



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property	2006 E. LAFAYETTE PL.	North Point South HD
Description of work	See attached drawings	
8 pages total	<p>The Residence is located on a small corner lot with limited yard & no private outdoor space. The proposed work is to add a Rooftop Terrace above an existing flat roof garage structure to add private yard space to the property.</p> <p>We are proposing to replace the existing sliding overhead doors off of Summit Avenue and single overhead door off the alley. The new overhead doors will have a similar design to the existing sliding overhead doors and be painted cedar to match existing trim. The Summit Avenue door will be 9' high by 18' wide and the alley door will be 9' high by 9' wide. We are proposing to replace the existing rear door adjacent to the Summit Avenue overhead door. The new door will be similar to existing side door at stoop off Summit Avenue and include a new transom similar to divided lights at overhead doors.</p> <p>We are proposing to add new wood windows to match previously approved window replacement at First, Second, & Third Floors. The new windows will be at existing window openings at the Garage & Lower Level. We are proposing (1) new window on the North Elevation to add light to the Kitchen.</p> <p>The new Rooftop Terrace will be accessed from East side of home from the Kitchen & the Terrace. A new decorative metal stair will be constructed to match the proposed fence design on the west side on Summit Ave (this proposed Fence work is being submitted on a separate application). The stair design will be painted iron (to match color of existing rail). The proposed metal work will blend existing elements and be updated to meet code from the existing rail work on the residence. A new exterior door is being created at an existing window</p>	

opening to access the stair from the Kitchen.

From the South elevation, we are proposing to remove the existing wood soffit & fascia to accommodate the new stair on Garage wall. We are replacing the soffit with new wood panels to be similar to overhead door that will hide cabinets facing the Terrace and privatize the view from the South. A built-in grill and cabinets are proposed. We are infilling 2 existing Garage windows to have painted cedar panels similar to the new overhead doors to accommodate the new stair access.

The proposed Rooftop Terrace will take advantage of the entire existing flat rooftop. A new membrane roof will be installed to support limestone pavers on pedestals and a green roof system. The Rooftop Terrace will have a 36" high decorative metal guardrail wrapping the perimeter along Summit Avenue & Alley. The guardrail will match the new stairway design. Along and off of the existing parapet of the East Garage wall, a new 6' foot high privacy fence will be erected along the entire wall. The privacy fence will be cedar, painted to match existing trim, and match the design of the overhead doors. The Terrace includes furniture, potted plants, and a built-in grill station.

New windows to be provided by Acker to match existing trim, 1-3/8" thick D-H Replacement Sash with vinyl tilt jamb liners or other operation to match original.

Manufactured in Clear Northern White Pine with mortise and tenon glued joints
Finish hand sanded, preservative treated, oil-base primed and finish painted In & Out
Glazed clear LowE argon insulating glass with wood glazing stops to exterior.

Date issued

7/12/2018

PTS ID 114555 COA: garage alterations, new windows, etc.

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Bottom row of curlicues shall be removed from the design of the metal railing on garage roof. The Bottom row of curlicues may be removed from railings elsewhere.

Windows

Low-E coating must be non-reflective and allow 72+% VLT.

Wood Fences/Railings/Screens

All finish wood must be smooth and free of knots and must be painted or stained with an opaque stain upon completion. Note: when new, bare wood is left exposed to the exterior elements for a period of only a week or two, the life the of the paint job subsequently applied to it will be decreased.

Masonry

New mortar must match the original mortar in terms of color, texture, grain size, joint width, and joint finish/profile. The compressive strength of the repointing mortar shall be equal or less than the compressive strength of the original mortar and surrounding stone. The replacement mortar shall contain approximately the same ingredient proportions of the original mortar. Mortar that is too hard is subject to premature failure and could damage the masonry. See the city's books As Good As New Masonry Chapter, for more information. In most cases, this means a lime mortar with natural hydraulic cement rather than Portland cement. No joint of a width less than 3/8" may be cleaned of damaged/decomposed mortar with power disc grinders. No over-cutting of the joints is permitted. Remove decomposed mortar back into the wall 2.5 times the height of the joint before tuckpointing.

New stone must match as closely as possible the color texture, size, and finish of the original stone.

