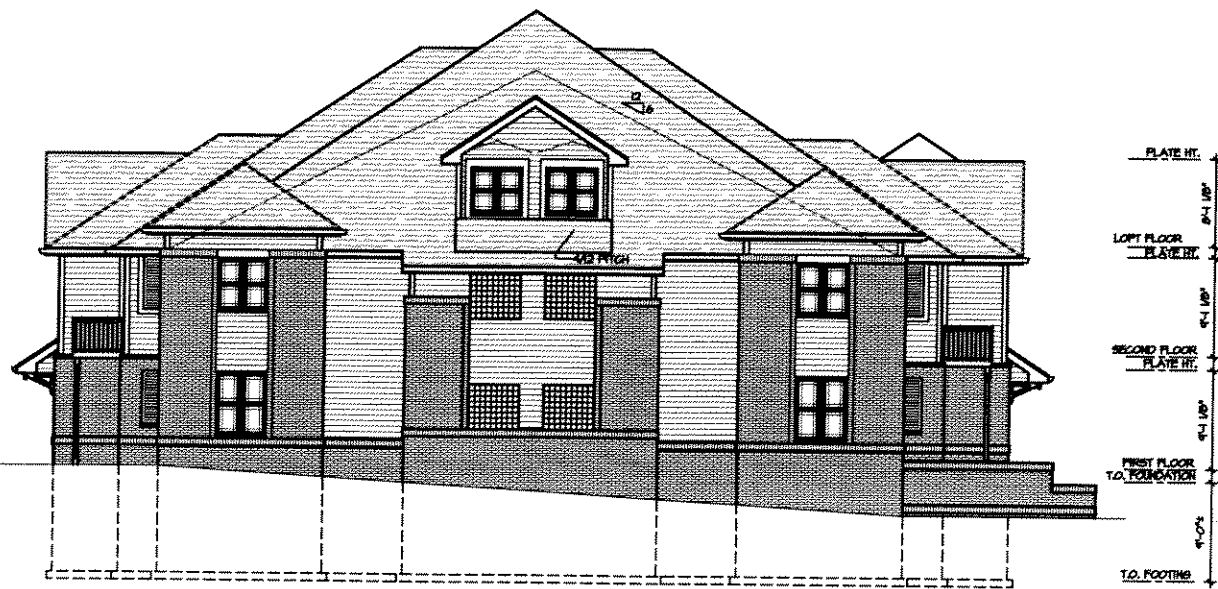
PROJECT NUMBER: 05-186



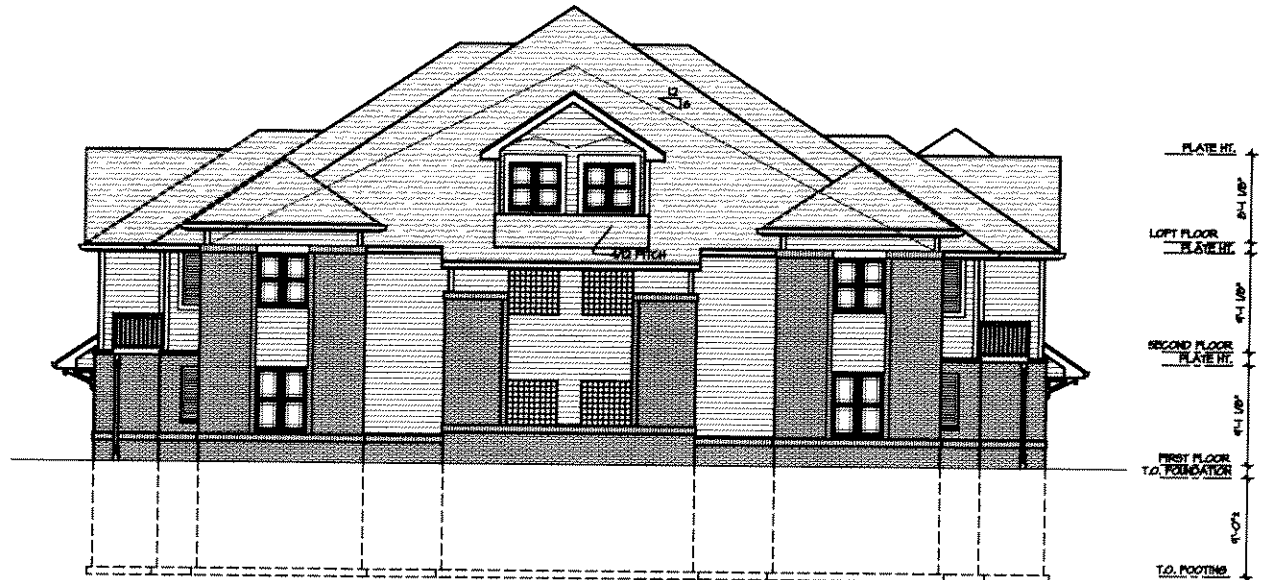
COURTYARD ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/8" = 1'-0"

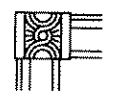


SOUTH ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

REVISIONS:



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HONEY CREEK CONDOMINIUMS

73rd & STEVENSON
MILWAUKEE, WISCONSIN

SHEET TITLE:
FRONT & REAR ELEVATIONS

A-5

DATE: 05-18-05

PROJECT NUMBER: 05-186

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