A sample panel of stone and mortar must be reviewed and approved by HPC staff prior to general installation of the material.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: hpc@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Contractor



240 N. Milwaukee Street
Suite #400
Milwaukee, WI 53202

(414) 276.8550
deep-river.com

NOTE:
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE CONTRACT DOCUMENTS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME. THE CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL WORK IS DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. THE CONTRACT DOCUMENTS UTILIZE A PROCESS CALLED FREE DESIGN OR DESIGN/BUILD FOR ROOF, WINDOW, PLUMBING, ELECTRICAL, HVAC DETAILS, AND AS DESIGNATED IN THE SPECIFICATION AS TO BE COMPLETED ON A DESIGN/BUILD BASIS. THIS MEANS THAT THE CONTRACT DOCUMENTS DO NOT INCLUDE ALL REQUIRED DETAILS, AND THAT THE CONTRACTORS SHALL, USING THEIR OWN STAFF OR QUALIFIED SUBCONTRACTORS, DESIGN AND BUILD THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE WORK. THE CLIENT IS DIRECTLY CONTRACTING WITH THE CONTRACTORS AND THEREFORE THE CLIENT AND THE CONTRACTORS ARE ASSUMING THE DESIGN AND BUILD RESPONSIBILITY FOR THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE PROJECT. DEEP RIVER PARTNERS, LTD. IS NOT RESPONSIBLE FOR INSPECTING ANY ASPECT OF THE CONTRACTORS' WORK, OR FOR OBSERVATION OF THE CONTRACTORS' WORK FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.

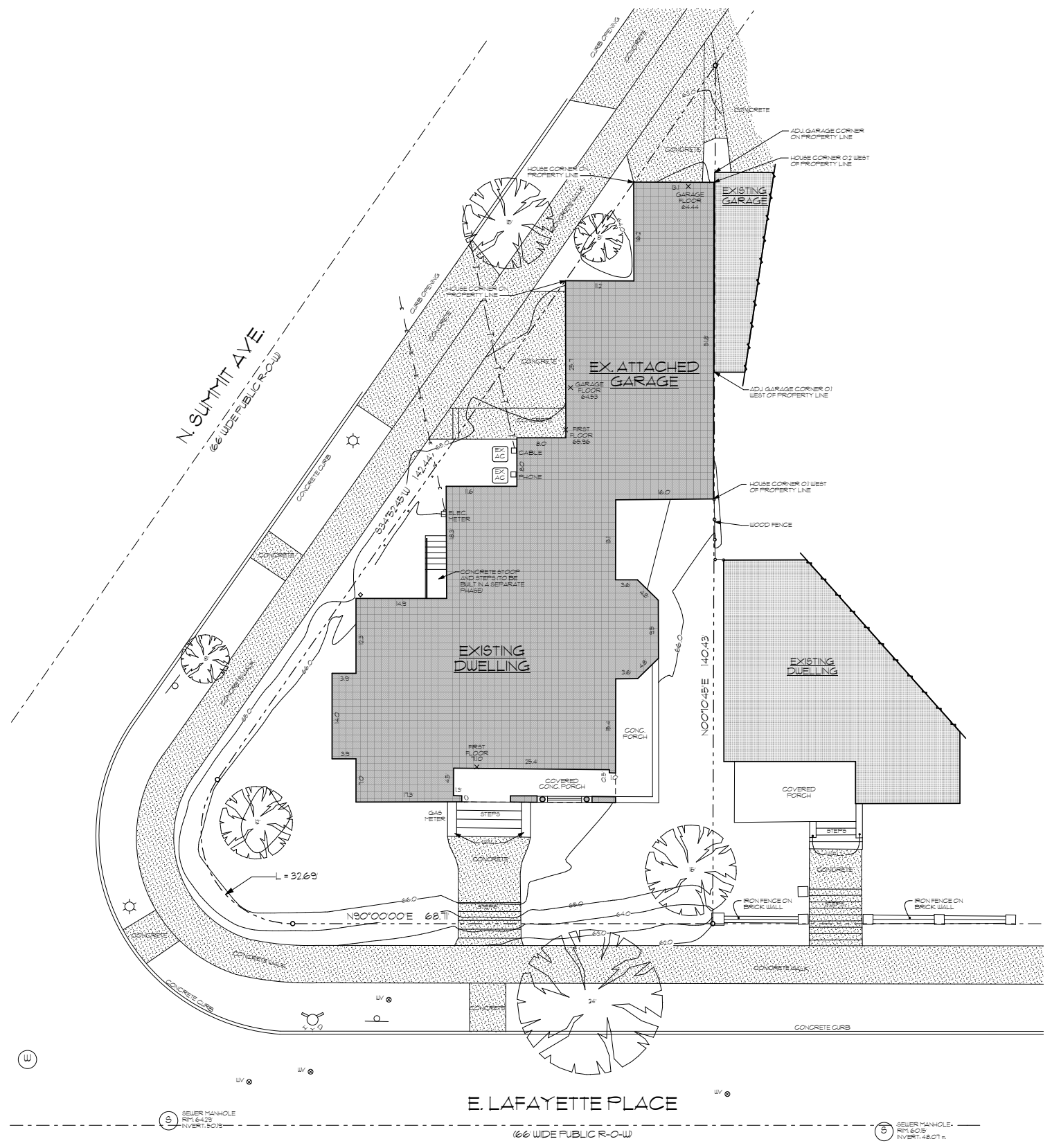
SHEET INDEX	
C1.1	SITE PLAN
A1.2	FIRST FLOOR PLAN
A1.3	SECOND FLOOR PLAN
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS

PROJECT TEAM

STRUCTURAL CONSULTANT
MICHAEL A. CORRIGAN, P.E., A.L.A.
10521 NORTH FORT WASHINGTON ROAD
SUITE 220
MEQUON, WISCONSIN 53092
(262) 241-9700 VOICE - (262) 241-9701 FAX
corrigan@milupc.com EMAIL



SITE SYMBOL KEY	
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	EXISTING GRADE CONTOUR
	NEW GRADE CONTOUR
	SILT FENCE
	EXISTING WATER MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING STREET LIGHT
	EXISTING STREET SIGN
	EXISTING WATER VALVE
	EXISTING UNDERGROUND GAS SERVICE
	EXISTING OVERHEAD ELECTRICAL SERVICE
	EXISTING OVERHEAD TELEPHONE LINE
	PROPOSED ELEVATION - CONTRACTOR TO VERIFY W/SEWER HEIGHT AND MAINTAIN REQUIRED PITCH



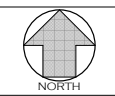
1 SITE PLAN
SCALE: 1" = 10'

APPROVED
By Tim Askin-HPC at 9:55 am, Jul 12, 2018

Project 1812
LAFAYETTE RENOVATION
2006 E. LAFAYETTE PLACE
MILWAUKEE, WI 53202

DESCRIPTION	DATE
REDLINE ISSUE	06/12/2018
1/4" OWNER APPROVAL	05/16/2018
EXTERIOR ELEVATIONS	06/11/2018
HISTORIC PRESERVATION COMMISSION	06/13/2018

SITE PLAN

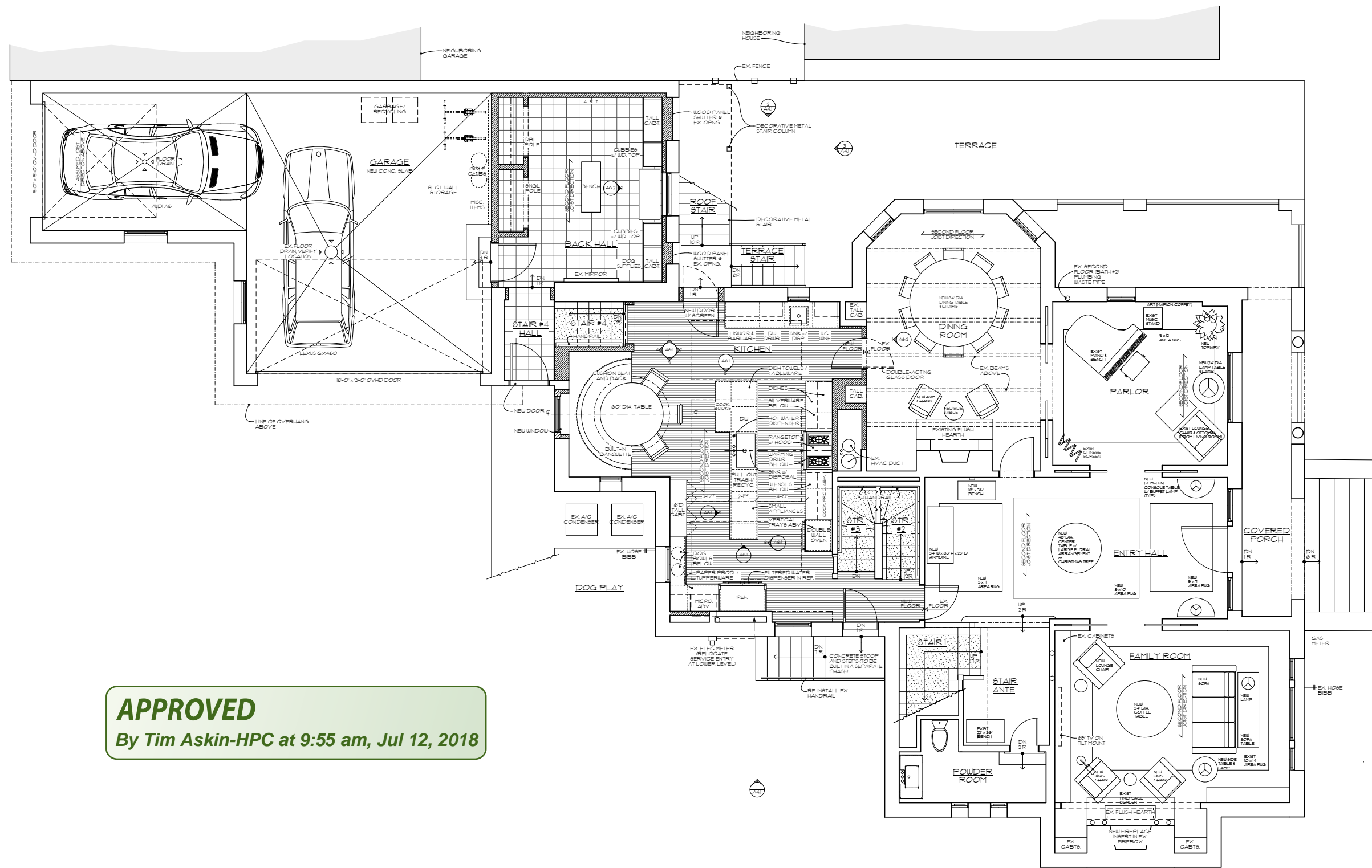


C1.1

© Copyright 2018 Deep River Partners, Ltd. All rights reserved. This document, ideas and design incorporated herein are the property of Deep River Partners, Ltd. and are not to be used whole or in part without the written consent of Deep River Partners, Ltd.

240 N. Milwaukee Street
Suite #400
Milwaukee, WI 53202
(414) 276.8550
deep-river.com

NOTE:
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE CONTRACT DOCUMENTS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME. THE CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL WORK IS DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. THE CONTRACT DOCUMENTS UTILIZE A PROCESS CALLED FREE DESIGN OR DESIGN/BUILD FOR ROOF, WINDOW, PLUMBING, ELECTRICAL, HVAC DETAILS, AND AS DESIGNATED IN THE SPECIFICATION AS TO BE COMPLETED ON A DESIGN/BUILD BASIS. THIS MEANS THAT THE CONTRACT DOCUMENTS DO NOT INCLUDE ALL REQUIRED DETAILS, AND THAT THE CONTRACTORS SHALL, USING THEIR OWN STAFF OR QUALIFIED SUBCONTRACTORS, DESIGN AND BUILD THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE WORK. THE CLIENT IS DIRECTLY CONTRACTING WITH THE CONTRACTORS AND THEREFORE THE CLIENT AND THE CONTRACTORS ARE ASSUMING THE DESIGN AND BUILD RESPONSIBILITY FOR THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE PROJECT. DEEP RIVER PARTNERS, LTD. IS NOT RESPONSIBLE FOR INSPECTING ANY ASPECT OF THE CONTRACTORS' WORK, OR FOR OBSERVATION OF THE CONTRACTORS' WORK FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.



APPROVED
By Tim Askin-HPC at 9:55 am, Jul 12, 2018

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Project 1812
LAFAYETTE RENOVATION
2006 E. LAFAYETTE PLACE
MILWAUKEE, WI 53202

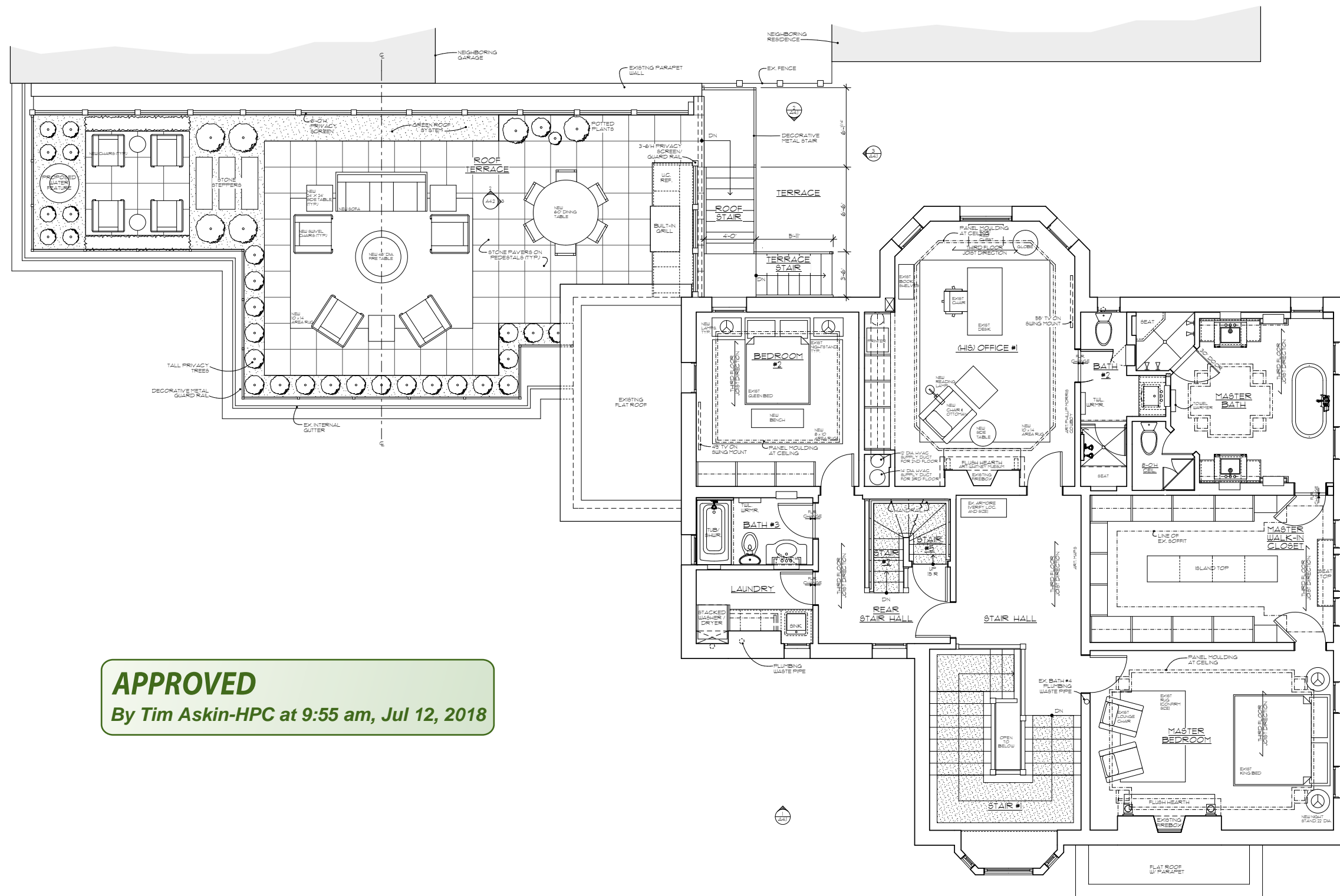
DESCRIPTION	DATE
REDLINE ISSUE	06/12/2018
1/4" OWNER APPROVAL	05/16/2018
EXTERIOR ELEVATIONS	06/11/2018
HISTORIC PRESERVATION COMMISSION	06/13/2018

FIRST FLOOR PLAN

NORTH **A1.2**

© Copyright 2018 Deep River Partners, Ltd. All rights reserved. This document, ideas and design incorporated herein are the property of Deep River Partners, Ltd. and are not to be used whole or in part without the written consent of Deep River Partners, Ltd.

NOTE:
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE CONTRACT DOCUMENTS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME. THE CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL WORK IS DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. THE CONTRACT DOCUMENTS UTILIZE A PROCESS CALLED FREE DESIGN OR DESIGN/BUILD FOR ROOF, WINDOW, PLUMBING, ELECTRICAL, HVAC DETAILS, AND AS DESIGNATED IN THE SPECIFICATION AS TO BE COMPLETED ON A DESIGN/BUILD BASIS. THIS MEANS THAT THE CONTRACT DOCUMENTS DO NOT INCLUDE ALL REQUIRED DETAILS, AND THAT THE CONTRACTORS SHALL, USING THEIR OWN STAFF OR QUALIFIED SUBCONTRACTORS, DESIGN AND BUILD THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE WORK. THE CLIENT IS DIRECTLY CONTRACTING WITH THE CONTRACTORS AND THEREFORE THE CLIENT AND THE CONTRACTORS ARE ASSUMING THE DESIGN AND BUILD RESPONSIBILITY FOR THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE PROJECT. DEEP RIVER PARTNERS, LTD. IS NOT RESPONSIBLE FOR INSPECTING ANY ASPECT OF THE CONTRACTORS' WORK, OR FOR OBSERVATION OF THE CONTRACTORS' WORK FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.



APPROVED
By Tim Askin-HPC at 9:55 am, Jul 12, 2018

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

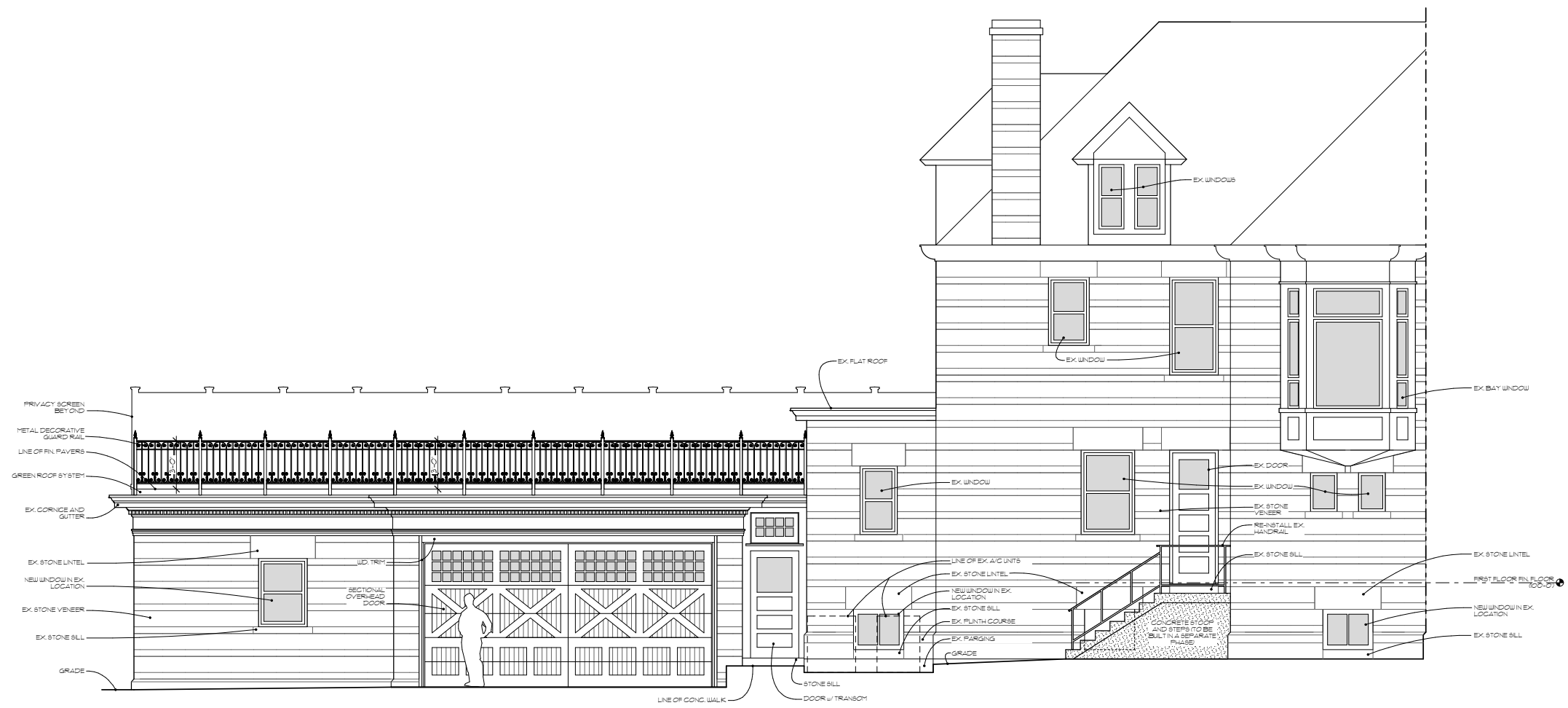
Project 1812
LAFAYETTE RENOVATION
2006 E. LAFAYETTE PLACE
MILWAUKEE, WI 53202

DESCRIPTION	DATE
REDLINE ISSUE	06/12/2018
1/4" OWNER APPROVAL	05/16/2018
EXTERIOR ELEVATIONS	06/11/2018
HISTORIC PRESERVATION COMMISSION	06/13/2018

SECOND FLOOR PLAN

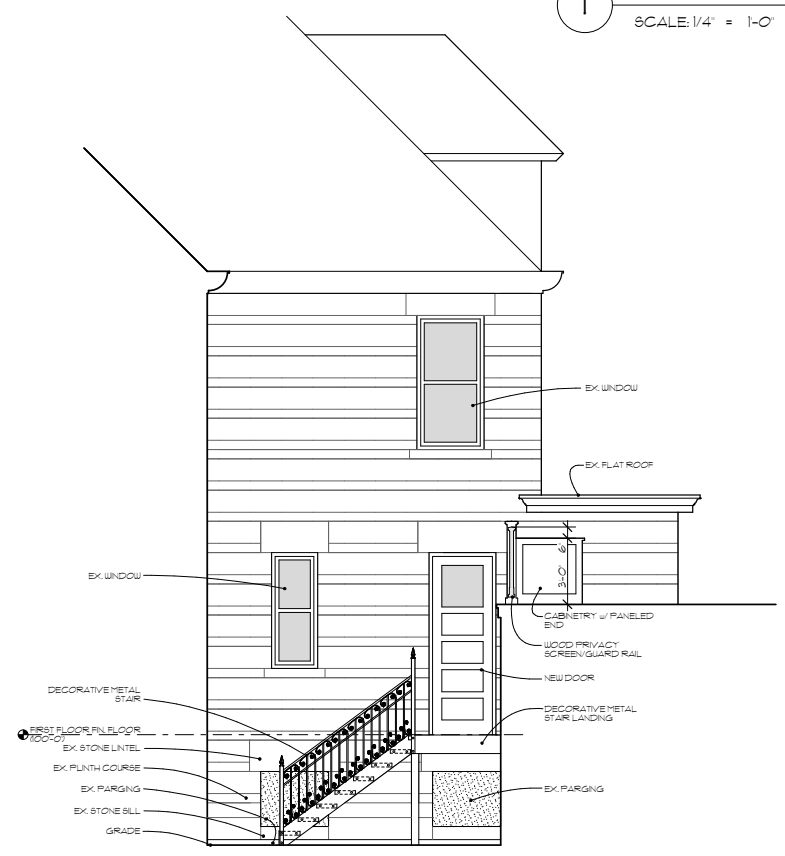
NORTH **A1.3**

NOTE:
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE CONTRACT DOCUMENTS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME. THE CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL WORK IS DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. THE CONTRACT DOCUMENTS UTILIZE A PROCESS CALLED FREE DESIGN OR DESIGN/BUILD FOR ROOF, WINDOW, PLUMBING, ELECTRICAL, HVAC DETAILS, AND AS DESIGNATED IN THE SPECIFICATION AS "TO BE COMPLETED ON A DESIGN/BUILD BASIS." THIS MEANS THAT THE CONTRACT DOCUMENTS DO NOT INCLUDE ALL REQUIRED DETAILS, AND THAT THE CONTRACTORS SHALL, USING THEIR OWN STAFF OR QUALIFIED SUBCONTRACTORS, DESIGN AND BUILD THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE WORK. THE CLIENT IS DIRECTLY CONTRACTING WITH THE CONTRACTORS AND THEREFORE THE CLIENT AND THE CONTRACTORS ARE ASSUMING THE DESIGN AND BUILD RESPONSIBILITY FOR THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE PROJECT. DEEP RIVER PARTNERS, LTD. IS NOT RESPONSIBLE FOR INSPECTING ANY ASPECT OF THE CONTRACTORS' WORK, OR FOR OBSERVATION OF THE CONTRACTORS' WORK FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.

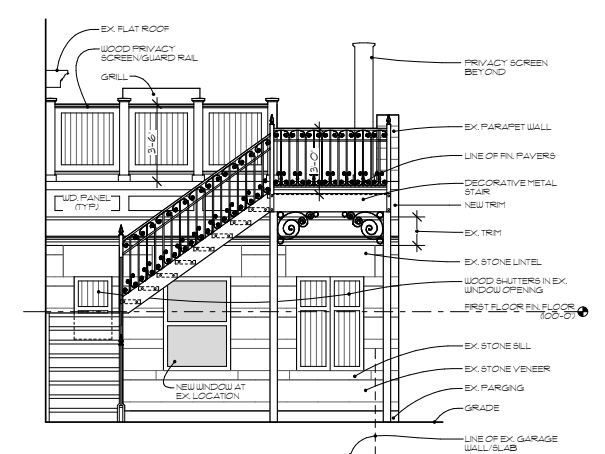


1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED
By Tim Askin-HPC at 9:55 am, Jul 12, 2018



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

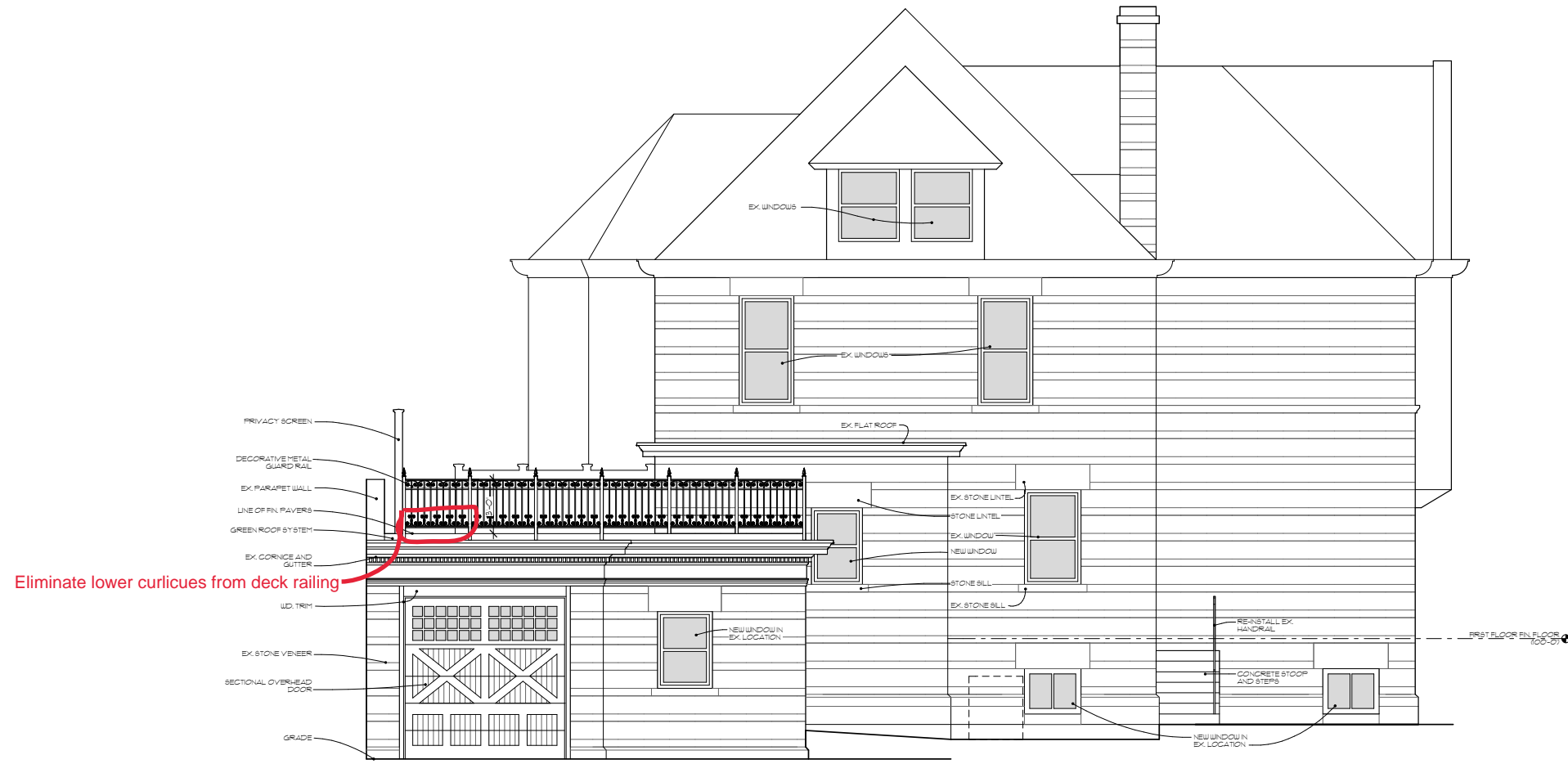
Project 1812
LAFAYETTE RENOVATION
2006 E. LAFAYETTE PLACE
MILWAUKEE, WI 53202

DESCRIPTION	DATE
REDLINE ISSUE	06/12/2018
1/4" OWNER APPROVAL	05/16/2018
EXTERIOR ELEVATIONS	06/11/2018
HISTORIC PRESERVATION COMMISSION	06/13/2018

EXTERIOR ELEVATIONS

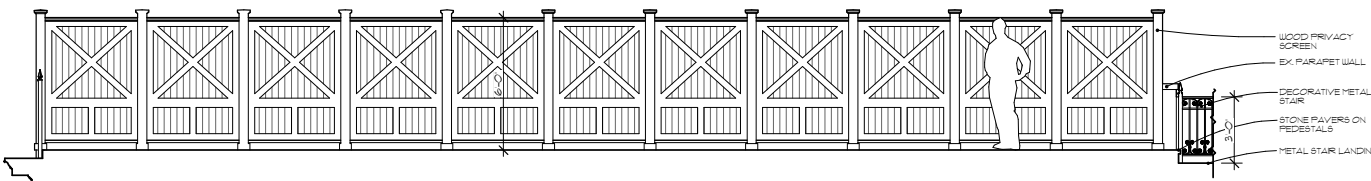
A4.1

NOTE:
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE CONTRACT DOCUMENTS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME. THE CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL WORK IS DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. THE CONTRACT DOCUMENTS UTILIZE A PROCESS CALLED FREE DESIGN OR DESIGN/BUILD FOR ROOF, WINDOW, PLUMBING, ELECTRICAL, HVAC DETAILS, AND AS DESIGNATED IN THE SPECIFICATION AS "TO BE COMPLETED ON A DESIGN/BUILD BASIS." THIS MEANS THAT THE CONTRACT DOCUMENTS DO NOT INCLUDE ALL REQUIRED DETAILS, AND THAT THE CONTRACTORS SHALL, USING THEIR OWN STAFF OR QUALIFIED SUBCONTRACTORS, DESIGN AND BUILD THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE WORK. THE CLIENT IS DIRECTLY CONTRACTING WITH THE CONTRACTORS AND THEREFORE THE CLIENT AND THE CONTRACTORS ARE ASSUMING THE DESIGN AND BUILD RESPONSIBILITY FOR THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE PROJECT. DEEP RIVER PARTNERS, LTD. IS NOT RESPONSIBLE FOR INSPECTING ANY ASPECT OF THE CONTRACTORS' WORK, OR FOR OBSERVATION OF THE CONTRACTORS' WORK FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.

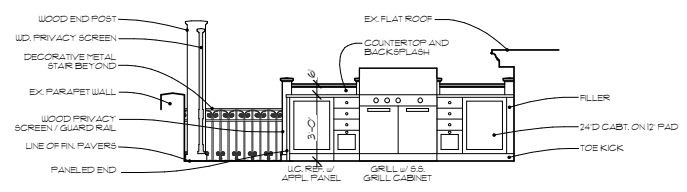


Eliminate lower curlicues from deck railing

1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 ROOF TERRACE
SCALE: 1/4" = 1'-0"



3 ROOF TERRACE
SCALE: 1/4" = 1'-0"

Project 1812
LAFAYETTE RENOVATION
2006 E. LAFAYETTE PLACE
MILWAUKEE, WI 53202

DESCRIPTION	DATE
REDLINE ISSUE	06/12/2018
1/4" OWNER APPROVAL	05/16/2018
EXTERIOR ELEVATIONS	06/11/2018
HISTORIC PRESERVATION COMMISSION	06/13/2018

EXTERIOR ELEVATIONS

A4.2